

**CITY OF MURFREESBORO
BOARD OF ZONING APPEALS**

Regular Meeting, September 28, 2022, at 1:00 p.m.
City Hall, 111 West Vine Street, Council Chambers, 1st Floor

A G E N D A

1. Call to order
2. Determination of a quorum
3. New Business:

Special Use Permit Request

- a. **Application Z-22-022 by The Church of Jesus Christ of Latter-Day Saints, represented by Matt Taylor of SEC, Inc.,** is requesting a special use permit to expand the parking lot and construct a trash enclosure at an existing institutional group assembly use (a church) located at 902 East Clark Boulevard, zoned RS-15 (Single-Family Residential District) and RD (Duplex Residential District). (Project Planner: Joel Aguilera)
4. Staff Reports and Other Business
 - a. Approval of 2023 BZA Calendar
 5. Adjourn

MURFREESBORO BOARD OF ZONING APPEALS

STAFF REPORT

SEPTEMBER 28, 2022

PROJECT PLANNER: JOEL AGUILERA

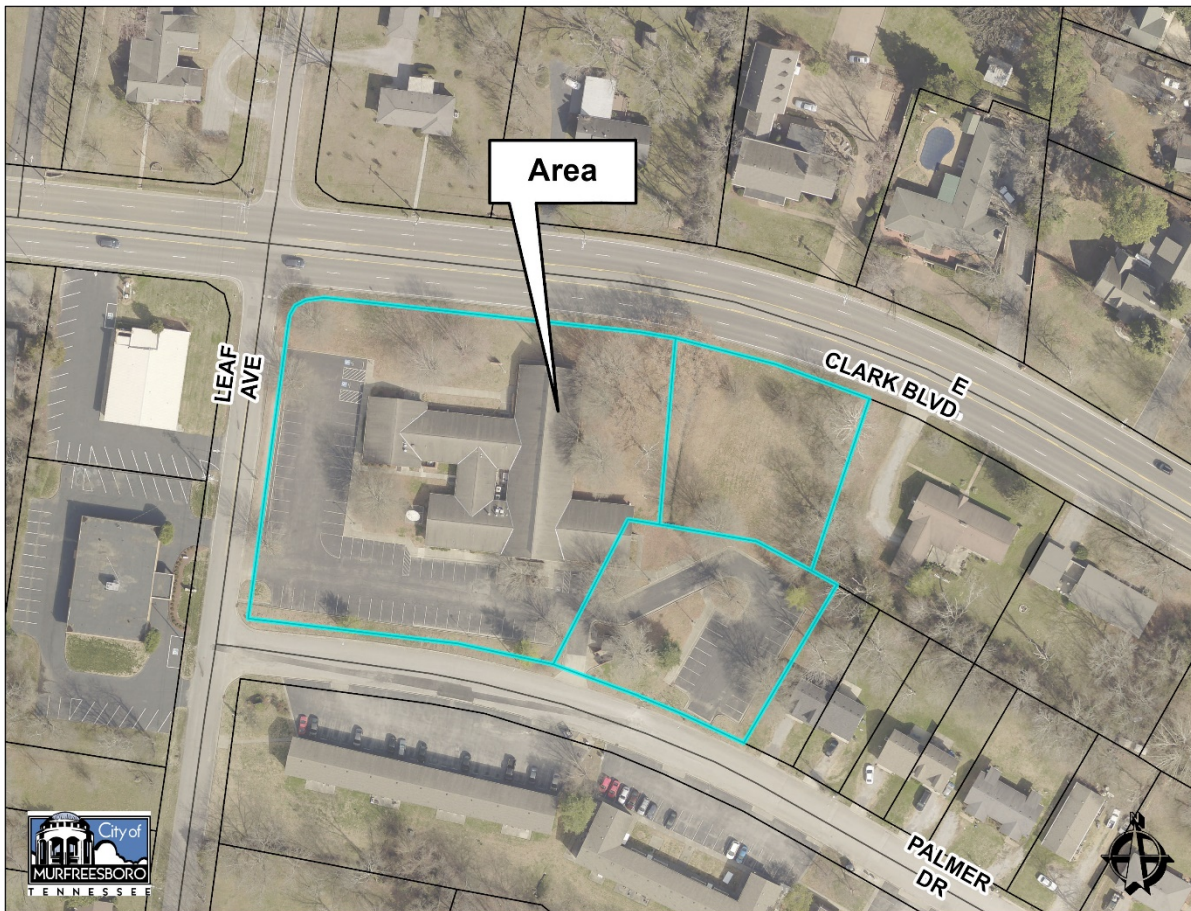
Application: Z-22-022

Location: 902 East Clark Blvd

Applicant: Church of Jesus Christ of Latter-Day Saints, represented by Matt Taylor of SEC, Inc.

Zoning: RS-15 (Residential Single-Family - 15,000 square feet minimum lot size)

Requests: A Special Use Permit for an expansion of the parking lot and construction of a trash enclosure at an existing institutional group assembly use.



Overview

Special Use Permit Request

The applicant, Church of Jesus Christ of Latter-Day Saints, represented by Matt Taylor of SEC, Inc., is requesting a Special Use Permit (SUP) to expand the existing institutional group assembly use (i.e., church) to construct an additional parking area and new trash enclosure. The property is located at 902 East Clark Blvd and is surrounded by property zoned single-family to the north, residential duplex, and residential multi-family to east and south of the property, with office uses to the west of the property.

Per the site plan and as described in the applicant's letter, the parking lot addition will provide 30 additional spaces and move the dumpster location to the parking lot addition, shielded away from public rights-of-way. The total number of existing parking spaces on-site is an estimated 86 spaces, plus 5 existing handicap spaces; the development is only required to have 26 spaces. With the 30 proposed parking spaces, the new total will be 116 parking spaces, which significantly exceeds the minimum number of parking spaces required by the Zoning Ordinance, Chart 4 (1 space per 8 seats in the largest gathering area).

Currently the Church property is comprised of three parcels of land. The owner has applied for a final plat to consolidate the three parcels into one lot of record. If the requested SUP is approved, the parking lot expansion and trash enclosure are subject to approval of a Site Plan consistent with the municipal code and the Murfreesboro Design Guidelines.

Relevant Zoning Ordinance Section

Chart 2 of the City of Murfreesboro Zoning Ordinance allows institutional group assembly uses, such as churches and expansions thereto, as a special use in the RS-15 district. City of Murfreesboro Zoning Ordinance Section 9(D)(2)(zz) sets forth standards for institutional group assembly uses in addition to the Standards of General Applicability in Section 9(D).

The applicable standards are listed below with information from Staff on how the applicant intends to address them. After reviewing the criteria for the special use requirements for institutional group assembly uses, this project appears to meet the criteria.

Standards of General Applicability with Staff Analysis:

(1) The proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare:

- The proposed parking lot expansion and trash enclosure will have minimal impact on the surrounding area. Lighting will not extend beyond the property line and the proposed parking lot will be contained on-site and not encroach into the front yard setback. Parking shall be managed on-site, so that there shall be no negative impact to the adjacent public rights-of-way or neighboring properties.

(2) The proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations:

- The parking lot and trash enclosure are internal to the site and should have minimal impact on the surrounding area. Lighting will not extend beyond 0.5 beyond the property line as and staff has confirmed the parking layout will be contained on-site. The parking layout will not negatively impact the traffic flow on-site or off-site.
- (3) The proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services:**
- The proposed parking lot will be served adequately by essential public facilities. No additional street connections have been proposed. Solid waste will be handled via the new dumpster enclosure, at the new location, and will be screened with landscaping from public rights-of-way. Parking, as shown on the site plan, complies with Chart 4 of the Zoning Ordinance.
- (4) The proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be significant natural, scenic, or historic importance:**
- Staff is not aware of any such features on-site that will be impacted by this use.
- (5) The proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use:**
- Additional standards for institutional group assembly uses are listed below.

Additional Standards for Institutional Group Assembly Uses with Staff Analysis:

- 1.) Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on site. An onsite off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard;**
 - As mentioned previously, parking shall be managed on-site, and the parking lot addition has been arranged so that there shall be no negative impact to the public rights-of-way or neighboring properties. The applicant has confirmed that the extent of the parking lot will be contained on-site and will not encroach into the required front yard setback.
- 2.) In all residential districts an institutional group assembly use shall have a lot size not less than three times the minimum lot size permitted in the zoning district where the institutional group assembly use is proposed to be located. In the event the institutional group assembly use is proposed to be located on land that has two or more different zoning classifications, the minimum lot size shall be calculated by applying the larger required minimum lot size;**
 - The minimum lot size of the RS-15 zone requires a minimum of 15,000 ft lots thus the minimum size is 45,000 ft or 1.033 acres. The proposed site is approximately 2.86 acres in size which exceeds the required minimum.

- 3.) On-site lighting for parking areas, fields for athletics, scoreboards, and grounds shall be arranged in such a manner as to minimize intrusion of lighting into areas zoned or used for residential or medical purposes. To this end, a plan depicting the proposed location of on-site exterior lighting fixtures shall be submitted for review by staff and the BZA. Such plan shall depict the arrangement of the lighting fixtures, their height, their specifications, and the direction in which lighting will be oriented. Additional information may be required by the staff or the BZA in order to verify whether the lighting will be intrusive into areas zoned or used for residential or medical purposes;**

 - The photometric plan shows that the proposed lighting will not exceed 0.5 beyond the property line. All lighting fixtures have been restricted to the 20-foot mounting height and will not impact the neighboring properties.
- 4.) Applications for an institutional group assembly use shall indicate the proposed locations of garbage dumpsters or receptacles. These shall be located in such a manner as to minimize adverse effects upon neighboring properties and aesthetics from the public right-of-way. The use of dumpsters may be prohibited in the event the BZA determines that such would have a detrimental effect upon the adjacent property;**

 - Solid waste disposal will be handled via the new dumpster location on the eastern portion of the property. The dumpster will be situated on a concrete pad and enclosed within a masonry enclosure and screened with landscaping to provide a buffer from any public rights-of-way.
- 5.) Areas for outdoor recreational use or outdoor group activities shall be screened or fenced in such a manner as to provide an effective buffer for adjacent uses. Screening shall be required pursuant to Section 27 of this article or as required by the BZA;**

 - No new recreational areas are proposed with this special use permit application.
- 6.) The number of required parking spaces provided on-site shall be in accordance with Chart 4 of this article provided, however, if the applicant can present evidence satisfactory to the BZA that a substantial portion of the expected users will arrive at the institutional group assembly use by bus, bicycle, walking, or by carpooling or that off-street parking areas on adjacent or nearby properties will be available on a long term basis, the BZA shall have authority to determine the number of required parking spaces to be provided on-site. The BZA may require that a reserve area be retained on-site for future expansions of the parking area;**

 - The total number of parking spaces, including the proposed parking addition, is estimated to be 116 spaces (plus 5 existing handicap). Per the Zoning Ordinance Chart 4, the site is required to have a minimum of 26 parking spaces. This development will exceed the minimum number required by the City ordinance.
- 7.) An application for a special use permit for an institutional group assembly use shall be accompanied by a description of uses or activities proposed for the facility which may be subject to separate regulation or which may result in unusual traffic patterns, traffic volumes, or other detrimental impacts upon adjacent properties, including but**

not necessarily limited to those uses which would require a special permit if not a part of the institutional group assembly use:

- The proposed use described in this request consists of an expansion of the parking lot and a new dumpster enclosure location. The applicant has stated that the proposed project will not impact regular church service hours and will not impact neighboring residential properties. The applicant has agreed to install a privacy fence to along the eastern boundary of the property, to provide further screening between the church parking lot and residential property.

8.) The BZA shall have authority to approve an on-site location with water, sewer, and electric utility connections for accommodations for travel trailers or R.V.s (recreational vehicles) for use by visiting or traveling speakers or guests associated with the institutional group assembly use. Provided, however, such location for travel trailers or R.V.s shall not be permitted for use as a permanent residential dwelling unit;

- No such uses are being requested with this special use permit application.

9.) The BZA shall have the authority to grant variances to the standards imposed by this subsection for temporary or short term uses of property for the institutional group assembly use purposes. In such cases, the BZA may impose conditions of approval to assure the compatibility of the short-term land use with other property in the vicinity of the proposed use;

- No temporary or short-term uses are being proposed at this time; therefore, the applicant is not requesting any variances associated with any such uses.

10.) The application for a special use permit for an institutional group assembly use shall indicate any intentions for the use of systems for the external broadcast of speech, music, or other sounds. If such are proposed, the applicant shall indicate the times of day and duration of their proposed use. The BZA shall have the authority to place restrictions upon their use in order to minimize excessive noise from intruding upon neighboring properties especially those zoned or used for residential purposes. In no event shall the BZA approve the use of such which would be in violation of the City Code or ordinances regulating noise. BZA approval does not constitute a waiver of any City Code or ordinances regulating noise;

- The applicant does not intend to have a speaker attached to the building.

Staff Comments:

Staff recommends approval of the SUP for an expansion of the parking lot and dumpster enclosure, as noted above. Staff recommends that if approved, the special use permit be conditionally approved in accordance with Section 9, Subsection B (Conditions on special uses) with the following conditions.

Recommended Conditions of Approval:

1. The special use permit approval is for addition to the parking lot and new dumpster enclosure as depicted on the site plan submitted with the application materials.
2. The applicant shall install a 6 foot, pvc privacy fence, in conjunction with a Type C landscape buffer, along the eastern boundary of the property, between the new parking lot addition and the residential property, to mitigate any potential negative impacts.
3. The owner shall apply for and obtain approval of a site plan, subject to compliance with the municipal code and the Murfreesboro Design Guidelines.
4. The applicant shall record the final plat prior to the issuance of any permits.

