

**CITY OF MURFREESBORO**  
**HISTORIC ZONING COMMISSION**

Regular Meeting March 21, 2023  
3:30 PM, Council Chambers, City Hall

- I. Call to Order and determination of a quorum
- II. Approve Minutes of the February 21, 2023 Regular Meeting
- III. New Business
  - a. **H-23--002: 324 East College Street, John and Laura Vanzandt** -  
Requesting review for the construction of a new two-story detached garage and additional fencing.
  - b. **H-23--003: 137 Cherry Lane, John and Peggy Taylor**  
Requesting review for exterior remodel of an existing single-family dwelling.
- IV. Staff Reports and Other Business
- V. Adjourn

**City of Murfreesboro  
Historic Zoning Commission  
Staff Comments  
Regular meeting: March 21, 2023**

**New Business:**

**H-23--002 324 East College Street, John and Laura Vanzandt-**  
Requesting review for the construction of a new two-story detached garage and additional fencing.



This property is located on the south side of East College Street a few lots to the east of North Academy Street and adjacent to Jr's Foodland to the south. The two (2) story single-family house was constructed circa 1912 with stucco exterior siding and a wraparound porch. This house is a contributing structure in the North Maney Avenue Historic District of the National Register of Historic Places. The property contains approximately 0.2 acres and is zoned RS-8 (Single-Family Residential District 8) and H-1 (Historic Zoning Overlay District). It is also located in the CCO (City Core Overlay) district. The applicant is requesting to construct a 576 square-foot, two-story garage and new fencing. Architectural elevation drawings, a plot plan showing garage location, fence replacement/ additions and materials information are included in the agenda material.

The applicants employed James and Associates to coordinate the design of the new garage structure to best match and complement the existing home including matching the overall shape and roof style. The applicants request the following for review:

1. Exterior material- Cedar Nichiboard.
2. Precision Millworks series 200 wood double hung windows.
3. Oakridge Estate Gray architectural shingles.
4. Wood-stained metal garage door.
5. Garage exterior lighting fixtures.
6. Removal and replace existing chain-link fencing and add additional yard fencing with wood picket fencing.

Pictures of the home as it exists today and homeowner proposed product material specifications are included in the agenda materials.

The applicant will attend the meeting in order to explain the modifications and answer any questions the Commission may have regarding the request.



Creating a better quality of life

<b>HZC Application Fees</b>	
<b>Certificate of Appropriateness</b>	
HZC Application (Goes to Meeting) . . . . .	\$150.00
HZC Application (Admin Approval) . . . . .	\$ 75.00

To initiate a Historic Zoning Commission Application, an applicant must submit the following:

1. A completed HZC Application Certificate of Appropriateness (below).
2. A non-refundable application fee (prices listed above).
3. Meet with HZC Planner about application.

To be completed by applicant:

Date: 2/5/2023

Owner: John and Laura Vanzandt

Owner's Address: 324 E College Street Phone: 901-619-8860

Address of Property (if different than above) \_\_\_\_\_

Current Use: Residence

Describe property / structure (e.g. architectural style, date of construction, condition of structure, history of structure, if known, etc.)

324 E. College, Craftsman style with Hip roof. ca, 1912, 1 1/2 stories, stucco.

Is this a "contributing" structure? Yes  No \_\_\_\_\_

Is the property or structure listed on the National Register of Historic Places? Yes  No \_\_\_\_\_

Check proposed action(s):

\_\_\_\_ Alteration      \_\_\_\_ Addition      \_\_\_\_ Demolition       New Construction

\_\_\_\_ Exterior Repairs / Maintenance (No Appearance Changes)

Description of the work to be performed on the property:

Addition of detached workshop/garage. Replace and extend existing chain link fencing with

approximately 5 foot high wood open picket fencing as shown in submitted photos.

Provide: Photographs, scaled drawings of the plans, elevations and materials to assist the Commission in deciding

Architect: James and Associates

Address: 119 S Walnut Phone: 615-893-0060

Contractor: Not yet determined

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Is there an application relevant to this property and the subject of modifications or improvements pending or contemplated before the Board of Zoning Appeals, Planning Commission or City Council?  
     Yes        X   No

If yes, please specify: \_\_\_\_\_

Who will represent the owner at the Historic Zoning Commission meeting?  
Note: The representative needs to be present at the meeting to answer questions and should have the authority to commit the owner to make changes suggested or required by the Historic Zoning Commission.

Name: John and Laura Vanzandt Phone: 901-619-8860

Address: 324 E College Street

Title or Relationship to Owner: OWNERS

**Information:**  
There will be two inspections **prior** to completion of the Certificate of Appropriateness. One near midway of the project and one at the completion of the project. Call 615-893-6441 at least two working days prior to each the inspection. Upon completing the project, according to the application, the owner will receive a copy of the Certificate of Appropriateness in the mail.

Please complete these forms and submit them to the Planning Department by 3:00 p.m. on the submittal date indicated on the HZC yearly calendar.

Approvals for Certificates of Appropriateness allow six months to begin construction. If work has not commenced with that timeframe, the approval will be expired.

SIGNATURE OF OWNER: 

SIGNATURE OF AGENT (when applicable): \_\_\_\_\_

\*\*\*\*\*For Office Use Only\*\*\*\*\*

Date received: 2/27/23 Receipt #: S30152 Amt Paid: \$150 HZC #: H-23-002

## **Plan of Proposed Work for 324 E. College Street, Murfreesboro, TN**

We are proposing the addition of a 24'X24' (two car) vehicle garage with a 2<sup>nd</sup> floor shop/storage to be used primarily for personal woodworking and household maintenance/restoration.

We have used James and Associates as the architect based upon their local location and their experience designing several structures within the historic zone. We have made every effort to coordinate the design of the new structure to match/complement the existing home. We have attempted to match the overall visual presentation to the original including matching the overall shape and roof style.

Additionally, we have chosen the best available period matching siding and roofing materials to coordinate with the appearance of the existing structure. We have sourced double hung solid wood sill windows from a local vendor which match the appearance of most of the currently installed windows closely. Our plan is to duplicate the color scheme of the existing structure on the new structure as closely as possible.

We are proposing the removal of the existing chain link fencing, and we propose replacing that with a new fence constructed of open spaced wood pickets approximately 5 feet tall. This fence would tie into the existing taller wood fence currently separating the lot from the commercial lot in the rear (Juniors Market.) This fence would also include a section (not visible to the public) of similar construction between the existing structure and the new garage. The fence is visually represented on the attached fence plan along with example photos of the proposed fence style.



324 East College Street (the subject property)



Looking down the driveway of 324 East College Street toward the rear property line





320 East College Street (directly to the west of the subject property)



330 East College Street (directly to the east of the subject property)

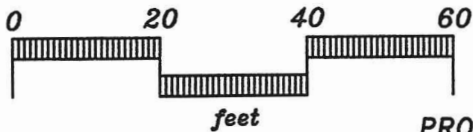
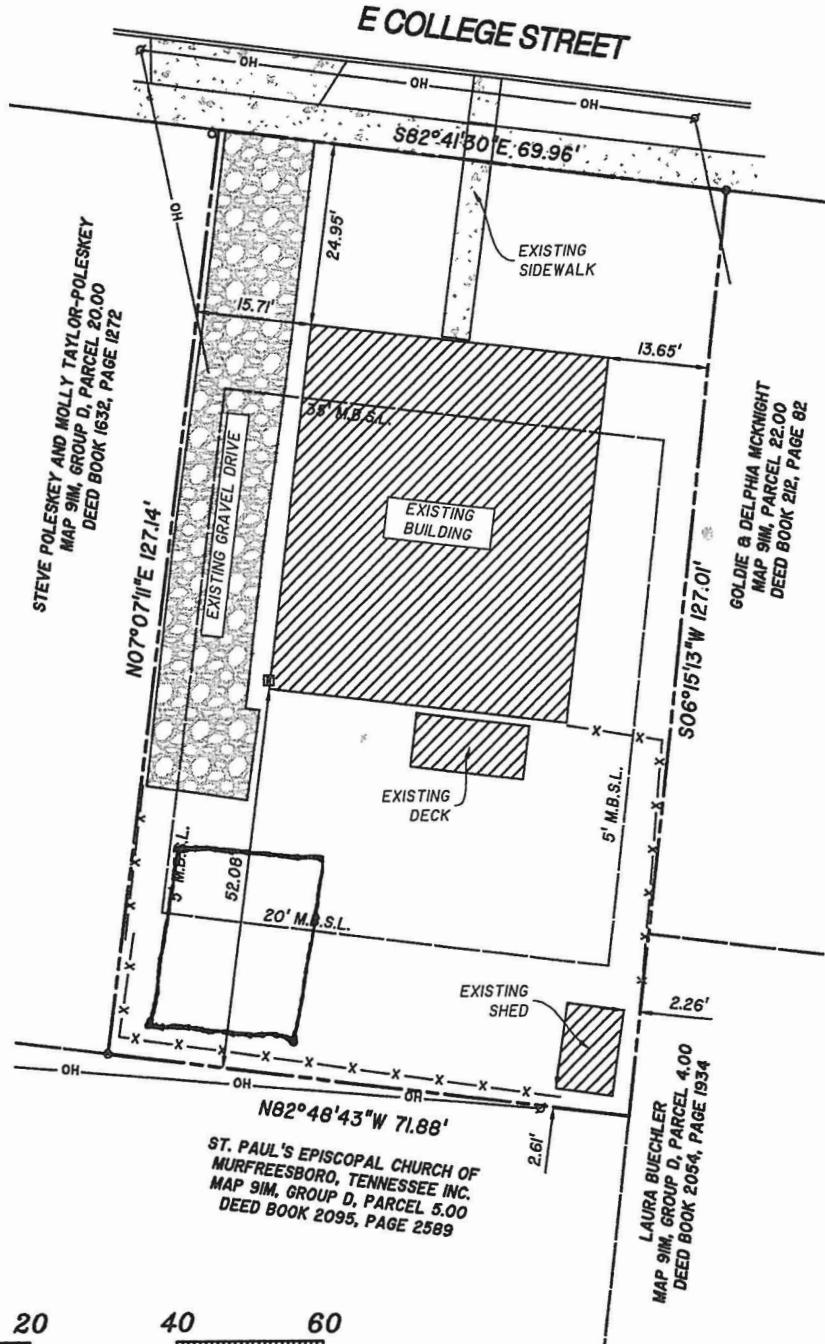
**SEC, Inc.**

WWW.SEC-CIVIL.COM

**SITE ENGINEERING CONSULTANTS**

**ENGINEERING • SURVEYING • LAND PLANNING  
LANDSCAPE ARCHITECTURE**

850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129  
PHONE (615) 890-7901 • FAX (615) 895-2567



PROPERTY EXHIBIT  
JOHN SCOTT VANZANDT  
324 E COLLEGE ST  
MAP 91M, GROUP D, PARCEL 21.00  
R.B. 1978 PG. 2503  
P.B. 5, PG. 119 (R.O.R.C., TN)



DATE: 9/23/2022  
REV DATE:

ZONED: RS-8; H-1 HISTORIC OVERLAY

SEC#: 22560



JAMES & ASSOCIATES  
RESIDENTIAL DESIGNERS, LLC  
119 South Walnut St.  
Murfreesboro, TN 37130  
(615) 893-0060  
boroplans@gmail.com

www.boroplans.com



Scan to view our Website!

**DETACHED GARAGE FOR:  
SCOTT & LAURA YANZANDT  
324 E. COLLEGE ST.  
MURFREESBORO, TENNESSEE**

JAMES & ASSOCIATES  
RESIDENTIAL DESIGNERS, LLC  
assumes no liability for any con-  
struction from this plan. While  
every attempt has been made in  
the preparation of this plan to  
avoid errors, omissions, and mis-  
takes, the designer cannot guar-  
antee against human error. It is  
the responsibility of the purch-  
aser of this plan to perform the  
following before beginning actual  
construction, the designer  
will not be liable for human error  
after construction begins.

- 1.) Builder or contractor must verify ALL DIMENSIONS AND CONSTRUCTION METHODS prior to the start of any construction.
- 2.) All beams & engineered lumber as shown on plan must be verified by supplier & contractor prior to the start of any construction.
- 3.) Builder or contractor must verify compliance with all local building codes in the area where the home is to be constructed.
- 4.) Plans indicate location only, engineering aspects should incorporate actual site conditions.

