

**CITY OF MURFREESBORO  
BOARD OF ZONING APPEALS**

Regular Meeting, June 22, 2022, at 1:00 p.m.  
City Hall, 111 West Vine Street, Council Chambers, 1<sup>st</sup> Floor

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**A G E N D A**

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1. Call to order
2. Determination of a quorum
3. Consideration of minutes for the regular meeting on April 27, 2022
4. New Business

*Variance Request*

- a. Application Z-22-009 by Paul and Jessica Seegert** is requesting two variances from the Zoning Ordinance: Section 24, Article VI (D)(1.b) front setback based on the average block face requiring 26 feet to allow 13 feet, and Chart 2 requiring a rear setback of 20-feet to allow 13 feet, in a RS-4 zone located at 203 Hancock Street. (Project Planner: Brad Barbee).

*Special Use Permit Request*

- b. Application Z-22-020 by Fellowship Bible Church, represented by Matt Taylor of SEC, Inc.,** is requesting a special use permit for the expansion of an existing institutional group assembly use to install an 8,190 square-foot temporary modular building for use by a private school grades Kindergarten through 12 in conjunction with the existing church, in a RS-15 zone located at 4236 Veterans Parkway. (Project Planner: Joel Aguilera).

5. Staff Reports and Other Business
6. Adjourn

**MINUTES  
OF THE CITY OF MURFREESBORO BOARD OF  
ZONING APPEALS**

**City Hall, 111 W. Vine Street, Council  
Chambers**

**April 27, 2022 1:00 PM**

**Members Present:**

Davis Young, Chair  
Ken Halliburton, Vice-Chair  
Julie King  
Tim Tipps  
Misty Foy

**Staff Present:**

Marina Rush, *Principal Planner*  
Joel Aguilera, *Planner*  
Matthew Blomeley, *Assistant Planning Director*  
Roman Hankins, *Assistant City Attorney*  
Serena Harris, *Recording Assistant*

**1. Call to order:**

Chair Young called the meeting to order.

**2. Determination of a quorum:**

Chair Young determined that a quorum was present.

**3. Consideration of Minutes:**

With there being no objection by any of the Board members, the minutes of the March 23, 2022, BZA meeting were approved as submitted.

**4. New Business:**

- a. Zoning application [2022-006] for Absolute Fireworks, represented by Julie Smith, requesting a special use permit to operate a temporary outdoor vending establishment (seasonal fireworks) at 131 Cason Lane, parking lot of an existing commercial shopping center. Property is zoned Commercial Highway (CH). (Project Planner: Joel Aguilera)**

Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these minutes by reference.

Tim Tipps requested clarification that the only reason the application is presented is due to the tent size, otherwise the applicant would have to comply with all the 11 standards listed within the ordinance.

Marina Rush confirmed that the application was required due to the increase of the tent size.

Julie King inquired if the proposed fireworks tent would be at the same location.

# MURFREESBORO BOARD OF ZONING APPEALS MINUTES

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Mr. Aguilera confirmed that the establishment would be at the same location as the previous year.

Julie Smith of 9155 Paw Paw Springs Road, Arrington, TN 37014. came forward to address questions from the Board, and confirmed that she is adding a few feet to her tent size.

Chair Young opened the public hearing.

There being no one else to speak for or against the request, Chair Young closed the public hearing.

There being no further discussion, Misty Foy moved to approve the special use permit application subject to all staff recommendations; The motion was seconded by Julie King and carried by the following vote:

Aye: Julie King  
Tim Tipps  
Misty Foy  
Vice-Chair Ken  
Halliburton  
Chair Davis Young

Nay: None

- b. Zoning application [2022-008] for New Vision Baptist Church, represented by Caitlin Paul of Catalyst Design Group, requesting a special use permit for a 25,680 square-foot building addition to an existing institutional group assembly use (Middle Tennessee School) at 100 East MTCS Road, parking lot of Centerpointe Apostolic Church. Property is zoned Single Family Residential (RS-15). (Project Planner: Joel Aguilera)**

Mr. Aguilera stated that Caitlin Paul was unavailable, however, a representative from Catalyst Design Group is present and available for comments.

Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these minutes by reference.

Tim Tipp stated that the property is zoned RS-15 but the other neighboring uses are institutional or commercial.

Mr. Aguilera confirmed that the North Thompson area is a mix of office, commercial, and medical uses.

Mr. Tipps inquired why hasn't there been an application to rezone this property.

Marina Rush responded that she also does not have the full history on the property but assumes the property was zoned RS-15 as many other properties in that area. As the

# MURFREESBORO BOARD OF ZONING APPEALS MINUTES

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neighboring uses and properties developed with medical uses and buildings, that must be rezoned. Whereas an institutional use, i.e., a church or school, is allowed within the RS zoning districts with approval with a special use permit. This is an easier process than proceeding with a rezoning. In the case of this application, a rezoning would not be necessary.

Julie King stated that typically when we're adding on a new use, increased parking would be required. In this case, classrooms are being added and parking is being taken away.

Mr. Aguilera stated that this project is required to meet church use parking standards verses educational institutional use requirements: 1 space for every 8 seats in the largest part of the auditorium, which requires 200 parking spaces. The property far exceeds this parking standard. In addition, the new building would be used by the congregation that is already on site for church services, thus it is not adding to the parking demand.

Jack Parker with Catalyst Design Group, of 1524 Williams Dr, Suite 201, Murfreesboro, TN 37129. came forward to address questions from the Board.

Chair Davis Young stated that local police will assist with parking and inquired if they are volunteering or if it's a requirement.

Jack Parker and Marina Rush expressed their expectation that traffic control would continue.

Chair Young opened the public hearing.

There being no one else to speak for or against the request, Chair Young closed the public hearing.

There being no further discussion, Julie King moved to approve the special use permit application subject to all staff recommendations with the correction of square footage and number of classrooms; The motion was seconded by Ken Halliburton and carried by the following vote:

Aye: Julie King  
Tim Tipps  
Misty Foy  
Vice-Chair Ken  
Halliburton  
Chair Davis Young

Nay: None

## 5. Staff Reports and Other Business:

None.

# MURFREESBORO BOARD OF ZONING APPEALS MINUTES

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## 6. Adjourn.

There being no further business, Chair Young adjourned the meeting at 1:25 p.m.

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CHAIRMAN

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SECRETARY

# MURFREESBORO BOARD OF ZONING APPEALS

## STAFF REPORT

JUNE 22, 2022

**PROJECT PLANNER: BRAD BARBEE**

**Application:** Z-22-009

**Location:** 203 S. Hancock Street (Map 91M, Group H, Parcel 38.00)

**Applicant:** Paul and Jessica Seegert

**Owner:** Big Red Holdings, LLC

**Zoning:** Residential Single Family 4 (RS-4) and City Core Overlay (CCO)

**Requests:** Two variances from the Zoning Ordinance, Section 24, Article VI (D)(1)(b) CCO district front setback based on the average block face is 26 feet to allow 13 feet front setback, and from Chart 2 Minimum Yard Requirements rear setback of 20-feet to allow 13-foot rear setback



## **Overview of Request**

The applicants, Paul and Jessica Seegert, are requesting two variances from the required setbacks in order to construct a single-family detached residence on a 3,250 square foot parcel, located at 203 S. Hancock Street. The property is zoned RS-4 (Single Family Residential – 4,000 square feet minimum lot size). The two variances requested are:

1. **Front setback:** 13-foot variance from the required 26-foot front setback, as set forth by the average of block face per Section 24, Article VI (D)(1)(b) of the City of Murfreesboro Zoning Ordinance. This section states that the structure shall be built to the average front setback of all structures on the same block face, provided that no structure shall be built more than twenty-five (25) feet behind the front property line. For the purposes of this section, “block face” shall mean within the same block on the same street side as the subject property and shall exclude vacant lots. Front façade of the house will be located 13 feet from the property line and Hancock Street right-of-way.
2. **Rear setback:** 7-foot variance from the required 20-foot rear setback, as set forth by Chart 2 for properties located in the RS-4 zoning district. Rear façade of the house will be located 13 feet from the property line.

The property area is less than the minimum 4,000 square feet lot size required for new parcels subdivided in the RS-4 zoning district and the dimensions are 65 feet deep by 50 feet wide. The parcel was created on July 2, 1926, and then in 1935 an approximately 800 square foot single-family house was constructed. The property is currently vacant because the 1935 house was recently demolished in 2020. Based on historical aerial views available in the City’s GIS maps, the original house was located approximately 13 feet from the rear property line, 14 feet from the front property line, and 3 feet from the side property line to the north. This is similar to the neighboring property to the south, 205 Hancock Street, that is 3,200 square feet in area and the house is located approximately 14 feet from the front property line and 8 feet from the rear property line. In addition, the contiguous properties to the north are under the 4,000 square foot lot area and have been granted variances for front and side setbacks in order to construct a residence.

Because of the property size and lot depth, the buildable area is limited. In addition, other properties in this general area that do not meet the minimum lot size of the RS-4 district either developed several decades ago with similar setbacks as requested or are new structures and were approved for variances to allow for deviations from the required setbacks.

## Relevant Zoning Ordinance Section

### *Section 24, Article VI (D)(1)(b)*

For residential developments, the structure shall be built to the average front setback of all structures on the same block face, provided that no structure shall be built more than twenty-five (25) feet behind the front property line. For the purposes of this section, “block face” shall mean within the same block on the same street side as the subject property and shall exclude vacant lots. No structure shall be built in the public right-of-way.

### *Chart 2 – Minimum Yard Setback Requirements:*

- RS-4 District Setbacks:      Front -Superseded by CCO regulations  
   Side 5 feet  
   Rear 20 feet
- RS-4 Minimum Lot Width: 40 feet
- RS-4 Minimum Lot Area: 4,000 sq. ft.

## Standards For Variances from Section 10 of the Zoning Ordinance:

The Zoning Ordinance requires that no bulk variance or other variance be granted unless the applicant establishes that the bulk or other regulations generally applicable in the zoning classification for the property for which a variance is requested impose practical difficulties which are unusual to the property and are not self-created. In addition, the applicant must also show that the bulk or other variance requested will not be unduly detrimental to other property in the vicinity of the property for which the variance is requested. To satisfy the requirements, applicant must submit written justification that the variance requested meets all of the standards contained the Zoning Ordinance. The applicant’s letter is included in the staff report attachments.

The following is staff’s analysis for each of the Standards for Variances:

- (1) *The requested variance(s) are due to specifically identified characteristics of the land, such as the narrowness, shallowness, shape, topography or other condition of the land, are such that compliance with one or more applicable zoning regulations would be extraordinarily and peculiarly difficult or would result in an undue hardship for the applicant:*

### **Staff analysis: This standard is met.**

The property is 3,250 square feet in area and is 50 feet wide and 65 feet depth, which is smaller than minimum lot size of 4,000 square feet for newly created parcels in the RS-4 zoning district. The required setbacks are front- 26 feet. Side - 5 feet, and



rear 20 feet, would not allow for an adequate buildable area on the subject property. This smaller parcel size makes it difficult to construct a house within the required setbacks and would be considered an undue hardship for the applicants.

- (2) *The requested variance(s) are due to specifically identified characteristics that are unusual to the subject land as compared to other land in the same zoning classification and in the same area:*

**Staff analysis: This standard is met.**

The property was created in 1926 and a house was constructed in 1935 and located approximately 13 feet from the rear property line, 14 feet from the front property line, and 3 feet from the side property line to the north (does not meet the current RS-4 setbacks). This neighborhood was developed approximately 90 years ago, and the parcels vary in size and shape. The adjoining properties to the north are also less than 4,000 square feet in area and were granted setback variances approved by the BZA due to the smallness of the parcel sizes for houses to be constructed. And the adjoining parcel to the south was constructed in 1935 and the house front and rear facades are approximately the same as this requested variance. The unique hardship of the parcel size is met and adjoining that are similar in size were granted variances because they also met this standard.

- (3) *That the requested variance(s) are due to specifically identified characteristics or hardship were not created by any action or inaction of the owner or the owner's agent, not self-created:*

**Staff analysis: This standard is met.** The future house would be constructed generally at the same setbacks as the original 1935 house. The lot was created in 1926, before the City had zoning regulations. This hardship of the small lot size is not self-created because the applicant did not create the original subdivision.

- (4) *That granting the requested variance will not be unduly detrimental to other land in the vicinity of the land for which the variance is requested:*

**Staff analysis: This standard is met.**

Granting of the variances would not be detrimental to other land in the area. The properties in the general area of and along Hancock Street vary in size and shape. Other houses on lots that are less than 4,000 square feet in area do not meet the required setbacks for the RS-4 zoning district, as described in this staff report. The construction of the house will comply with the side setbacks, on-site parking, and all other City standards and regulations.

- (5) *That granting the requested variance will not impair an adequate supply of light and air to adjacent properties, unreasonably increase the congestion in public streets, increase the danger of fire or otherwise endanger the public health, safety, comfort, or morals, or substantially impair the intent and purpose of the Zoning Ordinance or of the general plan for the area:*

**Staff analysis: This standard is met.**

Granting of the variances would not impair light or create shadows on adjacent properties, will not affect air, increase congestion, danger of fire or otherwise endanger public health, safety, comfort or impair the general area in any way. The construction of the house will comply with all other setbacks and development requirements.

**Staff Comments:**

A variance may be approved if it meets all five standards, as required by the Zoning Ordinance. Whether the variance is approved or denied, the BZA must make specific findings of fact on each of the variance standards. If in the judgment of the BZA that if any of the above standards have not been met by a preponderance of the evidence, the variance must be denied, and written findings provided stating the evidence for why the standard(s) are not met. If the BZA believes that all of the standards have been met by a preponderance of the evidence, then the variance can be approved, and written findings provided stating the evidence for why the standards are met. For the requested variances, staff recommends approval because the five variance standards appear to have been met.

The applicants will be in attendance to respond to any questions the Board may have.

**Attached Exhibits**

- 1) BZA Application and survey map with proposed house footprint
- 2) Applicant Letter
- 3) Site Photos

City of Murfreesboro  
BOARD OF ZONING APPEALS

HEARING REQUEST  
APPLICATION

Location/Street Address: **203 S. Hancock Street**

Tax Map: **091M** Group: **H** Parcel: **038.00** Zoning District: **RS-4**

Applicant: **Paul & Jessica Seegert** E-Mail: **jessica.seegert@gmail.com**

Address: **702 E. Main St.** Phone: **916.539.0207**

City: **Murfreesboro** State: **TN** Zip: **37130**

Property Owner: **Paul & Jessica Seegert**

Address: **702 E. Main St.** Phone: **916.539.0207**

City: **Murfreesboro** State: **TN** Zip: **37130**

Request: **To construct 1.) 13ft from front property line along Hancock (13 ft. variance)**

**2.) 13ft from back property line (7ft. variance) RS-4**

Zoning District:

Applicant Signature: 

Date: **6/6/2022**

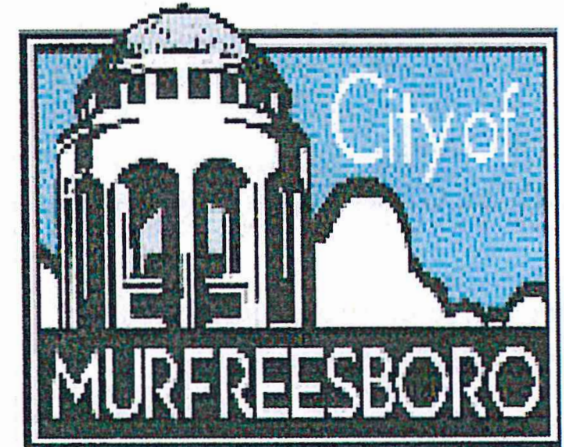
Received By:

Receipt #:

Application #:

Date:

Murfreesboro  
Board of  
Zoning Appeals



T E N N E S S E E

HEARING APPLICATION

AND

GENERAL INFORMATION

## INTRODUCTION:

The Board of Zoning Appeals hears appeals of the requirements of the Zoning and Sign Ordinances, appeals from administrative decisions, and requests for Special Exception uses listed on Chart 1 of the Zoning Ordinance.