Attached Exhibits

- A. Site plan
- B. Letter of explanation from applicant
- C. Application

Notes:

- 1) Engineering Department Point of Contact is Katie Noel, 615-893-6441; KNoel@MurfreesboroTN.gov
- 2) Planning Department Point of Contact is Joel Aguilera, 615-893-6441; JAguilera@MurfreesboroTN.gov

The Church of Jesus Christ of Latter-day Saints in Murfreesboro

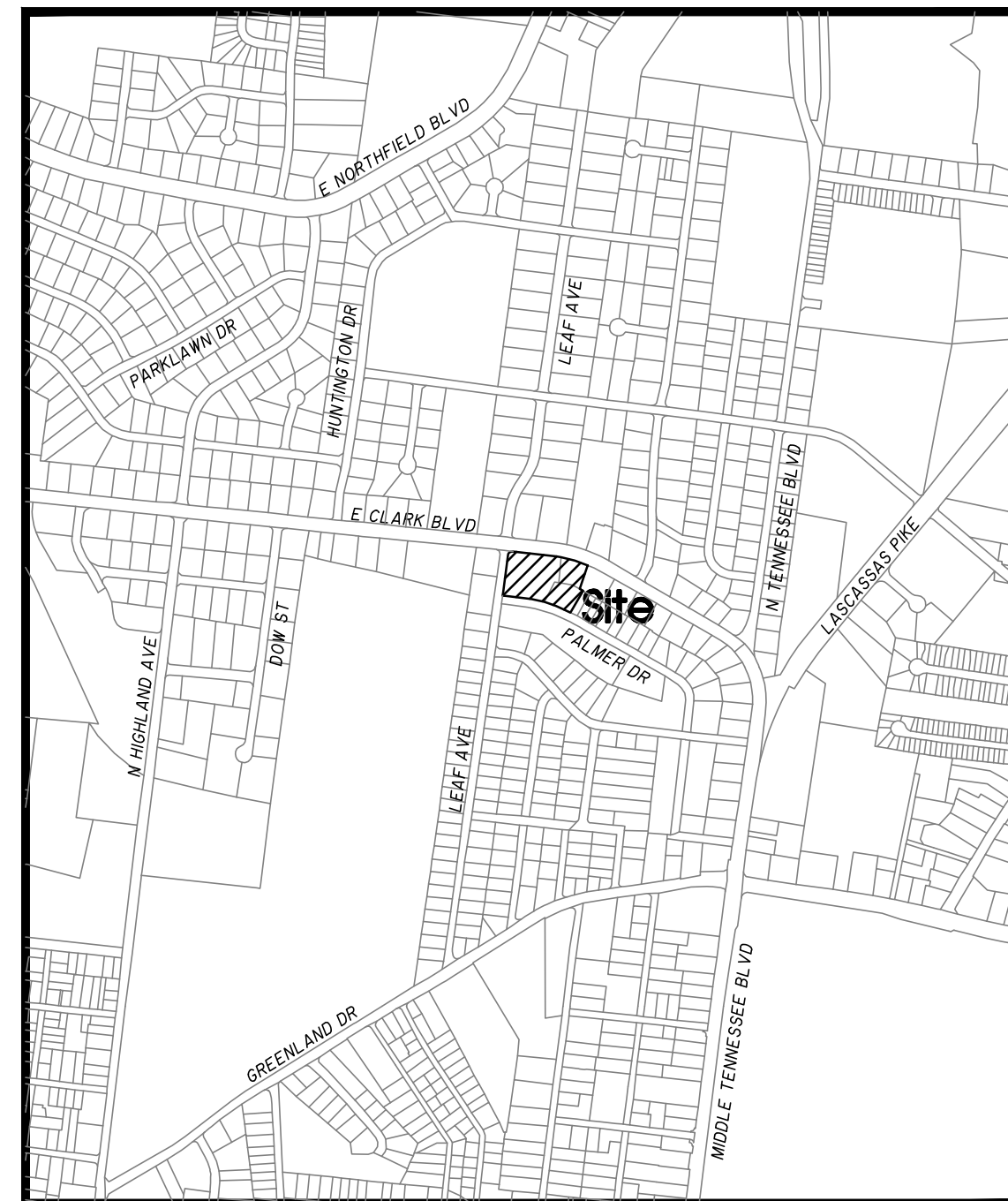
Parking Addition

Murfreesboro, Tennessee

Special Use Application

Drawing Index

Sheet No.	Title
1	Cover Sheet
2	Existing Conditions
3	Location Map
4	Site Plan



Site Location Map
Not To Scale

Owner/Developer:
Church of Jesus Christ of Latter Day Saints
902 E. Clark Blvd.
Murfreesboro, TN 37130

Deed Reference:
Map 090A, Group F, Parcels 1.00 & 2.00
D.Bk. 211, Pg. 354
R.Bk. DB109, Pg. 4

Yard Requirements:
Front: 40'
Side: 12.5'
Rear: 30'

Intended Use:
Church

Land Use Data:
Zoned: RS-15 & RD
1-Story Building
Total Existing Floor Area: 17,700 Sq.Ft.
3 Lots on: 2.86± Acres (to be combined via resub plat)

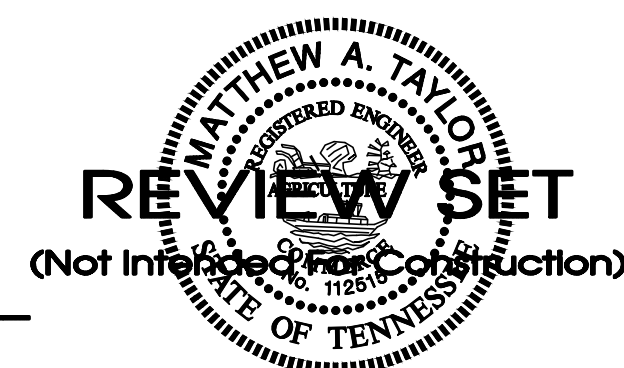
Parking Requirement:
Required: $\frac{1 \text{ Space}}{8 \text{ Seat}} \times 211 \text{ Seats} = 26 \text{ Spaces}$
Provided: 86 Ex. Spaces + 5 Ex. H.C. + 30 Prop. = 121 Total Spaces

Flood Map No.:
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C0280H dated January 5, 2007.

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567

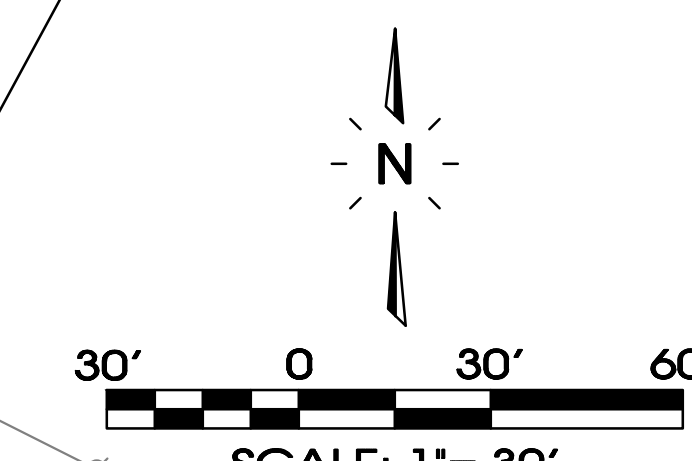
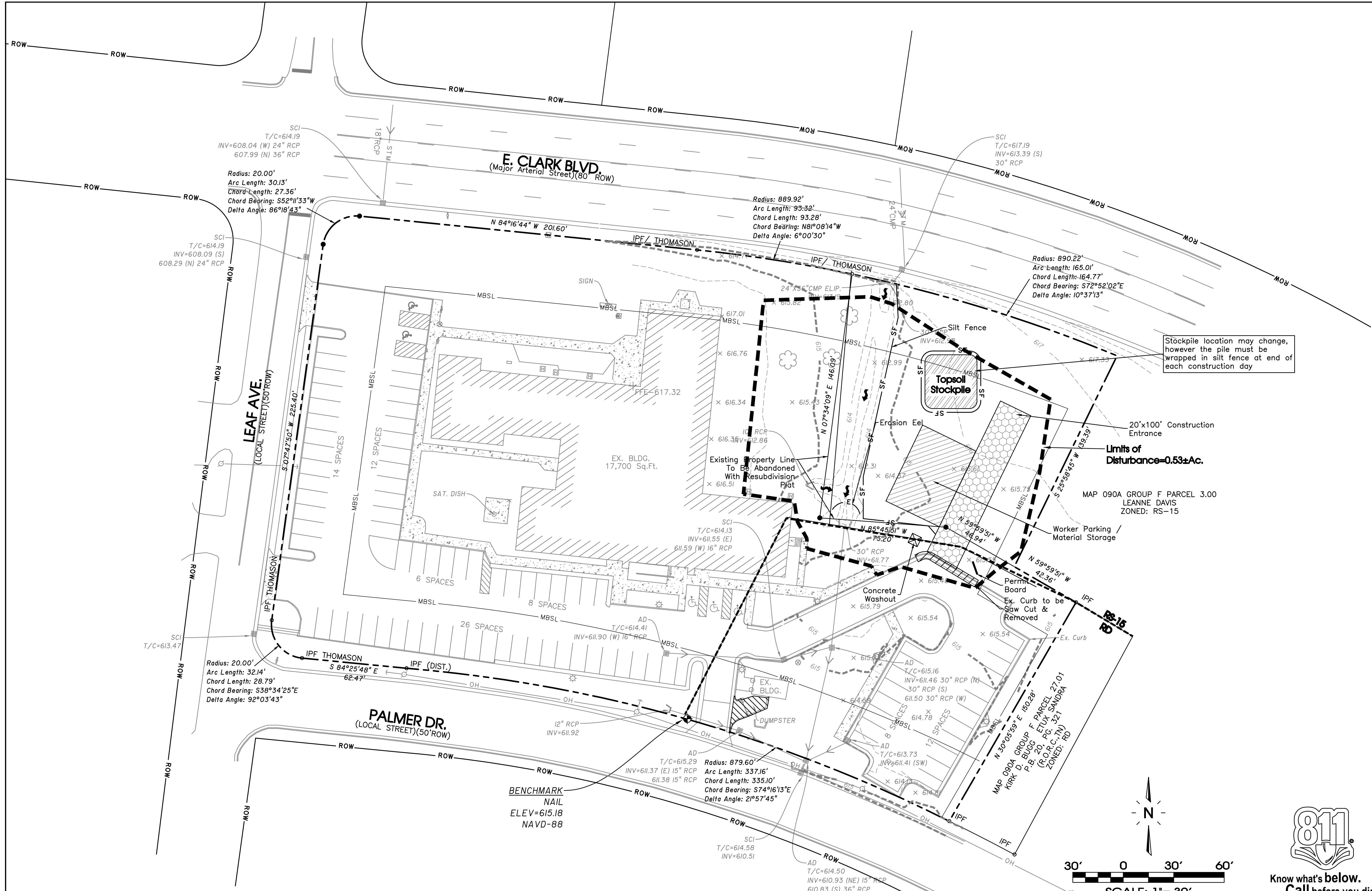
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By: _____ Date: _____
Matthew A. Taylor, P.E. TN. Reg. #112515

Watershed: Sinking Creek
Disturbed Area: 0.53± Ac.
Increase In Impervious Area: 0.22± Ac. (9,785 Sq.Ft.)