**A I  
B D**  
AMERICAN INSTITUTE OF  
BUILDING DESIGN  
MEMBER SINCE 1989

THIS PLAN IS THE PROPERTY OF  
JAMES & ASSOCIATES  
RESIDENTIAL DESIGNERS, LLC  
AND MAY NOT BE USED  
OR REPRODUCED  
WITHOUT THEIR PERMISSION.

DRAWN BY: STEVE JAMES

DATE: FEB. 2023

SCALE: AS NOTED

PLAN NO. G-1177-1445

SHEET  
OF SHEETS

**DESIGN NOTE:**

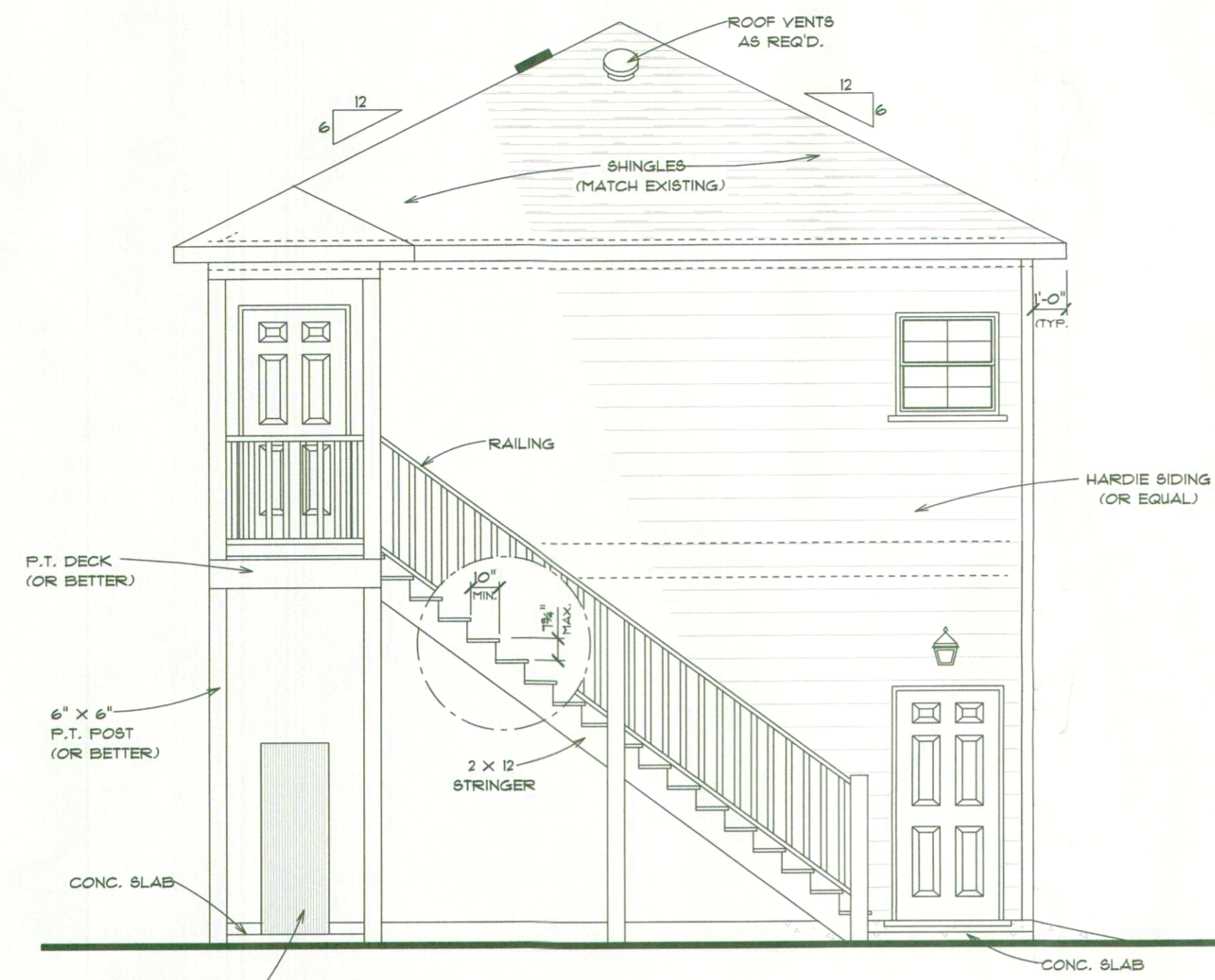
THIS PLAN IS DESIGNED PER THE OWNER'S SPECIFIC INSTRUCTIONS IN REGARD TO EXACT LAYOUT, DIMENSIONS, COMPONENT LOCATIONS & DESIGN CRITERIA FOR SAID PLAN. CONTRACTOR TO VERIFY CODE COMPLIANCE & ALL CONSTRUCTION METHODS PRIOR TO BEGINNING OF ANY CONSTRUCTION, REFER TO TITLE BLOCK NOTES.

**FINISHED GRADE NOTE:**

ALL GRADE LINES, & EXTERIOR STEPS SHOWN FOR ILLUSTRATION PURPOSES ONLY. EXACT FINAL GRADE T.B.D. ON SITE. MIN. 5% SLOPE AWAY FROM HOUSE IN ALL DIRECTIONS. -CONTRACTOR VERIFY-

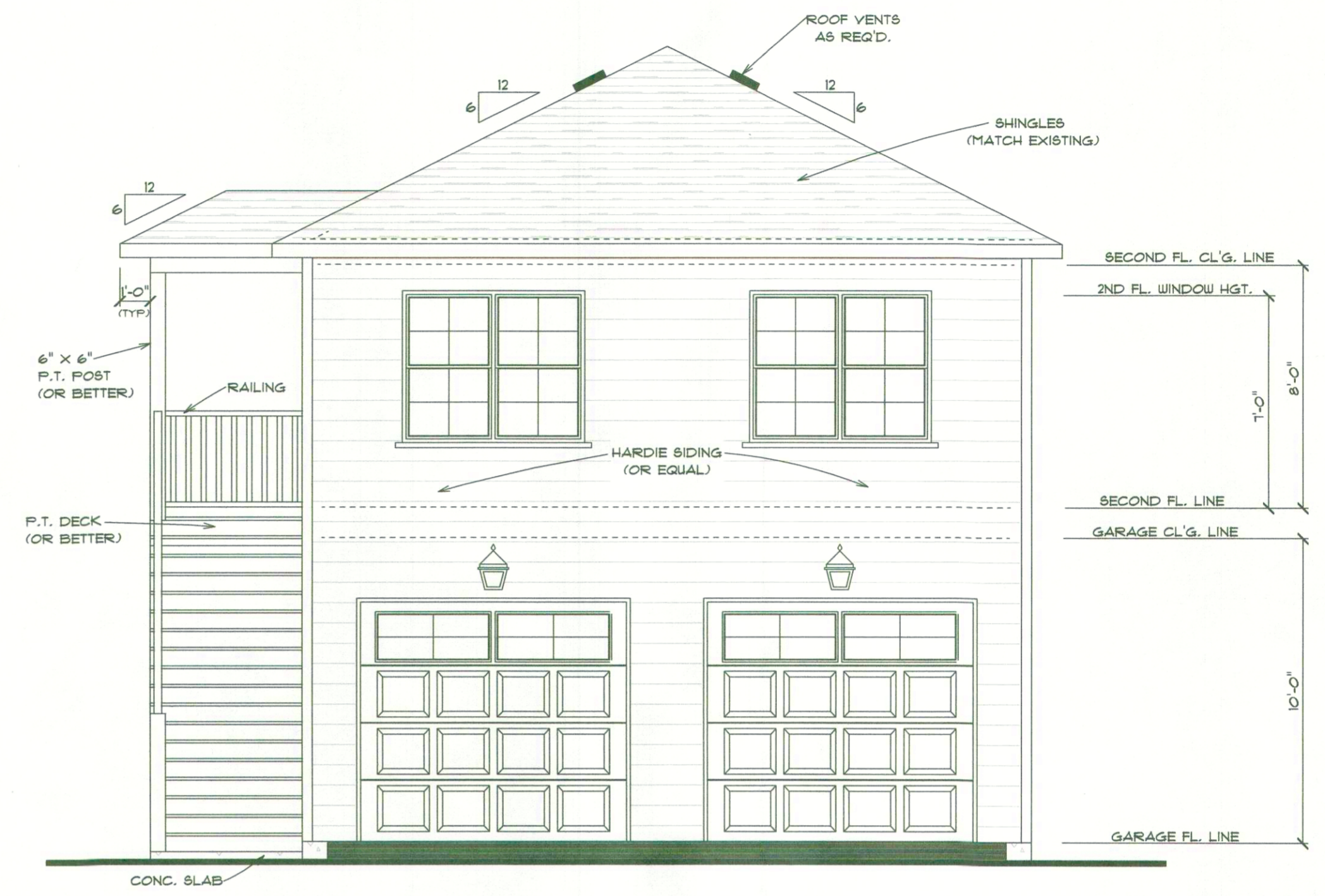
**ROOF NOTES:**

- 1.) PROVIDE GUTTERS, DOWNSPOUTS, AND SPLASH BLOCKS AT ALL SIDES AS REQ'D.
- 2.) FLASH ALL AREAS AS REQ'D.
- 3.) INSTALL ROOF & EAVE VENTS AS REQ'D.
- 4.) FOLLOW ROOFING MANUFACTURERS RECOMMENDATIONS FOR APPLICATION OF ROOF PITCH LESS THAN 4/12



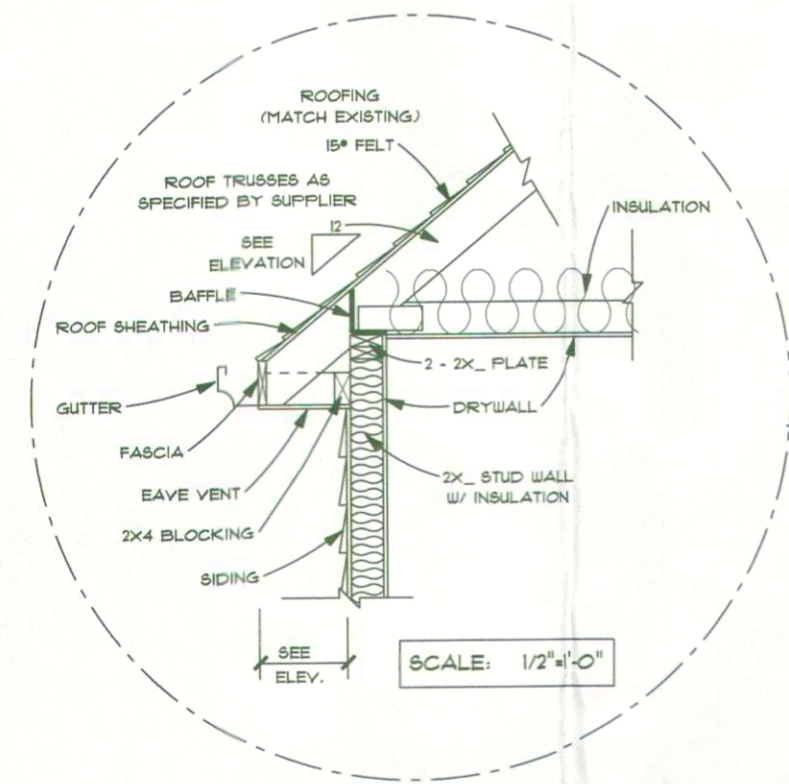
**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

