

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**OCTOBER 11, 2023
6:00 PM**

**Kathy Jones
Chair**

- 1. Call to order**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the September 20, 2023, Planning Commission meeting.**
- 5. Old Business:**
 - a. Zoning application [2023-408] for approximately 1.2 acres located along North Maney Avenue and Lee Street to be rezoned from OG-R and CCO to PRD and CCO (Maney Estates PRD), BNA Homes applicant. (Project Planner: Holly Smyth)
- 6. Public Hearings and Recommendations to City Council:**
 - a. Annexation petition and plan of services [2023-504] for approximately 32.4 acres located along New Salem Highway and Barfield Road, including 520 linear feet of Barfield Road right-of-way, World Outreach Church of Murfreesboro Tennessee, Inc. applicant. (Project Planner: Marina Rush)
 - b. Zoning application [2023-412] to amend the existing PUD zoning (Hidden River Estates PUD) on 121 acres located along Cason Trail and Racquet Club Drive, Hidden River Holding Company, LLC developer. (Project Planner: Marina Rush)
 - c. Zoning application [2023-413] to amend the existing Vintage Apartments and TDK office PUD (11.3 acres) and to rezone approximately 2.5 acres from CH to PUD located along Medical Center Parkway, Robert Rose Drive and Maplegrove Drive, TDK Construction applicant. (Project Planner: Margaret Ann Green)
 - d. Street renaming [2023-901] to rename a segment of Blackman Road (south of Pendleton Boulevard) to Blackman Beesley Court, City of Murfreesboro Planning Department applicant. (Project Planner: Matthew Blomeley)

MURFREESBORO PLANNING COMMISSION AGENDA

PAGE 2

October 11, 2023

7. Staff Reports and Other Business:

- a. Mandatory Referral [2023-729] to consider the abandonment of a portion of a drainage easement on property located along Herring Crossing, Huddleston-Steele Engineering, Inc. on behalf of Kathy Nobles, applicant. (Project Planner: Brad Barbee)

8. Adjourn.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 11, 2023
PROJECT PLANNER: HOLLY SMYTH**

Zoning application [2023-408] for approximately 1.18 acres located along North Maney Avenue and Lee Street to be rezoned from OG-R and CCO to PRD and CCO (Maney Estates PRD), BNA Homes applicant.

The subject property is located north of East Bell Street along the easterly side of North Maney Avenue and along the westerly side of Lee Street. The project involves 4 existing full parcels identified as Tax Map 091L, Group K, Parcels 024.00, 030.00, 029.00 (aka 510 North Maney Avenue), and 021.00 (aka 509 Lee Street), and 1 partial parcel known as Tax Map 091L, Group K, Parcel 027.00 (aka 405 East Bell Street). The development will have 4 single family detached homes on individuals lots of record fronting North Maney Avenue and 7 single-family attached townhomes accessed from Lee Street in a horizontal property regime (HPR). The entire site is proposed to be rezoned as Planned Residential District (Maney Estates PRD). The rezoning will not affect the existing CCO zoning designation for the subject property. The density of the 4 single family detached lots would equate to **6.67** dwelling units per acre, while the 7 townhome units equate to a density of **11.97** dwelling units to the acre. The overall density of the development is **9.24** units per acre.

The Planning Commission held a public hearing at its July 12, 2023 meeting. At that time, the Commission potentially wanted to have the applicant modify the front townhome building to look more like a single family home and consider losing 1 townhome unit, especially as the proposed density was over 12 units per acre. The Commission also wanted the applicant to consider losing 1 single family detached home. The Commission also asked about formal open space and guest parking. Lastly, they directed the applicant to hold a neighborhood meeting to further discuss these items before coming back to the Commission.

A neighborhood meeting was held on August 14, 2023 where about 20 persons in all were present. The neighborhood expressed their desire for only 3 single family detached homes along North Maney Avenue given the larger scale lots on the western side of the roadway. Neighbors also expressed wanting to keep many of the large mature trees on the property. Neighbors did not comment on the townhome portion of the PRD proposal as to design or number of units.

Adjacent Zoning and Land Uses

The surrounding zone districts are all within the City Core Overlay (CCO) with underlying zoning primarily containing OG-R (General Office District Residential) to the south, as well as RS-8 (Single Family Residential) to the north and west, CM-R (Medical District Residential) to the north, and PCD (Planned Commercial District) to the west, as more particularly shown on page 3 of the program book. The surrounding land uses are predominantly single family homes, a church, duplex and triplex style apartments, and two individual commercial businesses.

Proposed PRD

The PRD overall layout and comparative basic site data are best seen on **pages 13 and 20** of the program book. There are 2 proposed points of access on North Maney Avenue and 1 point of access from Lee Street. A Type A landscape buffer is proposed along most of the 3-sides for the townhome portion of the development with a 6' opaque fence (see page 18 of the program book). No formal open space is required for either use type nor is any proposed. The PRD comparative table on page 20 breaks down the single family detached along North Maney Avenue separately from the townhomes adjacent to Lee Street. The proposed single family detached units are most similar to what would be allowed in an RS-4 zone district while the townhomes are most similar to a RS-A, Type 3 comparative zone district.

UPDATES TO THE PRD BOOK: Page 20 showing the comparative land requirement table was updated to match the surveyed final plat and engineered site layout drawing. Using the engineered information, the townhome density slightly changed from 12.07 to 11.97 units per acre. As a side note, the existing OG-R zoning allows a density between 14.5 to 17.4 units per acre. This modification allowed the removal of one of the exceptions relating to density when compared with the RS-A, Type 3 zone on page 22. The townhome building design directly adjacent to Lee Street was slightly modified to use a more unified color palette for the center unit so that it looks more like a unified single building, and therefore the exception related to this was removed. The updates to the engineered drawings slightly changed the single family residential detached density from 6.55 units to the acre to 6.67 units per acre which is still less than the comparative RS-4 zone district. As a side note, the existing OG-R zoning allows a density of 8.7 units per acre for the single family detached housing type.