## VARIANCES:

Required yard and height variances may be granted in accordance with Section 10 of the Zoning Ordinance in cases where the strict application of the ordinance imposes hardship or practical difficulty on the property owner due to the unusual character of the property, which makes compliance extraordinarily difficult or impossible. *Financial hardships will not be considered.*

Variances of the Sign Ordinance may be granted in cases where the strict application of the ordinance imposes hardship or practical difficulties as a result of unusual characteristics of the applicant's property, which make compliance extraordinarily difficult or impossible. *Financial hardships will not be considered.*

## SPECIAL USE PERMITS:

Special use permits may be granted in accordance with Sections 8 and 9 of the Zoning Ordinance for uses specified in Chart 1 of the Zoning Ordinance.

## APPEALS FROM ADMINISTRATIVE DECISIONS:

The Board of Zoning Appeals has authority to hear appeals from any order, requirement, decision, or determination by any department, office, or bureau responsible for the administration of the Zoning or Sign Ordinances.

## APPLICATION PROCESS:

The owner or other party having contractual interest in the affected property must file an application with the Board's secretary no later than 3:00 PM on the submittal deadline date on the official BZA Calendar.

The applicant must submit the following:

1. A completed application (included on this brochure).
2. A \$350 application fee; or in the case of a special meeting, a \$450 application fee (checks to be made payable to the City of Murfreesboro).
3. Supporting materials which should include:

-- For special use permits, a site plan indicating the location of all existing and proposed structures, parking spaces, access points, fences, driveways, and property lines. Home occupation requests should include a statement of the proposed hours of operation, the volume of traffic anticipated, and the nature of the

business. Day-care centers should include a statement from the Department of Human Services that such center can be licensed by the State.

-- For yard variance requests, a site plan showing all existing and proposed structures, property lines, and the distance between structures and the property lines.

-- For appeals from administrative decisions, a statement indicating the order, requirement, decision, or determination being appealed and a statement setting forth the applicant's argument.

-- Additional information may be required at the discretion of the Board's Secretary.

## MEETING TIME AND PLACE:

The Board of Zoning Appeals meets once a month at 1:00 PM in the Council Chambers located in the City Hall Building at 111 West Vine Street. See BZA Calendar for meeting dates.

## MEMBERSHIP

Davis Young, Chairman	Julie R.P. King
Ken Halliburton, Vice-Chair	Tim Tipps
Misty Foy	

## STAFF

Matthew Blomeley, Asst Planning Director  
Teresa Stevens, Sign Administrator  
David Ives, Assistant City Attorney  
Brenda Davis, Recording Assistant

June 6, 2022

Murfreesboro Board of Zoning Appeals

Planning Department

111 W. Vine St.

Murfreesboro, TN 37130

RE: 203 S. Hancock St.

We are writing to request your approval of a variance at 203 S. Hancock St. the lot is 50-foot width by feet depth for a total of 3,250 sq. ft. We are requesting specifically:

a 13-foot Variance reducing it from the required 26-foot front setback to allow the property to be 13 feet from the property line along Hancock Street.

an 7-foot Variance reducing it from the required 20-foot rear setback to allow the property to be 13 feet from the rear property line.

Regarding the standards, the depth of the lot does not allow for a livable size single family home creating a practical difficulty. The total setbacks for the current RS-4 zoning district would allow for a home measuring 10 feet from front to back. By today's standards this is not considered a suitably sized living space for a family. In addition, the property does not conform to the minimum lot size, the variance request is unique due to the lot size and shape. Also, prior house did not conform to the front and rear setbacks.

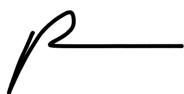
In addition, the property is unusual that it is shallower than all but one lot on the 200 block of South Hancock Street. The average lot depth of south Hancock Street lots on the East side of the street is 110 feet. At 65 feet, it is 59% smaller in depth than the other lots in RS-4 on this side of the block.

As we are not making any changes to the lot lines and have purchased the property with front dimensions of 50 feet and side dimensions of 65 feet this is not a self-created variance request.

We do not believe this variance request to be unduly detrimental to other land in the vicinity and expect that this variance will allow a home to be built that will better the appearance of the neighborhood. The variance approval also will not impair light or air to the neighbors. It will not increase the normal flow of traffic or traffic congestion, increase the fire risk, nor endanger the public health, safety, or welfare.

We appreciate you taking the time to consider of our request and hope that upon review of this package and the lot you will agree to approve the variance.

Sincerely,



Paul Seegert

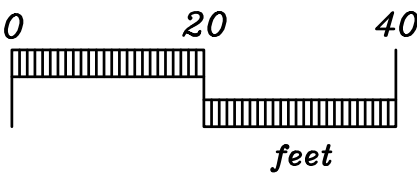
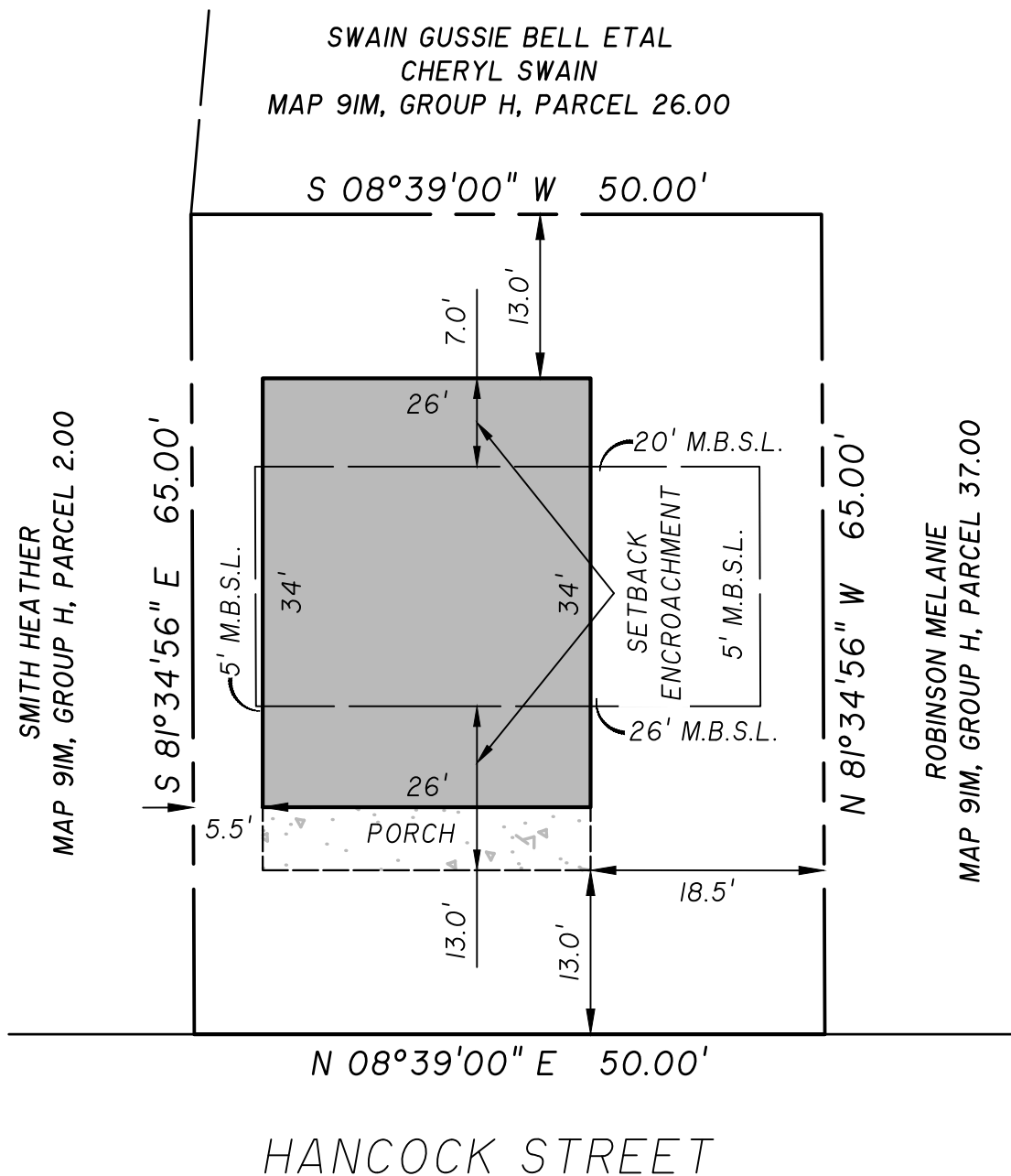


Jessica Seegert

702 E. Main Street  
Murfreesboro, TN 37130

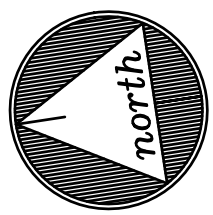


CONTACT: LUCAS A. NEELY  
BORO HOMES, LLC  
PH #: 615-900-0422  
EMAIL: lucas@myborohomes.com



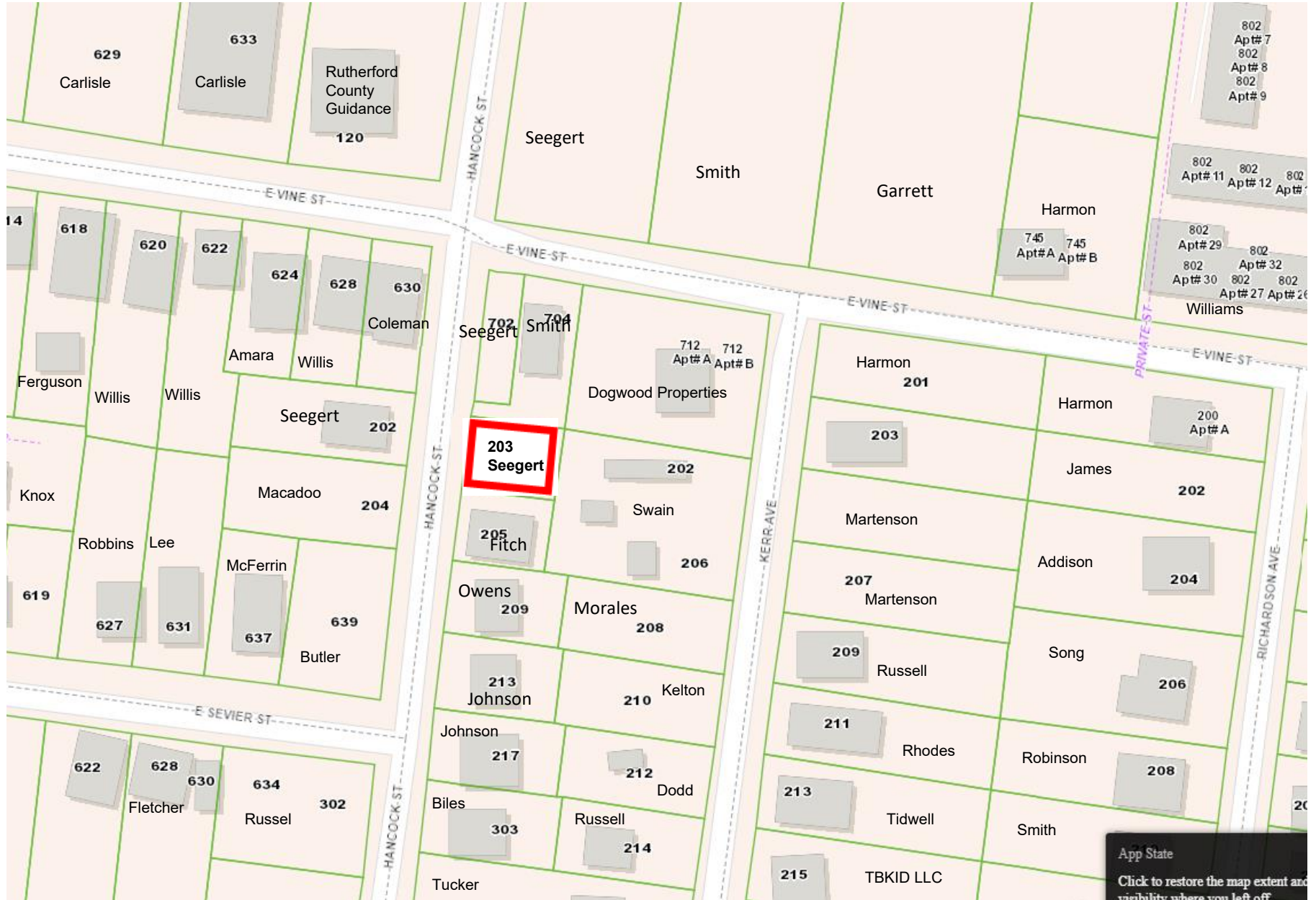
**PLOT PLAN  
BILBRO ADDITION ANNEX  
SUBDIVISION**

LOT PT3  
203 HANCOCK ST  
MAP 91M, GROUP H, PARCEL 38.00  
P.BK. DB68 , PG. 279 R.O.R.C.



DATE: 5/10/2022  
REV: 6/6/2022

S.E.C. # 22262



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# MURFREESBORO BOARD OF ZONING APPEALS

## STAFF REPORT

JUNE 22, 2022

PROJECT PLANNER: JOEL AGUILERA

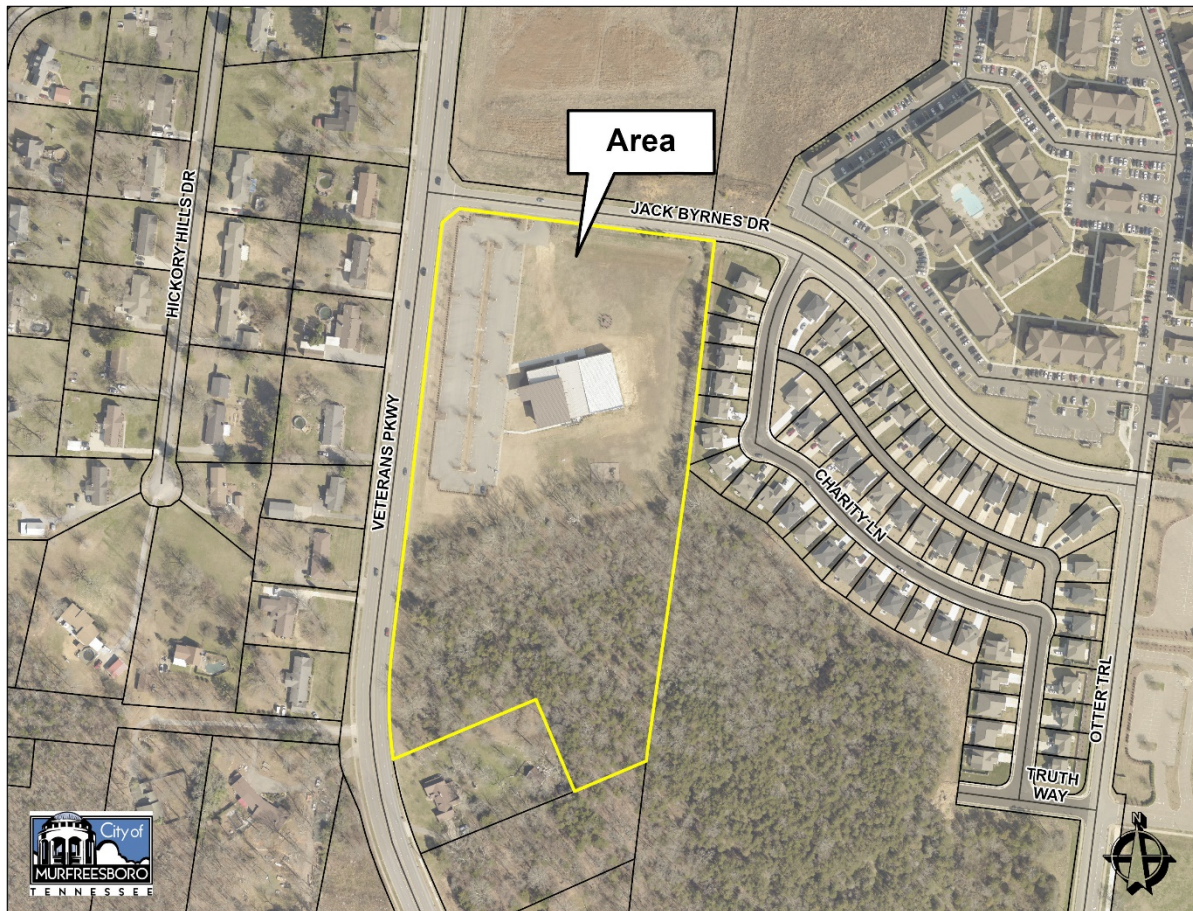
**Application:** Z-22-020

**Location:** 4236 Veterans Parkway

**Applicant:** Fellowship Bible Church, represented by Matt Taylor of SEC.

**Zoning:** RS-15 (Residential Single-Family - 15,000 square feet minimum lot size)

**Request:** Special Use Permit for the expansion of an existing institutional group assembly use to install an 8,190 square-foot temporary modular building for use by a private school grades Kindergarten through 12 in conjunction with the existing church.