Sheet C0.0
The Church of Jesus Christ of Latter-day Saints in Murfreesboro
S.E.C. Project #07174
Submitted: 9-12-2022
Revised:



Legend:			
□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	•	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	⊕	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	⊕	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	⊕	EXTRUDED CURB
⊕	EXIST. GAS RISER	⊕	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	➔	TRAFFIC ARROW
⊕	EXIST. WATER METER	➔	TURN LANE ARROWS
⊕	EXIST. UTILITY POLE	⊕	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	⊕	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RIP RAP
⊕	REDUCER	➔	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	➔	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	⊕	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
⊕	MANHOLE	⊕	TYPE- X- HEADWALL
EXISTING PHONE	PH	EXISTING ELECTRIC	OH
PROPERTY LINE	---	EASEMENTS	---
RIGHT OF WAY	ROW	EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E	EROSION EEL	E E E
EXISTING TREELINE	~	EXISTING FENCELINE	-X-X-X-X-
EXISTING FENCELINE	-X-X-X-X-	MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	-----	EXISTING GAS LINE	GAS
EXISTING GAS LINE	GAS	PROPOSED GAS LINE	GAS
EXISTING STORM	STM	EXISTING STORM	STM
PROPOSED STORM	STM	EXISTING CONTOUR LINES	---601---
EXISTING CONTOUR LINES	---601---	PROPOSED CONTOUR LINES	---601---
EXISTING SANITARY SEWER	SS	EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS	EXISTING WATER	W W
EXISTING WATER	W W	PROPOSED WATER	W W

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REVIEW SET
 (Not intended for construction)

The Church of Jesus Christ of Latter-day Saints in Murfreesboro
Special Use Permit
 Murfreesboro, Tennessee

REVISIONS:
 DRAWN: SJA/CFB3
 DATE: 9-12-2022
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 SCALE:
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 JOB NO.
 07174
 SHEET:
Existing Conditions
2 of 4

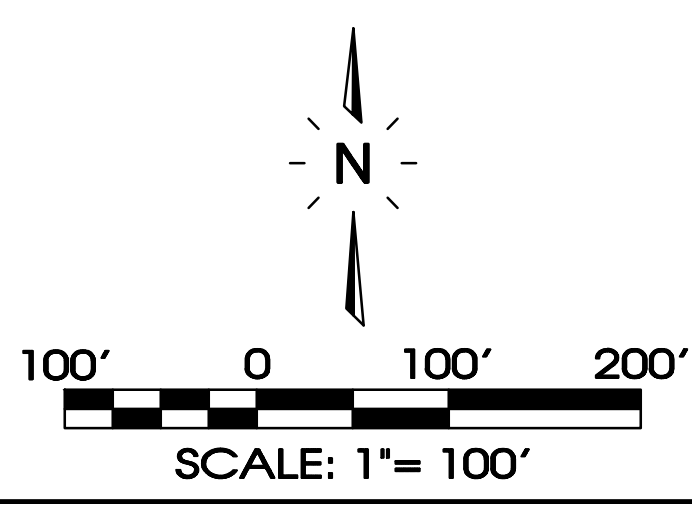


1	Tax Map 90H, Group A, Parcel 5.02, BNA Homes LLC, Zoned: PRD
2	Tax Map 90H, Group A, Parcel 5.01, BNA Homes LLC, Zoned: PRD
3	Tax Map 90H, Group A, Parcel 6.01, John Mark Williams, Zoned: RS-10
4	Tax Map 90H, Group A, Parcel 6.00, Norman W Davis, Zoned: RS-10
5	Tax Map 90H, Group A, Parcel 7.00, Konrad W Meurer, Zoned: RS-10
6	Tax Map 90H, Group B, Parcel 4.00, Marci Maria Preheim, Zoned: RS-10
7	Tax Map 90H, Group B, Parcel 1.00, Courtney Alice Mansell, Zoned: RS-10
8	Tax Map 90H, Group B, Parcel 2.00, Daniel J Barnes, Zoned: RS-10
9	Tax Map 90H, Group B, Parcel 1.00, Richard A Becker, Zoned: RM-16
10	Tax Map 90H, Group B, Parcel 2.00, Shmellow Properties LLC, Zoned: RM-16
11	Tax Map 90A, Group C, Parcel 7.01, Kirk D Bugg, Zoned: RD
12	Tax Map 90A, Group C, Parcel 27.00, Kirk D Bugg, Zoned: RD
13	Tax Map 90A, Group C, Parcel 26.01, Kirk D Bugg, Zoned: RD
14	Tax Map 90A, Group C, Parcel 7.00, Kirk D Bugg, Zoned: RD
15	Tax Map 90A, Group C, Parcel 25.00, Bivens Family LLC, Zoned: RD
16	Tax Map 90A, Group C, Parcel 25.01, Henry S Randolph, Zoned: RD
17	Tax Map 90A, Group F, Parcel 24.00, Lowe Acres LLC, Zoned: RD
18	Tax Map 90A, Group F, Parcel 23.00, Larry J Hogshhead, Zoned: RD
19	Tax Map 90A, Group F, Parcel 22.00, Ronald R Byers, Zoned: RD
20	Tax Map 90A, Group F, Parcel 6.00, Boro Residential LLC, Zoned: RS-10
21	Tax Map 90A, Group B, Parcel 8.00, Turner-Amos Kimberly, Zoned: RS-15
22	Tax Map 90A, Group B, Parcel 7.00, Dexter Adams Jr, Zoned: RS-15
23	Tax Map 90A, Group B, Parcel 7.00, Martha Ann R Turner, Zoned: RS-15

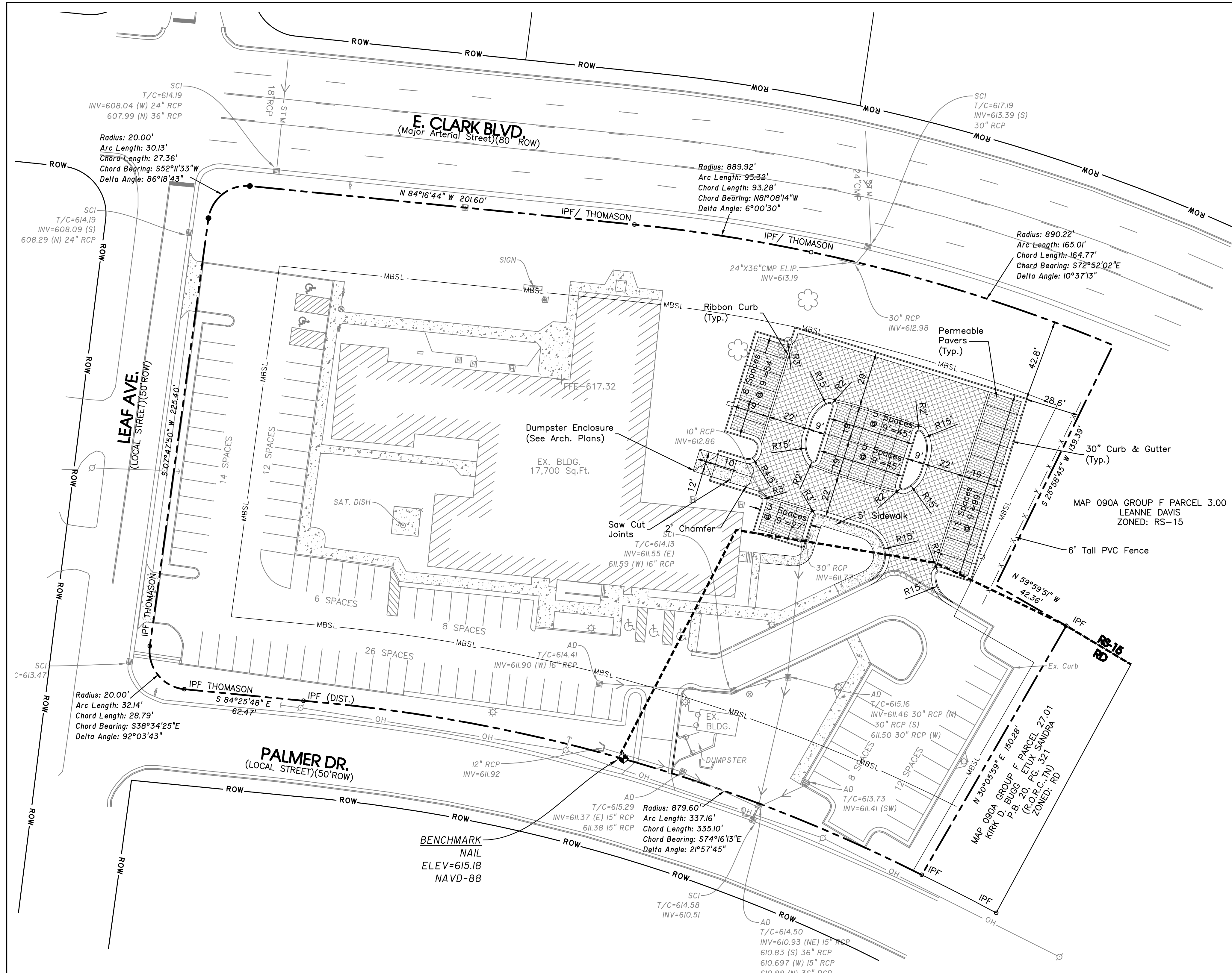
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The Church of Jesus Christ of Latter-day Saints in Murfreesboro
 Special Use Permit
 Murfreesboro, Tennessee

Location Plan
 3 of 4

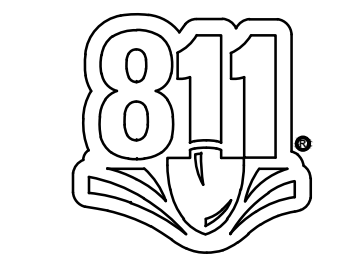
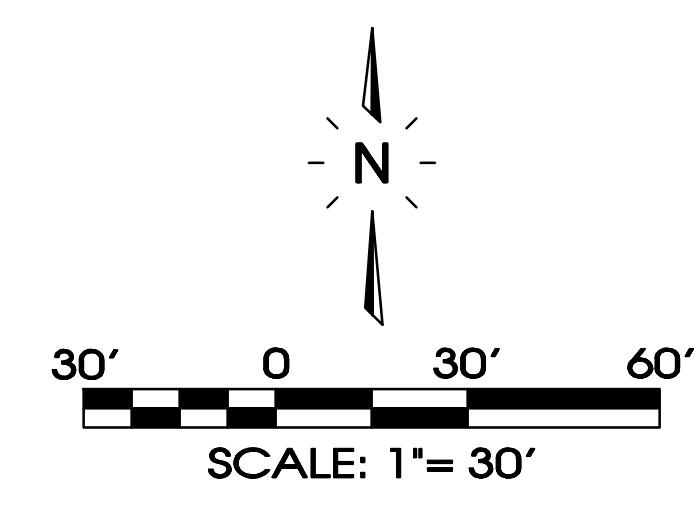