The four (4) proposed detached single-family homes will each be a minimum of 2,200 square feet with at least 3-bedrooms. One home will have a rear-entry garage while the other three homes will have detached garages toward the backs of each lot plus additional surface parking spaces adjacent to all garages. There are 3 different house plans for the 4 lots with houses ranging from 24' to 30' in width. Architectural details of the homes favor the craftsman style with front porches and varying roof heights on each plan. There will be two 12'-wide driveways from North Maney Avenue that will each be shared by two households each via a shared access easement. The proposed setbacks are as follows:

- 19.5' front building setback along North Maney Avenue (CCO would require 19.5')
- No longer using any of the 5' porch encroachment into the front setback (which the normal code would allow for 5' encroachment), to better blend with the neighborhood.
- 5' side yard setbacks (comparative district requires 5').
- 20' rear yard setback for the primary structure (comparative district requires 20').
- 5' rear yard setback for the accessory structures (code allows 5')
- Accessory structures allowed to occupy up to 60% of the "required 20' rear yard" (Zoning ordinance allows < 25% of the "required rear yard")

The seven (7) attached single-family townhomes will each be a minimum of 1,600 square feet with 3-bedrooms. Each unit will have a 1-car rear-entry or front-entry garage with a decorative window-panel at the top plus two surface parking spaces each. An additional 2 guest parking spaces will serve the development. A total of 14 parking stalls are required for the project with 16 being provided on site. The front building contains 3 units with 5' deep porches while the back building contains 4 units with rear porches for the required 50 square feet of private open space. Formal open space is no longer a requirement for townhome developments that are less than 8 units and therefore was not proposed. Each unit has a building envelope of approximately 20' wide by 50' deep. The architectural elevation of the units is generally taken from the Lee Street Townhome project located at 609 Lee Street with 5' deep porches added to the flat front façade. As requested by staff, the applicant has modified the front elevation at the center section, converting the dark upper floor to the lighter horizontal cementitious siding across the front and the addition of shutters to provide a more unified color palette and details.

One 22' wide driveway from Lee Street will provide access into the development. The proposed setbacks are as follows:

- 15' front setback along Lee Street including porch (CCO would require 25')
- 10' side yard setback (RS-A, Type 3 would only require 5' side setback)
- 10' rear yard setback (Comparable District would require 20' rear setback)

Exception(s) Requested: Pages 20 and 22 of the Program Book show the comparison for this development to the RS-4 zone for the single family detached homes and the RS-A, Type 3 zone for the townhomes with the requested **exceptions shown in red text**.

The single family detached residential area is requesting 2 exceptions from the comparative RS-4 and City Core Overlay zone districts to allow for:

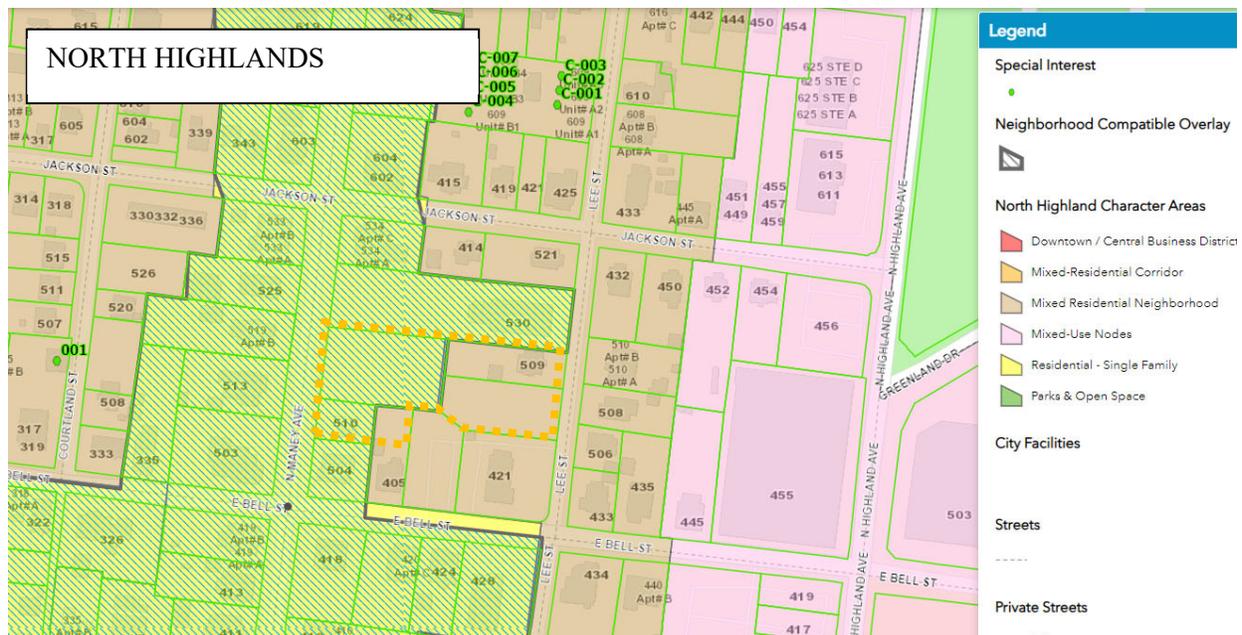
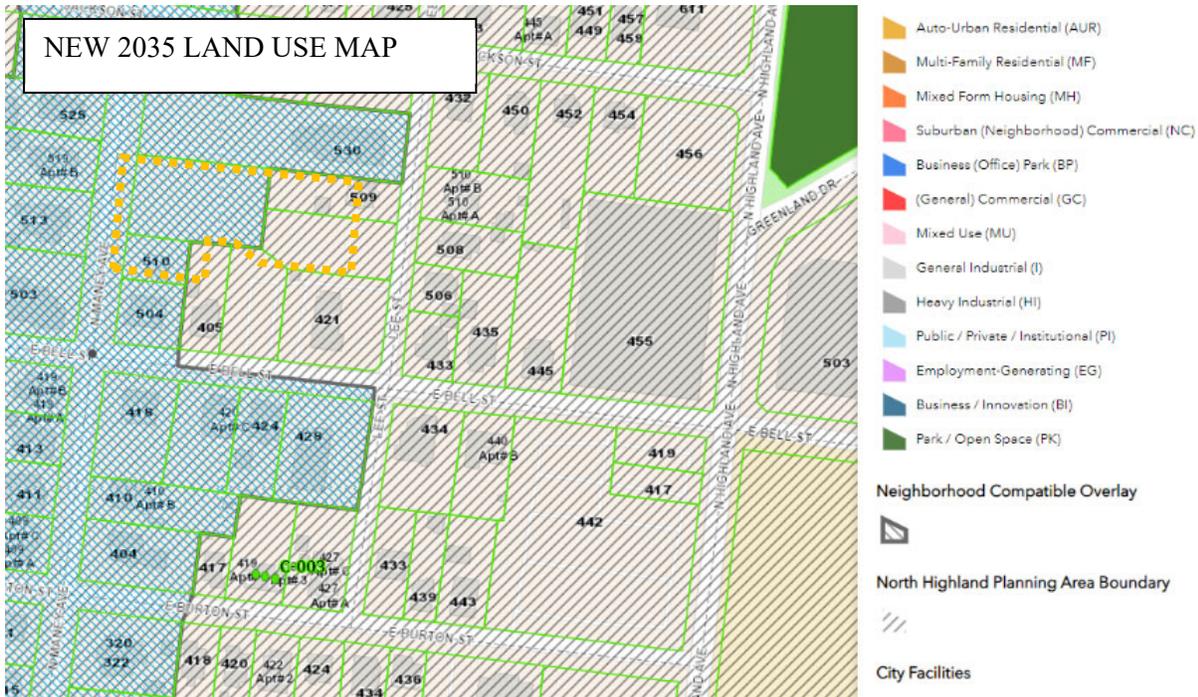
- a) Increased amount of accessory structure allowed to be located within the "required 20' rear yard" from <25% to <60% for detached garages (for a 35% exception).
- b) The minimum lot width to be 38' instead of 40' (for a 2' exception).