## **Overview**

### *Special Use Permit Request*

The applicant, Fellowship Bible Church, represented by Matt Taylor of SEC, is requesting a Special Use Permit (SUP) to place an approximately 8,190 square foot modular building at an existing institutional group assembly use zoned RS-15. The subject property is located at 4236 Veterans Parkway. The surrounding land uses are single-family and multi-family residential to the south and east, and vacant commercial to the north.

The church states they wish to install the temporary modular building and allow a private school, Redeemer Classical Academy, to use it for a two-year period for school operations including classrooms, offices, and administration. The modular building would be installed on the portion of the property directly south of the church building and existing sidewalk, as depicted on the attached site plan. The main entrance to the modular faces Veterans Parkway. It will be placed on the property and the area fronting the entrance will be regraded for ADA accessibility so a ramp will not need to be installed. New landscaping and a covered porch will be installed along the front of the modular to help soften the appearance and screen views from Veterans Parkway. In addition, the school will use the existing parking lot and on-site circulation during school operating hours. The site is required to have 39 parking spaces and has a total of 184 (plus 7 handicap) existing parking spaces, which exceeds the parking requirements per Chart 4 of the Zoning Ordinance. The school will operate during times that would not conflict with the church worship services or other peak times and church events.

Per the letter from the applicant, the SUP is requested to allow the following:

- To install a temporary modular building, 8,190 square feet, at the south side of the church building for up to two years to be removed by July 31, 2024.
- To be used for a private school, grades Kindergarten through 12<sup>th</sup> for 100 persons inclusive of students, teachers, and staff.
- To allow the school to operate school days and hours Monday through Friday, from 7:00 AM (bell time of 8:00 AM) – 5:00 PM (bell time 3:00 PM).
- To install modular skirting around perimeter for screening, new landscaping covered porch on the west façade to help screen views from Veterans Parkway.

### *Additional Background*

Redeemer Academy School was granted approval from the BZA for a SUP (July 2013) to use existing ‘temporary’ modulars at the Bethel Community Church, located at 1503 Sulphur Springs Road to establish the new private school. This SUP allowed the use of the temporary modulars for up two years and to be removed by July 31, 2015. Subsequently in January 2014, Redeemer Academy requested and received approval of a SUP for an

additional five years allowing the modulars to remain until July 31, 2020, in order to allow the school time to find a permanent location.

Redeemer Academy has since acquired a property for their permanent school campus located along Old Salem Road. However, the construction of new school was delayed due to construction costs. Redeemer submitted a new SUP February 2019 requesting an extension of time to expire on July 31<sup>st</sup>, 2022.

The applicant, Fellowship Bible Church, has provided a letter assuming responsibility of the requested modular removal in two years. Redeemer Academy has also provided written confirmation they will be able to relocate to their permanent campus property within two years (July 31, 2024) and will no longer need the temporary modular. In addition, Bethel Community Church has provided written confirmation that they will remove the old modulars from their Sulphur Springs Road property by July 31, 2022 (see attached correspondence).

### **Relevant Zoning Ordinance Section**

Chart 2 of the City of Murfreesboro Zoning Ordinance allows institutional group assembly uses, such as churches and expansions thereto, as a special use in the RS-15 district. City of Murfreesboro Zoning Ordinance Section 9(D)(2)(zz) sets forth standards for institutional group assembly uses in addition to the Standards of General Applicability in Section 9(D). The applicable standards are listed below with information from Staff on how the applicant intends to address them. After reviewing the criteria for the special use requirements for institutional group assembly uses, this project appears to meet the criteria. Staff's analysis is provided for each one and based on this analysis, the standards will be met for the requested Special Use Permit as proposed and with the recommended conditions of approval.

### **Standards of General Applicability with Staff Analysis:**

- (1) The proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare:**

**Staff Analysis:** The proposed modular should have minimal impact on the surrounding area. The existing parking lot will be adequate for the school operations, the modular will be installed to have ADA access and will include restrooms inside. The landscaping and front porch will screen views from Veterans Parkway. The modular will be removed by July 31, 2024. For these reasons, the proposed temporary modular and private school will not impact to the adjacent public rights-of-way or neighboring properties.

- (2) The proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations:**

**Staff Analysis:** Staff has confirmed that the proposed modular and private school use will be compatible with the existing church campus and will not impact the traffic flow and generation on-site or off-site. The location of the modular will maintain safe pedestrian ways for students and staff, landscaping and front porch will screen views from Veterans Parkway, and the modular will be removed by July 31, 2024. The school will operate on days of the week and hours that will not conflict with use of the church for peak times, nor will it generate significant amounts of traffic to the site. For these reasons, the proposed temporary modular and private school will be compatible with neighboring properties and will not interfere with use or development of adjacent property.

- (3) The proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services:**

**Staff Analysis:** The proposed modular will be served adequately by essential public facilities, including restrooms inside the temporary building. No additional street connections or improvements for public facilities have been proposed. Parking, as shown on the site plan, complies with Chart 4 of the Zoning Ordinance. The applicant has provided a brief on-site parking summary during service time and demonstrates that adequate parking is available. There will be no impacts to drainage, fire protection, water and sewer services. The modular will be subject to review and approval of a site plan as well as other permits prior to installation and occupancy.

- (4) The proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be significant natural, scenic, or historic importance:**

**Staff Analysis:** Staff is not aware of any such features on-site that will be impacted by this use.

- (5) The proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use:**

**Staff Analysis:** Additional standards for institutional group assembly uses are listed below.

**Additional Standards for Institutional Group Assembly Uses:**

- a) **Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on site. An onsite off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard;**

**Staff Analysis:** As mentioned previously, no new parking has been proposed with this request due to the site already exceeding the parking requirements per Chart 4 of the Zoning Ordinance. The applicant has confirmed that no new passenger loading or unloading zone has been proposed with this request.

- b) **In all residential districts an institutional group assembly use shall have a lot size not less than three times the minimum lot size permitted in the zoning district where the institutional group assembly use is proposed to be located. In the event the institutional group assembly use is proposed to be located on land that has two or more different zoning classifications, the minimum lot size shall be calculated by applying the larger required minimum lot size;**

**Staff Analysis:** The minimum lot size of the RS-15 zone requires a minimum of 15,000 ft lots thus the minimum size is 45,000 ft or 1.033 acres. The proposed site is approximately 13.96 acres in size which exceeds the required minimum.

- c) **On-site lighting for parking areas, fields for athletics, scoreboards, and grounds shall be arranged in such a manner as to minimize intrusion of lighting into areas zoned or used for residential or medical purposes. To this end, a plan depicting the proposed location of on-site exterior lighting fixtures shall be submitted for review by staff and the BZA. Such plan shall depict the arrangement of the lighting fixtures, their height, their specifications, and the direction in which lighting will be oriented. Additional information may be required by the staff or the BZA in order to verify whether the lighting will be intrusive into areas zoned or used for residential or medical purposes;**

**Staff Analysis:** As mentioned previously, no new on-site permanent lighting has been proposed with this request.

- d) **Applications for an institutional group assembly use shall indicate the proposed locations of garbage dumpsters or receptacles. These shall be located in such a manner as to minimize adverse effects upon neighboring properties and aesthetics from the public right-of-way. The use of dumpsters may be prohibited in the event**

**the BZA determines that such would have a detrimental effect upon the adjacent property;**

**Staff Analysis:** Solid waste disposal will be handled via trash carts located on the northern side of the existing building. This will be reviewed in more detail with the required Site Plan application process.

- e) **Areas for outdoor recreational use or outdoor group activities shall be screened or fenced in such a manner as to provide an effective buffer for adjacent uses. Screening shall be required pursuant to Section 27 of this article or as required by the BZA;**

**Staff Analysis:** No new recreational areas are proposed with this SUP application and the existing tree vegetation will continue to be used as buffers. New landscaping will be installed along the western façade to help screen views from Veterans Parkway.

- f) **The number of required parking spaces provided on-site shall be in accordance with Chart 4 of this article provided, however, if the applicant can present evidence satisfactory to the BZA that a substantial portion of the expected users will arrive at the institutional group assembly use by bus, bicycle, walking, or by carpooling or that off-street parking areas on adjacent or nearby properties will be available on a long term basis, the BZA shall have authority to determine the number of required parking spaces to be provided on-site. The BZA may require that a reserve area be retained on-site for future expansions of the parking area;**

**Staff Analysis:** The total number of parking spaces currently existing on-site is a total of 184 parking spaces (plus 7 handicap). Per the Zoning Ordinance Chart 4, the site is required to have a minimum of 39 parking spaces. Although no new parking is being proposed with this request, the site still exceeds the minimum number required by the City ordinance. The school and church will operate at different times so there would not be any conflicts for parking demand or traffic impacts from the uses.

- g) **An application for a special use permit for an institutional group assembly use shall be accompanied by a description of uses or activities proposed for the facility which may be subject to separate regulation, or which may result in unusual traffic patterns, traffic volumes, or other detrimental impacts upon adjacent properties, including but not necessarily limited to those uses which would require a special permit if not a part of the institutional group assembly use:**

**Staff Analysis:** The proposed use is temporary modular and a private school. The attached correspondence describes the use and assures the removal of the modular in 2 years, July 31, 2024. It is not anticipated that there will be any significant negative impacts resulting from the temporary modular and school use to the church or surrounding area.

- h) The BZA shall have authority to approve an on-site location with water, sewer, and electric utility connections for accommodations for travel trailers or R.V.s (recreational vehicles) for use by visiting or traveling speakers or guests associated with the institutional group assembly use. Provided, however, such location for travel trailers or R.V.s shall not be permitted for use as a permanent residential dwelling unit;**

**Staff Analysis:** No such uses are being requested with this special use permit application.

- i) The BZA shall have the authority to grant variances to the standards imposed by this subsection for temporary or short term uses of property for the institutional group assembly use purposes. In such cases, the BZA may impose conditions of approval to assure the compatibility of the short-term land use with other property in the vicinity of the proposed use;**

**Staff Analysis:** No temporary or short-term uses are being proposed at this time; therefore, the applicant is not requesting any variances associated with any such uses.

- j) The application for a special use permit for an institutional group assembly use shall indicate any intentions for the use of systems for the external broadcast of speech, music, or other sounds. If such are proposed, the applicant shall indicate the times of day and duration of their proposed use. The BZA shall have the authority to place restrictions upon their use in order to minimize excessive noise from intruding upon neighboring properties especially those zoned or used for residential purposes. In no event shall the BZA approve the use of such which would be in violation of the City Code or ordinances regulating noise. BZA approval does not constitute a waiver of any City Code or ordinances regulating noise;**

**Staff Analysis:** The applicant does not intend to have a speaker attached to the modular.

**Staff Comments:**

Staff analysis demonstrates that the requested use meets the standards of general applicability and the standards for establishing a new institutional group assembly use on a property zoned RS-15. Staff recommends approval of the SUP to allow the temporary modular building and the operation of a private school K-12 on the subject property, subject to the following conditions of approval.

**Recommended Conditions of Approval:**

1. The special use permit shall be for placement of a temporary modular building to be used for a private school, Redeemer Academy School, grades K-12.
2. The modular building shall not exceed 8,190 square feet and shall be installed at the south side of the church building consistent with the site plan.
3. The modular building shall be removed no later than July 31, 2024.
4. The maximum number of students allowed to be enrolled at the school is 85. If the school desires to have a greater number of students, then it must apply to the BZA to amend the special use permit. A traffic study will be required at that time.
5. The days and hours of school operations shall be limited to Monday through Friday, from 7:00 AM (bell time of 8:00 AM) – 5:00 PM (bell time 3:00 PM) and shall not conflict with the church services or large events.
6. To screen views, the applicant shall install skirting for the modular building, new landscaping between buildings and in front of the modular, and a covered porch along the west façade.
7. No staging or queuing of school traffic will be allowed on Jack Byrnes Drive.
8. A site plan must be submitted for review and approval, subject to the municipal code and the Murfreesboro Design Guidelines.

**Attached Exhibits**

- A. Site plan and elevations
- B. Correspondence
- C. Application



Notes:

- 1) Engineering Department Point of Contact is Katie Noel, 615-893-6441; KNoel@MurfreesboroTN.gov
- 2) Planning Department Point of Contact is Joel Aguilera, 615-893-6441; JAguilera@MurfreesboroTN.gov

# Fellowship Bible Church

## 4236 Veterans Parkway

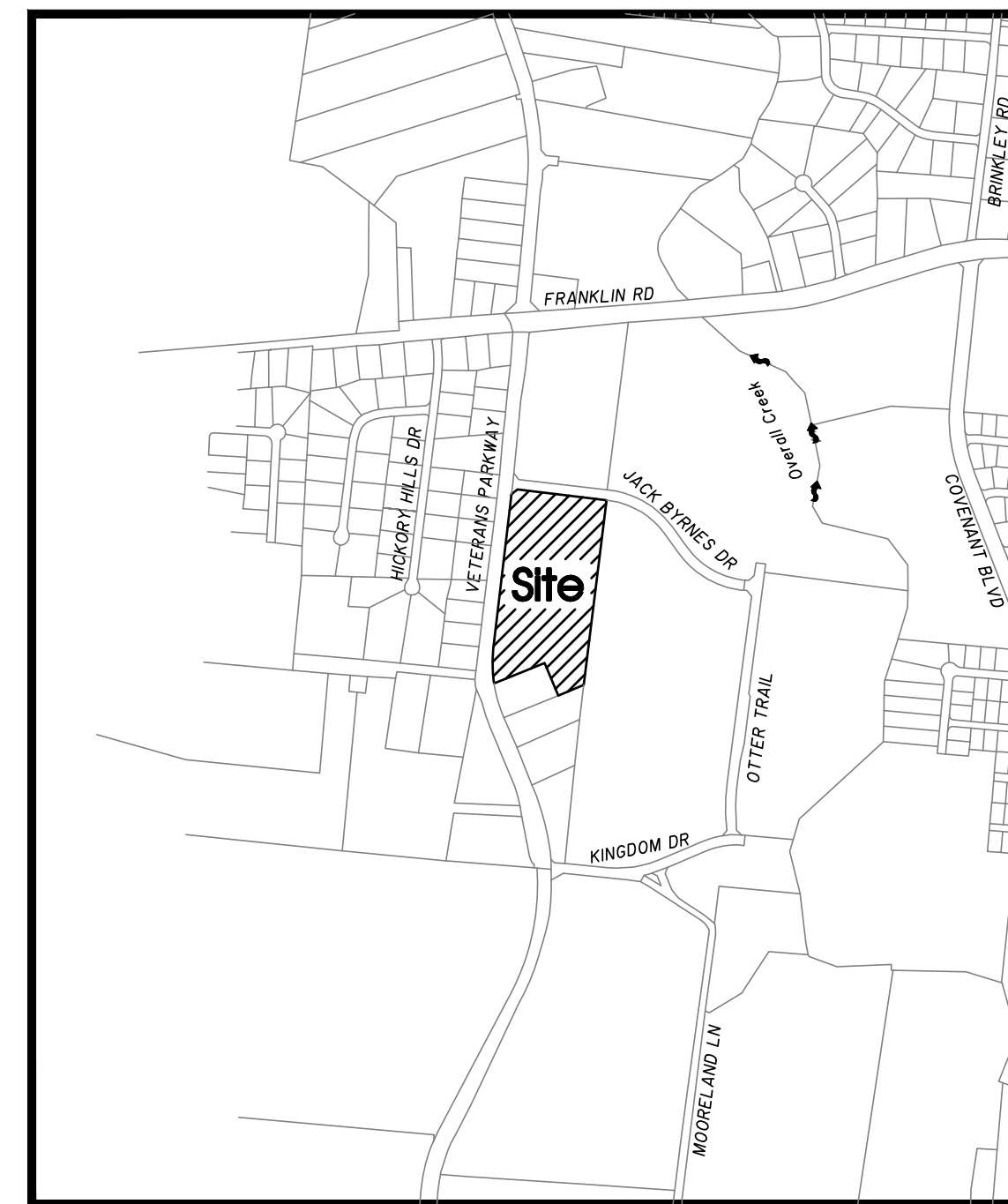
### Murfreesboro, Tennessee

### Special Use Application For

### Temporary Classroom Portables

Drawing Index

Sheet No.	Title
1	Cover Sheet
2	Existing Conditions
3	Location Map
4	Site Plan



Site Location Map  
Not To Scale

**Owner/Developer:**  
Fellowship Bible Church of Rutherford County  
4236 Vetrans Parkway  
Murfreesboro, TN 37128

**Deed Reference:**  
Tax Map 100, Parcel 6.04  
R.Bk. 1089, Pg. 2491  
P.Bk. 38, Pg. 39

**Yard Requirements:**  
Front: 40'  
Side: 12.5'  
Rear: 30'

**Intended Use:**  
Church(Existing)  
Temporary Portables for Classrooms(Proposed)

**Variances:**  
Board of Zoning Appeals Approved One Variance For This Site On June 27, 2012. Case # Z-12-038  
1.)Special Use Permit Granted To Allow Construction Of A Church In RS-15 Zoning.