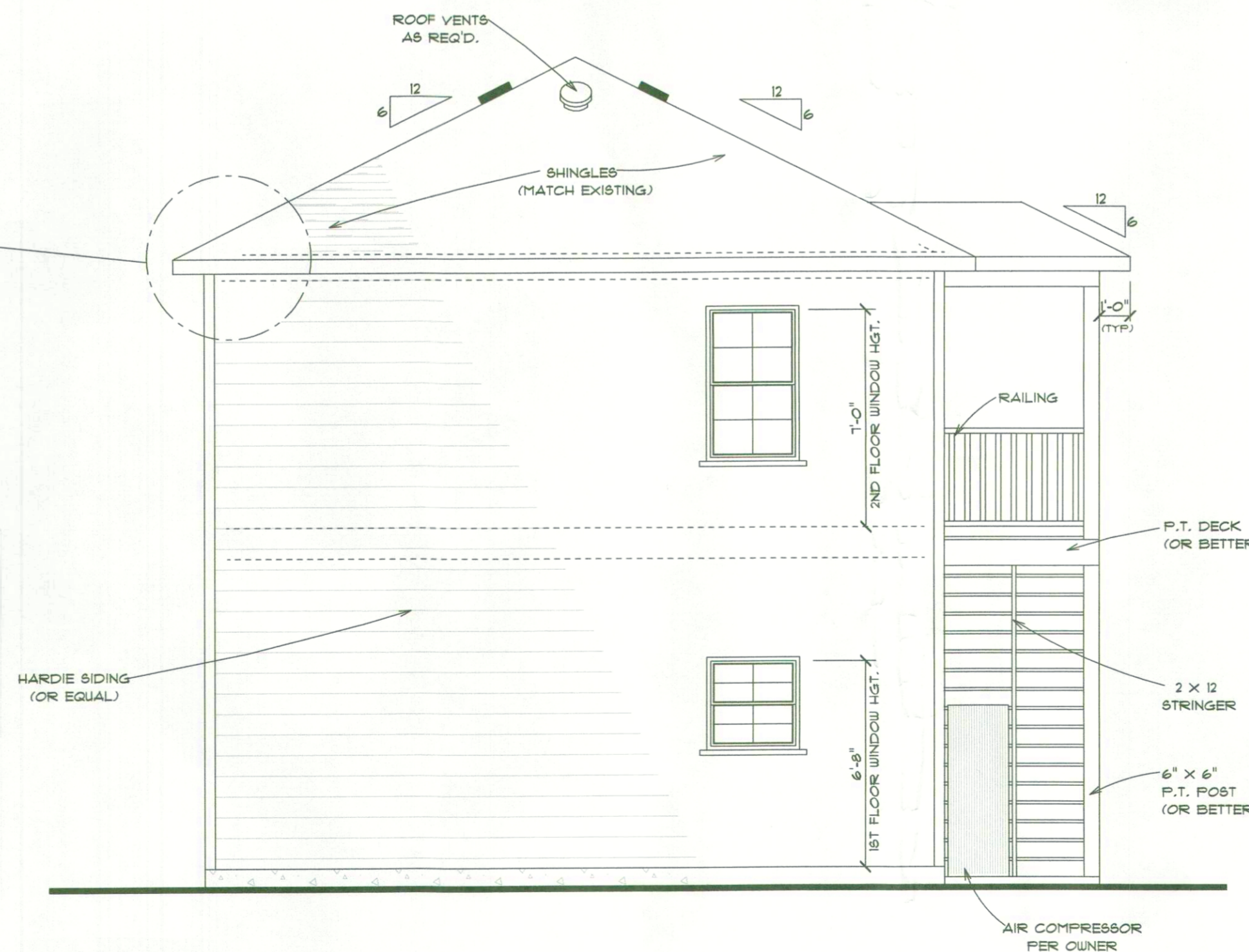


**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

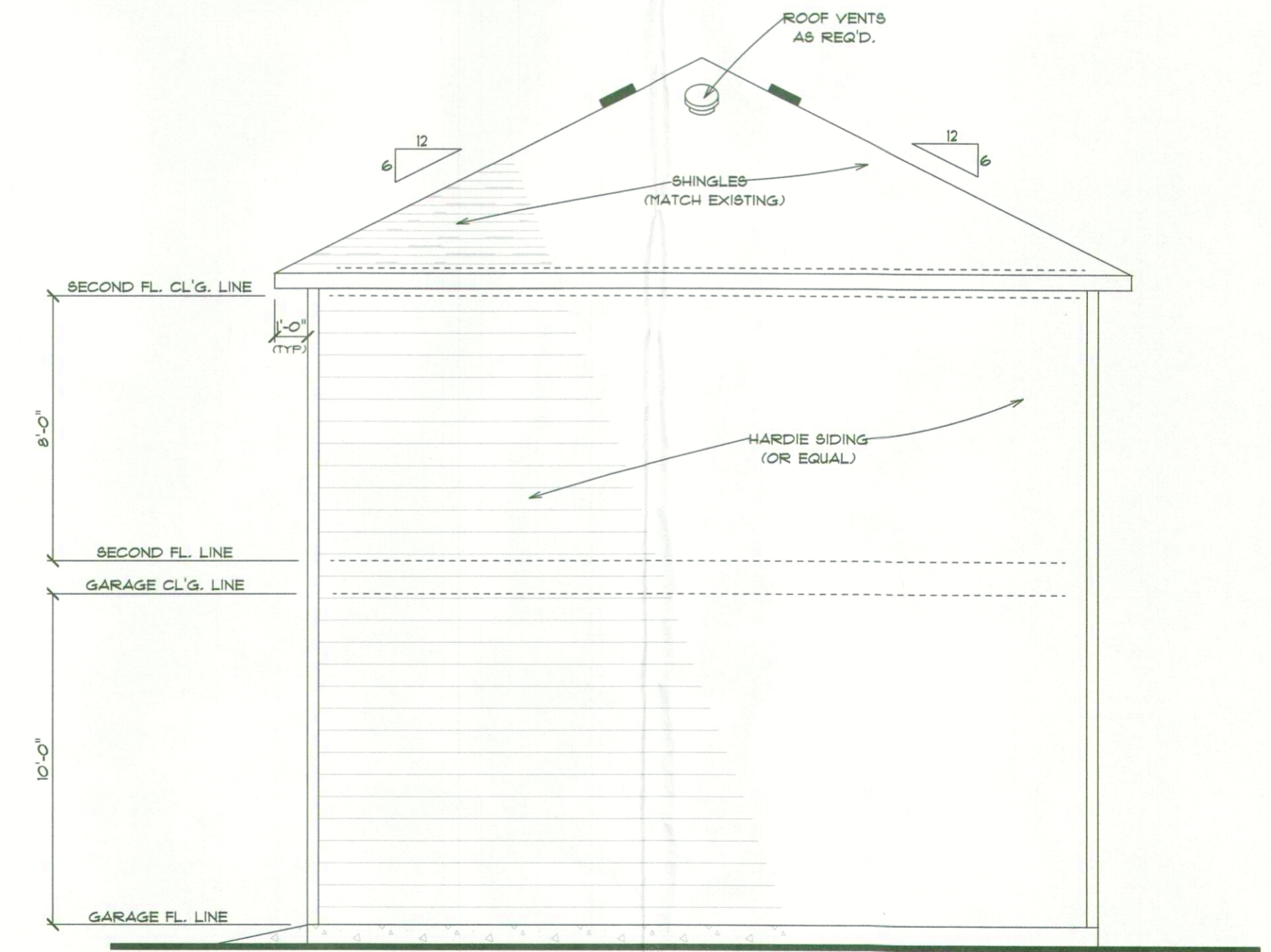


SCALE: 1/2" = 1'-0"



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

**DESIGN NOTE:**  
 THIS PLAN IS DESIGNED PER THE OWNER'S SPECIFIC INSTRUCTIONS IN REGARD TO EXACT LAYOUT, DIMENSIONS, COMPONENT LOCATIONS & DESIGN CRITERIA FOR SAID PLAN. CONTRACTOR TO VERIFY CODE COMPLIANCE & ALL CONSTRUCTION METHODS PRIOR TO BEGINNING OF ANY CONSTRUCTION, REFER TO TITLE BLOCK NOTES.

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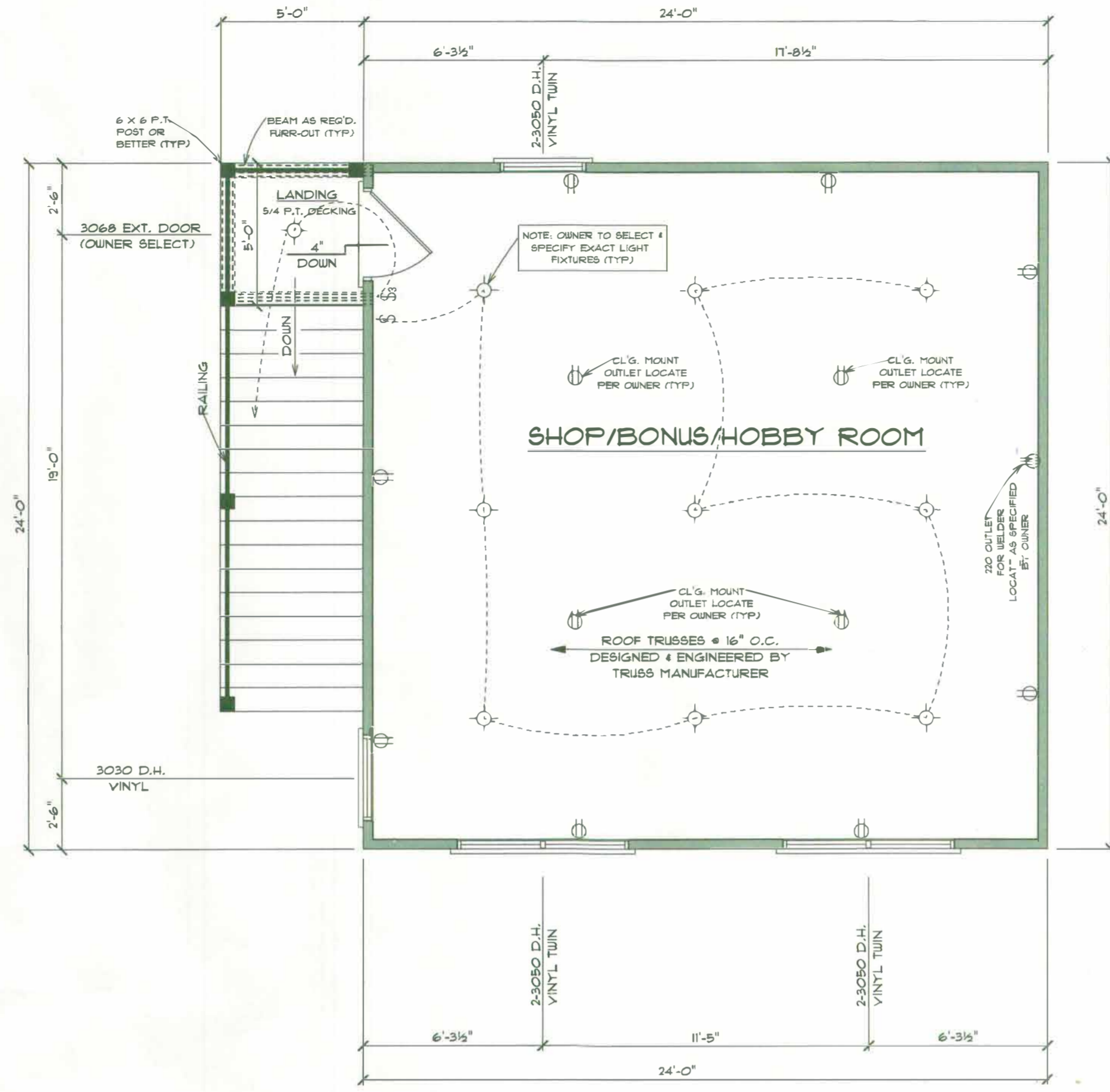
ALL TEMPORARY & PERMANENT BRACING TO BE CONTRACTOR VERIFIED.

**NOTE:**  
 ALL STRUCTURAL BEAMS, POST, COLUMNS, TRUSSES, ETC. SHOWN ON THIS PLAN ARE TO BE SPECIFIED & SIZED BY SUPPLIER OR A REGISTERED STRUCTURAL ENGINEER AND CONTRACTOR VERIFIED PRIOR TO THE START OF ANY CONSTRUCTION.

PROVIDE ENGINEERED STRUCTURAL HANGERS AS REQ'D. PER CODE/INDUSTRY STANDARDS.