REVISIONS:
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 SHEET:
 3 of 4

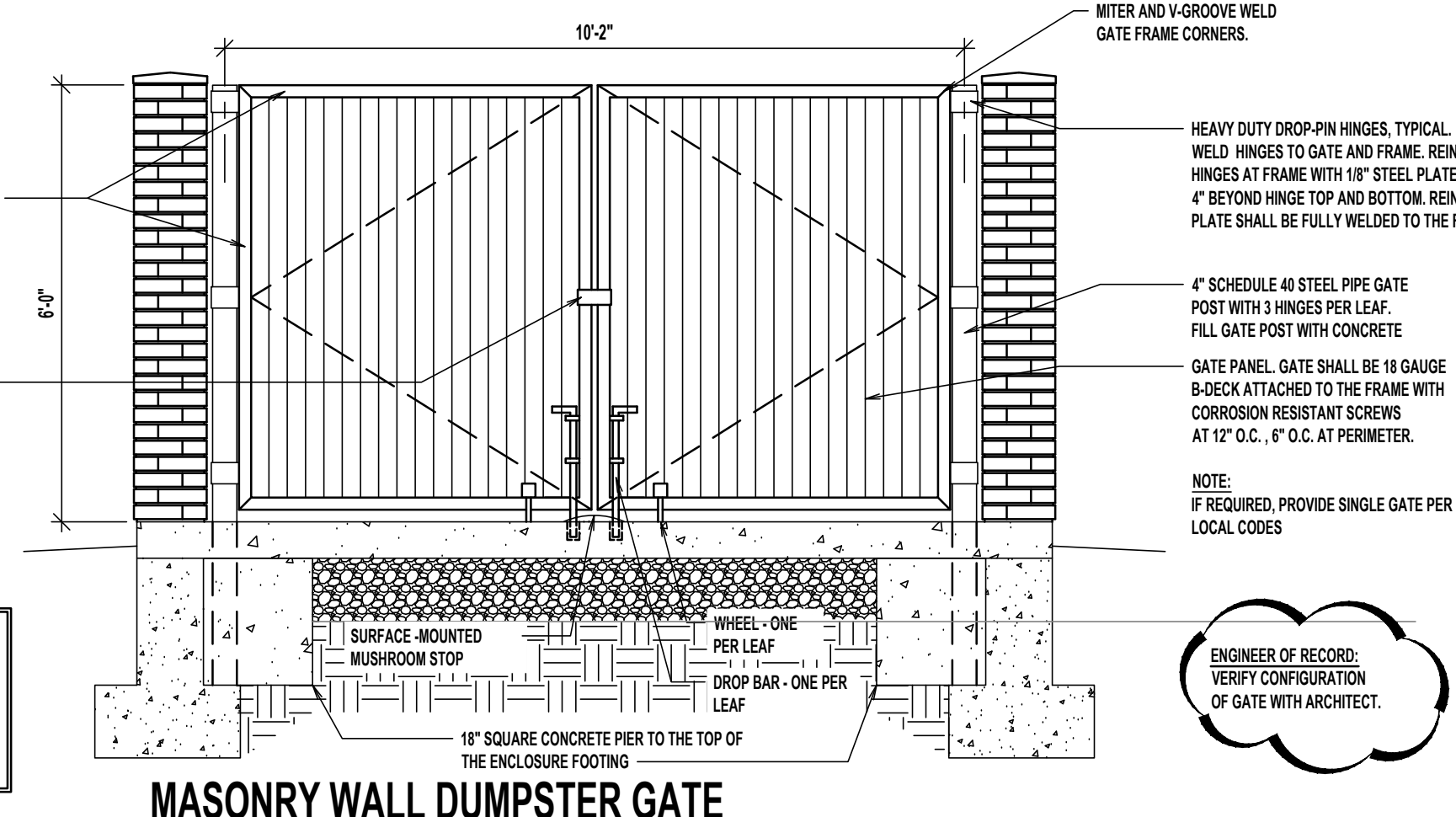
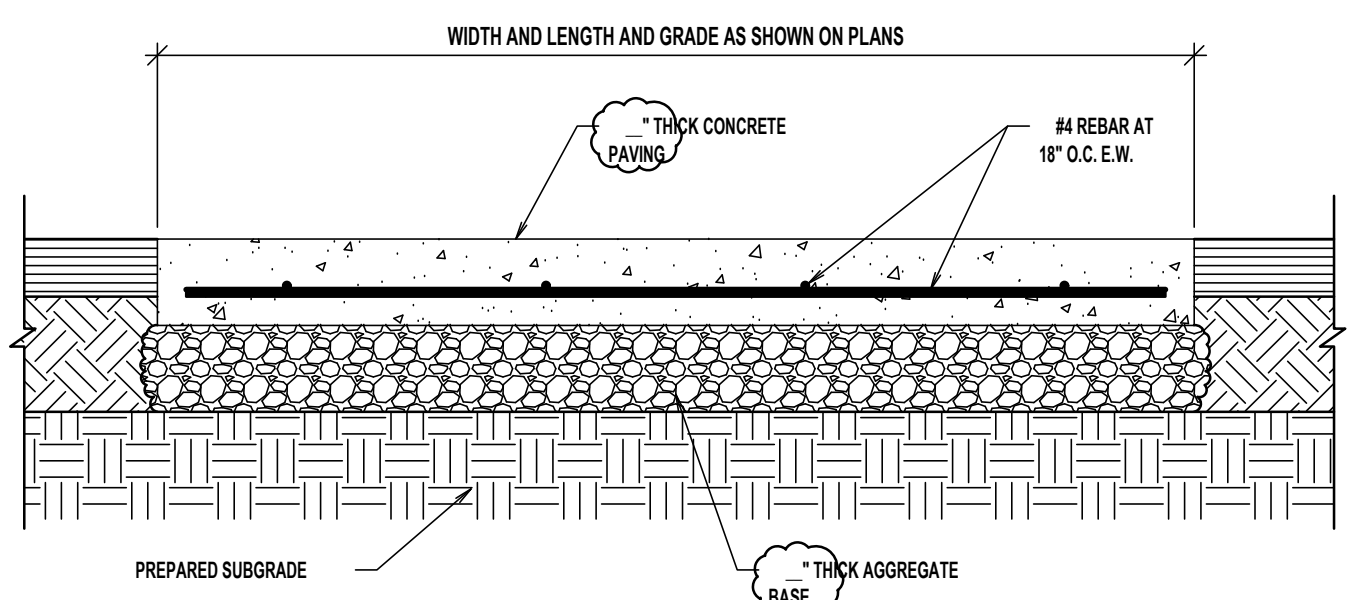
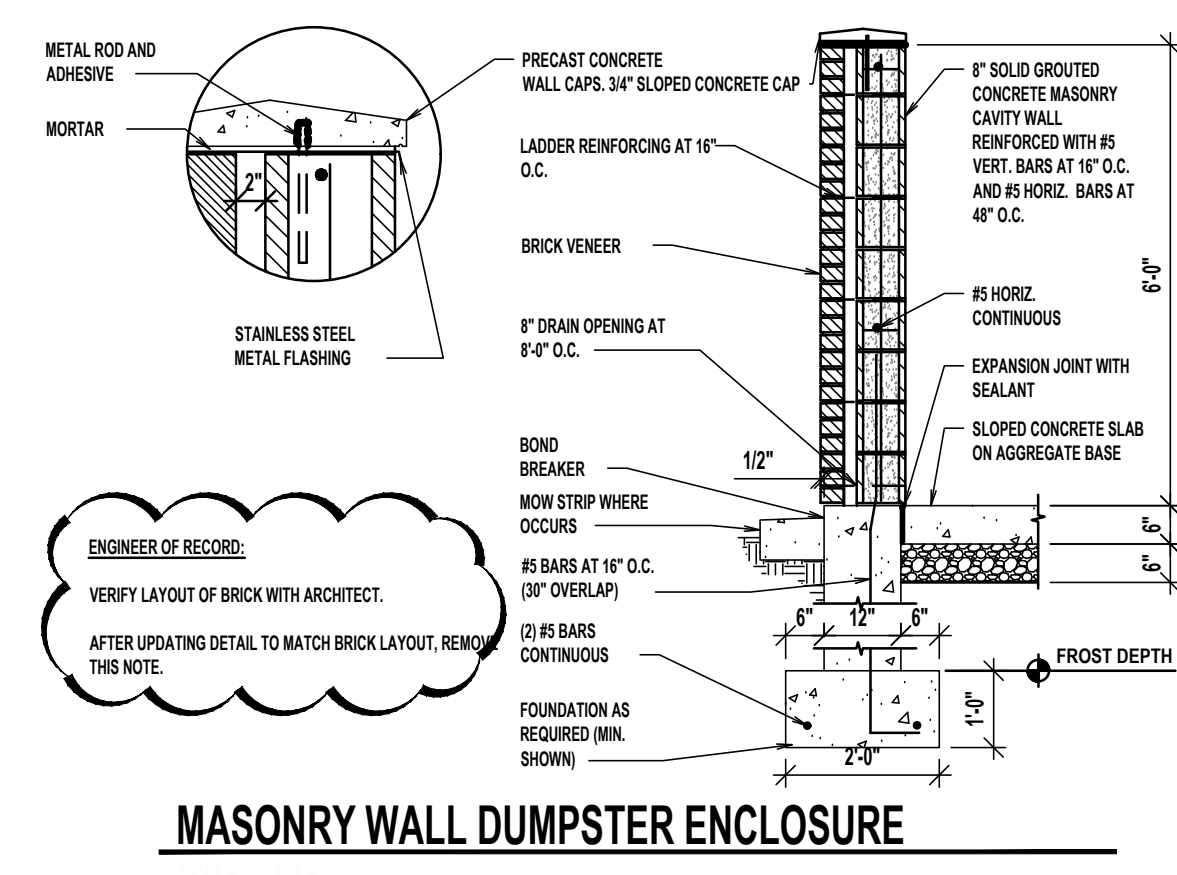
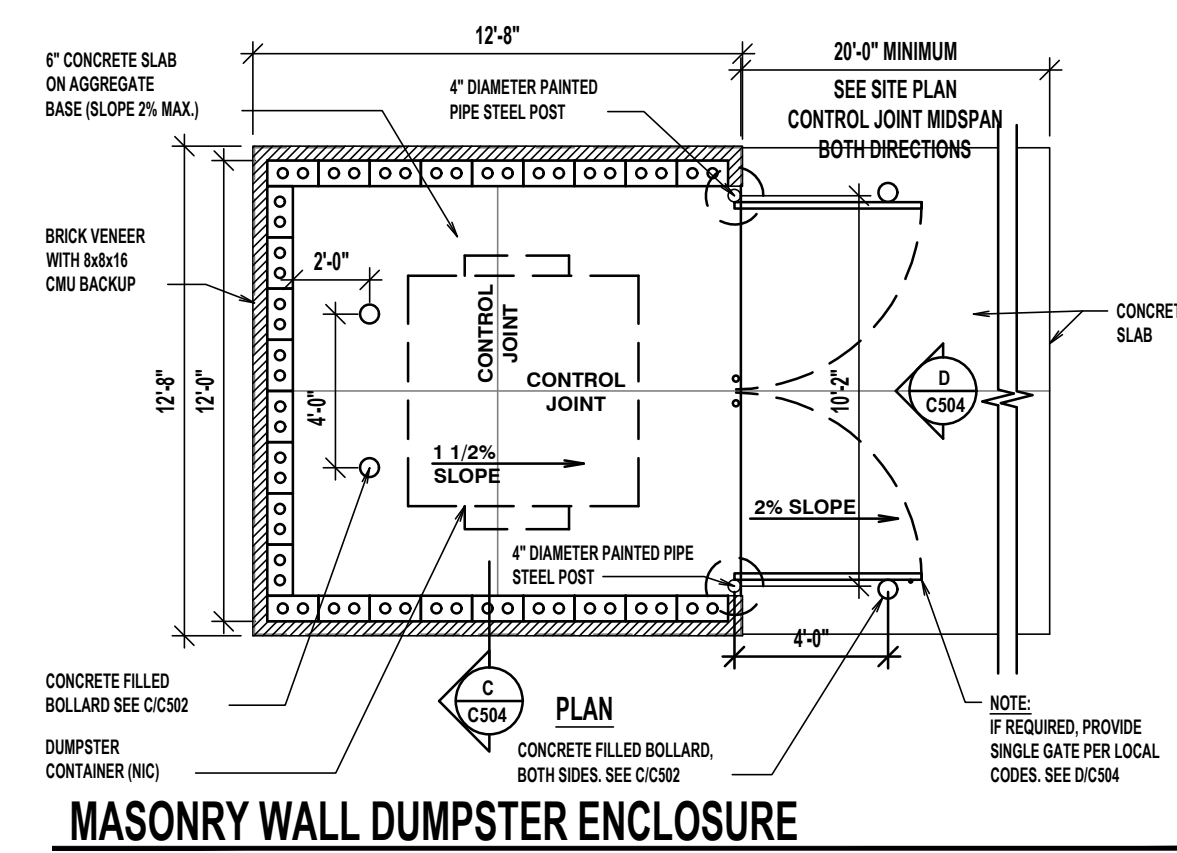


Pavement Hatch Legend

- Concrete Pavement
- Heavy Duty Asphalt Pavement
- Light Duty Asphalt Pavement



Know what's below.
Call before you dig.



- NOTES:**
- ALL STEEL COMPONENTS OF THE DUMPSTER ENCLOSURE SHALL BE FINISHED PER DIVISION 05.
 - PROVIDE 1" SURFACE MOUNTED MUSHROOM STOPS AT THE CLOSED POSITION AND 1" FOR EACH GATE LEAF AT THE OPEN POSITION.

Legend:			
	EXIST. CONCRETE MONUMENT		BENCHMARK
	IRON PIN SET (I.P.S.)		HANDICAP PARKING SYMBOL
	IRON PIN FOUND (I.P.F.)		V.A. VAN ACCESSIBLE HANDICAP DESIGNATION
	EXIST. SIGN POST		HC SIGN
	EXIST. SEWER CLEANOUT		PROPOSED SIGN POST
	EXIST. MANHOLE (SEWER & PHONE)		CONCRETE BOLLARD
	EXIST. CATCH BASIN (STORM SEWER)		WHEEL STOP
	EXIST. WATER/GAS VALVE		CONCRETE SIDEWALK
	EXIST. TELEPHONE RISER		EXTRUDED CURB
	EXIST. GAS RISER		CURB & GUTTER
	ELECTRICAL ENCLOSURE		TRAFFIC ARROW
	EXIST. WATER METER		TURN LANE ARROWS
	EXIST. UTILITY POLE		REVISION NUMBER
	EXIST. FIRE HYDRANT		DRAINAGE STRUCTURE DESIGNATION
	POST INDICATOR VALVE		DRAINAGE PIPE DESIGNATION
	BLOW OFF VALVE		RIP RAP
	REDUCER		RUNOFF FLOW ARROW
	REMOTE FIRE DEPT. CONNECTION		INLET FILTER PROTECTION
	CONCRETE THRUST BLOCK		PROPOSED SPOT ELEVATION
	DOUBLE DETECTOR CHECK VALVE		EXIST. SPOT ELEVATION
	FIRE DEPT. CONNECTION		SEWER/STORM FLOW DIRECTION
	FIRE HYDRANT		CATCH BASIN
	GATE VALVE & BOX		CURB INLET
	WATER METER		AREA DRAIN
	GAS METER		HEADWALL
	GREASE TRAP		WINGED HEADWALL
	EXTERIOR CLEANOUT ECD		CONCRETE SWALE
	MANHOLE		TYPE- X- HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	
EASEMENTS	
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREELINE	
EXISTING FENCELINE	X X X X
MINIMUM BUILDING SETBACK LINE	
PHASE BOUNDARY	-----
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	---601---
PROPOSED CONTOUR LINES	---601---
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W

Owner/Developer:
Church of Jesus Christ of Latter Day Saints
902 E. Clark Blvd.
Murfreesboro, TN 37130

Deed Reference:
Map 090A, Group F, Parcels 1.00 & 2.00
D.Bk. 211, Pg. 354
R.Bk. DB109, Pg. 4

Yard Requirements:
Front: 40'
Side: 12.5'
Rear: 30'

Intended Use:
Church

Land Use Data:
Zoned: RS-15 & RD
1-Story Building
Total Existing Floor Area: 17,700 Sq.Ft.
3 Lots on: 2.86± Acres (to be combined via resub plat)

Parking Requirement:
Required: 211 Seats = 26 Spaces
Provided: 86 Ex. Spaces + 5 Ex. H.C. + 30 Prop. = 121 Total Spaces

Flood Map No.:
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C0280H dated January 5, 2007.