**Land Use Data:**  
Zoned: RS-15  
1-Story Building  
Existing Building Ht.: 24'-0"  
Proposed Building Ht.: 16'-8"  
Existing Building Floor Area: 20,742 Sq.Ft.  
Proposed Building Floor Area: 8,190 Sq.Ft.  
Total Floor Area: 28,932 Sq.Ft.  
1 Lot on: 13.96± Acres

**Parking Requirement:**  
Church:  $\frac{1 \text{ Space}}{8 \text{ Seats}} \times 300 \text{ Seats} = 38 \text{ Spaces Required}$   
Kindergarten: 1 Space/ 5 Students x 5 Students = 1 Spaces  
Grades 1-12: 1 Space/5 Seats in Auditorium x 0 Seat Gym = 0  
Required Spaces  
Total Required Spaces = 39 Spaces  
Existing Parking: 184 Regular + 7 H.C. = 191 Spaces

**Flood Map No.:**  
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C0255H dated January 5, 2007.

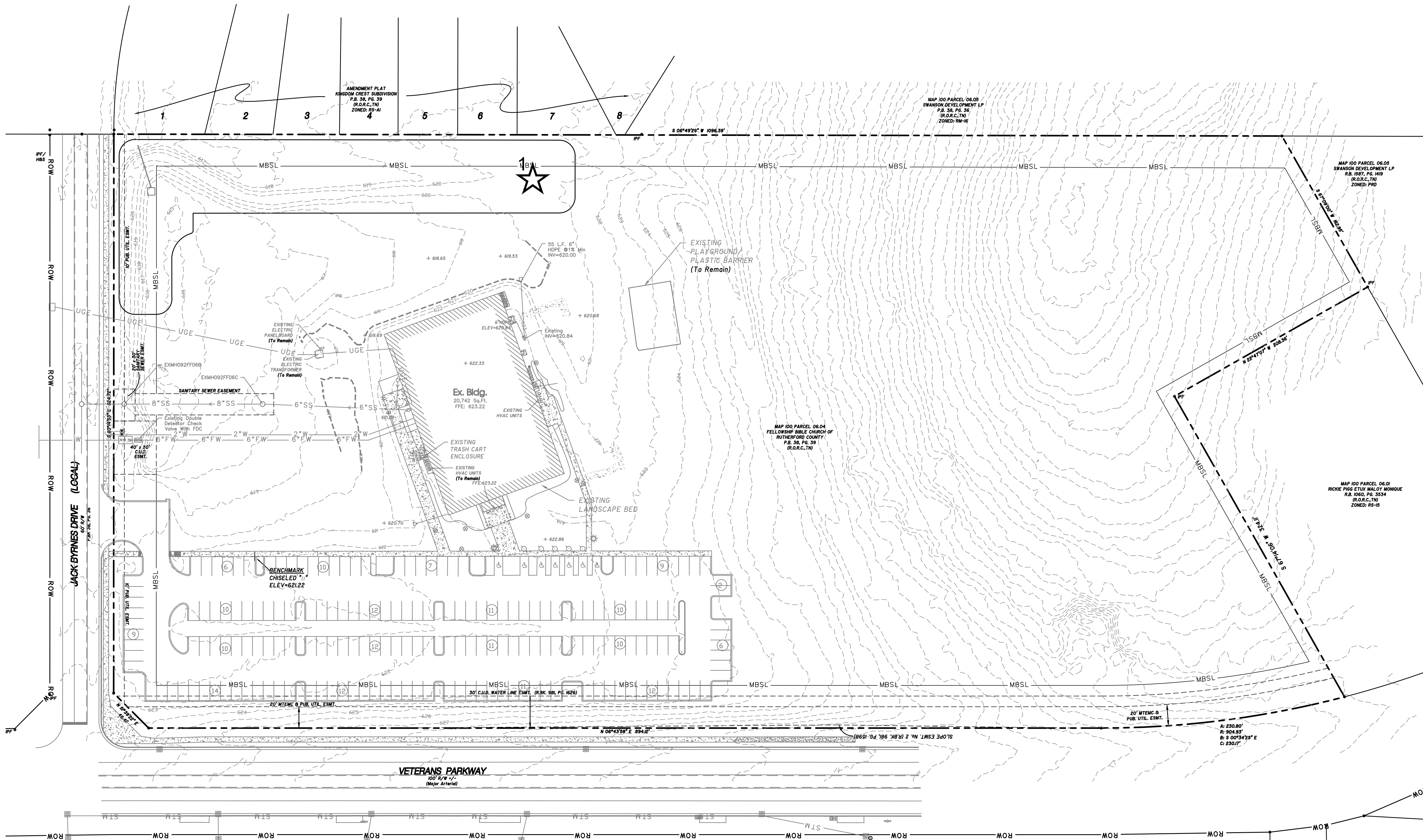
**SEC, Inc.** SITE ENGINEERING CONSULTANTS  
ENGINEERING • SURVEYING • LAND PLANNING  
LANDSCAPE ARCHITECTURE  
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129  
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By: \_\_\_\_\_ Date: \_\_\_\_\_  
Matthew A. Taylor, P.E. TN. Reg. #112515

Watershed: Overall Creek (Fully Supporting)  
Disturbed Area:  $\pm$  Ac.  
Existing Impervious Area: 2.16± Ac.  
Proposed Impervious Area:  $\pm$  Ac.  
Impervious Area:  $\pm$  Ac. ( Sq.Ft.)

Sheet C0.0  
Fellowship Bible Church Portable  
S.E.C. Project #20044  
Submitted: 6-6-2022  
Revised:



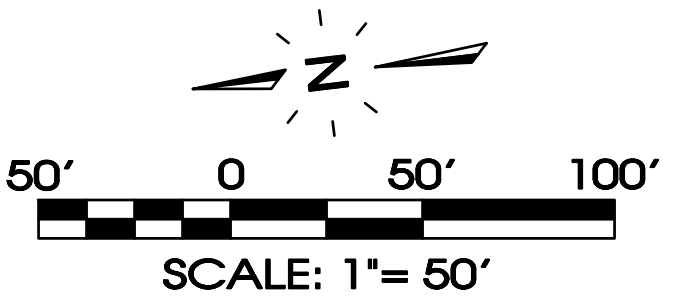
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□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	•	CONCRETE BOLLARD
⊖	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊞	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊞	EXIST. GAS RISER	—	CURB & GUTTER
⊞	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊞	EXIST. WATER METER	↔	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊞	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊞	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊞	BLOW OFF VALVE	⊗	RIP RAP
⊞	REDUCER	↘	RUNOFF FLOW ARROW
⊞	REMOTE FIRE DEPT. CONNECTION	⊞	INLET FILTER PROTECTION
⊞	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊞	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊞	FIRE DEPT. CONNECTION	×	SEWER/STORM FLOW DIRECTION
⊞	FIRE HYDRANT	⊞	CATCH BASIN
⊞	GATE VALVE & BOX	⊞	CURB INLET
⊞	WATER METER	⊞	AREA DRAIN
⊞	GAS METER	⊞	HEADWALL
⊞	GREASE TRAP	⊞	WINGED HEADWALL
⊞	EXTERIOR CLEANOUT	⊞	CONCRETE SWALE
⊞	MANHOLE	⊞	TYPE- X- HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	---
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREELINE	~ ~ ~
EXISTING FENCELINE	- X - X - X - X -
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	-----
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	-601-
PROPOSED CONTOUR LINES	-601-
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W



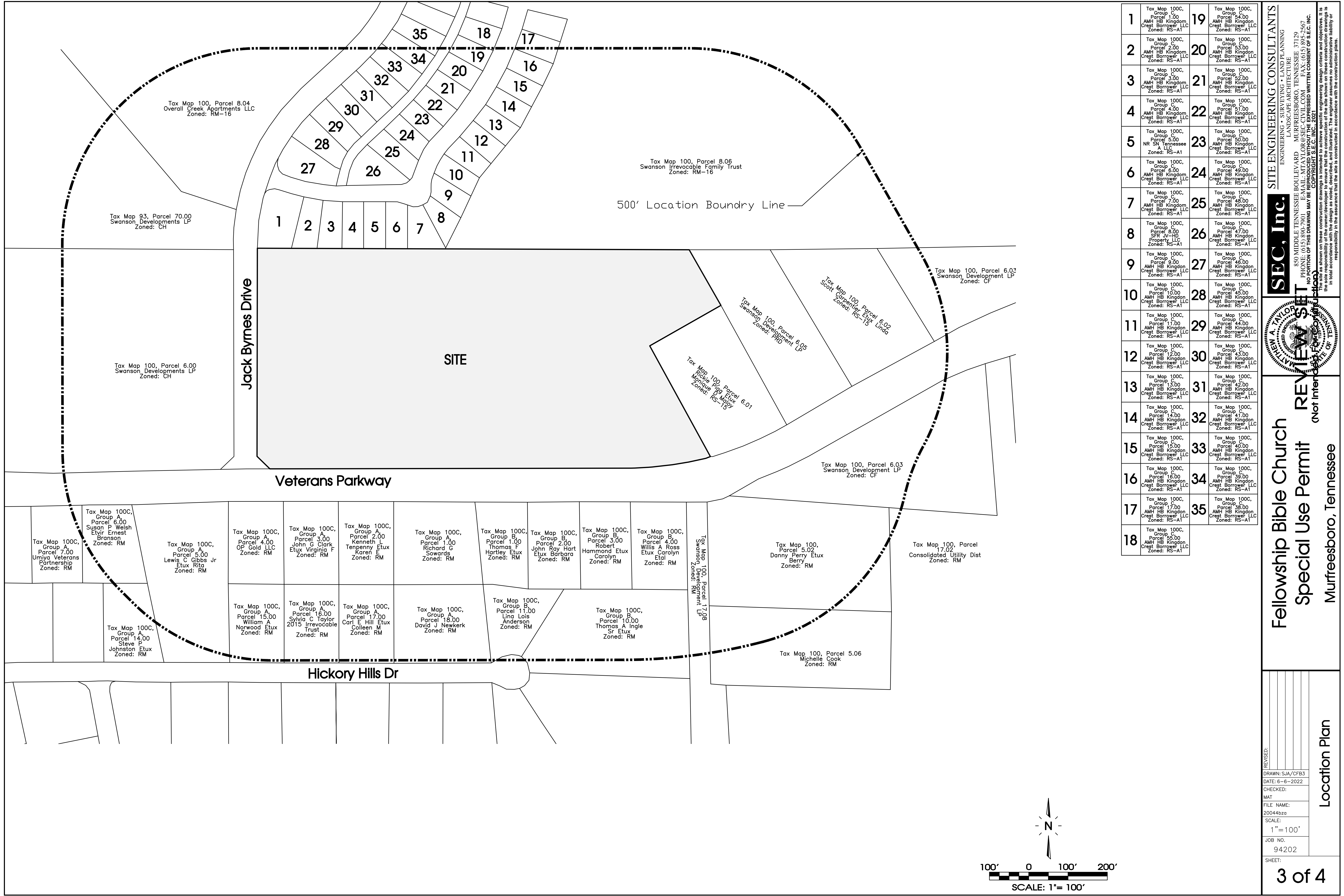
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**Fellowship Bible Church**  
**Special Use Permit**  
Murfreesboro, Tennessee

REVISIONS:  
DRAWN: SJA/CFB3  
DATE: 6-6-2022  
CHECKED:  
MAT  
FILE NAME:  
20044b2a  
SCALE:  
1"=50'  
JOB NO.  
20044  
SHEET:  
**Existing Conditions & Initial EPSC Plan**  
**2 of 4**



1	Tax Map 100C, Group C, Parcel 1.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	19	Tax Map 100C, Group C, Parcel 54.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
2	Tax Map 100C, Group C, Parcel 2.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	20	Tax Map 100C, Group C, Parcel 3.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
3	Tax Map 100C, Group C, Parcel 3.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	21	Tax Map 100C, Group C, Parcel 52.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
4	Tax Map 100C, Group C, Parcel 4.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	22	Tax Map 100C, Group C, Parcel 7.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
5	Tax Map 100C, Group C, Parcel 5.00 NR SA Tennessee A, LLC Zoned: RS-A1	23	Tax Map 100C, Group C, Parcel 50.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
6	Tax Map 100C, Group C, Parcel 6.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	24	Tax Map 100C, Group C, Parcel 49.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
7	Tax Map 100C, Group C, Parcel 7.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	25	Tax Map 100C, Group C, Parcel 48.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
8	Tax Map 100C, Group C, Parcel 8.00 SFR JV-HD Property LLC Zoned: RS-A1	26	Tax Map 100C, Group C, Parcel 47.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
9	Tax Map 100C, Group C, Parcel 9.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	27	Tax Map 100C, Group C, Parcel 46.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
10	Tax Map 100C, Group C, Parcel 10.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	28	Tax Map 100C, Group C, Parcel 45.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
11	Tax Map 100C, Group C, Parcel 11.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	29	Tax Map 100C, Group C, Parcel 44.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
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17	Tax Map 100C, Group C, Parcel 17.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	35	Tax Map 100C, Group C, Parcel 38.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
18	Tax Map 100C, Group C, Parcel 18.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1		

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**REVIEW SET**  
FOR THE  
**Special Use Permit**