PROVIDE SOLID SUPPORT @ ALL BEAM ENDS & POINT LOADS THROUGH STRUCTURE TO FOOTING

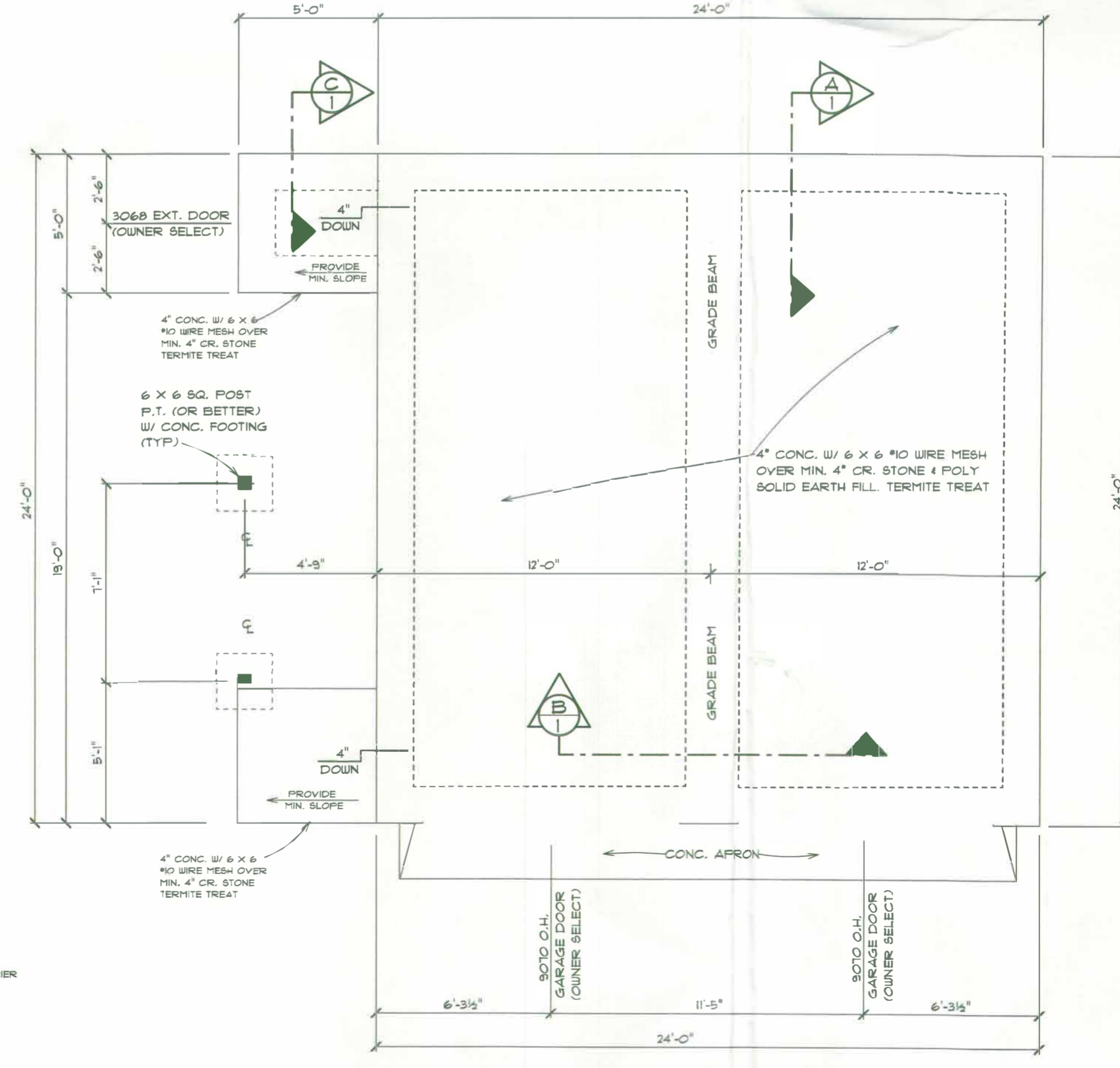
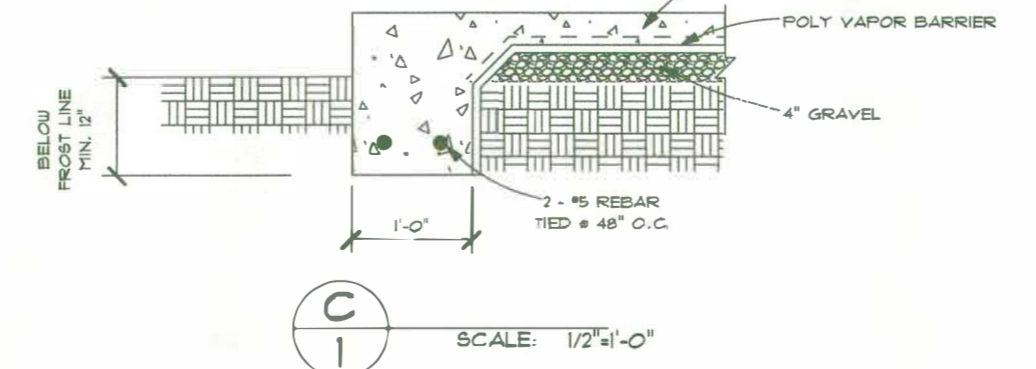
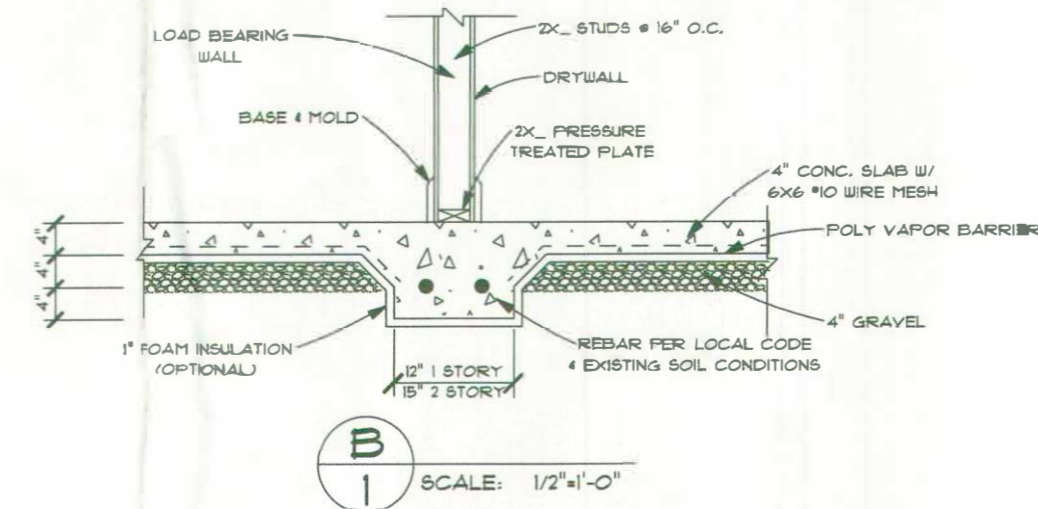
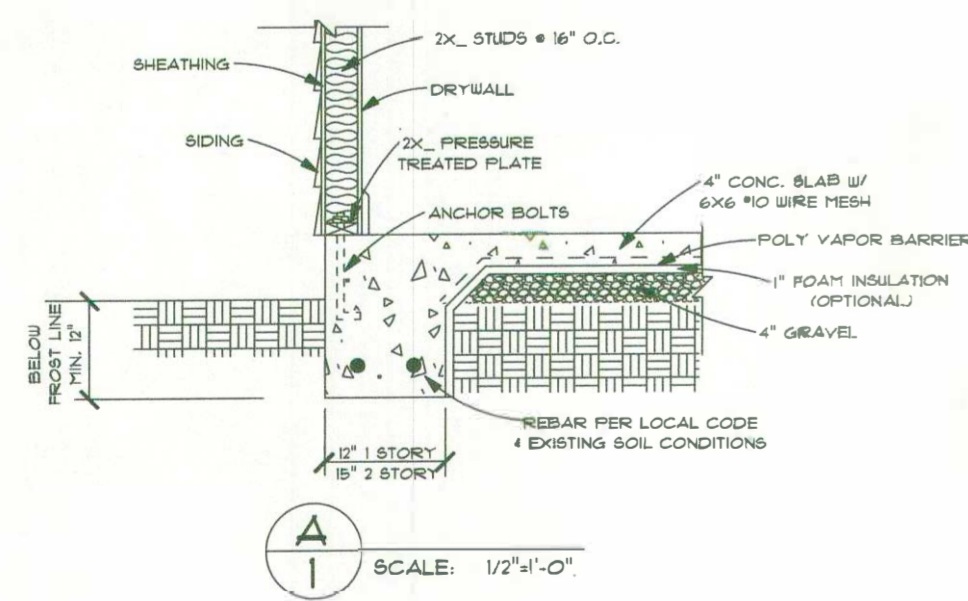
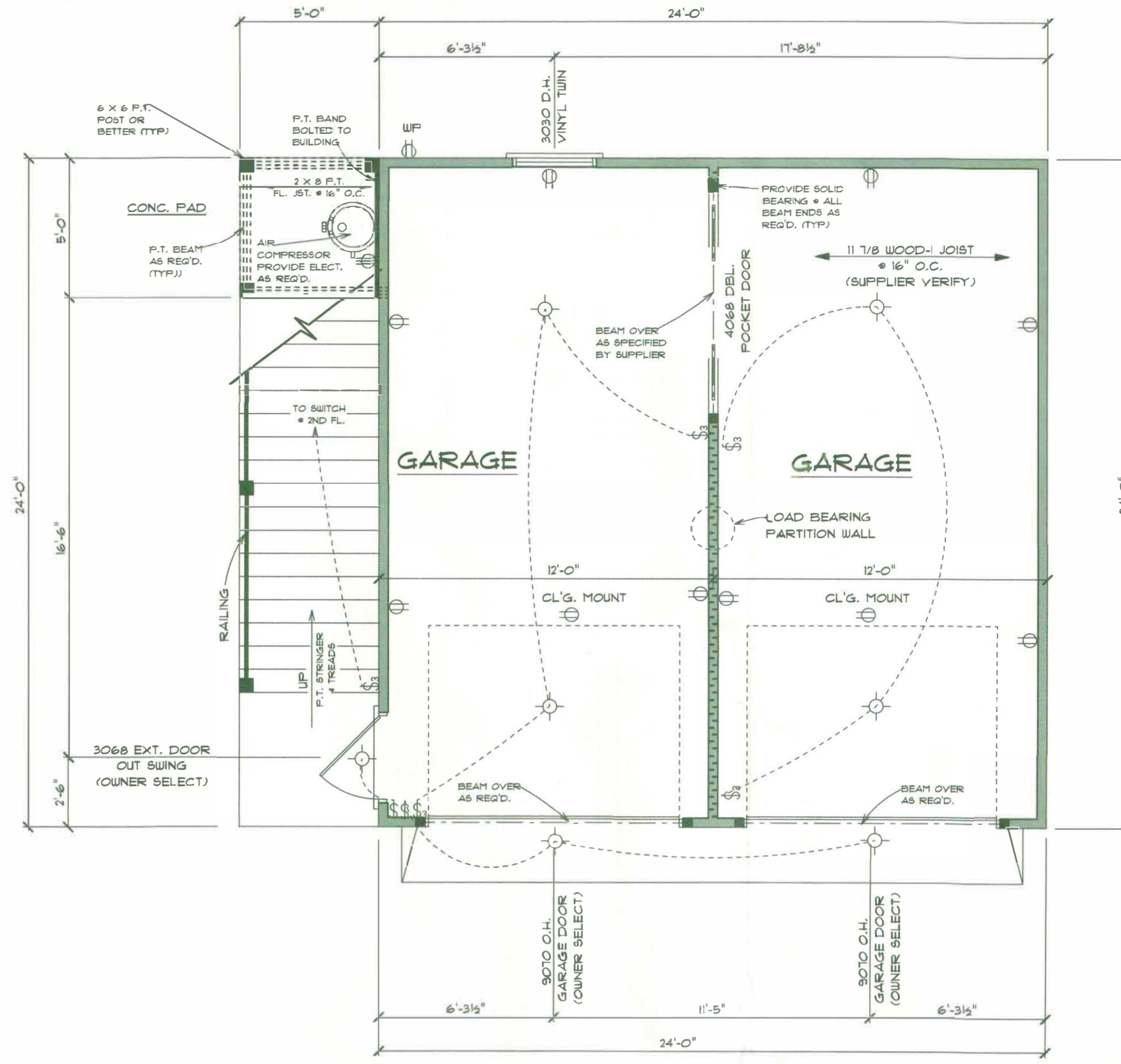
PROVIDE ALL ATTIC ACCESS AS REQ'D. AND CONTRACTOR VERIFY.