SEC, Inc.
SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567
PHONE: (615) 890-7901
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The Church of Jesus Christ of Latter-day Saints in Murfreesboro
Special Use Permit
Murfreesboro, Tennessee

REVIEW SET
(Not intended for construction)

Site Plan

REVISIONS:
DRAWN: SJA/CFB/3
DATE: 9-12-2022
CHECKED:
MAT
FILE NAME:
07174clarkBZA
SCALE:
1" = 30'
JOB NO.
07174
SHEET:
4 of 4

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS IN MURFREESBORO LANDSCAPE PLAN

SITE DATA
 TOTAL SITE AREA: 2.86 ACRES
 PARKING LOT EXPANSION AREA: 0.45 ACRES
 SITE ZONING: RS-15

LANDSCAPE REQUIREMENTS (AS PER SECTION 27)

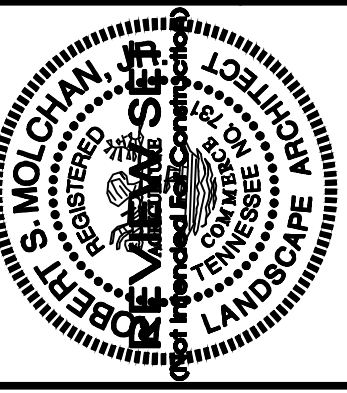
REQUIRED PERIMETER LANDSCAPING	REQUIRED	PROVIDED
(EAST CLARK BLVD FRONTAGE) 165.00 LF 1 SHADE TREE/ 40 LF OF FRONTAGE 1 SHRUB/ 5 LF OF FRONTAGE	4 TREES 33 SHRUBS	4 TREES 33 SHRUBS
(EASTERN PERIMETER) 139.38 LF 1 SHADE TREE/ 40 LF OF FRONTAGE	3 TREES	3 TREES

PARKING LOT REQUIREMENTS
 ONE SHADE TREE OR TWO ORNAMENTAL TREES PER 12.5 PARKING STALLS TO BE PLANTED IN LANDSCAPE ISLANDS (MIN. 8' WIDTH).
 30 PARKING SPACES PROVIDED = 2 TREES REQUIRED
 8 TREES PROVIDED IN ISLANDS

DESIGN GUIDELINES LANDSCAPE REQUIREMENTS

	TREES REQUIRED	TREES PROPOSED
REQUIRED PERIMETER/PARKING TREES:	9	13
10% REQUIRED 4" CALIPER:	1	1
15% REQUIRED 3" CALIPER:	1	12
75% REQUIRED 2.5" CALIPER:	7	0

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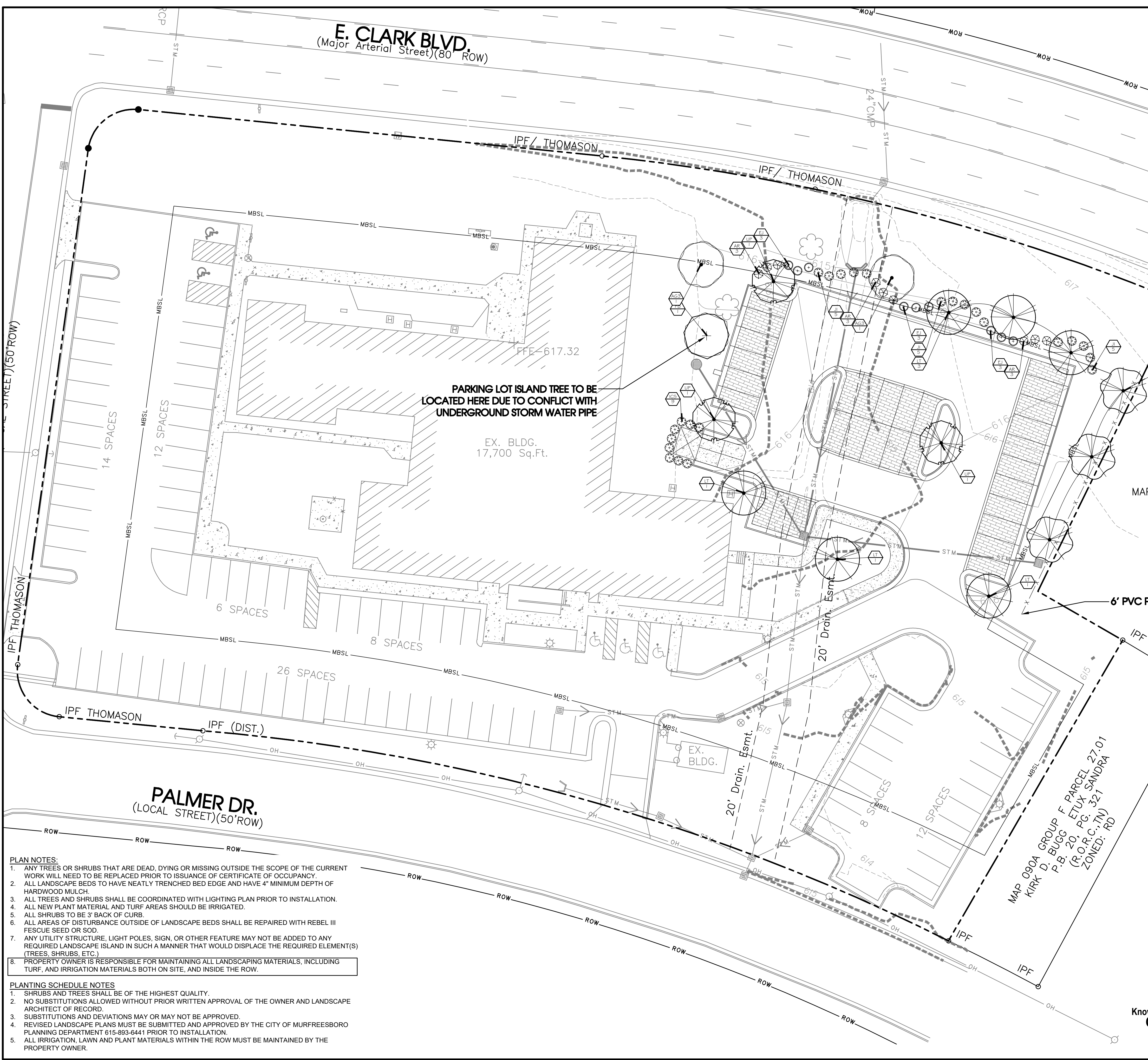


The Church of Jesus Christ of
 Latter-day Saints in Murfreesboro
 Murfreesboro, Tennessee

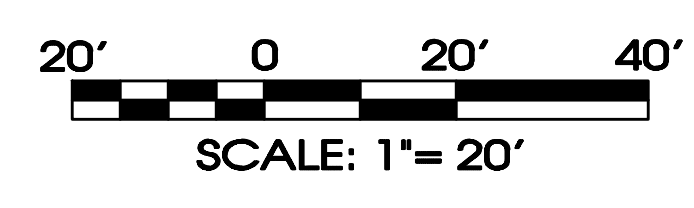
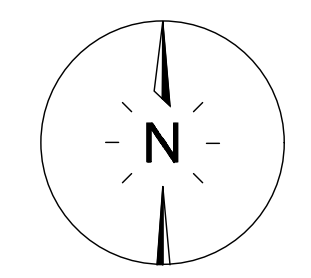
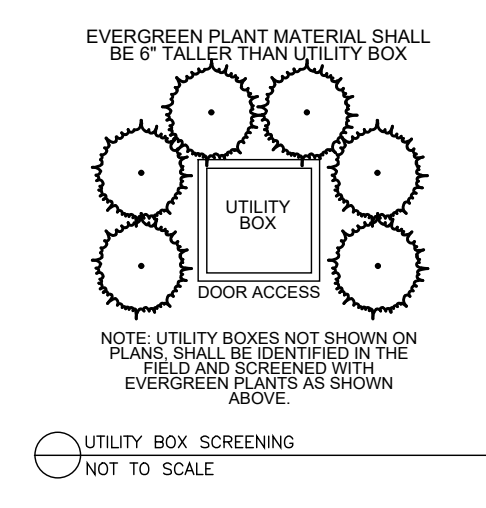
REVISIONS:

NO.	DATE	DESCRIPTION

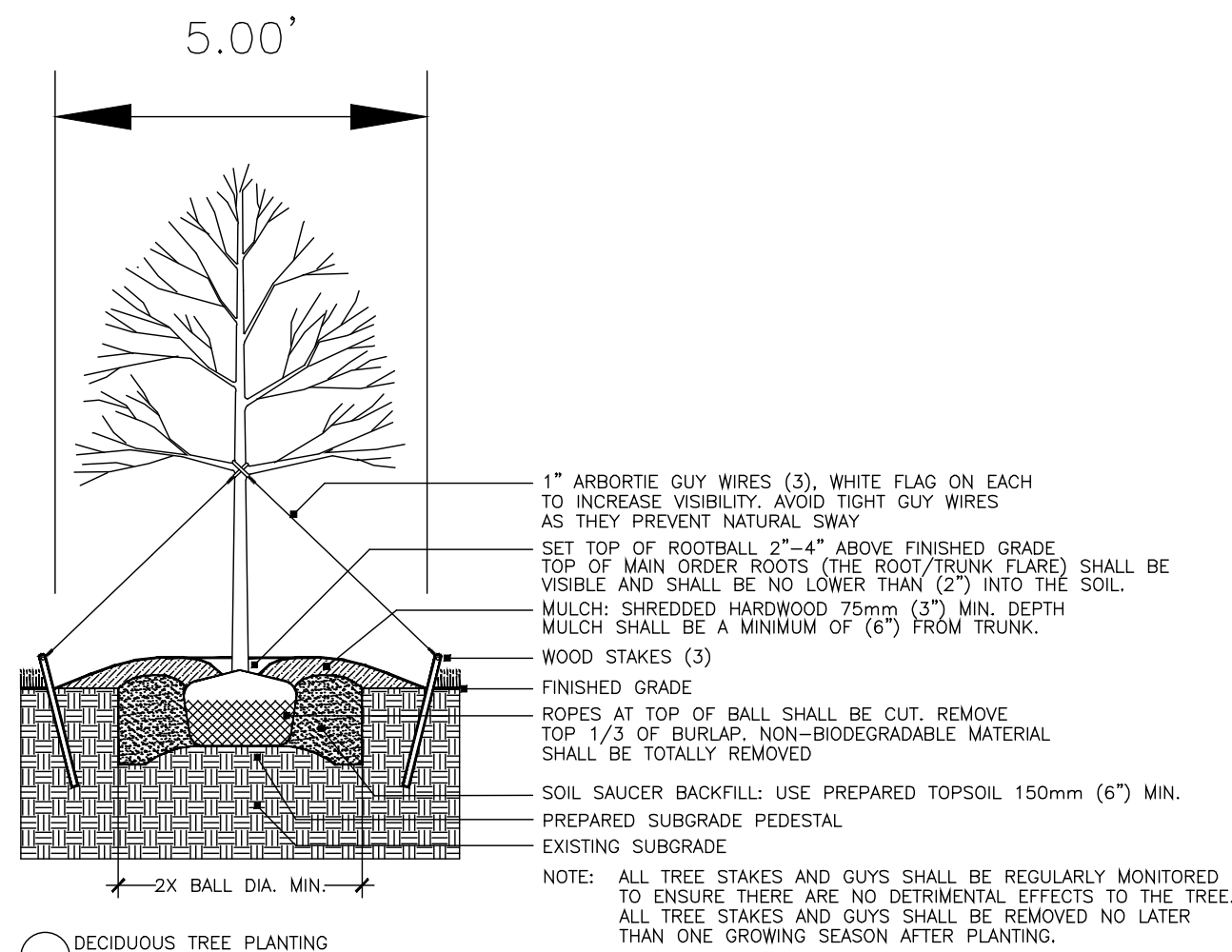
DRAWN: KMG
 DATE: 09-15-2022
 CHECKED: RSM
 FILE NAME: 07174project_LA
 SCALE: 1" = 20'
 JOB NO: 07174
 SHEET: L1.0



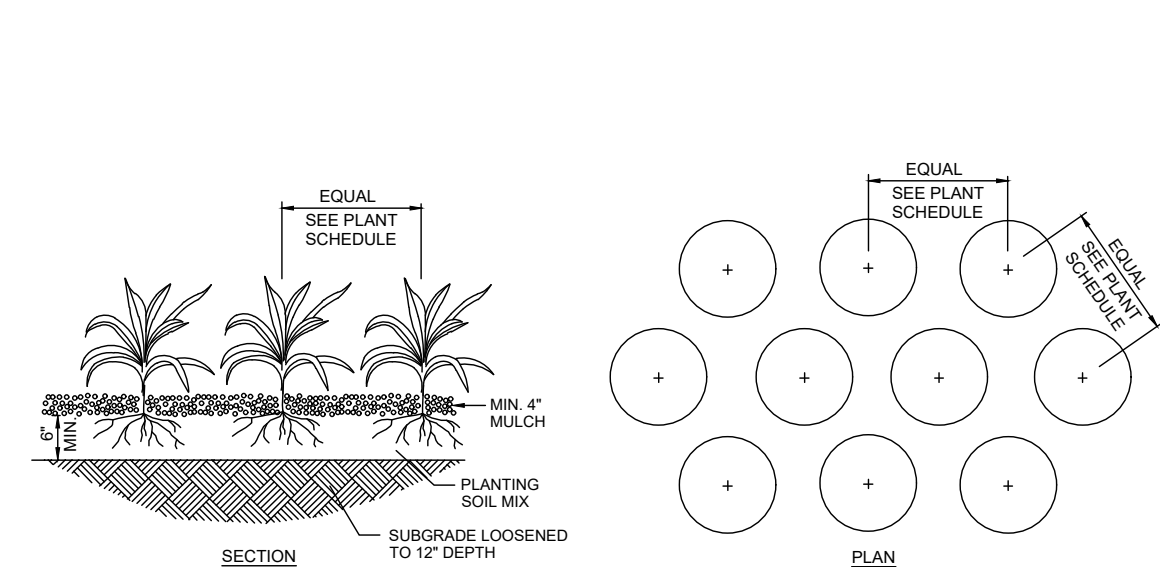
- PLAN NOTES:**
- ANY TREES OR SHRUBS THAT ARE DEAD, DYING OR MISSING OUTSIDE THE SCOPE OF THE CURRENT WORK WILL NEED TO BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
 - ALL LANDSCAPE BEDS TO HAVE NEATLY TRENCHED BED EDGE AND HAVE 4" MINIMUM DEPTH OF HARDWOOD MULCH.
 - ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
 - ALL NEW PLANT MATERIAL AND TURF AREAS SHOULD BE IRRIGATED.
 - ALL SHRUBS TO BE 3' BACK OF CURB.
 - ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SEED OR SOD.
 - ANY UTILITY STRUCTURE, LIGHT POLES, SIGN, OR OTHER FEATURE MAY NOT BE ADDED TO ANY REQUIRED LANDSCAPE ISLAND IN SUCH A MANNER THAT WOULD DISPLACE THE REQUIRED ELEMENT(S) (TREES, SHRUBS, ETC.).
 - PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING MATERIALS, INCLUDING TURF, AND IRRIGATION MATERIALS BOTH ON SITE, AND INSIDE THE ROW.
- PLANTING SCHEDULE NOTES**
- SHRUBS AND TREES SHALL BE OF THE HIGHEST QUALITY.
 - NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
 - SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
 - REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF MURFREESBORO PLANNING DEPARTMENT 615-893-6441 PRIOR TO INSTALLATION.
 - ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.