**SEC, Inc.**  
ENGINEERING • SURVEYING • LAND PLANNING  
LANDSCAPE ARCHITECTURE

**Fellowship Bible Church**

**Location Plan**

**Murfreesboro, Tennessee**

DATE: 6-6-2022

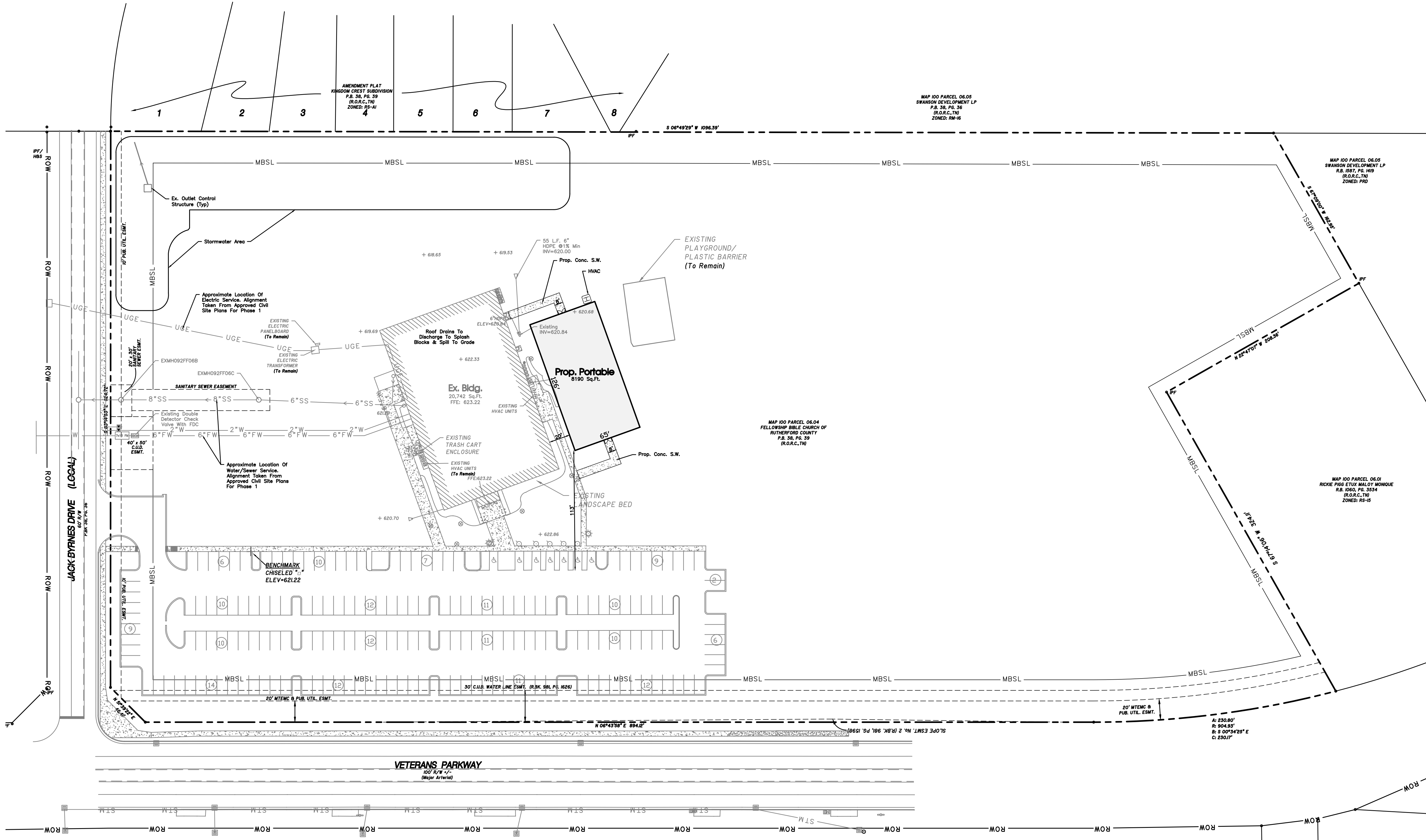
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SCALE: 1" = 100'

JOB NO. 94202

SHEET: 3 of 4



**Legend:**

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
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EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREELINE	~ ~ ~
EXISTING FENCELINE	- X - X - X - X
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	▬▬▬▬▬
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	-601-
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W

Owner/Developer:  
Fellowship Bible Church of Rutherford County  
4256 Veterans Parkway  
Murfreesboro, TN 37128

Deed Reference:  
Tax Map 100, Parcel 6.04  
R.B. 1685, Pg. 2491  
P.B. 38, Pg. 39

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Side: 12.5'  
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Temporary Portables for Classrooms(Proposed)

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**REVIEW SET**  
(Not Intended for Construction)

**Fellowship Bible Church  
Special Use Permit**  
Murfreesboro, Tennessee

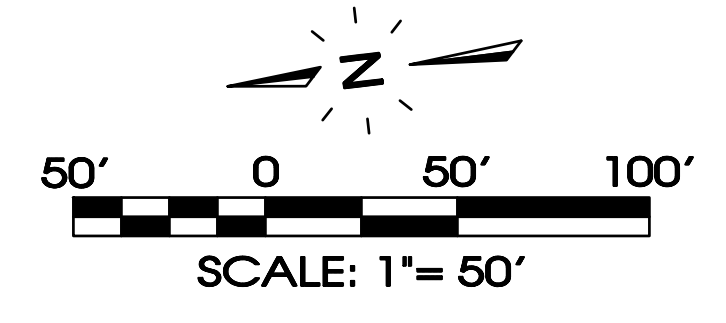
Site Plan

REVISIONS:

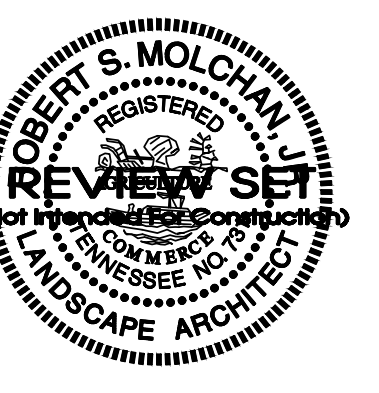
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DATE: 6-6-2022
CHECKED: MAT
FILE NAME: 20044b2a
SCALE: 1"=50'
JOB NO. 20044
SHEET: 4 of 4

**Pavement Hatch Legend**

	- Concrete Pavement
	- Ex. Asphalt Pavement



Know what's below.  
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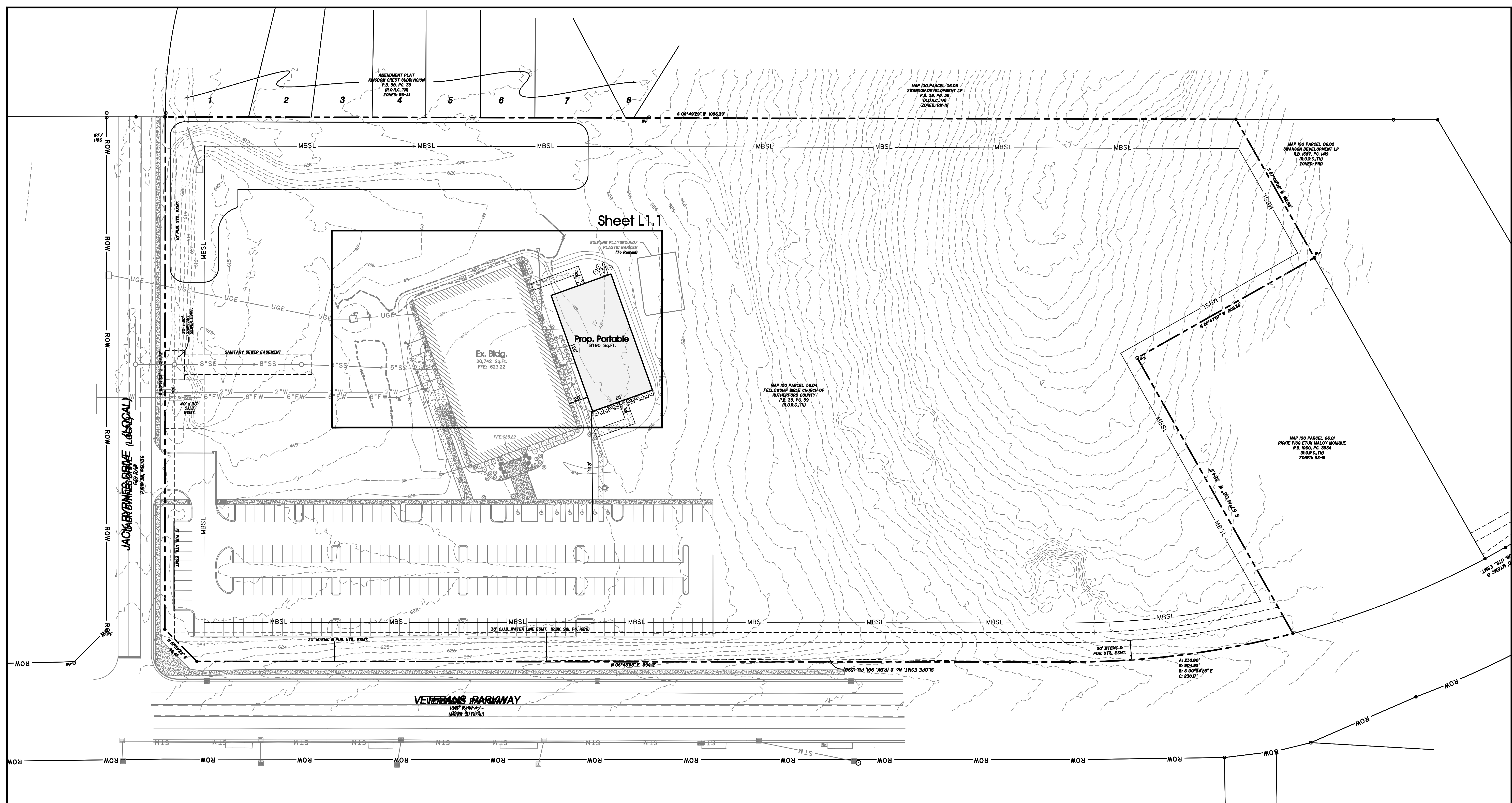


**SEC, Inc.**  
 SITE ENGINEERING CONSULTANTS  
 REGISTERED PROFESSIONAL ENGINEERING  
 LANDSCAPE ARCHITECTURE  
 850 MIDDLE TENNESSEE BOULEVARD  
 MURFREESBORO, TENNESSEE 37129  
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ADDITIONS & RENOVATIONS TO:  
**FELLOWSHIP BIBLE CHURCH PORTABLE**  
 4236 VETERANS PARKWAY  
 MURFREESBORO, TN 37128

PROJECT #: 20-044  
 ISSUE DATE: 06/02/2022  
 DRAWN BY: KMG  
 CHECKED BY: RSM  
 REVISIONS:

SHEET No.  
**L1.0**  
 Landscape Plan



# FELLOWSHIP BIBLE CHURCH

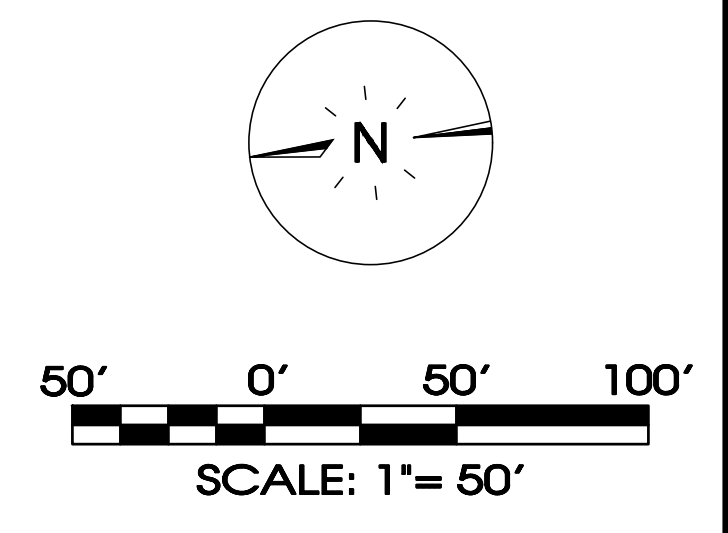
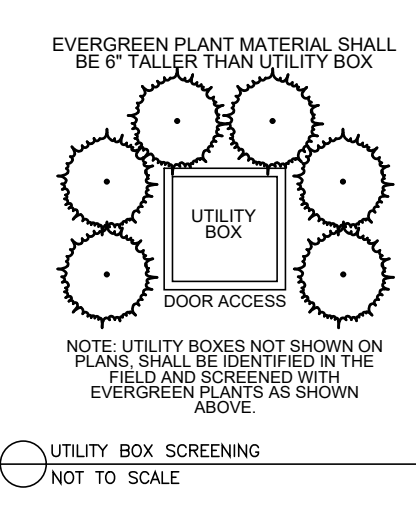
## LANDSCAPE PLAN

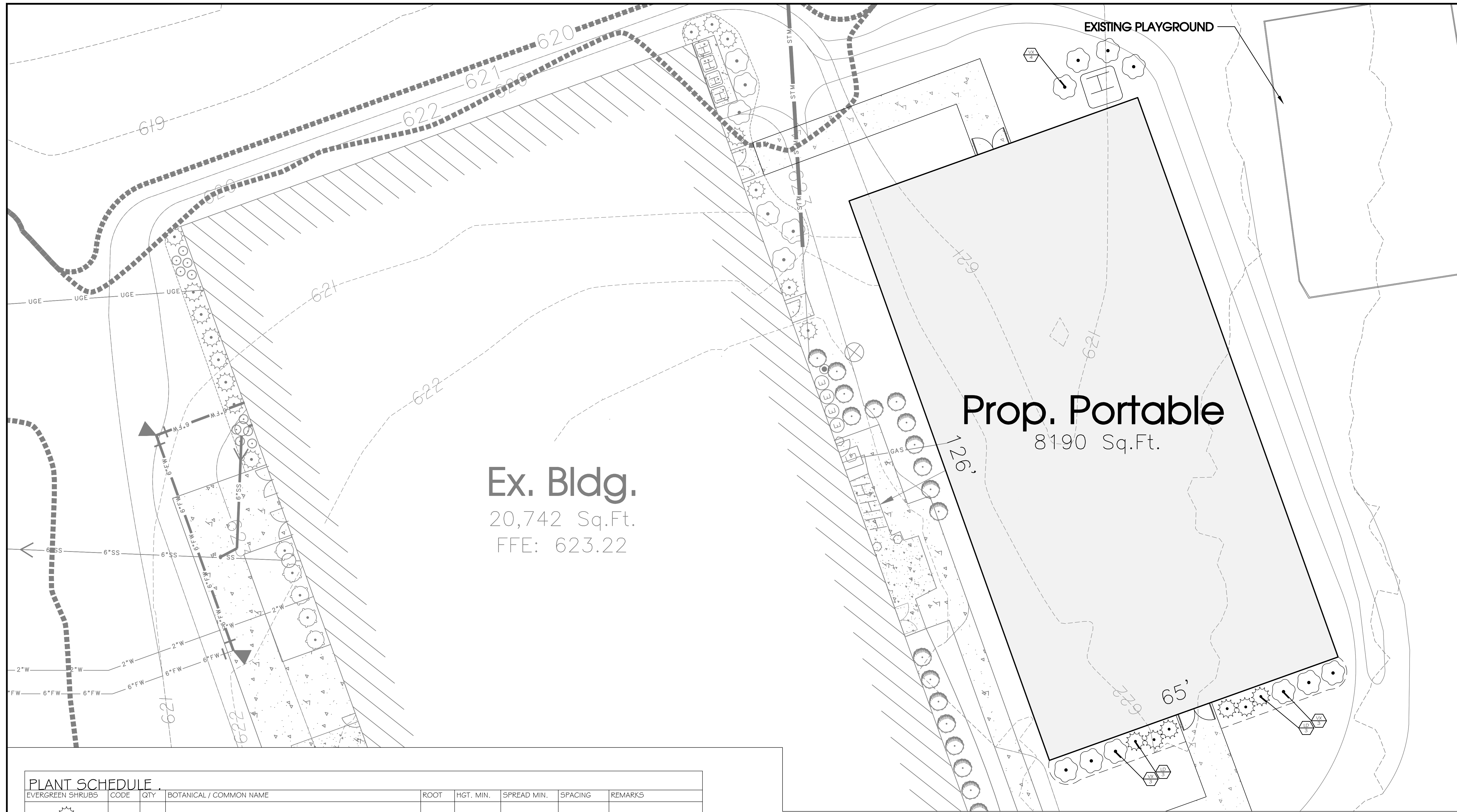
**SITE DATA**  
 SITE AREA: 13.96 ACRES  
 SITE ZONING: RS-15

**OPEN SPACE REQUIREMENTS**  
 20% OF OPEN SPACE (LANDSCAPE AREAS GREATER THAN 200 SF) IS REQUIRED PER PHASE.  
 OPEN SPACE REQUIRED = 2.79 AC  
 OPEN SPACE PROVIDED = 1.76 AC (62.24%)  
 FORMAL OPEN SPACE REQUIRED = 0.42 AC  
 FORMAL OPEN SPACE PROVIDED = 0 AC (0.00%)

- PLAN NOTES:**
- ANY TREES OR SHRUBS THAT ARE DEAD, DYING OR MISSING OUTSIDE THE SCOPE OF THE CURRENT WORK WILL NEED TO BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
  - ALL LANDSCAPE BEDS TO HAVE NEATLY TRENCHED BED EDGE AND HAVE 4" MINIMUM DEPTH OF HARDWOOD MULCH.
  - ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
  - ALL NEW PLANT MATERIAL AND SOD AREAS SHALL BE IRRIGATED.
  - ALL SHRUBS TO BE 3' BACK OF CURB.
  - ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SEED OR SOD.
  - ANY UTILITY STRUCTURE, LIGHT POLES, SIGN, OR OTHER FEATURE MAY NOT BE ADDED TO ANY REQUIRED LANDSCAPE ISLAND IN SUCH A MANNER THAT WOULD DISPLACE THE REQUIRED ELEMENT(S) (TREES, SHRUBS, ETC.)
  - PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING MATERIALS, INCLUDING TURF, AND IRRIGATION MATERIALS BOTH ON SITE, AND INSIDE THE ROW.