**APPROXIMATE SQ. FOOTAGE:**  
 576 SQ. FT. FIRST FLOOR AREA  
 576 SQ. FT. SECOND FLOOR AREA  
 25 SQ. FT. COVERED LANDING AREA  
 1171 SQ. FT. TOTAL AREA UNDER ROOF

**ELECTRICAL NOTES:**

- 1.) EXACT TYPE AND LOCATION OF ALL ELECTRICAL SYMBOLS AS SHOWN ON PLAN TO BE VERIFIED BY OWNER PRIOR TO START OF ANY CONSTRUCTION.
- 2.) EXACT LOCATION OF ELECT. SERVICE ENTRANCE AND METER TO BE SPECIFIED BY LOCAL POWER SUPPLY COMPANY.
- 3.) PROVIDE ELECT. SERVICE TO H.V.A.C. UNITS AS REQ'D.
- 4.) PROVIDE ALL EXTERIOR LIGHTING & SWITCH LOCATIONS AS SPECIFIED BY OWNER.
- 5.) PROVIDE SMOKE ALARMS AS REQ'D. PER LOCAL CODE.
- 6.) LOCATE AND INSTALL ALL PHONE & T.V. JACKS AS SPECIFIED BY OWNER.
- 7.) PRE-WIRE HOUSE FOR ALARM SYSTEM PER MANUFACTURERS SPECIFICATIONS - OWNER VERIFY



**JAMES & ASSOCIATES**  
 RESIDENTIAL DESIGNERS, LLC  
 139 South Walnut St.  
 Murfreesboro, TN 37130  
 (615) 893-0060  
 boroplans@gmail.com  
 www.boroplans.com

**DETACHED GARAGE FOR:**  
**SCOTT & LAURA VANZANDT**  
 324 E. COLLEGE ST.  
 MURFREESBORO, TENNESSEE

**JAMES & ASSOCIATES**  
 RESIDENTIAL DESIGNERS, LLC  
 assumes no liability for any construction from this plan. While every attempt has been made in the preparation of this plan to avoid errors, omissions, and mistakes, the designer cannot guarantee against human error. It is the responsibility of the purchaser of this plan to perform the following before beginning actual construction, the designer will not be liable for human error after construction begins.

- 1.) Builder or contractor must verify ALL DIMENSIONS AND CONSTRUCTION METHODS prior to the start of any construction.
- 2.) All beams & engineered lumber as shown on plan must be verified by supplier & contractor prior to the start of any construction.
- 3.) Builder or contractor must verify compliance with all local building codes in the area where the home is to be constructed.
- 4.) Plans indicate location only, engineering aspects should incorporate actual site conditions.

**AIBD**  
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DRAWN BY: STEVE JAMES

DATE: FEB. 2023

SCALE: AS NOTED

PLAN NO: G-1177-1445

SHEET  
 1  
 OF SHEETS



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### NICHIPANEL SPECS

HEIGHT (FT.)	4'	4'	4'
LENGTH (FT.)	8'	10'	12'
THICKNESS (IN.)	5/16"	5/16"	5/16"
WEIGHT (LBS./SQ. FT.)	2.2	2.2	2.2
WEIGHT (LBS./PANEL)	88.2	110.1	132.1
COVERAGE (SQ. FT./BOARD)	32	40	48
PACKAGING (PIECES/PALLET)	49	39	32



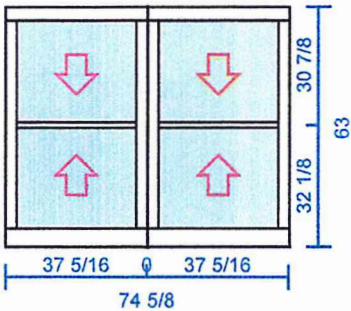
<b>Quote Date</b> 02/24/2023	<b>Good Thru</b> 03/26/2023	<b>MasterGrp</b>	<b>DoPO?</b> Yes	<b>Sales Tax</b> OUT OF STATENX	<b>SalesPerson</b> WAKEFIELD SALES LLC
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**Sold to:**  
Haynes Bros. Lumber Company  
P.O. Box 338  
Murfreesboro, TN 37133-0338

**Requirements:**  
U-Factor: 0.00  
SHGC: 0.00  
Design PSF: +0/-0

**Job/Ship To:**  
Haynes Bros. Lumber Company  
P.O. Box 338  
Murfreesboro, TN 37133-0338

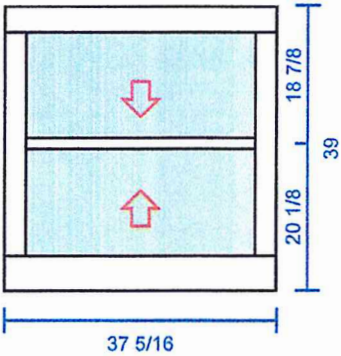
Viewed from Outside	RoomCode	Item DP	U-Fac	SHGC	Qty	Unit	Extended
			0.46	0.59			



**Line Full Description**

- 10 WOOD 200 DOUBLE HUNG OSF (CUSTOM 37 5/16 x 63) (ISJ 36 x 60 , ExtCase 40 x 64 1/4 ) IG ANN CLR, 1/1 PAINT GRADE EG EXT/PAINT GRADE, WHT HRDWR, 4-9/16" JAMB, 180 BRICKMOULD, STD SILL NOSING
- 12 WOOD 200 DOUBLE HUNG OSF (CUSTOM 37 5/16 x 63) (ISJ 36 x 60 , ExtCase 40 x 64 1/4 ) IG ANN CLR, 1/1 PAINT GRADE EG EXT/PAINT GRADE, WHT HRDWR, 4-9/16" JAMB, 180 BRICKMOULD, STD SILL NOSING
- 14 VERTICAL MULL 63, 0" AIRSPACE

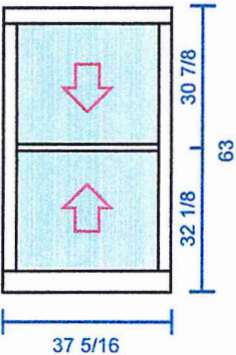
Viewed from Outside	RoomCode	Item DP	U-Fac	SHGC	Qty	Unit	Extended
			0.46	0.59			



**Line Full Description**

- 20 WOOD 200 DOUBLE HUNG OSF (CUSTOM 37 5/16 x 39) (ISJ 36 x 36 , ExtCase 40 x 40 1/4 ) IG ANN CLR, 1/1 PAINT GRADE EG EXT/PAINT GRADE, WHT HRDWR, 4-9/16" JAMB, 180 BRICKMOULD, STD SILL NOSING

Viewed from Outside	RoomCode	Item DP	U-Fac	SHGC	Qty	Unit	Extended
			0.46	0.59	1		



**Line Full Description**

- 30 WOOD 200 DOUBLE HUNG OSF (CUSTOM 37 5/16 x 63) (ISJ 36 x 60 , ExtCase 40 x 64 1/4 ) IG ANN CLR, 1/1 PAINT GRADE EG EXT/PAINT GRADE, WHT HRDWR, 4-9/16" JAMB, 180 BRICKMOULD, STD SILL NOSING

<b>Materials</b>	<b>Sales Tax</b> \$ 0.00	<b>Installation</b> \$ 0.00	<b>Misc</b> \$ 0.00	
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1  
2

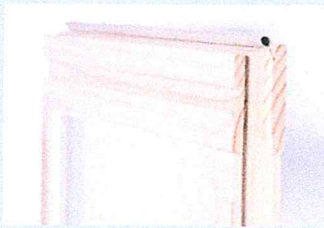




**ENVIROGUARD**  
rot proof windows & millwork™

**The priced-right  
balance of cellular  
PVC and wood,  
built to last.**

**WOOD**



Constructed of wood  
featuring a stainable  
pine interior and  
primed exterior.



**1 year on all wood  
components, 20 years  
on glass, 25 years on PVC  
components.\***



**Series 200**

**DOUBLE  
HUNG  
WINDOW**

The ENVIROGUARD™ Series 200 double hung sash only and new construction unit are available at our most competitive price. The Series 200 is incredibly energy efficient with Super Spacer® Warm Edge Technology. It operates smoothly with a compression balance, and both sashes have finger lifts that make it easy to operate.

The Series 200 unit utilizes solid cellular PVC on the sill, sill nosing, blind stop, and brick mould, which eliminates the potential for rot. The window comes in standard sizes and custom sizing is also available with enhancements such as Low E, argon gas. Grid light arrangements in all the popular options are available as grilles between the glass (GBG) or simulated divided lights (SDL) in: Traditional Colonial, Craftsman, Prairie, Mission, Victorian, or any custom design profile you can think of. Hardware is available in both white and bronze.

The Series 200 is just one of many compatible millwork product offerings from Precision Millworks. Precision Millworks also manufactures premium double-hung window units, casements, arched or radius windows, transoms, columns, pediments and much more.



**PRECISION  
MILLWORKS, INC.**  
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Made in the USA with  
American pride and craftsmanship.



# The Series 200 Story

Whether you're a dealer that wants a competitively priced, solidly built wood sash to incorporate into your own window units, or a builder that wants a window line that captures the look of a traditional wood double-hung window, but with all the glass options and a rot-resistant exterior, the Series 200 window checks all the boxes. The wood sash is boot-glazed, which means the glass rests in a rubber "boot" that surrounds the perimeter and attaches to the sash, is primed on the exterior and stainable on the interior. In a Precision-made Series 200 unit, the sill, sill nosing, brick mould and blind stop are all cellular PVC, which is impervious to rot and insect damage. A complete line of Series 200 stationary and transom sashes are also available, and custom sizes are available.

## Finishing

Series 200 windows and sashes should be painted with standard oil base or latex paint using industry standard painting techniques. Extremely dark colors may accelerate heat buildup, as they tend to absorb a greater amount of solar heat potentially causing distortion or separation at the joints.

**WARNING:** Painting any portion of the Series 200 sash/unit with a paint color that has an L value of 56 or darker (black = 0 and white = 100) will forfeit the product warranty. If, despite the above warning, you should choose to paint the Series 200 a dark color (as defined above), a paint specifically designed for these applications **MUST** be used. Contact the paint manufacturer to verify the paint's reflective properties and suitability with regard to painting cellular PVC. Precision Millworks Inc. is not liable for paint used on our cellular PVC components or the result of its use.