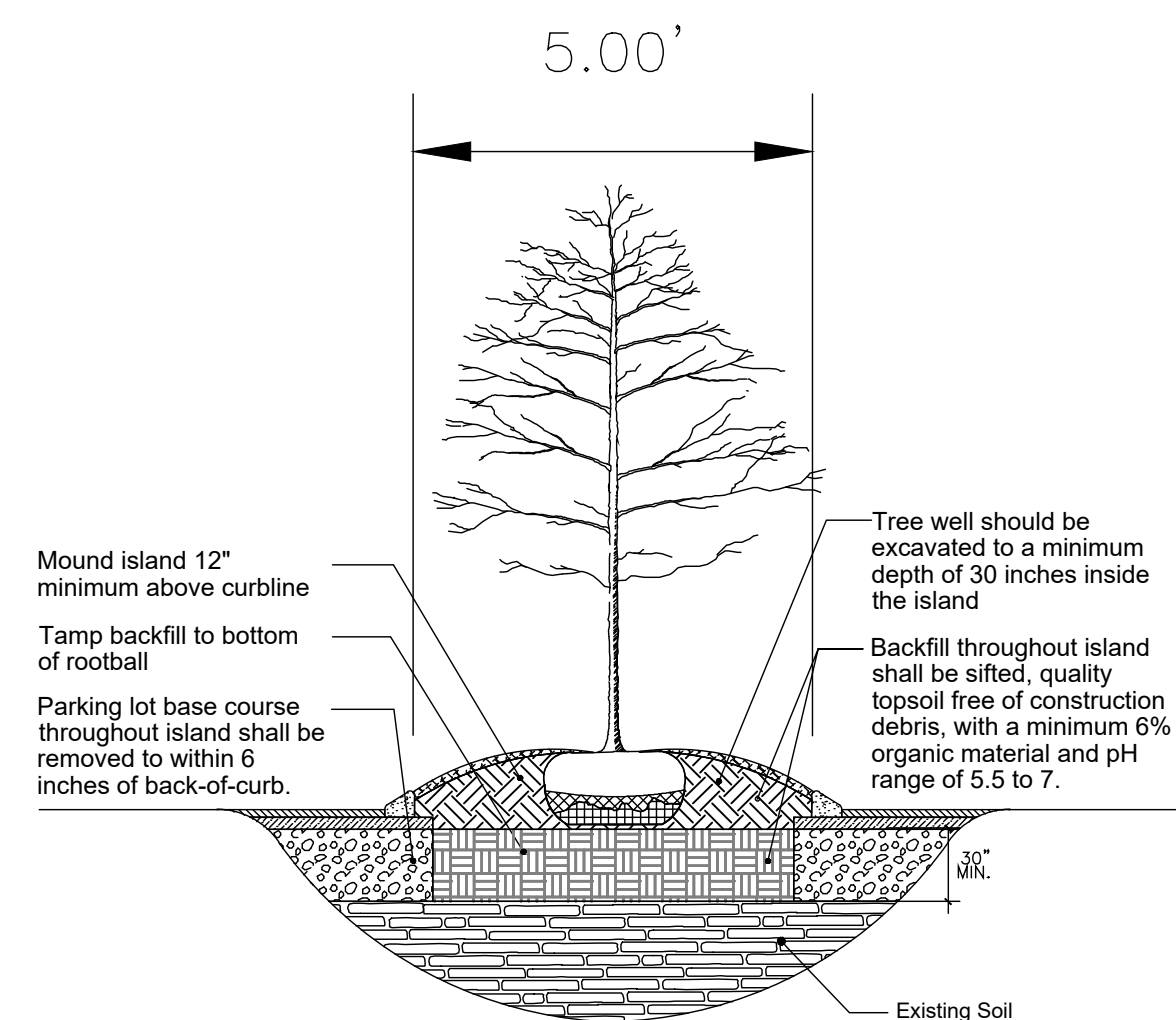
Know what's below.
 Call before you dig.



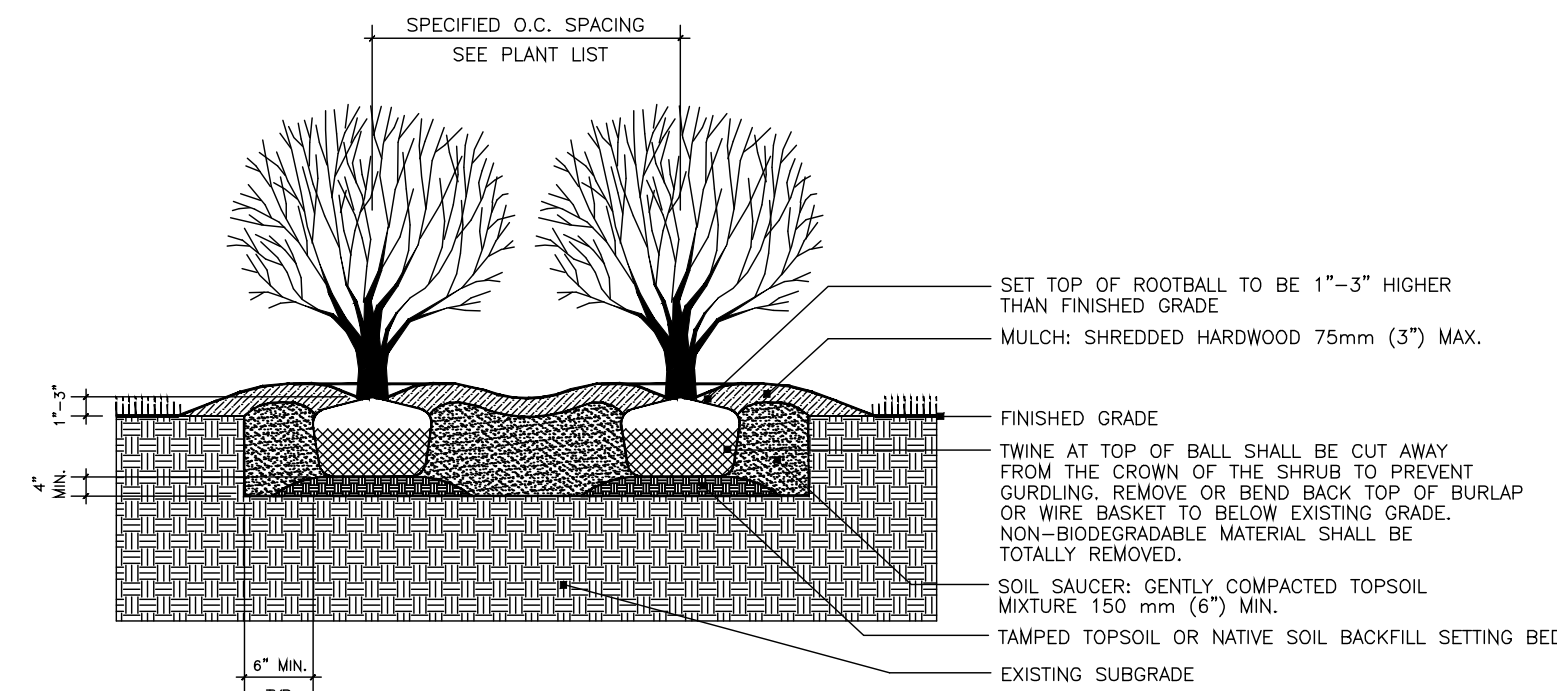
DECIDUOUS TREE PLANTING
NOT TO SCALE



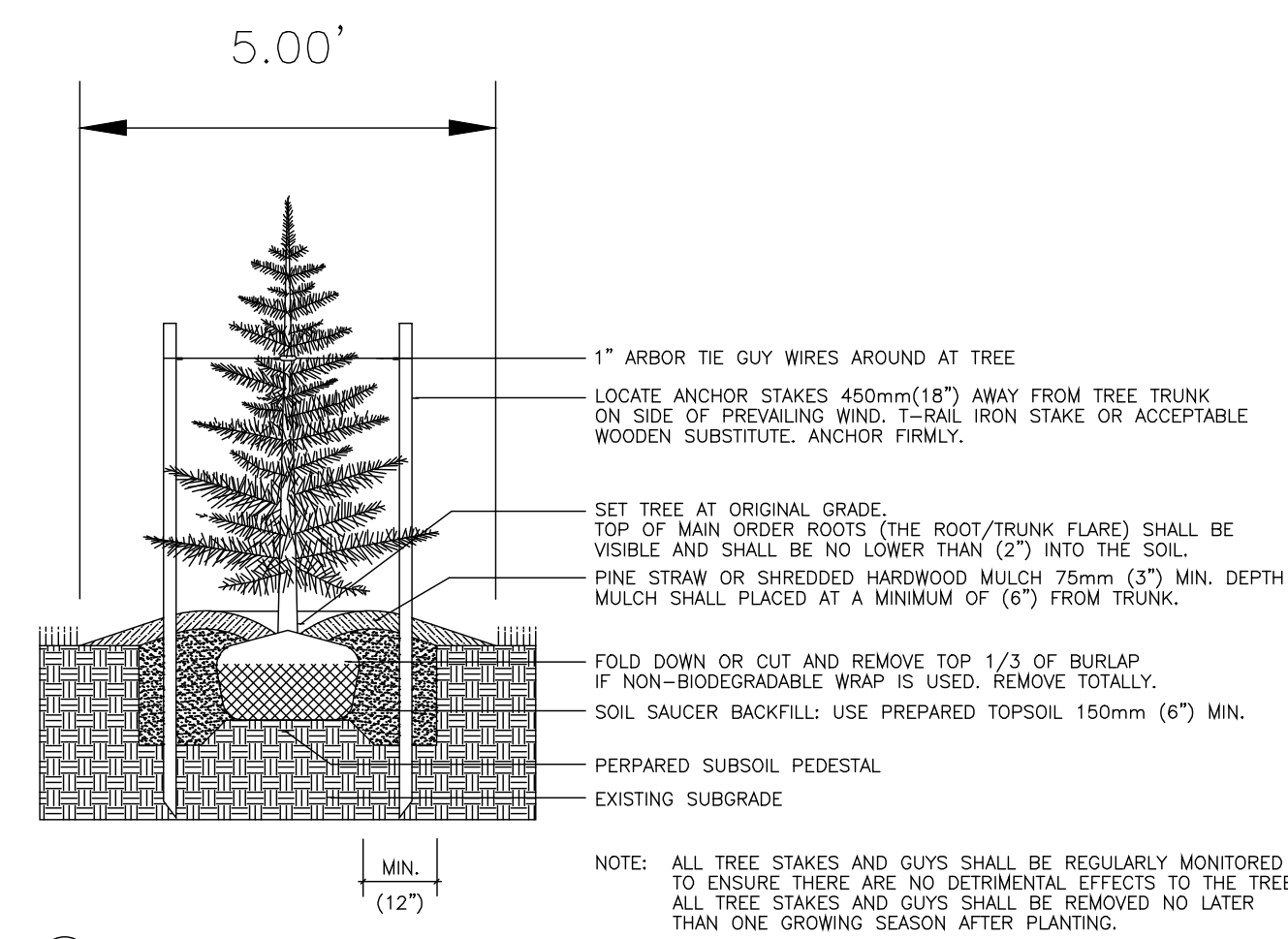
GROUND COVER & PERENNIAL PLANTING
NOT TO SCALE



Tree Planting Detail
For Parking Lot Island or Median



SHRUB PLANTING - BALL AND BURLAP - MULTIPLE
NOT TO SCALE



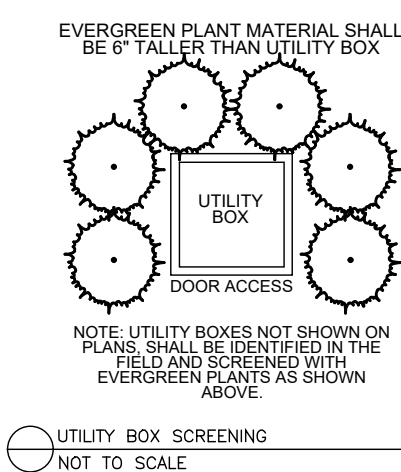
EVERGREEN TREE PLANTING
NOT TO SCALE

PLANT SCHEDULE										
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	PLANT SIZE	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS	
	AG3	2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY	B # B	3'CAL	14' - 16'		AS SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED	
	LT	6	URIODENDRON TULIPIFERA / TULIP TREE	B # B	3'CAL	14' - 16'		AS SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED	
	PB	1	PLATANUS X ACERIFOLIA 'BLOODGOOD' / LONDON PLANE TREE	B # B	4'CAL	14' - 16'		AS SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED	
	QP	3	QUERCUS PALUSTRIS / PIN OAK	B # B	3'CAL	14' - 16'		AS SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED	
	UP	3	ULMUS PARVIFOLIA 'EMER II' / 'EMER II' ALLEE ELM	B # B	3'CAL	14' - 16'		AS SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED	
PERIMETER SHRUBS										
CODE	QTY	BOTANICAL / COMMON NAME	ROOT	PLANT SIZE	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS		
AR	9	ABELIA X ROSE CREEK / ROSE CREEK ABELIA	CONT.		24"	24"	AS SHOWN	DENSE, FULL, MATCHED		
EJ	9	EUCONYMIUS JAPONICUS 'AURO-MARGINATUS' / GOLDEN EUCONYMIUS	CONT.		24"	24"	AS SHOWN	FULL, WELL-BRANCHED, MATCHED		
JL	15	JUNIPERUS SQUAMATA 'PARSONS' / PARSON'S JUNIPER	CONT.		24"	24"	AS SHOWN	DENSE, FULL, MATCHED		
SCREENING SHRUBS										
CODE	QTY	BOTANICAL / COMMON NAME	ROOT	PLANT SIZE	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS		
ICS	9	ILEX CRENATA 'STEEDS' / STEEDS JAPANESE HOLLY	CONT.		30"	18"	4' O.C.	DENSE, FULL, MATCHED		