- PLANTING SCHEDULE NOTES**
- SHRUBS AND TREES SHALL BE OF THE HIGHEST QUALITY.
  - NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
  - SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
  - REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF MURFREESBORO PLANNING DEPARTMENT 615-893-6441 PRIOR TO INSTALLATION.
  - ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.





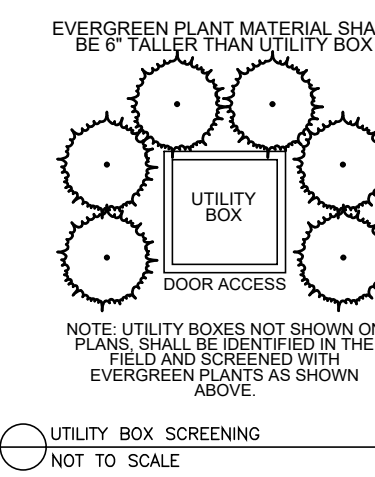
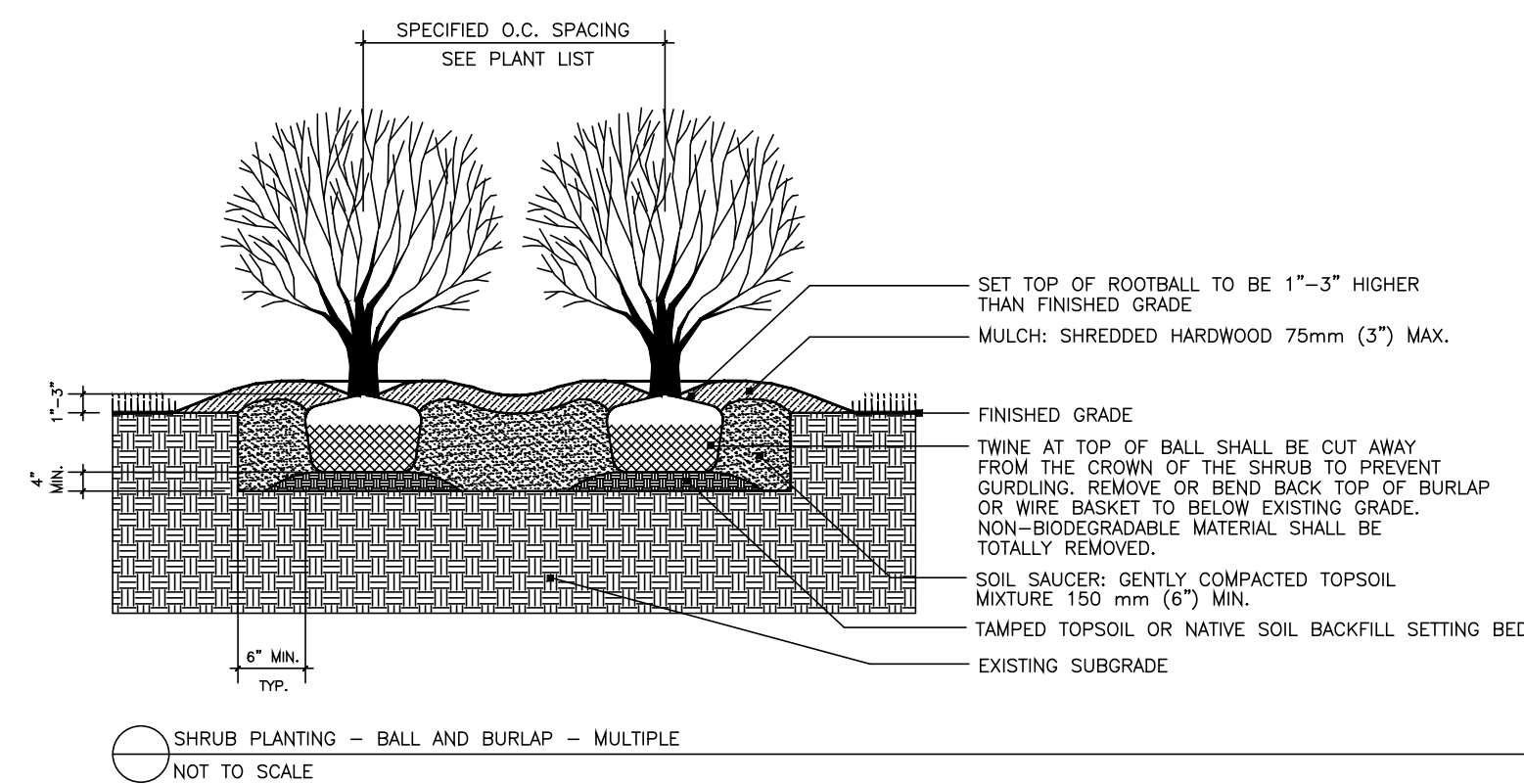
**PLANT SCHEDULE**

EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS
	LD	6	LOROPETALUM CHINENSE 'DARUMA' / DARUMA DWARF LOROPETALUM	CONT.	12'	12'	AS SHOWN	DENSE, FULL, MATCHED
	VX	10	VIBURNUM X 'MARIESII' / MARIESII VIBURNUM	CONT.	12'	12'	AS SHOWN	DENSE, FULL, MATCHED

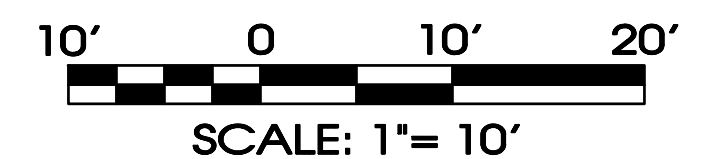
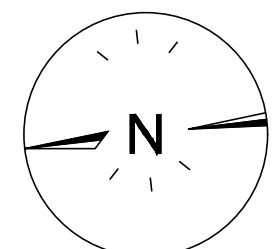
**MATCHED** - TREES OF THE SAME SPECIES SHALL HAVE THE FOLLOWING CHARACTERISTICS:  
 MATCHED BY BRANCH HEIGHT, CALIPER, HEIGHT OF TREE, SPREAD OF BRANCHES AND BRANCHING STRUCTURE, AND OVERALL CANOPY SHAPE

**LANDSCAPE NOTES**

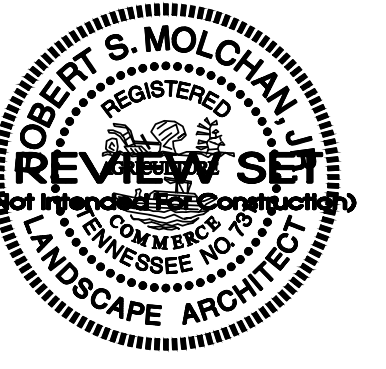
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO THESE UTILITIES.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR AND DAMAGE TO UTILITIES.
- PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
- TREAT ALL LANDSCAPE BEDS WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR WEEDING UNTIL FINAL ACCEPTANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTING AREAS AND LAWNS PER PROJECT SPECIFICATIONS UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
- PROVIDE TREES, SHRUBS, AND PLANTS OF QUALITY, SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". HEIGHT AND WIDTH SHOWN ARE MINIMUM SIZES.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- THE QUANTITIES INDICATED ON THE PLANT SCHEDULE AND PLAN ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATION AND THE LIABILITY WHICH PERTAINS TO THOSE QUOTATIONS. ANY DISCREPANCY SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
- SEED OR SOD ALL AREAS DISTURBED BY CONSTRUCTION AND NOT DESIGNATED AS GROUNDCOVER AREAS.
- SHRUBS AND GROUNDCOVER BEDS TO BE PLANTED IN A TRIANGULAR SPACING. SEE PLANTING SCHEDULE FOR DISTANCES.
- UPON COMPLETION AND FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION, A THREE (3) YEAR LANDSCAPE MAINTENANCE BOND WILL BE REQUIRED. THIS BOND SHOULD BE SUBMITTED IN THE NAME OF THE PROPERTY OWNER OF RECORD OR A LEASE HOLDER WHO HAS TEN (10) YEARS OR MORE REMAINING ON A CURRENT LEASE. THE PROPERTY OWNER/LEASE HOLDER SHOULD ALLOW ADEQUATE TIME TO OBTAIN THE BOND AS THIS PROCESS MAY BE LENGTHY AND MAY DELAY THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.



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SEC#20044



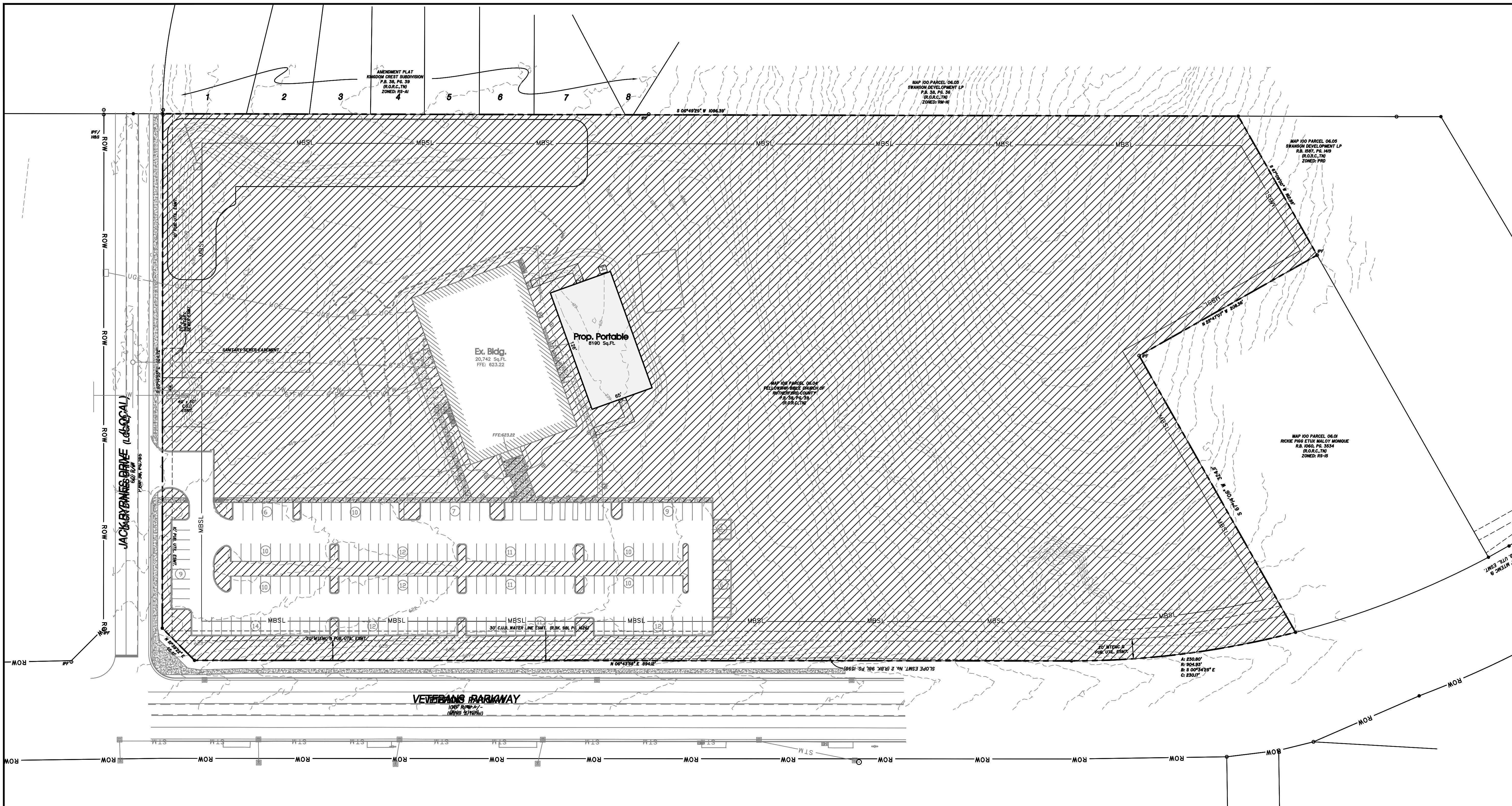
**SEC, Inc.**  
 SITE ENGINEERING CONSULTANTS  
 REGISTERED PROFESSIONAL ENGINEER  
 LANDSCAPE ARCHITECTURE  
 850 MIDDLE TENNESSEE BOULEVARD  
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ADDITIONS & RENOVATIONS TO:  
**FELLOWSHIP BIBLE CHURCH PORTABLE**  
 4236 VETERANS PARKWAY  
 MURFREESBORO, TN 37128

PROJECT #: 20-044  
 ISSUE DATE: 06/02/2022  
 DRAWN BY: KMG  
 CHECKED BY: RSM

REVISIONS:  
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 \_\_\_\_\_

SHEET No.  
**L1.1**  
 Landscape Plan



**SEC, Inc.**  
 SITE ENGINEERING CONSULTANTS  
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 LANDSCAPE ARCHITECTURE  
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 MURFREESBORO, TN 37128

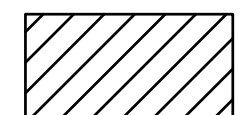
PROJECT #: 20-044  
 ISSUE DATE: 06/02/2022  
 DRAWN BY: KMG  
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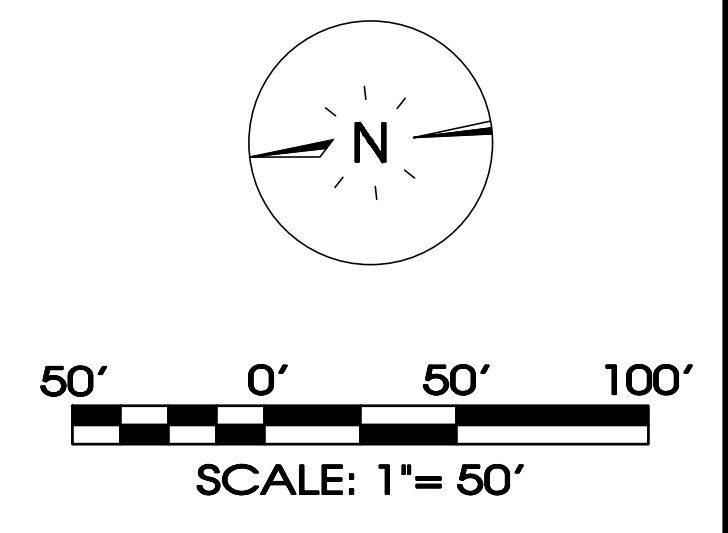
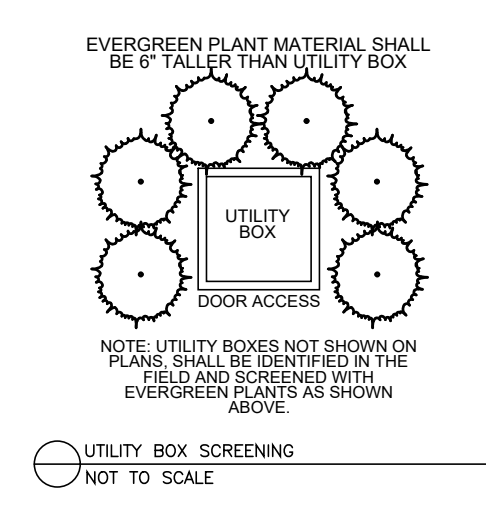
SHEET No.  
**L2.0**  
 Open Space Plan