## \*20-25 Year Warranty

We warrant our glass against seal failure for 20 years. ENVIROGUARD™ cellular PVC components are warrantied against rot, warpage, and corrosion for 25 years. See complete warranty details on our website: [PrecisionMillworks.com/Warranty](http://PrecisionMillworks.com/Warranty)

Size	Rough Opening	Standard Light Arrangement
1/8 x 3/2	22" x 42"	4 over 4
1/8 x 3/10	22" x 50"	4 over 4
1/8 x 4/6	22" x 58"	4 over 4
1/8 x 5/2	22" x 66"	4 over 4
1/8 x 5/6	22" x 70"	4 over 4
1/8 x 6/2	22" x 78"	6 over 6
2/0 x 3/2	26" x 42"	4 over 4
2/0 x 3/10	26" x 50"	4 over 4
2/0 x 4/6	26" x 58"	4 over 4
2/0 x 5/2	26" x 66"	4 over 4
2/0 x 5/6	26" x 70"	4 over 4
2/0 x 6/2	26" x 78"	6 over 6
2/4 x 3/2	30" x 42"	6 over 6
2/4 x 3/10	30" x 50"	6 over 6
2/4 x 4/6	30" x 58"	6 over 6
2/4 x 5/2	30" x 66"	6 over 6
2/4 x 5/6	30" x 70"	6 over 6
2/4 x 6/2	30" x 78"	9 over 9
2/8 x 3/2	34" x 42"	6 over 6
2/8 x 3/10	34" x 50"	6 over 6
2/8 x 4/6	34" x 58"	6 over 6
2/8 x 5/2	34" x 66"	6 over 6
2/8 x 5/6	34" x 70"	6 over 6
2/8 x 6/2	34" x 78"	9 over 9
3/0 x 3/2	38" x 42"	6 over 6
3/0 x 3/10	38" x 50"	6 over 6
3/0 x 4/6	38" x 58"	6 over 6
3/0 x 5/2	38" x 66"	6 over 6
3/0 x 5/6	38" x 70"	6 over 6
3/0 x 6/2	38" x 78"	9 over 9
3/4 x 3/2	42" x 42"	8 over 8
3/4 x 3/10	42" x 50"	8 over 8
3/4 x 4/6	42" x 58"	8 over 8
3/4 x 5/2	42" x 66"	8 over 8
3/4 x 5/6	42" x 70"	8 over 8
3/4 x 6/2	42" x 78"	12 over 12

Specifications	ENVIROGUARD Cellular PVC	Pine
Average Density	0.50	0.43
Screw Holding: Face	298#	293#
Screw Holding: Edge	268#	231#
Water Absorption (%)	≤1.0	15-35



Precision Millworks, Inc.  
 910 Dahlonga Highway  
 Cumming, GA 30040  
 800-662-7883



Hover Image to Zoom

Oakridge Estate Gray  
Algae Resistant Laminate  
Architectural Roofing  
Shingles (32.8 sq. ft. Per  
Bundle)

by **Owens Corning**

Related Videos & 360° View



Product Images

Live Chat

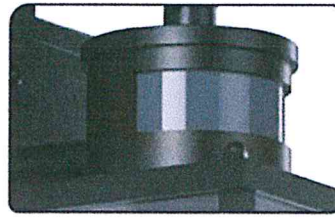
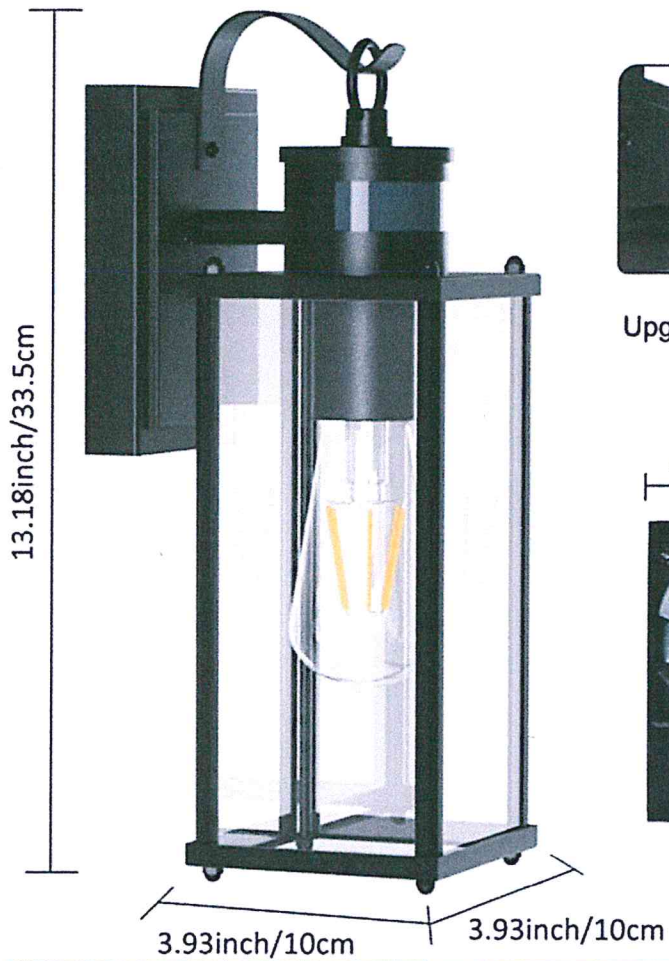


Feedback

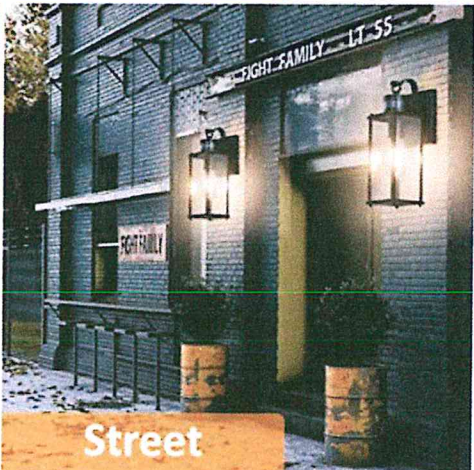
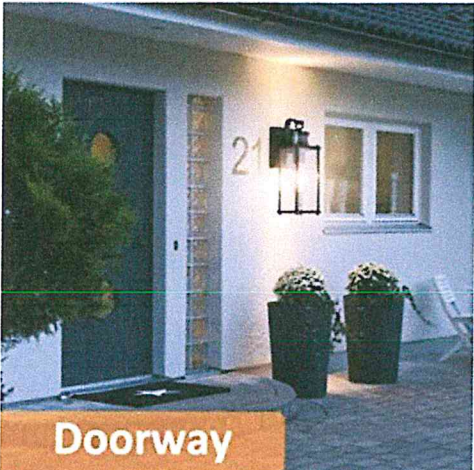
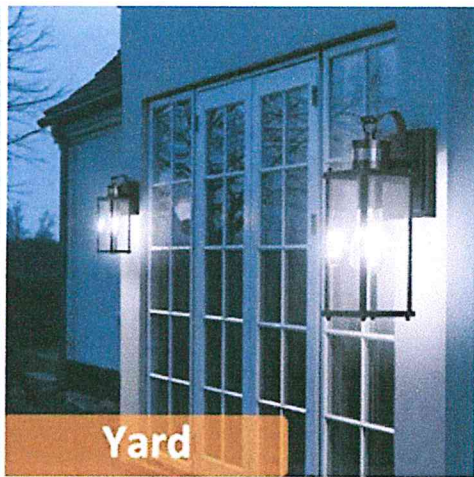
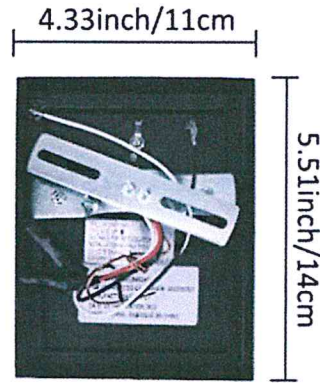


metal door w/wood look





Upgraded PIR+IC Sensor



**SEC, Inc.**

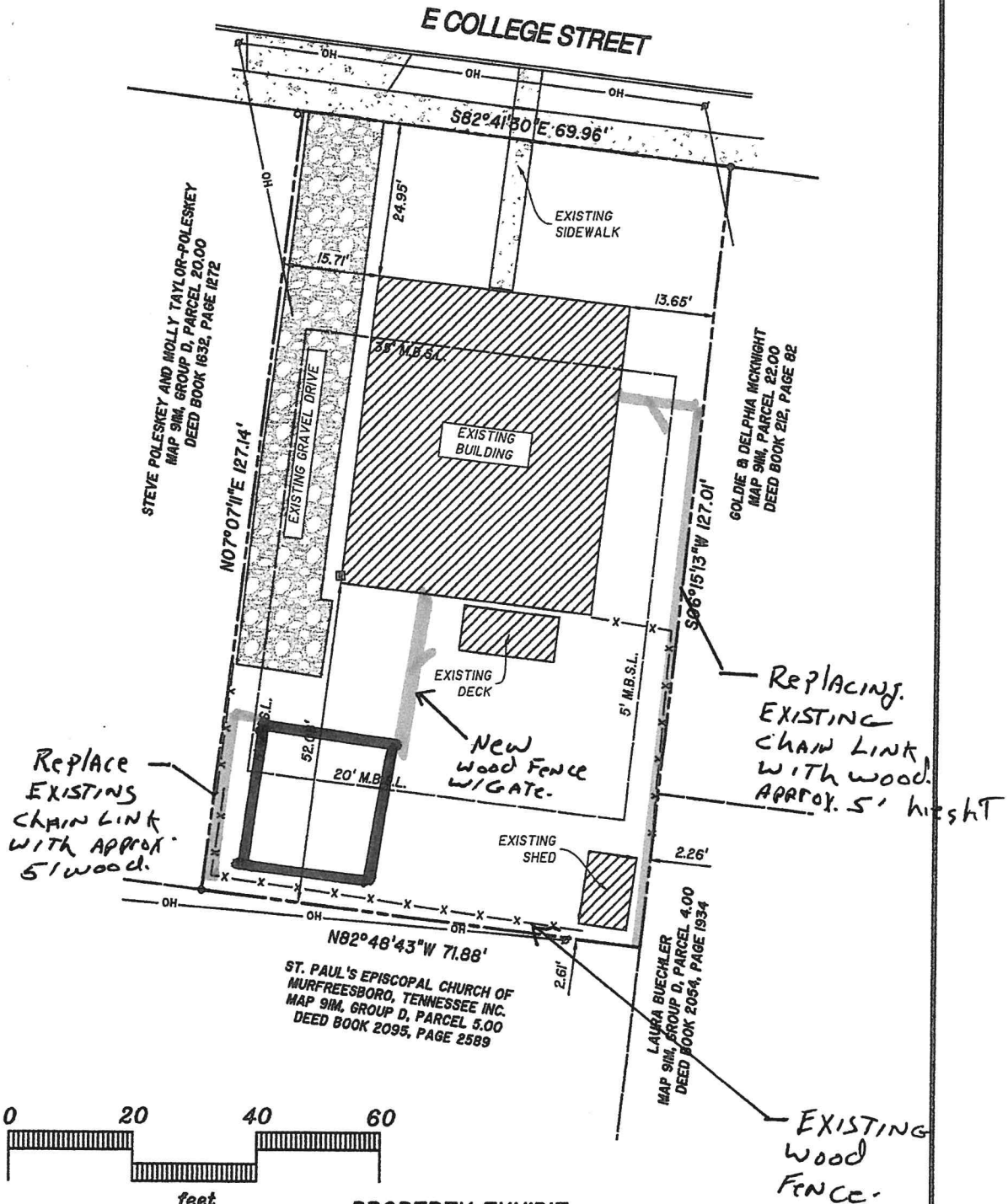
WWW.SEC-CIVIL.COM

**SITE ENGINEERING CONSULTANTS**

ENGINEERING • SURVEYING • LAND PLANNING  
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129  
PHONE (615) 890-7901 • FAX (615) 895-2567

**FENCE  
PLAN**

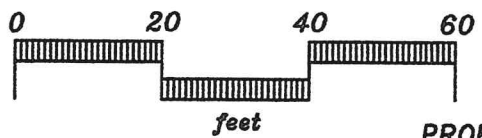


Replace EXISTING CHAIN LINK WITH APPROX. 5' wood.

New Wood Fence w/Gate.

Replacing EXISTING CHAIN LINK WITH wood APPROX. 5' height

EXISTING Wood Fence.



PROPERTY EXHIBIT  
**JOHN SCOTT VANZANDT**  
 324 E COLLEGE ST  
 MAP 91M, GROUP D, PARCEL 21.00  
 R.B. 1978 PG. 2503  
 P.B. 5, PG. 119 (R.O.R.C., TN)  
 ZONED: RS-8; H-1 HISTORIC OVERLAY



DATE: 9/23/2022  
REV DATE:

SEC#: 22560



PROPOSED  
FENCE  
STYLE.

**City of Murfreesboro  
Historic Zoning Commission  
Staff Comments  
Regular meeting: March 21, 2023**

**New Business:**

**H-23—003: 137 Cherry Lane, John and Peggy Taylor-**  
Requesting review for exterior remodel of an existing single-family residence.





This property is located on the west side of Cherry Lane several lots to the south of East Lytle Street and north of East Main Street. The brick Tudor style one and one half (1 ½) story single-family house was constructed circa 1940. The property contains approximately 0.30 acres and is zoned RS-10 (Single-Family Residential District 10) and H-1 (Historic Zoning Overlay District). It is also located in the CCO (City Core Overlay) district. The applicants are requesting the following modifications:

1. Replacement of existing wood and vinyl windows with ViWin Tech-6000 series windows with 7/8" simulated divided lights.
2. Brick repair on left side of house for window replacement/realignment.
3. Replace existing solid wooden front door with ¾ light door.
4. Replace 4" white gutters with 6" bronze gutters.
5. Replace fascia boards.
6. Remove the shutters.