The single family attached townhome area is now only requesting 2 exceptions from the comparative RS-A, Type 3 and City Core Overlay zone districts to allow for:

- a) Front setback to be 15' (including the front porch) instead of 25' (for a 10' exception)
- b) Rear setback to be 10' instead of 20' (for a 10' exception)

Future Land Use Map

Adjacent to North Maney Avenue: The newly adopted future land use map, that is now part of the Murfreesboro 2035 Comprehensive Plan designates this area as "North Highland Overlay" with a "Neighborhood Compatible Overlay" land use character (see excerpt map below). The North Highland Avenue Planning Study (see excerpt map below) more specifically designates the area fronting North Maney Avenue as "Residential Single Family" which calls for single family detached residential uses with architecture consistent with the character of the existing neighborhood not exceeding 2½ stories in height. The "Neighborhood Compatible Overlay" looks to ensure that the existing neighborhood character and integrity of older, intact neighborhoods are protected through no significant change in the development type or pattern by reinforcing the existing physical conditions such as lot sizes, building setbacks, etc. and avoiding excessive nonconformities and variance requests to ensure compatibility.



The number of exceptions being requested for the single family detached product is still just two (2) items showing that no “significant change” in the development pattern along this street is proposed. They have increased the front yard setback to be consistent with the underlying CCO of 19.5’. They have updated the comparative use table comparative district to use the RS-4 zone, as recommended by staff (instead of RS-8) on page 20 of the program book. This updated comparative district requires a minimum lot size of 4,000 square feet whereas the project proposes a minimum of 6,178 square feet and therefore no longer requires an exception. The maximum density in RS-4 is 10.8 dwelling units per acre whereas the project only proposes 6.67 dwelling units per acre therefore no longer requiring an exception. It appears that this portion of the project is consistent with the General Plan and the North Highland Avenue Planning Study.

Adjacent to Lee Street: The newly adopted future land use map, that is now part of the Murfreesboro 2035 Comprehensive Plan designates this area as “*North Highland Overlay*” land use character (see excerpt map below). The Zoning Ordinance Section 24 Article VI., City Core Overlay District subsection (A)(3) states that “to the extent possible, developments within the CCO also located within the study areas of the North Highland and Historic Bottoms planning studies shall attempt to honor the recommendations of those plans.” The *North Highland Avenue Planning Study* (see excerpt map above) shows this area fronting Lee Street as “*Mixed Residential Neighborhood*” which permits a mixture of housing options that include both detached single family and attached two-, three-, and four-unit residential buildings. Housing design in these areas should encourage details that relate to the street and keep a pedestrian scale to the neighborhood. Elements like front porches, fences, hedges, roof awnings, and window and door detailing should be encouraged. Building heights should not exceed a 2½ story maximum and “multi-unit buildings designed to resemble a single family detached house”. It appears the project is consistent with the General Plan and the North Highland Avenue Planning Study.

Department Recommendation

Staff is supportive of this rezoning request for single family detached residential along North Maney Street, with the two (2) requested exceptions stated above, when using the RS-4 and CCO zone comparatives, for the following reasons:

- 1) It is consistent with the comprehensive plan and future land use map.
- 2) The Craftsman style architecture is consistent with the character of existing neighborhood and does not exceed 2½ stories in height as encouraged by the North Highland Avenue Planning Study’s “Residential Single Family” land use type.
- 3) The architecture, front setbacks, and single family detached development type appear to be consistent with the “*Neighborhood Compatible Overlay*” of the new General Plan land use map that looks to ensure that the existing neighborhood character and integrity of older, intact neighborhoods are protected through no significant change in the development type or pattern by reinforcing the existing physical conditions such as lot sizes, building setbacks, etc. and avoiding excessive nonconformities and variance requests to ensure compatibility.