MATCHED - TREES OF THE SAME SPECIES SHALL HAVE THE FOLLOWING CHARACTERISTICS: MATCHED BY BRANCH HEIGHT, CALIPER, HEIGHT OF TREE, SPREAD OF BRANCHES AND BRANCHING STRUCTURE, AND OVERALL CANOPY SHAPE

LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO THESE UTILITIES.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR AND DAMAGE TO UTILITIES.
- PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
- TREAT ALL LANDSCAPE BEDS WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL WEEDING UNTIL FINAL ACCEPTANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTING AREAS AND LAWNS PER PROJECT SPECIFICATIONS UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
- PROVIDE TREES, SHRUBS, AND PLANTS OF QUALITY, SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". HEIGHT AND WIDTH SHOWN ARE MINIMUM SIZES.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- THE QUANTITIES INDICATED ON THE PLANT SCHEDULE AND PLAN ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATION AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES. ANY DISCREPANCY SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
- SEED OR SOD ALL AREAS DISTURBED BY CONSTRUCTION AND NOT DESIGNATED AS PLANTING BEDS.
- SHRUBS AND GROUND COVER BEDS TO BE PLANTED IN A TRIANGULAR SPACING. SEE PLANTING SCHEDULE FOR DISTANCES.
- UPON COMPLETION AND FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION, A THREE (3) YEAR LANDSCAPE MAINTENANCE BOND WILL BE REQUIRED. THIS BOND SHOULD BE SUBMITTED IN THE NAME OF THE PROPERTY OWNER OF RECORD OR A LEASE HOLDER WHO HAS TEN (10) YEARS OR MORE REMAINING ON A CURRENT LEASE. THE PROPERTY OWNER/LEASE HOLDER SHOULD ALLOW ADEQUATE TIME TO OBTAIN THE BOND AS THIS PROCESS MAY BE LENGTHY AND MAY DELAY THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

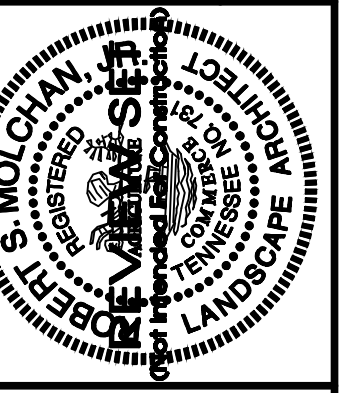


UTILITY BOX SCREENING
NOT TO SCALE



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850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 WWW.SEC-CIVIL.COM FAX: (615) 895-2567
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SEC, Inc.
The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the sole responsibility of the owner/developer to ensure that the construction of the site shown on these construction drawings is in total accordance with the design as noted, described and indicated on these drawings. The contractor shall be responsible for the construction of the site as shown on these drawings in accordance with the design as noted, described and indicated on these drawings.



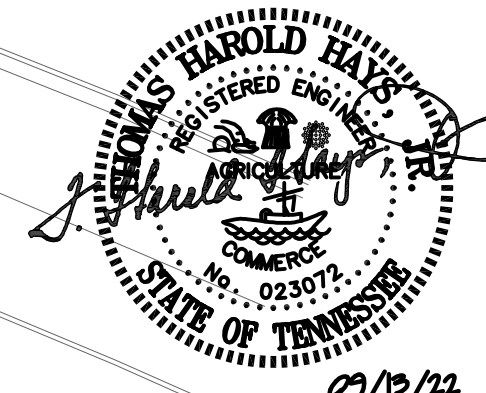
The Church of Jesus Christ of
Latter-day Saints in Murfreesboro
Murfreesboro, Tennessee

Landscape Details & Notes

REVISIONS:
DRAWN: KMG
DATE: 09-15-2022
CHECKED: RSM
FILE NAME: 07174project_LA
SCALE: N/A
JOB NO: 07174
SHEET:



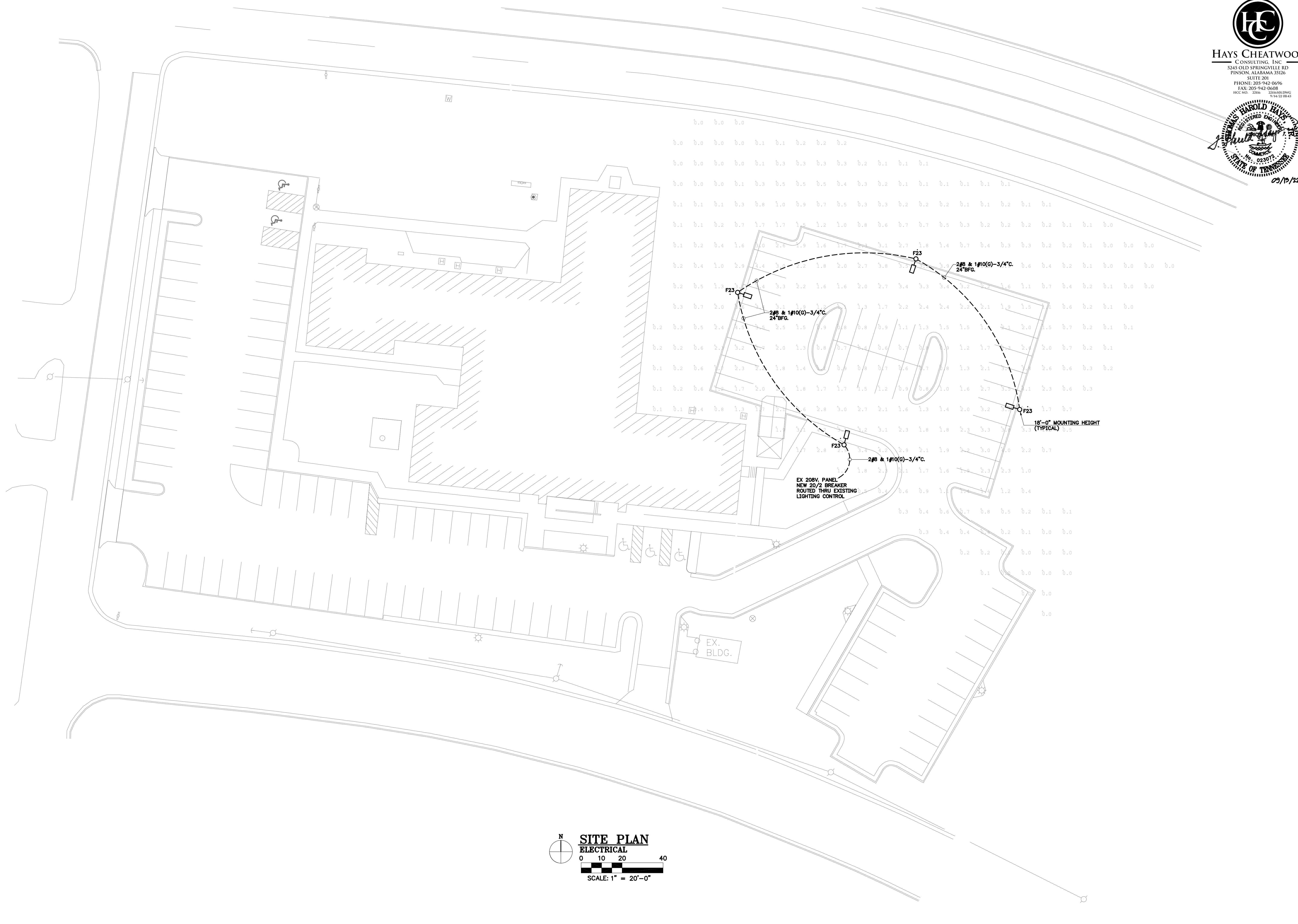
HAYS CHEATWOOD
CONSULTING, INC.
5245 OLD SPRINGVILLE RD
PINSON, ALABAMA 35126
SUITE 201
PHONE: 205-942-0696
FAX: 205-942-0608
H.C. NO. 2218 2/14/01/LDWG 9/14/22/BR4



09/19/22

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850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
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This site is shown as being constructed. The engineer assumes no administrative liability or responsibility in the assurance that the design as noted, described, and illustrated. The engineer assumes no administrative liability or responsibility in the assurance that the site is constructed in accordance with the construction plans.

SEC, Inc.
REGISTERED ENGINEER
No. 023072
STATE OF TENNESSEE



**The Church of Jesus Christ of
Latter-day Saints in Murfreesboro**
Murfreesboro, Tennessee

REVISIONS:	
DRAWN:	
DATE:	
CHECKED:	
FILE NAME:	
SCALE:	
JOB NO.	
SHEET:	E1.0

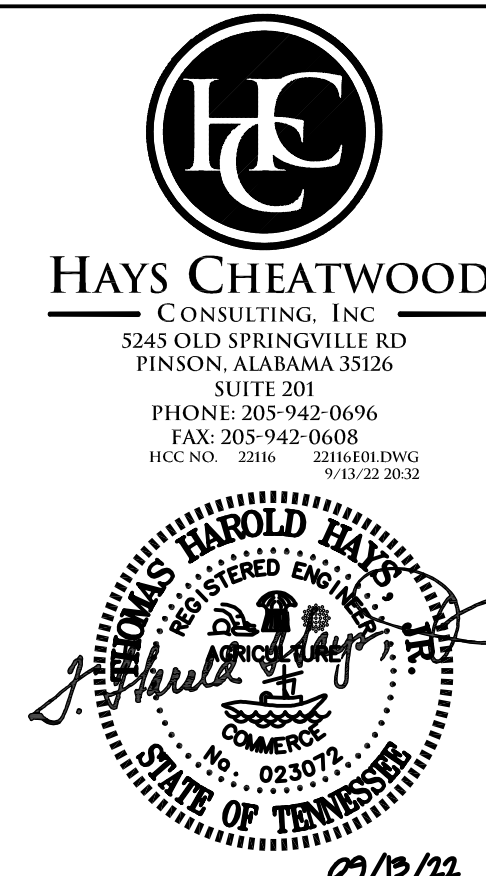
SITE PLAN - ELECTRICAL

LUMINAIRE SCHEDULE

Table with 7 columns: MARK, LUMENS, WATTS, TEMP, VOLTS, DESCRIPTION, MANUFACTURER, CATALOG NUMBER. Row 1: F23, 7000, 40, 4000, MVOLT, OUTDOOR POLE MOUNTED FIXTURE #PARKING AREA LIGHTING, BEACON VISIONAIRE CREE LUMARK LITHONIA LSI.

LUMINAIRE SCHEDULE NOTES

- 1. PREAPPROVED EQUIVALENT MEANS ALL REQUESTS FOR APPROVAL OF MANUFACTURER'S EQUIPMENT NOT SPECIFIED IN THE LUMINAIRE SCHEDULE MUST BE RECEIVED BY THE ENGINEER TEN (10) BUSINESS DAYS PRIOR TO BID.
- 2. EXIT LIGHTS SHALL BE PROVIDED WITH COLOR OF LETTERS REQUIRED BY LOCAL CODE AUTHORITY. FURNISH WITH CHEVRON DIRECTIONAL ARROWS AS SHOWN ON DRAWINGS AND REQUIRED.
- 3. FURNISH PLASTER FRAMES FOR ALL RECESSED LUMINAIRES IN PLASTER CEILINGS.
- 4. CONTRACTOR SHALL VERIFY EXACT TYPE CEILINGS BEING FURNISHED AND SUPPLY BASIC LUMINAIRES SPECIFIED IN APPROPRIATE CONFIGURATION FOR CEILING TO BE FURNISHED.
- 5. PROVIDE DEVICES FOR SECURING LUMINAIRE TO CEILING GRID TO COMPLY WITH SECTION 410.369 OF THE 2020 NATIONAL ELECTRICAL CODE FOR ALL LAY-IN TYPE LUMINAIRES. BENT TAB TYPE IS NOT ACCEPTABLE. IN ADDITION, THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE FOLLOWING CEILING GRID SUPPORTS:



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SFC, Inc.
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901
WWW.SFC-CIVIL.COM FAX: (615) 895-2467

WALL SWITCHES

- WALL SWITCH
THREE-WAY WALL SWITCH
FOUR-WAY WALL SWITCH
DIGITAL TIME SWITCH
MOTOR FAN SWITCH
MOMENTARY SWITCH
PILOT SWITCH
DIMMER SWITCH

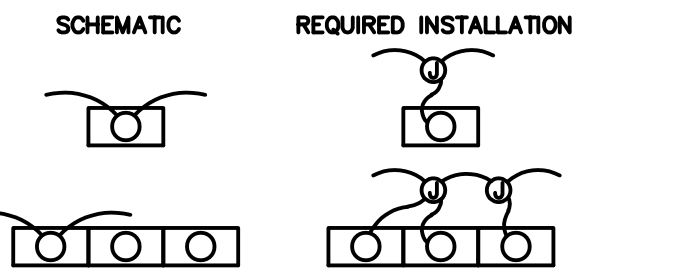
WALL OUTLETS

- DUPLEX 20A. RECEPTACLE
SWITCHED DUPLEX RECEPTACLE
ELECTRIC WATER COOLER GFCI PROTECTED RECEPTACLE
FLUSH FLOOR FIRE POKE THROUGH WITH DATA OUTLET
DUPLEX 20A. GFCI PROTECTED RECEPTACLE
RANGE RECEPTACLE
DUPLEX 20A. TAMPER PROOF RECEPTACLE
DUPLEX RECEPTACLE, NEMA 5-15R, UNDER COUNTER REFRIGERATOR, SEE DETAIL
DUPLEX 20A. WEATHER PROOF RECEPTACLE. PROVIDE A GFCI OUTLET AND WHILE IN-USE COVER.
SPECIAL PURPOSE OUTLET. PROVIDE PER EQUIPMENT MANUFACTURER REQUIREMENTS.