Pictures of the home as it exists today and homeowner proposed modifications as well as some product material specifications are included in the agenda materials.

The applicant will attend the meeting in order to explain the modifications and answer any questions the Commission may have regarding the request.



Creating a better quality of life

HZC Application Fees	
Certificate of Appropriateness	
HZC Application (Goes to Meeting) . . . . .	\$150.00
HZC Application (Admin Approval) . . . . .	\$ 75.00

To initiate a Historic Zoning Commission Application, an applicant must submit the following:

1. A completed HZC Application Certificate of Appropriateness (below).
2. A **non-refundable** application fee (prices listed above).
3. Meet with HZC Planner about application.

To be completed by applicant:

Date: 3-6-23

Owner: John & Peggy Taylor

Owner's Address: 223 Black Hawk Way Phone: 37127

Address of Property (if different than above) 137 Cherry Lane

Current Use: Residential

Describe property / structure (e.g. architectural style, date of construction, condition of structure, history of structure, if known, etc.)

Approx. 1940s Cottage 1 1/2 stories

Is this a "contributing" structure? Yes  No

Is the property or structure listed on the National Register of Historic Places? Yes  No

Check proposed action(s):

Alteration  Addition  Demolition  New Construction

Exterior Repairs / Maintenance (No Appearance Changes)

Description of the work to be performed on the property:

See attached

Brick repair fascia

Window replacement

gutters

Provide: Photographs, scaled drawings of the plans, elevations and materials to assist the Commission in deciding

Architect: N/A

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Contractor: Englehart Construction

Address: 1013 Creekview Dr Columbia Phone: 615-423-8693

Is there an application relevant to this property and the subject of modifications or improvements pending or contemplated before the Board of Zoning Appeals, Planning Commission or City Council?  
 Yes  No

If yes, please specify: \_\_\_\_\_

Who will represent the owner at the Historic Zoning Commission meeting?  
**Note:** The representative needs to be present at the meeting to answer questions and should have the authority to commit the owner to make changes suggested or required by the Historic Zoning Commission.

Name: Andy Englehart / Jennifer Thibodeaux Phone: 615-423-8693

Address: \_\_\_\_\_

Title or Relationship to Owner: Owner Rep / consultant

**Information:**  
There will be two inspections **prior** to completion of the Certificate of Appropriateness. One near midway of the project and one at the completion of the project. Call 615-893-6441 at least two working days prior to each the inspection. Upon completing the project, according to the application, the owner will receive a copy of the Certificate of Appropriateness in the mail.

Please complete these forms and submit them to the Planning Department by 3:00 p.m. on the submittal date indicated on the HZC yearly calendar.

Approvals for Certificates of Appropriateness allow six months to begin construction. If work has not commenced with that timeframe, the approval will be expired.

SIGNATURE OF OWNER: \_\_\_\_\_

SIGNATURE OF AGENT (when applicable): Jennifer Thibodeaux

\*\*\*\*\*For Office Use Only\*\*\*\*\*

Date received: 3/7/23 Receipt #: 530153 Amt Paid: \$150 HZC #: H-23-003

Request for Historical Commission Approval for exterior maintenance items

137 Cherry Lane

Murfreesboro, TN

Owner – John & Peggy Taylor

1. Gutters - Undersized and rusted gutters were replaced with new 6" – dark bronze gutters with 3 scupper basins on the front of structure.
2. Fascia Boards - Rotten fascia boards were replaced behind gutters and painted white like existing.
3. Window Replacement - Existing windows (previously a mixture of wooden single pane and vinyl replacement windows with storm windows) were replaced with **ViWin Tech - 6000 series with the 7/8 simulated divided lights (3-dimensional.)** Of the current window count approximately  $\frac{3}{4}$  of the existing windows were inoperable due to water intrusion, swelling and multiple layers of paint. Existing wooden trim wrapped in aluminum cladding for long term maintenance considerations. The existing trim was compromised from previous water intrusion, multiple layers of paint and damage from old storm windows.
4. Brick Repair - Facing home – left side – repair brickwork from 3 window repair/replacements –
  - Close the window to allow for better vanity placement in the master bathroom.
  - Close in window that was reduced and shifted to the left. It was half in the shower and was moved so no longer in the shower.
  - Reduce the master shower window to a transom so there is not a window in the master shower.All attempts were made to find a brick that is close to the existing. See old and new samples.
5. Front Door - Upon approval Replace existing solid front door with wooden –  $\frac{3}{4}$  light door.

The Taylor's have owned this home since 2012 and their son (Jim) is moving to Murfreesboro and is purchasing the home from them. Jim has spent a year doing much needed repairs/replacement and upgrades on the inside to preserve and respect the character of the home and ensure its continued longevity. (repair flooding basement, leaking areas of roof, rotten wood under several windows, replace HVAC units, rotten floor in shower, plumbing leaks, damaged interior trim work, etc)

Thank you in advance for your consideration.

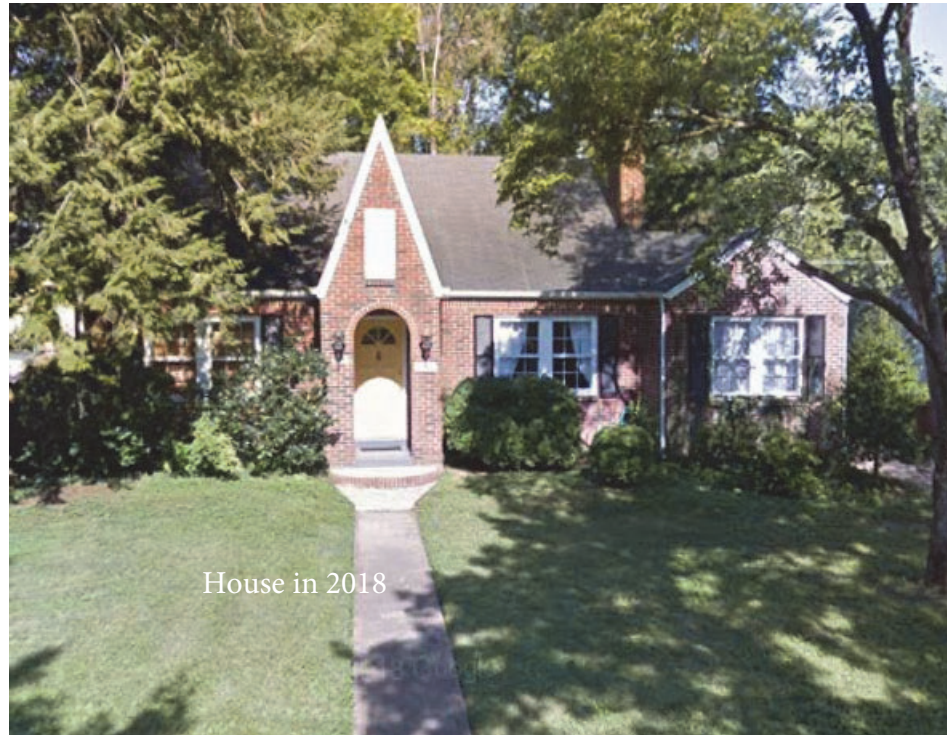


House to the south



House to the north

Google



House in 2018





Photos –

Old vs New windows

Old Windows (mixture of wood and vinyl)





New Windows-







Feb 27, 2023 at 9:50:27 AM

Replacement



VIWINTECH<sup>®</sup>  
WINDOWS & DOORS

Let Us Enhance Your View



VIWINTECH.COM



# Vinyl Replacement Windows

## Enhance Your Home's View (And Value) With One Of Our Replacement Window Options

High quality and energy efficient, our replacement window options can match the style you want with the efficiency you need. Before you get started on your home remodel, ask about the benefits of choosing ViWinTech Vinyl Replacement Windows!

We have a variety of excellent window solutions sure to bring new life to your project. Browse our selection of replacement windows below. Our vinyl replacement windows come available in many color options, grid options and glass options so you can customize your look to fit your home's new style.







**6000 Series**



# 6000 Series Window Features

## FEATURES AND BENEFITS

- Fully welded frame and sash corners assures strength, durability, and years of trouble-free service in the home
- Double strength glass
- Designer composite cam locks and keepers provide security and performance that exceeds metal. Certified Child Safe lead-free locks.
- 3/4" Emax plus® with double strength insulating glass
- Positive interlock at meeting rail for added security and structural integrity
- Time tested maintenance free constant force coil balances designed for years of smooth, easy sash operation and never needs adjustment
- Patented frame design includes a sloped sill that assures water run-off
- Molded-In sash lift rail for easy operation
- Balance covers, for a finished appearance
- Standard colors include white and tan, a variety of optional exterior colors available
- Available in a variety of window styles and matching geometric shapes
- Limited Lifetime NON-PRORATED Glass warranty, Includes Glass Breakage\*
- Extruded screen frame with no show screen spline
- BetterVue™ screen mesh standard
- No upcharge option - aluminum mesh
- SuperSpacer® Warm Edge Glass Spacer System
- ENERGY STAR compliant in all regions of the U.S.



# Emax High Performance Glass System

## Warm Edge Technology

Poorly insulated windows can attribute up to 25 percent of a building's heating and cooling loads. As a homeowner, it is just as important to know what type of glass package (or glazing) is going into the window. The type of spacer material in your windows can make or break your investment.

In order to overcome the thermal inefficiency of conventional aluminum spacers, a new type of spacer product called warm edge technology has evolved in the industry. Warm edge refers to the type of spacer material used to separate the panes of glass (or glazing) in an insulated window unit. If the material conducts less heat or cold than a conventional aluminum spacer at the edge of the glass, it is said to be "warm-edge." Most of these newer spacers are less conductive and outperform pure aluminum. But there's still one small problem - they all contain some kind of metal. And metal is highly conductive. With Super Spacer your windows will remain thermally-efficient and condensation-free for many years to come.

Condensation occurs first around the window's edge - where the glass insulates least effectively and where surface temperatures are the coldest.

If a standard "cold edge" spacer exists and outside temperatures fall to 0°F condensation will form on the glass edge even in homes with as little as 15% relative humidity. The solution to condensation formation on glass is to increase the thermal efficiency of the edge of the glass: the window's weak link. Substitute Super Spacer a superior warm edge spacer and the inside humidity can go substantially higher before condensation forms on the glass. The problem is virtually eliminated.

## Emax Plus® High Performance Glass System

For maximum energy efficiency, savings and comfort, ViWinTech offers optional Emax Plus® glass standard on the Signature casement/awning series window line. Emax Plus® utilizes SuperSpacer® and a specially formulated invisible coating that is bonded to the interior surface of the insulating glass unit. This coating actually blocks long wave (heat) radiation by reflecting it back to its source. This specially formulated coating is coupled with an inert gas that provides additional insulating value to help slow down the transfer of heat from the outside in the summer or inside in the winter.

What does this mean to you? Energy savings. In the summer, the sun is high in the sky. Visible light from the sun strikes the earth and is converted to long wave heat radiation. Your home can actually absorb this heat radiation, even though the sun is not shining directly through the windows. Emax glass reflects this unwanted heat back outside, helping to reduce the load on your air conditioner, and also reduce your energy costs.

We reserve the right to change the products and/or specifications at any time without notice and assume no responsibility for use of outdated printed matter. All trademarks are the property of their respective owners. All Rights Reserved.



Conversely, in the winter, the sun is low in the sky. Visible sunlight passes easily through the Emax glass and is converted to long wave heat radiation inside your home. As these heat waves move toward the outside, they strike the Emax glass, and are reflected back inside your home, keeping your home warmer, reducing your heating costs.

The Emax coating blocks not only long wave radiation, but also effectively blocks ultraviolet radiation that can damage fabrics and carpets. Emax Plus® High Performance Glass System does all this, while still letting in plenty of natural unobscured daylight.

## A Clear Choice

By combining warm edge technology (SuperSpacer®) with Emax Plus® High Performance Glass, your windows are able to resist moisture from condensation. And less moisture means less potential for mold and mildew around your windows. These advances in glass technology and spacer systems offer you a clearer view to your world.

A better insulating value (R-value/U-value) is realized when using either Emax® or Emax Plus®.

ViWinTech has Energy Star® rated windows for your area. Your Local Distributor will be able to get the proper information that you will need for Energy Star® certification.