**Open Space Calculation**

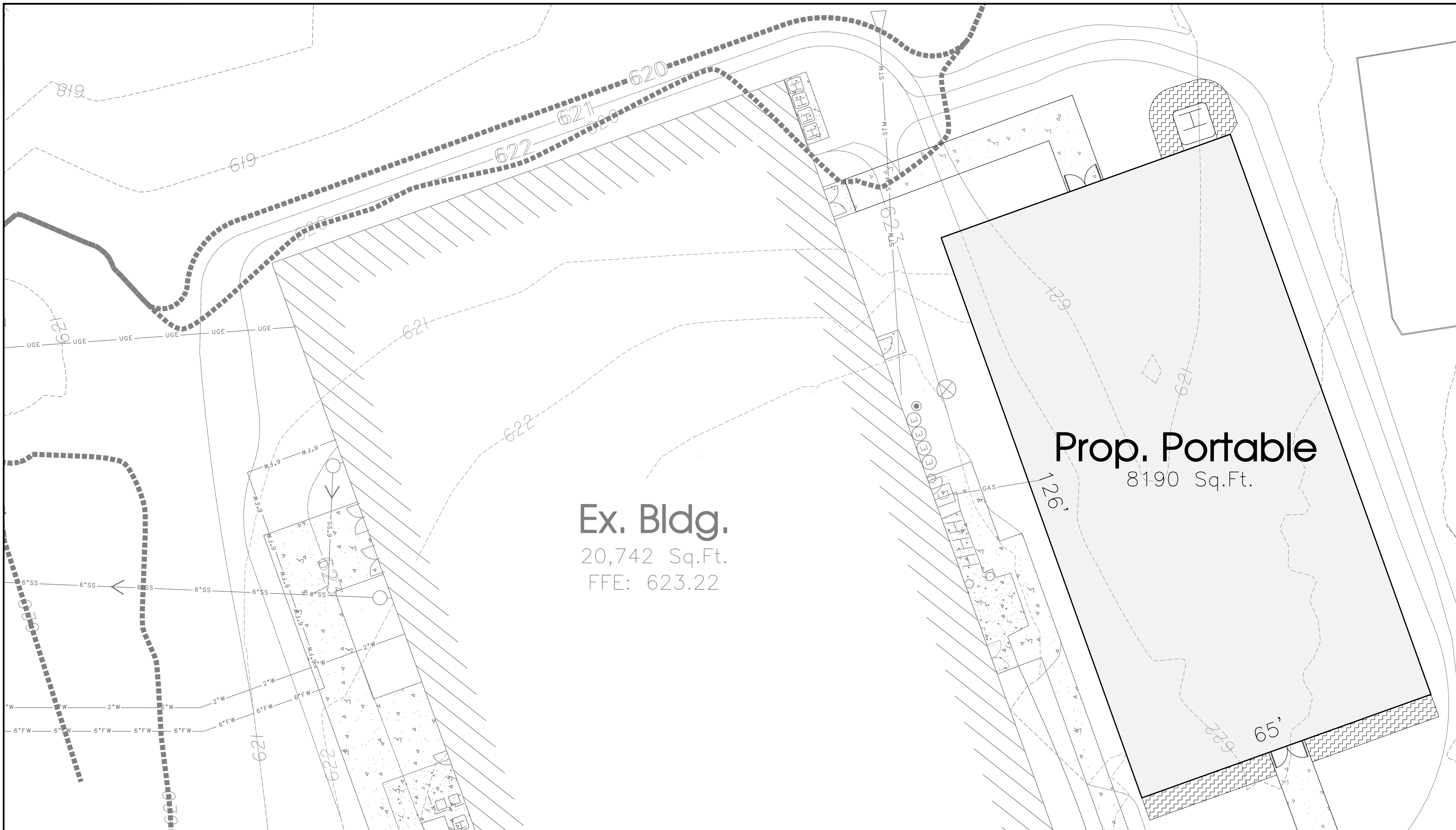
Open Space:  
 Required: (20%)(13.96 Ac.) = 2.79 Acres (121,620 Sq.Ft.)  
 Provided: 512,424 Sq.Ft. or 11.76 Acres (82.24%)

Formal Open Space:  
 Required: (3%) (13.96 Ac.) = 0.42 Acres (18,243 Sq.Ft.)  
 Provided: 0 Sq.Ft. or 0 Acres (0.00%)

 Open Space

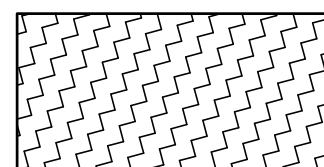


SEC#20044



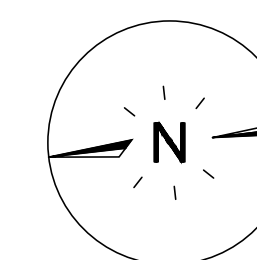
**Ex. Bldg.**  
 20,742 Sq.Ft.  
 FFE: 623.22

**Prop. Portable**  
 8190 Sq.Ft.



**AREAS TO BE IRRIGATED**

**\* PROPOSED AREAS TO BE IRRIGATED SHALL BE IRRIGATED BY TYING INTO AND EXPANDING THE EXISTING IRRIGATION SYSTEM.**



10' 0 10' 20'  
 SCALE: 1" = 10'



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 LANDSCAPE ARCHITECTURE  
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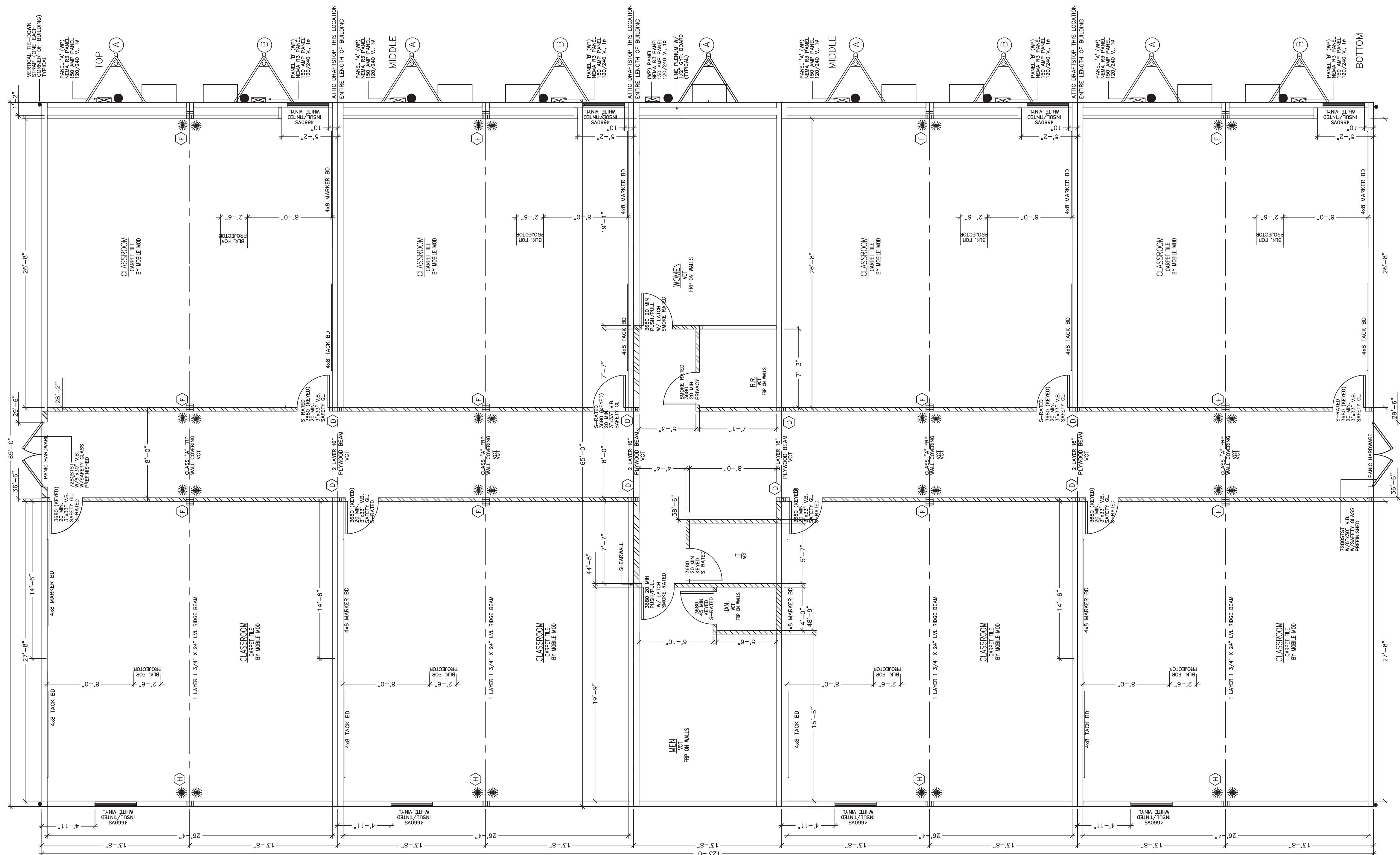
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REVISIONS:  
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SHEET No.  
**L3.0**  
 Irrigation Zones







**COLUMN STRAPPING SCHEDULE:**

(A) (2) 2x4 SYP #2 THIS HALF.	(B) (2) 2x4 SYP #2 EACH HALF.
(C) (3) 2x4 SYP #2 THIS HALF.	(D) (3) 2x4 SYP #2 EACH HALF.
(E) (4) 2x4 SYP #2 THIS HALF.	(F) (4) 2x4 SYP #2 EACH HALF.
(G) (5) 2x4 SYP #2 THIS HALF.	(H) (2) 2x6 SYP #2 EACH HALF.

● WITH RIDGE BEAM BEARING STIFFENER

NOTES:

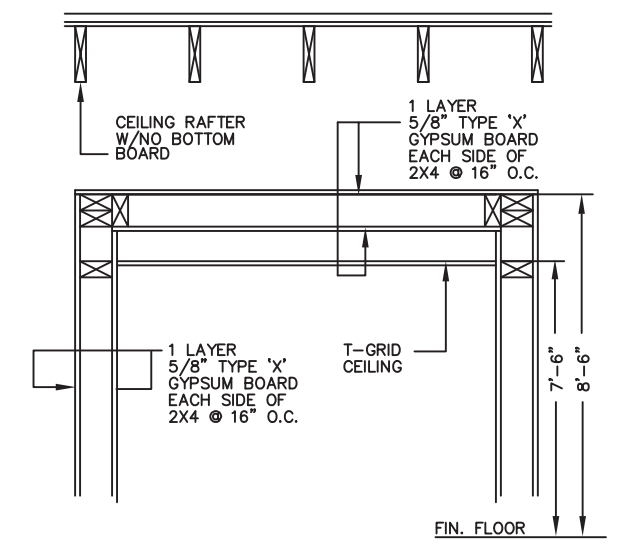
- ALL COLUMN STUDS SHALL BE GLUE/NAILED TOGETHER.
- PVA GLUE WITH 100% COVERAGE SHALL BE USED.
- INSTALL TWO STEEL STRIPS AT EACH STUD OF EACH COLUMN.
- COLUMN STUDS SHALL NOT BE NOTCHED OR BORED.

NOTES:  
MANUFACTURERS DATA PLATE, STATE LABELS AND EMC LABELS ARE TO BE LOCATED ADJACENT TO ELECTRICAL PANEL.

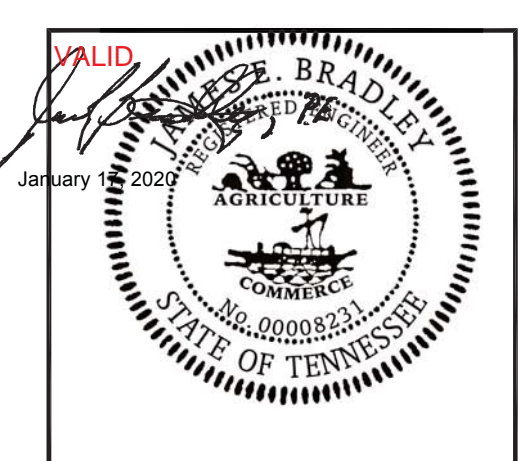
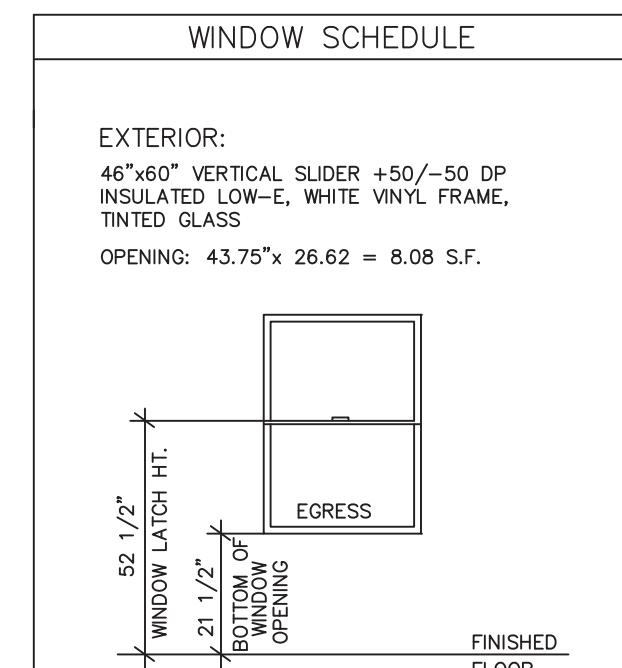
**PENETRATION OF FIRE RESISTANT WALLS AND CEILING:**

- CONCRETE SHALL MEET WITH FIRE RESISTANT PENETRATION SYSTEMS AND PART OF THE FIRE RESISTANT ASSEMBLY OF WALLS SHALL HAVE SPECIFIED PENETRATION SYSTEMS LISTED AND APPROVED AS PER ASTM E-119. ALL PENETRATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS DATA PLATE, STATE LABELS AND EMC LABELS AND SHALL BE LISTED AT LEAST 1 HOUR BUT NOT LESS THAN THE RATING OF THE ASSEMBLY.
- CABLES AND WIRING SHALL BE PROTECTED BY CONCRETE OR PROTECTED BY APPROVED PENETRATION SYSTEMS. ONLY ONE PENETRATION SHALL BE PERMITTED WITH A METALLIC METHOD. THE REQUIREMENT OF ASTM E119 TESTED UNDER A MINIMUM PENETRATION SYSTEM SHALL BE MET. THE PENETRATION SYSTEM SHALL BE LISTED AT LEAST 1 HOUR BUT NOT LESS THAN THE RATING OF THE ASSEMBLY.
- ELECTRICAL BOXES SHALL BE METAL OR LISTED FOR USE IN FIRE RESISTANT ASSEMBLY AND SHALL NOT EXCEED 16 SQUARE INCHES. BOXES TO BE PENETRATED SHALL BE PENETRATED WITH METAL OR LISTED PENETRATION SYSTEMS OF 24 INCHES.
- ALL CEILING PENETRATIONS SHALL BE SURFACE MOUNTED.
- DUCTS PENETRATING FIRE RESISTANT CEILING SHALL HAVE AN ACCESSIBLE LISTED FIRE DAMPER LOCATED AT THE CEILING LINE.
- ALL FIRE RATED DOORS SHALL HAVE LISTED ROOF FRAME AND HARDWARE. NO LEAK SHALL BE THE RESULT SPECIFIED ON THE FLOOR PLAN. IN ADDITION, ALL CEILING DOORS SHALL BE COVERED WITH SELF-CLOSING POSITIVE LATCHING HARDWARE.
- WOOD STUD WALLS: 1 HOUR PER GA FILE NO. WP3320/MP3005 (2x4 AND 2x6) 1 LAYER 5/8" TYPE "X" GYPSUM BOARD EACH SIDE OF WALL.
- DROP CEILING: 1 HOUR PER GA FILE NO. WP3605
- CORRIDOR DAMPERS MUST BE FIRE AND SHOCK DAMPERS IN ACCORDANCE WITH 2018 IBC SECTION 7103.4.1 FOR ALL LOCATIONS THAT ADJOINT THE 2018 IBC.
- ALL PENETRATIONS ON 1 HOUR RATED CORRIDOR WALLS AND CEILING SHALL BE FIRE CALKED WITH METACALX 1000 OR EQUAL.
- ALL WALL TO WALL AND WALL TO CEILING JOINTS IN THE 1 HOUR RATED CORRIDOR WALLS AND CEILING SHALL BE FIRE CALKED WITH METACALX 1000 OR EQUAL.