Staff is supportive of this rezoning request for single family attached residential townhomes along Lee Street, with the two (2) requested exceptions stated above when using the RSA-3 and CCO zone comparatives, for the following reasons:

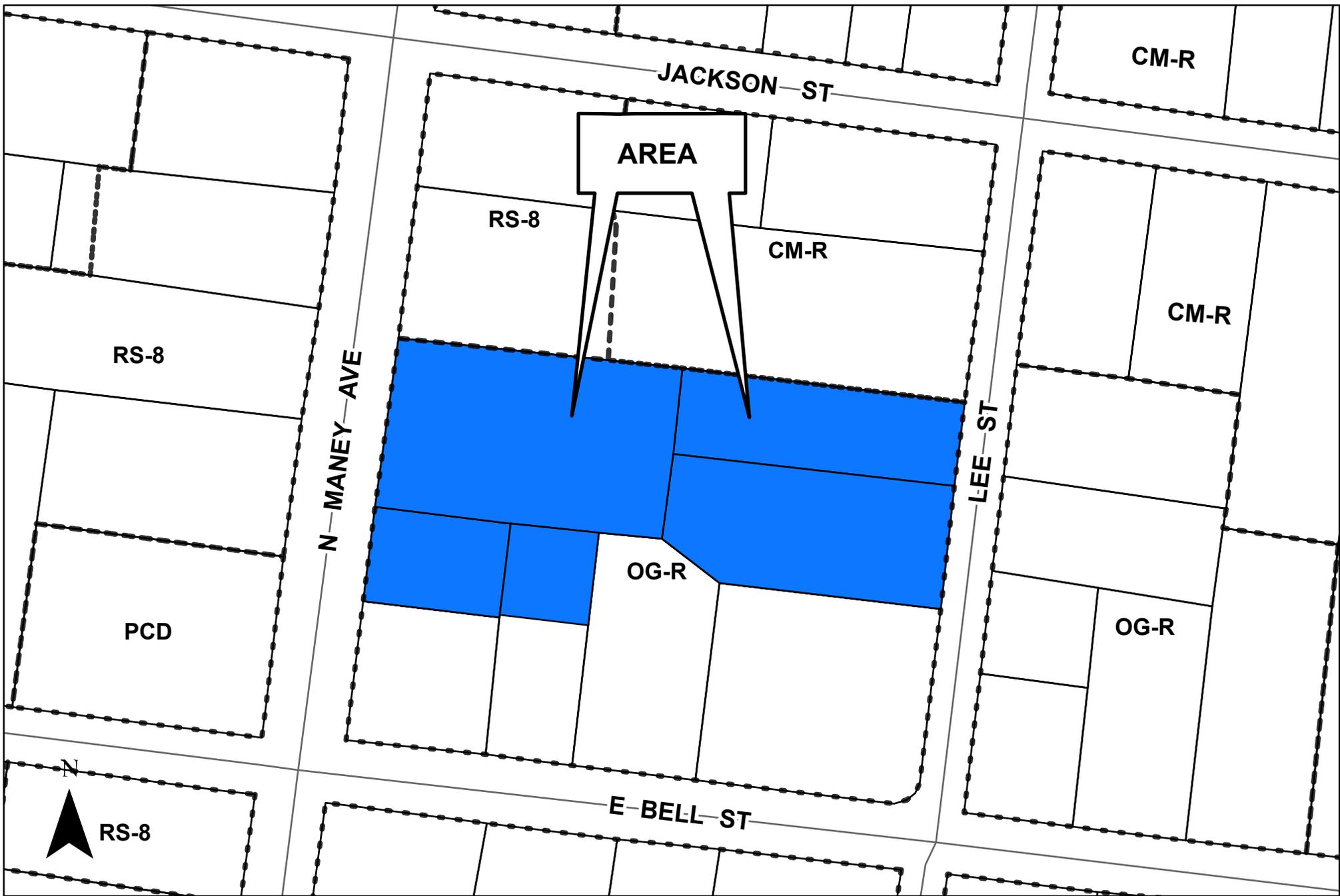
- 1) The proposed use is consistent with the comprehensive plan and future land use map.
- 2) The number of units per building does not exceed four, does not exceed 2½ stories in height, parking is located behind the front building, and incorporates front porches as outlined by the North Highland Avenue Planning Study “*Mixed Residential Neighborhood*” land use designation.

Action Needed

The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should then discuss and formulate a recommendation to City Council.

Attachments:

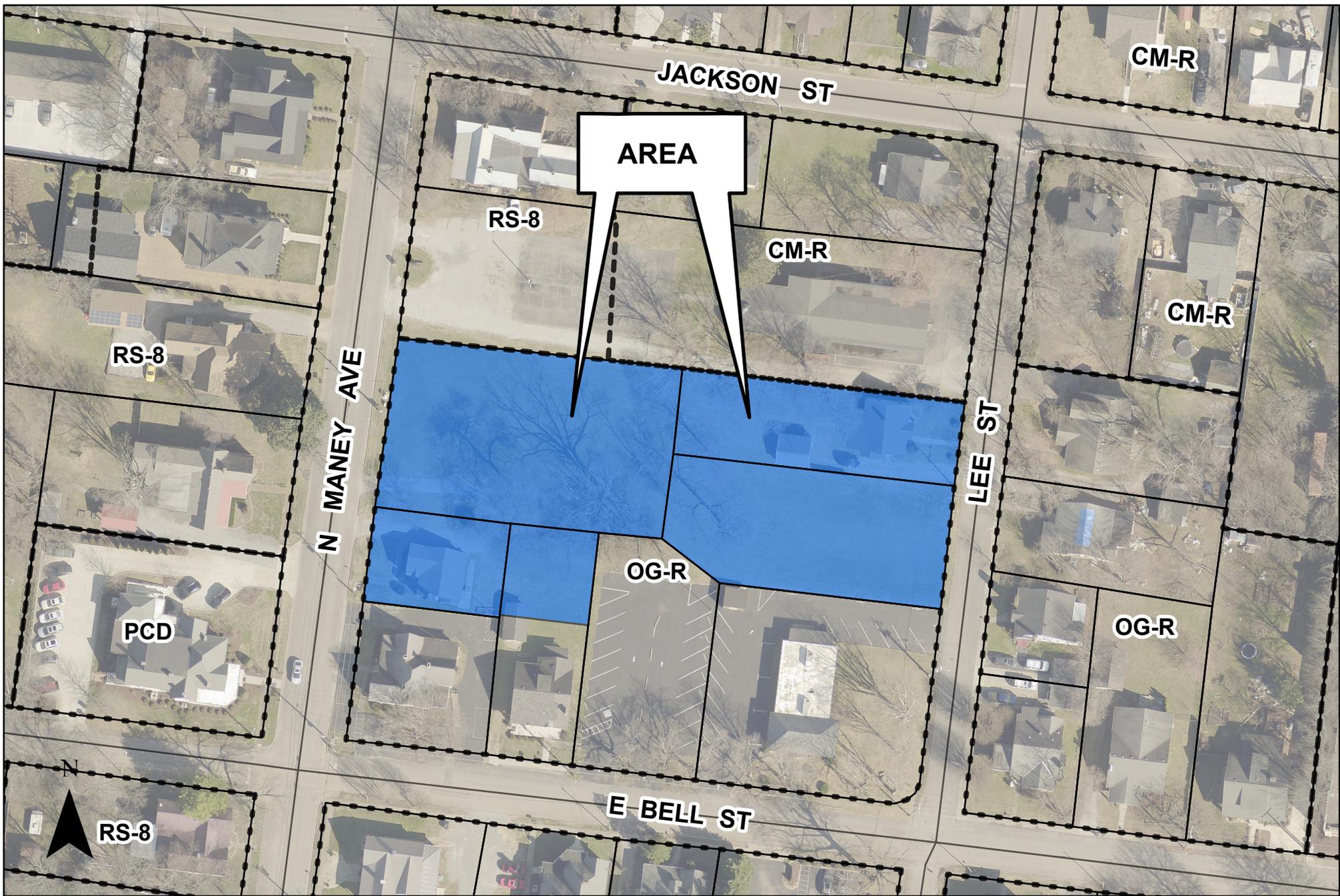
- NoOrtho Map-
- Ortho Map
- Program Book



Rezoning request for property along North Maney Avenue and Lee Street
OG-R & CCO to PRD (Maney Estates PRD) & CCO

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov





Rezoning request for property along North Maney Avenue and Lee Street
 OG-R & CCO to PRD (Maney Estates PRD) & CCO

Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov



MANEY ESTATES

Request for Rezoning to
Planned Residential
District (PRD)

SUBMITTED FOR THE
OCTOBER 11, 2023 PLANNING
COMMISSION MEETING



Table of Contents	PAGE
➤ PROJECT SUMMARY & DEVELOPMENT TEAM	2
➤ ZONING MAP	3
➤ GENERAL PLAN MAP	4
➤ UTILITY MAP - WATER	5
➤ UTILITY MAP – SEWER	6
➤ ROADWAY MAP	7
➤ TOPOGRAPHY & SOILS	8
➤ EASEMENTS & STORM WATER	9
➤ AERIAL MAP	10
➤ EXISTING CONDITION PHOTOS	11-12
➤ SITE PLAN	13
➤ ARCHITECTURAL PLANS	14-17
➤ CONCEPTUAL LANDSCAPE PLAN	18
➤ PROPOSED PARCEL LAYOUT	19
➤ DEVELOPMENT STANDARDS & EXCEPTIONS	20-22
➤ SURVEY OF EXISTING CONDITIONS	23



Project Summary

Embedded within an existing neighborhood, Maney Estates will continue the urban renewal occurring in downtown Murfreesboro. The development will have four single family detached homes fronting North Maney Avenue. These homes will be all masonry siding w/ brick water table. The single-family homes will have a minimum size of 2200 sq.ft. with 3 bedrooms and 2-car rear entry garages. Each home will have 2 spaces minimum of surface parking.

In addition to the single-family homes, 7 attached townhomes will be built, with 3 townhomes directly adjacent to the street and 4 townhomes fronting the interior. These townhomes will be 1600 sq.ft. with 3 bedrooms and have 1-car rear and front entry garages. Each townhome will have 2 additional surface parking spaces. There will also be 2 guest parking spaces servicing all townhomes. Each townhome will have a minimum of 50 sq.ft. patio serving as the required private open space.

The homes will have architectural detailing favoring the craftsman style.

Development Team

Company Name: BNA Homes, LLC

Profession: Owner/Developer

Attn: Brian Burns

Address: 6 N Public Square, Murfreesboro, TN, 37130

Phone: 615.405.5647

Email: brian@bsky.email

Company Name: Huddleston – Steele Engineering Inc.

Profession: Planning & Engineering

Attn: Clyde Rountree, RLA

Address: 2155 N.W. Broad Street, Murfreesboro, TN, 37129

Phone: 615.509.5930

Email: Rountree.associates@yahoo.com

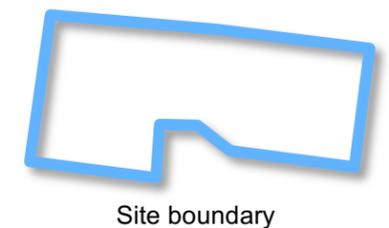


Summary

- The Site and surrounding properties are in the city core overlay and the North Highland Planning Area.
- Properties north of the subject property are zoned CM-R and RS-8.
- Properties east of the subject property are zoned OG-R .
- Properties south of the subject property is zoned OG-R.
- Properties west of the subject property are zoned PCD and RS-8.
- The 5 involved subject properties are zoned OG-R.
- The Owner is requesting the project site be rezoned as a Planned Residential District (PRD).