Spacer Type	DOUBLE HUNG				PICTURE WINDOW/GEO				DOUBLE/3 LITE GLIDER			
	SuperSpacer				SuperSpacer				SuperSpacer			
	E-Max (Low-e2) w/ Argon		Advanced E-Max (Low-e3) w/ Argon		E-Max (Low-e2) w/ Argon		Advanced E-Max (Low-e3) w/ Argon		E-Max (Low-e2) w/ Argon		Advanced E-Max (Low-e3) w/ Argon	
Low-E Type	No Grids	w/Grids	No Grids	w/Grids	No Grids	w/Grids	No Grids	w/Grids	No Grids	w/Grids	No Grids	w/Grids
U-Factor	0.29	0.29	0.29	0.29	0.28	0.28	0.27	0.27	0.29	0.29	0.29	0.29
SHGC	0.28	0.25	0.20	0.18	0.30	0.27	0.22	0.20	0.28	0.25	0.21	0.19
VT	0.52	0.46	0.48	0.43	0.56	0.50	0.52	0.46	0.52	0.46	0.48	0.43
CR	59	59	60	60	61	61	62	62	58	58	59	59

Note: Contact manufacturer for specific test information. SHGC=Solar Heat Gain Co-efficient, VT=Visual Transmittance, CR=Condensation Resistance.

## Grille Options

\* Aluminum grille between Vintage Grilles may not be available in certain models.



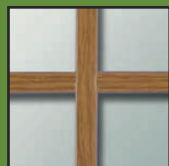
Flat 5/8"



Contour 3/4"



Vintage Grille (SDL)  
7/8"



Wood Grain

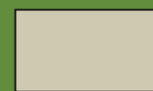
## Colors

SOLID PVC

Interior Woodgrain Laminate



WHITE



TAN



Medium  
Oak



Cherry

A variety of optional exterior colors available

## Glass

- Clear
- Emax®
- Emax Plus®
- Tinted
- Tempered
- Obscure

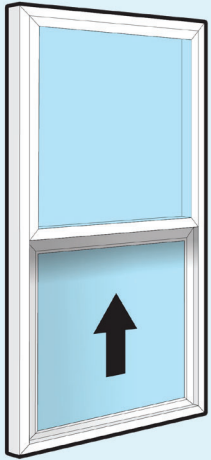


VIWINTECH.COM

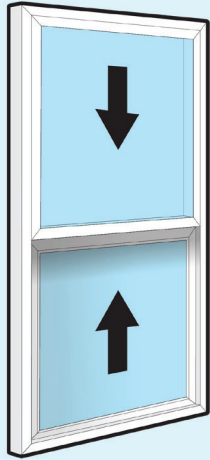


# Reference Guide

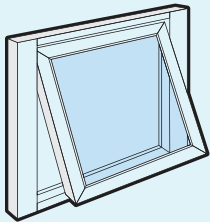
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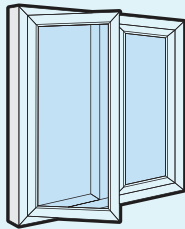
SINGLE HUNG



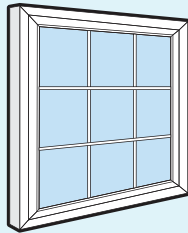
DOUBLE HUNG



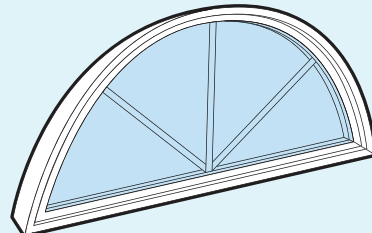
AWNING



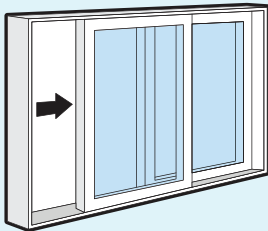
CASEMENT



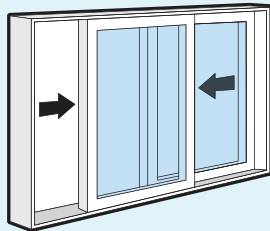
PICTURE



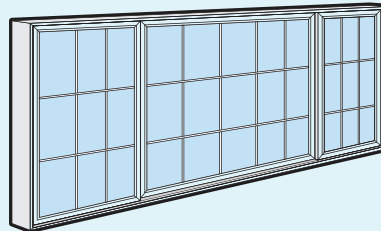
GEOMETRIC SHAPES



SINGLE GLIDER

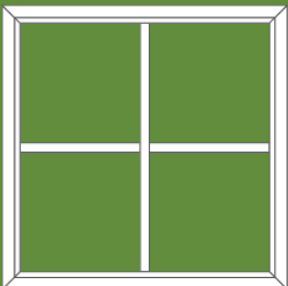


DOUBLE GLIDER

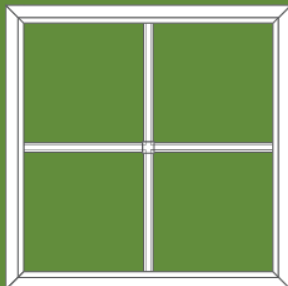


3-LITE GLIDER

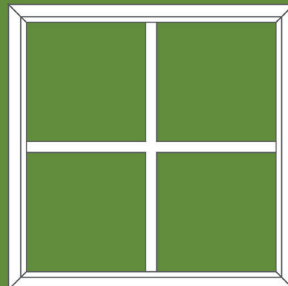
## Grid Options:



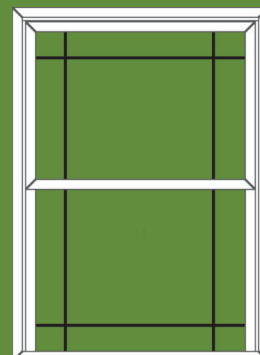
FLAT 5/8"



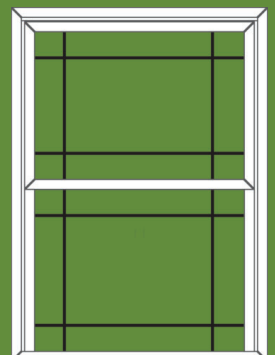
CONTOUR 3/4"\*



SIMULATED DIVIDED LITE (SDL) 7/8"



6 LITE PRAIRIE



9 LITE PRAIRIE

## **Emax® Glass**

Emax® High Performance Glass is a specially formulated, Low-E clear double-coating on the interior surface of your window's insulating glass unit. This coating blocks heat radiation by reflecting light and heat energy back at its source.

## **Advanced Emax® Glass**

Our Advanced Emax® Performance Glass is the ultimate choice for energy-savings and year-round comfort, no matter where you are. Advanced Emax® Performance Glass sports the same specially formulated, Low-E coating as our standard Emax® glass, but is triple coated for superior protection in southern climates, where solar heat gain is more of an issue.

## **Emax4®**

Our Emax 4 glass is specially designed to withstand the cold from Northern regions. Sporting our time-tested Low-E coating, Emax 4 glass offers you the same energy savings technology, no matter the climate.

## **Impact**

ViWinTech Impact glass is for homeowners who want peace of mind in the middle of the storm. These windows withstand debris picked up by the wind that would shatter non-Impact glass options.

## **Energy Star**

Which glass is right for you? That all depends on where you are.

Your region determines your window options for things like tax rebates. For more information, visit [www.energystar.gov/](http://www.energystar.gov/).

## **Argon fill**

Argon fill is an industry-standard gas fill used between the panes of insulated glass units. Unlike air, argon gas enhances soundproofing and, most importantly, doesn't retain moisture, leading to a more impressive thermal performance rating and reduced condensation on your interior window pane.

## **SuperSpacer® TrueWarm® Edge Glass System**

Most window units use a metal spacer bar to separate the interior and exterior glass panes. Indoor heat escapes through your windows metal frame. Cool air slips into your home and energy savings literally fly out the window.

The SuperSpacer® TrueWarm® Edge Glass System's 100% foam design keeps outside temperatures out and indoor temperatures in. The SuperSpacer® bounces back against winds, temperature fluctuation, rain, snow and UV light, while always returning to its original shape. On top of all of that, this technology withstands the industry's toughest durability test - the Pl Chamber: 140-degree Fahrenheit temperatures, 100 percent humidity and constant UV bombardment.

## **Intercept® Stainless Steel Spacer System**

The Intercept® Stainless Steel Spacer System is designed to keep your window unit's argon fill between each glass pane for as long as possible. Less argon escapes, more heat stays inside and more savings find their way into your pocket.

The Intercept® spacer system was built for durability and long-lasting performance. Its metal, U-Shaped design is flexible enough to move with your window and strong enough to keep your window seal as airtight as possible. This spacer looks good, is strong enough for the tightest of seals and keeps homeowners' long-term energy savings steady for years to come.

# Color Tech EXTERIOR HEAT REFLECTIVE COATINGS



GREEN



WHITE



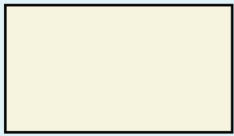
BRONZE



BEIGE



TAN



PORSCHE



BLACK



CLAY



GRAY



TERRATONE



BRICK RED

Today's vinyl windows and patio doors offer exterior colors never before available to homeowners. With some good organized planning and the help of your professional remodeler or designer you can achieve outstanding results. Using Color Tech™ by ViWinTech, you can choose from 11 exterior colors for the entire ViWinTech line of vinyl windows and patio doors.

**ViWinTech's ColorTech™ heat reflective coating is a water-based paint, it is also an environmentally friendly product. In addition, this product is:**

- Heat reflective and protects the vinyl window from fading. (tested to ASTM D 4803-93)
- ColorTech™ is American Architectural Manufacturers Association (AAMA) tested (test 615) and proven to be a quality "environmentally-friendly," waterborne coating
- Incorporates hardness along with flexibility and impact resistant
- Excellent color/gloss retention



# LIMITED LIFETIME WARRANTY

## Advantage Protection



### LIFETIME LIMITED WARRANTY:

Protects your windows against manufacturing defects for as long as you own your home.

### PROVEN STABILITY:

Our name is known and respected in the building products industry, for manufacturing quality high performance vinyl windows and patio doors.

### SERVICE AND SUPPORT:

Our network of dealers, distributors and service technicians are available to provide a prompt response to your needs.

### WISE INVESTMENT:

By enhancing the beauty and energy efficiency of your home, ViWinTech Windows and Doors are wise investment.

We have earned our reputation through an ongoing commitment to superior products, quality and service. All of ViWinTech's windows and doors exceed the standards set by the American Architectural Manufacturer's Association, your independent assurance of quality.



NEW CONSTRUCTION	Vinyl	Hardware	Screen Frame	Glass 100%	Glass 75%	Glass 50%	Glass 25%	Stress Cracks	Lifetime Glass Breakage Warranty	VWT Color Coated Exterior
1150	Lifetime	2 Years	Lifetime	0-10 Years	N/A	11-20 Years	21-25 Years	1 Year	Optional	Non-Prorated 15 years
2100	Lifetime	2 Years	Lifetime	0-10 Years	N/A	11-20 Years	21-25 Years	1 Year	Optional	Non-Prorated 15 years
Patio Doors	Lifetime	2 Years	Lifetime	0-10 Years	N/A	N/A	11- Lifetime	1 Year	Optional	Non-Prorated 15 years
Casement & Awning	Lifetime	2 Years	Lifetime	0-10 Years	N/A	11-20 Years	21-25 Years	1 Year	Optional	Non-Prorated 15 years

REPLACEMENT	Vinyl	Hardware	Screen Frame	Glass 100%	Glass 75%	Glass 50%	Glass 25%	Stress Cracks	Lifetime Glass Breakage Warranty	VWT Color Coated Exterior
Casement & Awning	Lifetime	Lifetime	Lifetime	0-20 Years	21-50 Years	51-Lifetime	N/A	1 Year	Optional	Non-Prorated 15 years
6000	Lifetime	Lifetime	Lifetime	Lifetime	N/A	N/A	N/A	Lifetime	Lifetime	Non-Prorated 15 years
2000	Lifetime	Lifetime	Lifetime	0-20 Years	21-30 Years	31-50 Years	51-Lifetime	1 Year	Optional	Non-Prorated 15 years
1000	Lifetime	Lifetime	Lifetime	0-10 Years	11-30 Years	31-50 Years	51-Lifetime	1 Year	Optional	Non-Prorated 15 years

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