NOTE:  
FLOORING PANELS IN 20 MIN. RATED DOORS MUST COMPLY WITH THE FOLLOWING REQUIREMENTS:  
A. THE GLAZING MUST BE SAFETY GLAZED.  
B. THE GLAZING MUST BE 20 MINUTE RATED.  
C. THE BOTTOM OF THE GLAZED PANEL MUST BE A MAXIMUM OF 4 INCHES ABOVE FINISHED FLOOR.



ONE HOUR CONSTRUCTION



CONSULTING ENGINEER-SOLE PROPRIETORSHIP JAMES BRADLEY, P.E. - 799 HALLECK CANYON ROAD - WHEATLAND, WY. 82201

**FIRST STRING SPACE**  
892 RAILROAD AVE. EAST  
PEARSON, GEORGIA 31642 (912) 422-6455

DATE: 1-4-20	REVISIONS:
SCALE: 3/16"=1'-0"	SEE NOTES
CODES: TN	STATE OF TN
REFERENCE: 8160-64 & 8172	FSS 126x65 MODPOD (2020) STOCK EDUCATION
FLOOR PLAN	TN PLAN NO: FSS-298

2 OF 6



campus maker  
ModPod

campus maker  
ModPod

campus maker  
ModPod

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campus maker  
ModPod

4906 B

4906 A

4905 B

4905 A

4904 B

4904 A

4903 B

4903 A

## Lease Quotation and Agreement

Quotation Number: 455536

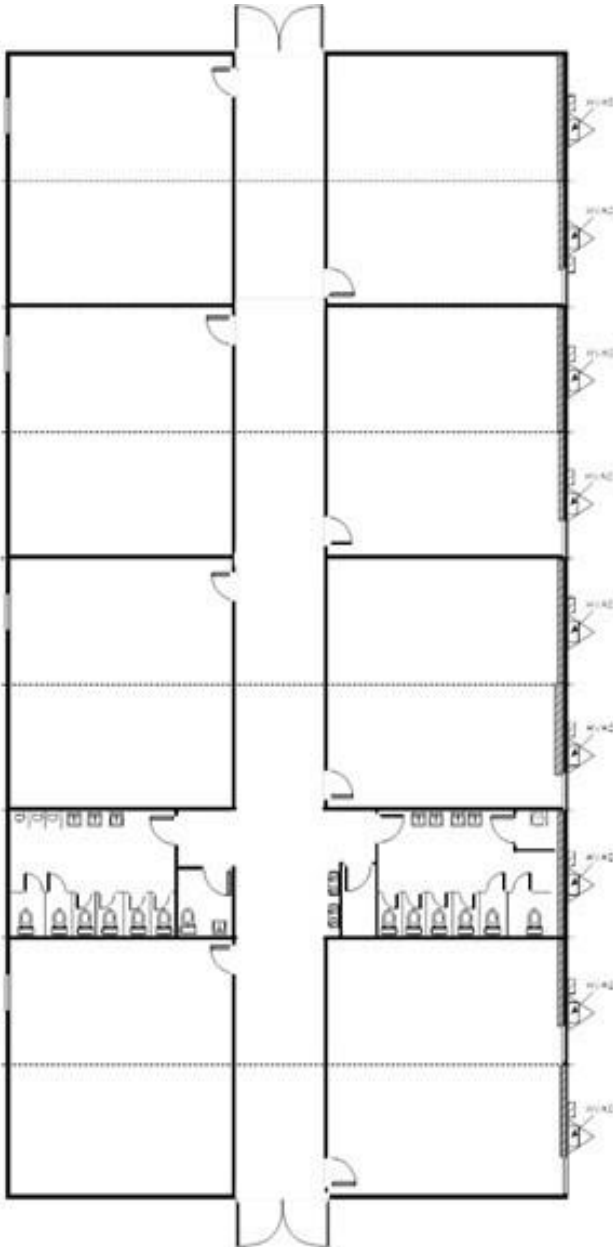
Customer PO/Ref:

Date of Quote: 04/04/2022

Term: 24 Months



Campus Maker ModPod, 126x65 MS(Item 1406)



All drawings and specifications are nominal.

*Thank you for contacting Mobile Modular.*

Mobile Modular is a division of McGrath RentCorp.  
455536, 04-04-2022, 07:43 AM prod

[www.mobilemodular.com](http://www.mobilemodular.com)

Page 4 of 6



June 6, 2022

Revised June 13, 2022

Mr. Joel Aguilera  
City of Murfreesboro  
111 W Vine St  
Murfreesboro, Tennessee 37130

RE: Fellowship Bible Church  
BZA Special Use Permit (Temporary Portable Addition)  
Murfreesboro, Tennessee  
SEC Project No. 10192

Dear Joel:

Pursuant to Section 8 – Procedure for Uses Requiring Special Permits and Section 9 – Standards for Special Permit Uses of the City of Murfreesboro Tennessee 2018 Zoning Ordinance in regards to the existing **Fellowship Bible Church** (on a 14 acre Parcel 6.04 of Tax Map 100 at 4236 Veterans Parkway), please accept the following information as our submittal package for the official Board of Zoning Appeals – Hearing Request Application.

### **Section 8 – Procedure for Uses Requiring Special Permits**

**(A) Name, address, and telephone number of the applicant**

SEC, Inc on behalf of Fellowship Bible Church  
c/o Matt Taylor  
850 Middle TN Blvd  
Murfreesboro, TN 37129

**(B) Nature and extent of applicant's ownership interest in subject property**

Fellowship Bible Church currently owns the property. If the special use permit is granted, the applicants intend to add a portable for school classrooms while the construction of the permanent location for the school is constructed.

**(C) Site plan to be submitted for review by City Staff and the Board of Zoning Appeals**

A concept plan has been submitted with this application for review.

**(D) Address of the site of the proposed special use**

4236 Veterans Parkway  
Murfreesboro, TN 37128

**(E) Vicinity Map showing the property of the proposed special use and all parcels within a five-hundred foot radius**

A vicinity map has been submitted with this application for review.

**(F) Zoning Classification of property of the proposed special use**

The property is currently zoned RS-15 and previously been granted a special use permit for a church and now requests the same to allow for the temporary housing of a private school.

**(G) The property of the proposed special use shall have the following characteristics:**

**1.) Hours and days of operation**

Monday thru Friday from 7:00 AM (bell time of 8:00 am) – 5:00 PM (bell time of 3:00 pm) is the main concentration of activity for the school. Church activities are mainly outside of these hours with services on Sunday at 9:00 and 11:00 AM as well as 4:30-6:30.

**2.) Duration of the proposed special use**

Temporary for a 2 year duration (the portable building will be removed by July 31, 2024)

**3.) Number of expected patrons that will be expected to utilize the property of the proposed special use**

The portable will be large enough to handle up to 100 total people (85 children plus teachers and administration)

**4.) Projected traffic that will be expected to be generated by the proposed special use**

Minimal additional traffic due to the portable is anticipated.

The peak traffic entering the facility is approximately 48 trips per hour in AM peak hour. The peak traffic entering the facility is approximately 10 trips per hour in PM peak hour.

**(H) Potentially harmful characteristics of the proposed special use for the zoning district in which it is proposed and the manner in which the applicant proposes to eliminate or minimize them**

No new permanent lighting, landscaping, or trash enclosures are anticipated with the portable. The only lighting proposed will be attached to the temporary portable as required by codes

**Section 9 – Standards for Special Permit Uses**

**(C) Standards of general applicability. An applicant for a special use permit shall present evidence at the public hearing on such special permit, which evidence must establish:**

**1) that the proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare.**

The proposed temporary portable should not have any substantial or undue adverse effect upon adjacent property or neighborhood. All existing landscaping will remain in place to act as the same buffer which exists today. The temporary portable is located toward the side of the building away from public right-of-ways. The location of the temporary portable still provides adequate parking spaces and vehicular circulation around the site while maintaining safe pedestrian ways

for the students. Water or sewer connections will be required for the temporary portable and will connect to the permanent building's service connections.

**2) that the proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations**

All existing landscaping will remain in place. The temporary portable is located toward the side of the site away from public right-of-ways. The location of the temporary portable still provides adequate parking spaces and vehicular circulation around the site while maintaining safe pedestrian ways for the students. In addition, landscape screening has been proposed between the portable and the right-of-way of Veterans Parkway to provide further screening.

**3) that the proposed building or use will be served adequately by the essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water, and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services**

The subjected property is located at the intersection of Jack Byrnes Drive and Veterans Parkway. Veterans Parkway has previously been constructed as a 5 lane arterial roadway.

All of the parking needs for the buildings are contained on the site itself and will not have any connectivity with the surrounding residential neighborhoods. The provided parking still exceeds the required parking with the portable in place.

The drainage for the site will be directed toward the northeast to the existing pond on-site.

Solid waste disposal will be handled via the existing trash carts.

Fire protection and domestic water feeds are existing and provided by a connection to the existing loop and will remain for the temporary portable.

**4) that the proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance**

No existing trees will be removed due to the portable. The existing pond is located on the northeastern side of the property is projected to remain and continue to operate as it currently does and was designed to handle the entire site development. No other structures or features are known to be of significant importance to remain at this time, however if the BZA identifies any such features the applicant will work to preserve those as well.

**5) that the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use (zz)**



***(zz) Institutional p assembly uses, including recreational fields, public buildings, public or private schools grades K-12, lodges, country clubs, churches, and other places of worship, shall be subject to the following additional standards***

- 1.) Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on site. An onsite off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard.***

As represented on the site plan, no parking has been proposed within the required front yard and no parking is proposed to back onto the public street. No new parking or passenger loading & unloading zone is proposed with the temporary portable.

- 2.) In all residential districts, an institutional use group assembly use shall have a lot size not less than three times the minimum lot size permitted in the zoning district where the institutional group assembly is proposed to be located***

The minimum lot size of the RS-15 zone requires a minimum of 15,000 s.f. lots thus the minimum size is 45,000 s.f. or 1.033 acres. The proposed site is approximately 13.96 acres in size which is 13.5 times larger than the required minimum.

- 3.) Onsite lighting for parking areas, fields for athletics, scoreboards and grounds shall be arranged in such a manner as to minimize intrusion of the lighting into areas zoned or used for residential or medical purposes***

No new permanent lighting is proposed with the portable. The only lighting proposed will be attached to the temporary portable as required by codes

- 4.) Applications for an institutional group assembly use shall indicate the proposed locations of garbage dumpsters or receptacles. These facilities shall be located in such a manner as to minimize the adverse effects upon neighboring properties and aesthetics from the public right-of-way.***

Solid waste disposal will be handled via trash carts located on the northern side of the existing building. The carts are sited on a concrete pad and enclosed with a masonry enclosure and screened with landscaping. The location and the screening features aid in minimizing any effects on neighboring properties or the public right-of-ways.

- 5.) Areas for outdoor recreational use or outdoor group activities shall be screened or fenced in such a manner as to provide an effective buffer for adjacent uses***

The existing recreational areas are proposed to be used on a limited basis and the existing vegetation along property lines will remain to be used as buffers.

- 6.) The number of required parking spaces provided onsite shall be in accordance with Chart 4 of this article***

The total parking spaces is shown as 183 non-handicap spaces which exceeds the ordinance requirements by 144 spaces. No school van or bus are planned for this location.

- 7.) ***An application for a special use permit for an institutional group assembly shall be accompanied by a description of uses or activities proposed for the facility which may be subject to separate regulation or which may result in unusual traffic patterns, traffic volumes, or other detrimental impacts upon adjacent properties, including but not necessarily limited to those uses which would require a special permit if not a part of the institutional group assembly use;***

No change in church activities is associated with the use of the temporary portable. The temporary portable will be utilized for a K-12 school with approximately 85 children. Due to the small scale of the project, the traffic volumes will be low and therefore not have detrimental impacts on the area.

- 8.) ***The BZA shall have the authority to approve an onsite location with water, sewer, and electric utility connections for accommodations for travel trailers or recreational vehicles (RV's)***

No such uses are being requested at this time.

- 9.) ***The BZA shall have the authority to grant variances to the standards imposed by this subsection for temporary or short term uses of the property for the institutional group assembly use purposes***

No temporary or short term uses beyond the use of the temporary portable are proposed at this time, therefore the applicant is not requesting any variances associated with such uses.

- 10.) ***The application for special use permit for an institutional group assembly use shall indicate an intentions for the use of systems for external broadcast of speech, music, or other sounds***

The applicant does not intend to have a speaker attached to the building.

Your thorough consideration of the requested special use permit is much appreciated. Please contact me if any additional information is required. I can be contacted at 615-890-7901 or via email at [mtaylor@sec-civil.com](mailto:mtaylor@sec-civil.com).

Sincerely,



Matt Taylor, P.E.  
Vice President  
SEC, Inc.



**BETHEL**

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REACHING A CITY  
TO TOUCH THE WORLD

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NASHVILLE LATINO  
NASHVILLE BURMESE  
PHOENIX

City of Murfreesboro Planning Department

To Whom It May Concern:

Redeemer Classical Academy's lease of modulars from Bethel Community Church (1503 Sulphur Springs Rd.) will expire on June 30, 2022 at which time Bethel Community Church takes responsibility for use of and removal of modulars by July 31, 2022.

Regards,

Brock Lillis

City of Murfreesboro  
**BOARD OF ZONING APPEALS**

**HEARING REQUEST  
 APPLICATION**

Location/Street Address: 4236 Veterans Parkway

Tax Map: 100      Group:      Parcel: 6.04      Zoning District: RS-15

Applicant: Fellowship Bible Church of Rutherford County      E-Mail: [MONTYW@FBCRC.ORG](mailto:MONTYW@FBCRC.ORG)

Address: 4236 Veterans Pkwy      Phone: 615-893-6652

City: Murfreesboro      State: TN      Zip: 37128

Property Owner: same as applicant

Address:      Phone:

City: Murfreesboro      State: TN      Zip:

Request: To allow for temporary modular building

Zoning District: RS-15

Applicant Signature:       Date: 6/6/2002

Received By:

Receipt No.:

Application #:

Date:

**Murfreesboro  
 Board of  
 Zoning Appeals**



**T E N N E S S E E**

**HEARING APPLICATION**

**AND**

**GENERAL INFORMATION**