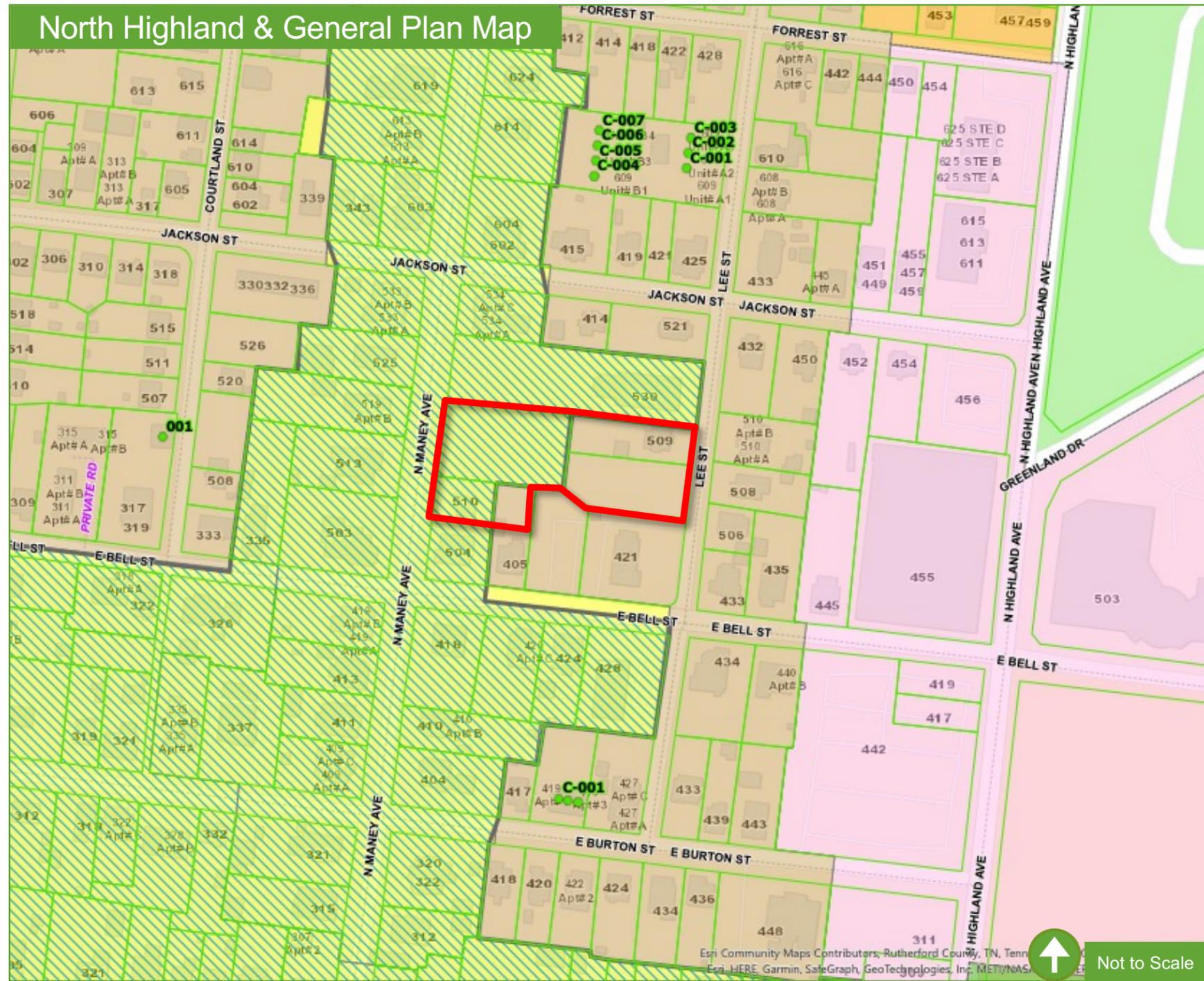
Legend

- RS-8 Residential Single Family (RS-8)
- RM Residential Multi Family (RM)
- OG-R Residential General Office (OG-R)
- PCD Planned Commercial Development (PCD)
- CM-R Commercial Medical, Residential (CM-R)
- PUD Planned Unit Development (PUD)



HUDDLESTON-STEELE
ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: 615-893-4084 FAX: 615-893-0080