BRANCH CIRCUITS

- CONCEALED IN CEILING, WALL, OR IN CEILING SLAB.
CONCEALED IN OR BELOW FLOOR OR UNDERGROUND.
EXISTING TO REMAIN, SEE ELECTRICAL NOTES.
EXISTING, INSTALL NEW #12 CONDUCTORS NUMBER AS INDICATED BY HASHMARKS.
EXISTING - REMOVE IF EXPOSED; ABANDON IF CONCEALED. REMOVE ALL CONDUCTORS.
EXPOSED.
EMERGENCY.
RUN IN FLEXIBLE METAL CONDUIT.
EMPTY CONDUIT, 3/4" UNLESS OTHERWISE NOTED WITH NYLON PULL CORD.
CONDUIT SEAL FITTING: GROUSE-HINDS #EYS OR APPROVED EQUIVALENT.
HOMERUN TO PANELBOARD AND 20A, 1P BREAKER, UON.

BRANCH CIRCUIT WIRING FOR LIGHTING IS SHOWN SCHEMATICALLY. EACH LUMINAIRE IS TO BE INSTALLED WITH AN INDIVIDUAL FLEXIBLE CONNECTION. FOR EXAMPLE:



DRAWING CONVENTIONS

- NEW WORK
EXISTING TO REMAIN
EXISTING TO REMOVE
DETAIL NUMBER
SHEET NUMBER UPON WHICH DETAIL IS SHOWN

Project Catalog # Type
Prepared by Notes Date
Pr mark a / Site Luminaire
Product Features
Product Certifications
Connected Systems
Quick Facts
Dimensional Details
COOPER Lighting Solutions

Lumark Prevail LED
Ordering Information
SAMPLE NUMBER: PRV-XL-C75-D-UNV-74-SA-BZ
Lumark Product Family
Light Engine Voltage Distribution Distribution
Notes
Luminaire Information
Notes

The Church of Jesus Christ of Latter-day Saints in Murfreesboro
Murfreesboro, Tennessee

REVISIONS
DRAWN
CHECKED
FILE NAME
SCALE
JOB NO.
SHEET
E0.1

September 14, 2022

Mr. Joel Aguilera
City of Murfreesboro
111 W Vine St
Murfreesboro, Tennessee 37130

RE: The Church of Jesus Christ of Latter-day Saints
BZA Special Use Permit
Murfreesboro, Tennessee
SEC Project No. 07174

Dear Joel:

Pursuant to Section 8 – Procedure for Uses Requiring Special Permits and Section 9 – Standards for Special Permit Uses of the City of Murfreesboro Tennessee 2021 Zoning Ordinance in regard to the existing ***The Church of Jesus Christ of Latter-day Saints*** (on a 2.86 acre Parcel 1.00 & 2.00 of Tax Map 090A Group F along E Clark Blvd), please accept the following information as our submittal package for the official Board of Zoning Appeals – Hearing Request Application.

Section 8 – Procedure for Uses Requiring Special Permits

(A) Name, address, and telephone number of the applicant

SEC, Inc on behalf of The Church of Jesus Christ of Latter-day Saints
c/o Matt Taylor
850 Middle TN Blvd
Murfreesboro, TN 37129

(B) Nature and extent of applicant's ownership interest in subject property

Church of Jesus Christ of Latter-day Saints currently owns the property. If the special use permit is granted, the applicants intend to construct additional parking, and relocate their dumpster enclosure.

(C) Site plan to be submitted for review by City Staff and the Board of Zoning Appeals

A concept plan has been submitted with this application for review that shows expansion of parking to add approximately 30 more parking spaces and relocation of dumpster enclosure on the east side of the building. The request is to provide for additional parking to allow for adequate parking during large gatherings at the church. No building addition is planned at this time.

(D) Address of the site of the proposed special use

South of East Clark Blvd.
902 E. Clark Blvd.
Murfreesboro, TN 37130

(E) Vicinity Map showing the property of the proposed special use and all parcels within a five-hundred foot radius

A vicinity map has been submitted with this application for review.

(F) Zoning Classification of property of the proposed special use

The property is currently zoned RS-15 & RD.

(G) The property of the proposed special use shall have the following characteristics:

1.) Hours and days of operation

Wednesday from 6:00pm to 9:00pm and Sunday from 6:00 am to 9:00 pm.

2.) Duration of the proposed special use

Permanent

3.) Number of expected patrons that will be expected to utilize the property of the proposed special use

The existing church has a capacity of 211 seats in the auditorium which is expected to be the maximum number of occupants at any given time. Since no expansion is proposed to the auditorium the maximum expected is 211 patrons at any given time.

4.) Projected traffic that will be expected to be generated by the proposed special use

No change in traffic generation is projected with the site addition.

(H) Potentially harmful characteristics of the proposed special use for the zoning district in which it is proposed and the manner in which the applicant proposes to eliminate or minimize them

The photometric plan is included and will show the onsite proposed lighting in the proposed parking lot and resulting footcandles will be no more than 0.5 at the property lines. Existing lighting will remain.

The existing natural landscaping along the eastern property lines will remain and if required be enhanced to meet the requirements of the zoning ordinance.

The trash enclosures have been located away from the residences and have been enclosed with a solid screen wall and further screened with landscaping.

Section 9 – Standards for Special Permit Uses

(C) Standards of general applicability. An applicant for a special use permit shall present evidence at the public hearing on such special permit, which evidence must establish:

- 1) that the proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare.***

The proposed and existing building has been designed to have minimal impacts on the surrounding neighborhoods. All the parking needs for the church will be contained on the site itself and will not have any connectivity with the surrounding residential neighborhoods. There are no proposed utility changes.

Water: MWRD has a waterline along E Clark Blvd.

Sanitary Sewer: MWRD has sanitary sewer located to the north of the site along E Clark Blvd. The applicant has previously extended sewer into the site to serve the existing building and no additions are needed.

Electric: MTEMC has electrical service along E Clark Blvd via overhead lines and on-site as underground primary.

Gas: Atmos Energy has gas service along E Clark Blvd.

- 2) that the proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations***

The building is oriented between the E Clark Blvd and Palmer dr. and has parking on the sides and rear of the existing building. The site will be accessed solely from the existing access drives that will provide for full turning movements. The photometric plan shows the onsite proposed lighting in the parking lots and resulting footcandles will be no more than 0.5 at the property lines. Existing lighting will remain. The existing natural landscaping along the property lines will largely remain and be enhanced to meet the requirements of the zoning ordinance. The trash enclosures have been located away from the residences and have been enclosed with a solid screen wall and further screened with landscaping.

- 3) that the proposed building or use will be served adequately by the essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water, and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services***

The subjected property is located at the corner of major arterial East Clark Blvd and Leaf Ave.

All of the parking needs for the buildings are contained on the site itself and will not have any connectivity with the surrounding residential neighborhoods. The total required parking spaces for the project is shown as 26 and the site will provide 116 spaces on the site after this project which exceeds the ordinance requirements by 90 spaces.

The drainage for the site will follow existing drainage patterns.

Solid waste disposal will be handled via a dumpster located on the southeast portion of the property. The dumpster will be sited on a concrete pad and enclosed with a masonry enclosure and screened with landscaping.

Fire protection exists for the current building and will not require modification for this scope of work.

Sanitary sewer service exists for the current building and will not require modification for this scope of work.

4) that the proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance

As many as possible existing trees around the site's perimeter will remain to aid in the establishment and effectiveness of the landscape buffers. No other structures or features are known to be of significant importance to remain at this time, however if the BZA identifies any such features the applicant will work to preserve those as well.

5) that the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use Institutional p assembly uses, including recreational fields, public buildings, public or private schools grades K-12, lodges, country clubs, churches, and other places of worship, shall be subject to the following additional standards

1.) Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on site. An onsite off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard.

As represented on the site plan, all parking is contained onsite and no parking is proposed to back onto the public street. All proposed parking is located outside of the front yard. A passenger loading & unloading zone exists on the west side of the building.

2.) In all residential districts, an institutional use group assembly use shall have a lot size not less than three times the minimum lot size permitted in the zoning district where the institutional group assembly is proposed to be located

The minimum lot size of the RS-15 & RD zone requires a minimum of 15,000 s.f. lots thus the minimum size is 45,000 s.f. or 1.03 acres. The proposed site

is approximately 2.86 acres in size which is 2.77 times larger than the required minimum.

- 3.) ***Onsite lighting for parking areas, fields for athletics, scoreboards and grounds shall be arranged in such a manner as to minimize intrusion of the lighting into areas zoned or used for residential or medical purposes***

The photometric plan will show the onsite proposed lighting in the parking lots and resulting footcandles will be no more than 0.5 at the property lines. All fixtures have been restricted to 20-foot mounting height.

- 4.) ***Applications for an institutional group assembly use shall indicate the proposed locations of garbage dumpsters or receptacles. These facilities shall be located in such a manner as to minimize the adverse effects upon neighboring properties and aesthetics from the public right-of-way.***

Solid waste disposal will be handled via a dumpster located on the eastern portion of the property. The dumpster will be sited on a concrete pad and enclosed with a masonry enclosure and screened with landscaping. The location and the screening features will aid in minimizing any effects on neighboring properties or the public right-of-ways.

- 5.) ***Areas for outdoor recreational use or outdoor group activities shall be screened or fenced in such a manner as to provide an effective buffer for adjacent uses***

No recreational areas are proposed with this project.

- 6.) ***The number of required parking spaces provided onsite shall be in accordance with Chart 4 of this article***

The total proposed parking spaces for the project is shown as 116 regular spaces which exceeds the ordinance requirements by 90 spaces.

- 7.) ***An application for a special use permit for an institutional group assembly shall be accompanied by a description of uses or activities proposed for the facility which may be subject to separate regulation or which may result in unusual traffic patterns, traffic volumes, or other detrimental impacts upon adjacent properties, including but not necessarily limited to those uses which would require a special permit if not a part of the institutional group assembly use;***

The church operating hours will remain unchanged with this work.

- 8.) ***The BZA shall have the authority to approve an onsite location with water, sewer, and electric utility connections for accommodations for travel trailers or recreational vehicles (RV's)***

No such uses are being requested at this time.

- 9.) ***The BZA shall have the authority to grant variances to the standards imposed by this subsection for temporary or short-term uses of the property for the institutional group assembly use purposes***


No temporary or short-term uses are proposed at this time, therefore the applicant is not requesting any variances associated with such uses.

- 10.) ***The application for special use permit for an institutional group assembly use shall indicate an intentions for the use of systems for external broadcast of speech, music, or other sounds***

The applicant does not intend to have permanent speakers attached to the building.

Your thorough consideration of the requested special use permit is much appreciated. Please contact me if any additional information is required. I can be contacted at 615-890-7901 or via email at mtaylor@sec-civil.com.

Sincerely,

The image shows a handwritten signature in red ink that reads "Matt Taylor". The signature is written in a cursive style.

Matt Taylor, P.E.
Vice President
SEC, Inc.

City of Murfreesboro
BOARD OF ZONING APPEALS

HEARING REQUEST
APPLICATION

Location/Street Address: 902 East Clark Blvd

Tax Map: 90A Group: F Parcel: 1.00 & 2.00 Zoning District: RS-15 & RD

Applicant: Matt Taylor E-Mail: mtaylor@sec-civil.com

Address: 850 Middle TN Blvd Phone: 615-890-7901

City: Murfreesboro State: TN Zip: 37129

Property Owner: The Church of Jesus Christ of Latter-Day Saints

Address: 902 East Clark Blvd Phone: 615-878-8232

City: Murfreesboro State: TN Zip: 37129

Request: Special Use to allow additional parking to be constructed

Zoning District: RS-15 & RD

Applicant Signature:  Date: 9/12/2022

Received By: Receipt No.:

Application #: Date:

Murfreesboro
Board of
Zoning Appeals



T E N N E S S E E

HEARING APPLICATION
AND
GENERAL INFORMATION

**CITY OF MURFREESBORO
2023 BOARD OF ZONING APPEALS (BZA) CALENDAR**

Monthly Submittal Deadline (3:00 PM)	BZA Meeting Date (1:00 PM)
January 9	January 25
February 6	February 22
March 6	March 22
April 10	April 26
May 8	May 24
June 12	June 28
July 10	July 26
August 7	August 23
September 11	September 27
October 9	October 25
November 6	November 29
November 27	December 18 (Monday)