North Highland & General Plan Map



Summary

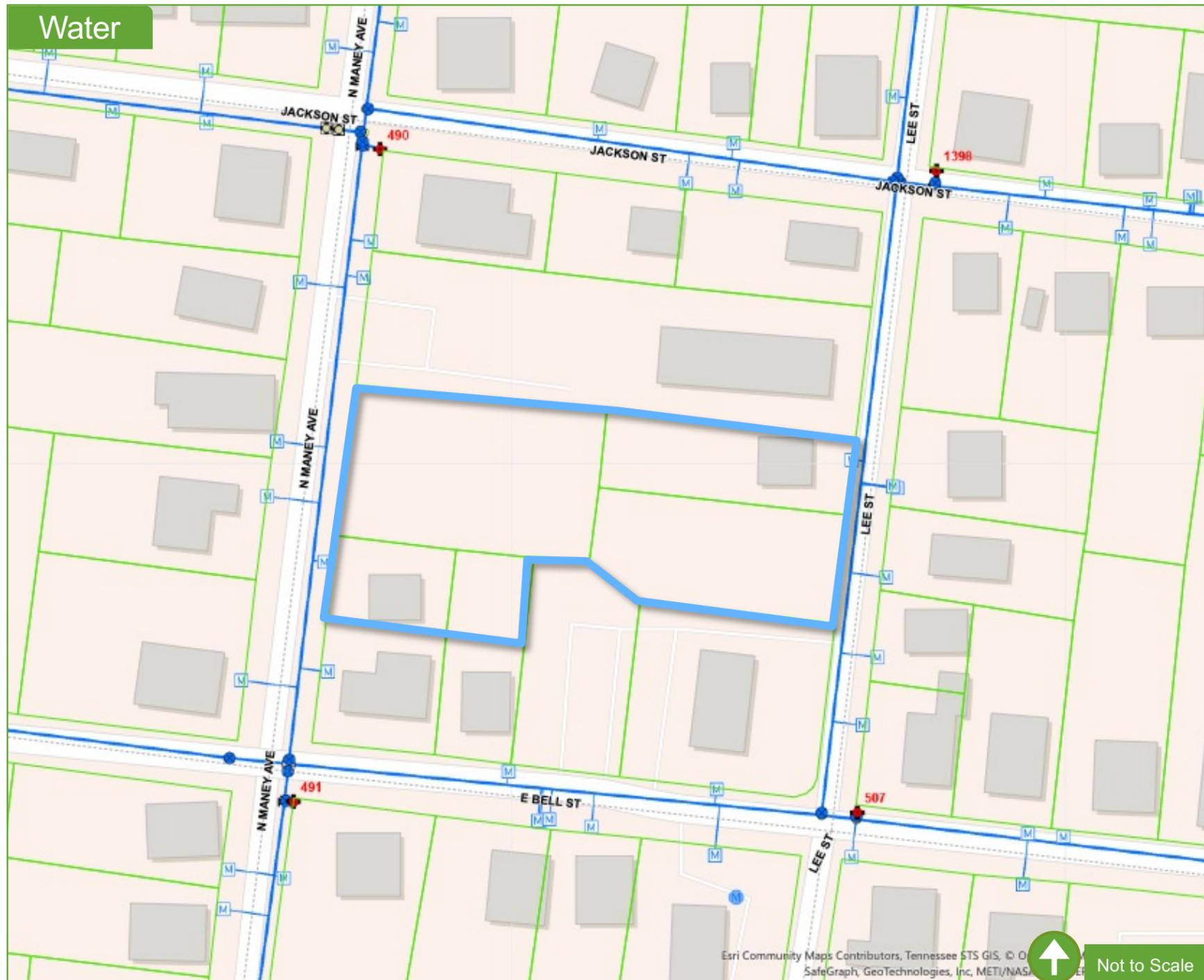
- General plan land use map designates project within the north highland overlay, neighborhood compatible overlay and city core overlay.
- North highlands study designated the area fronting onto N. Maney Street as “Residential Single Family” and the area fronting Lee Street as “Mixed Residential Neighborhood”

Legend

- Downtown / Central Business District
- Mixed-Residential Corridor
- Mixed Residential Neighborhood
- Mixed Use Nodes
- Residential-Single Family
- Parks & Open Space



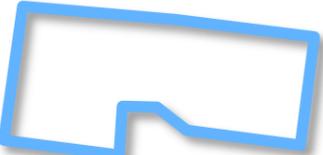
SHUDDLESTON-STEELE
ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080



- ### Summary
- 12" Ductile iron water line running along N Maney Avenue and Lee St.
 - Water Lines are managed by Murfreesboro Water Resources.
 - Single family detached homes will each need separate water meters.
 - Townhomes will need 2 5'x7' gang vaults with 5' clearance on all sides with easements recorded.

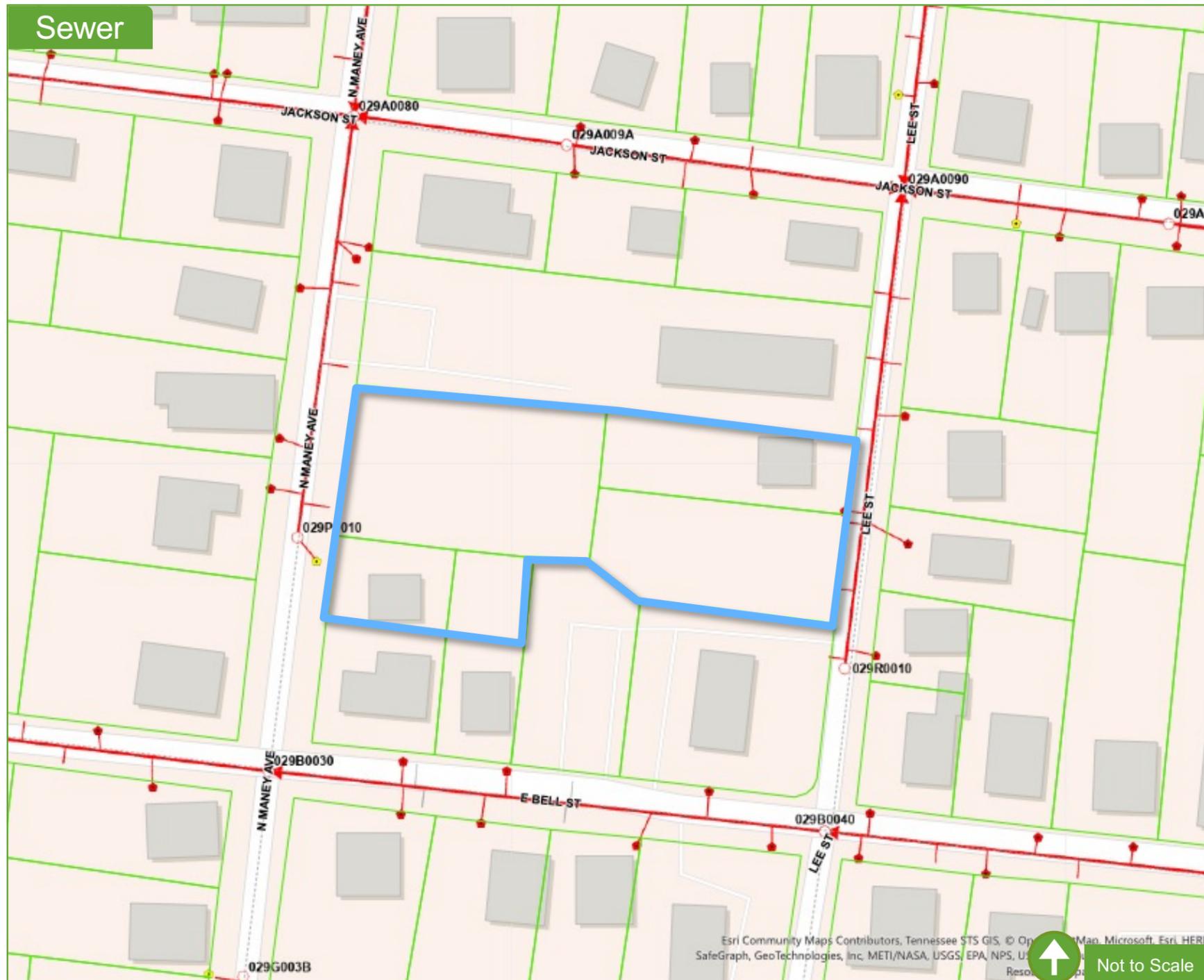
Legend

WATERLINE: 
 FIRE HYDRANT: 

Site boundary

HS HUDDLESTON-STEELE
ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080

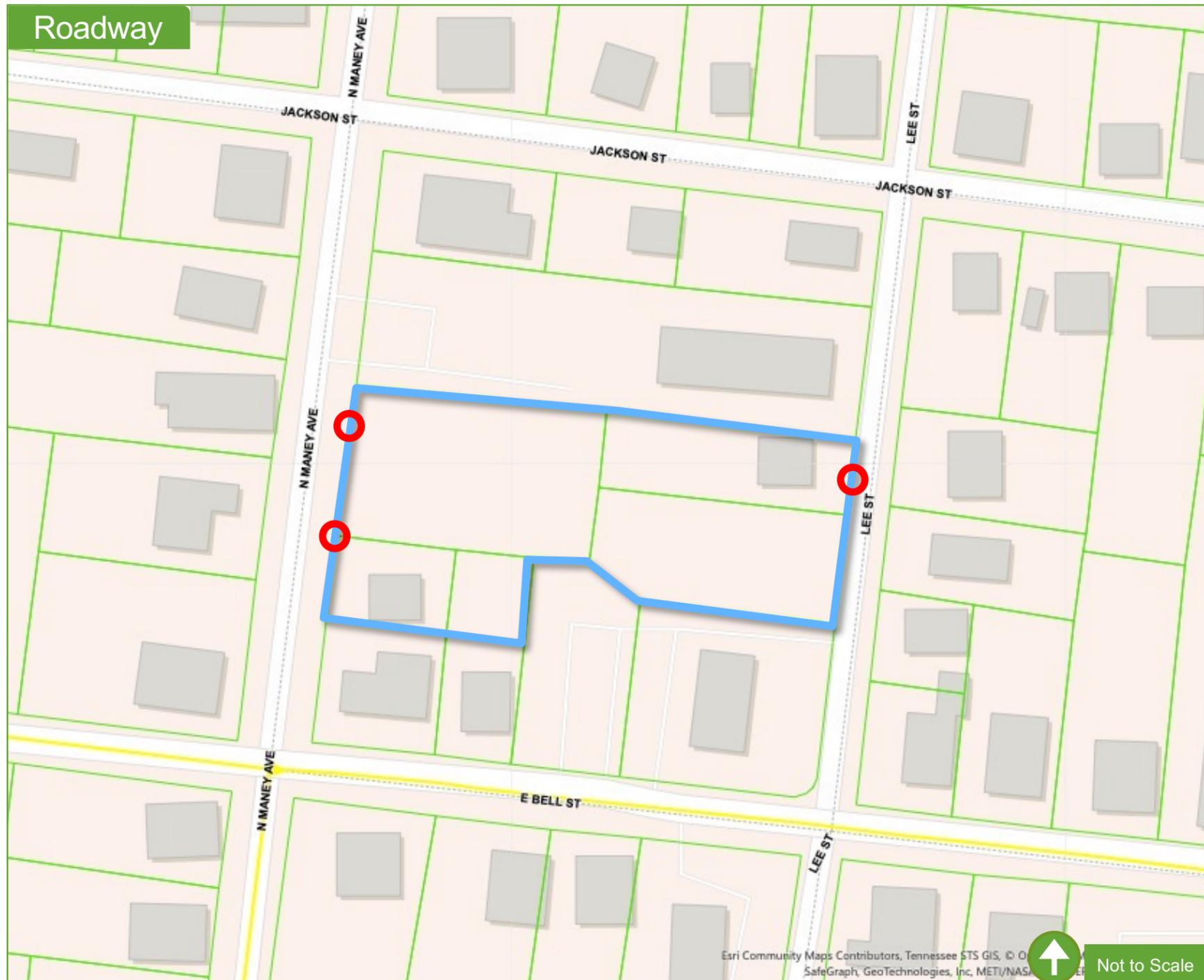


- ### Summary
- The subject property has sewer access via N Maney Ave and Lee St.
 - Sewer system is managed by Murfreesboro Water Resources.
 - Single family detached homes will need separate sewer taps.
 - Townhomes will need 30' sewer easement when >150' in length coming off main line.

Legend

Existing Gravity Line:			
Private Gravity Line:			
Existing Manhole:			
Private Manhole:			

HS HUDDLESTON-STEELE
ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080



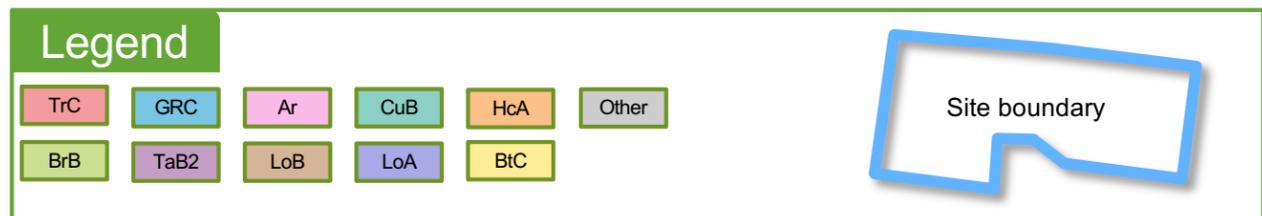
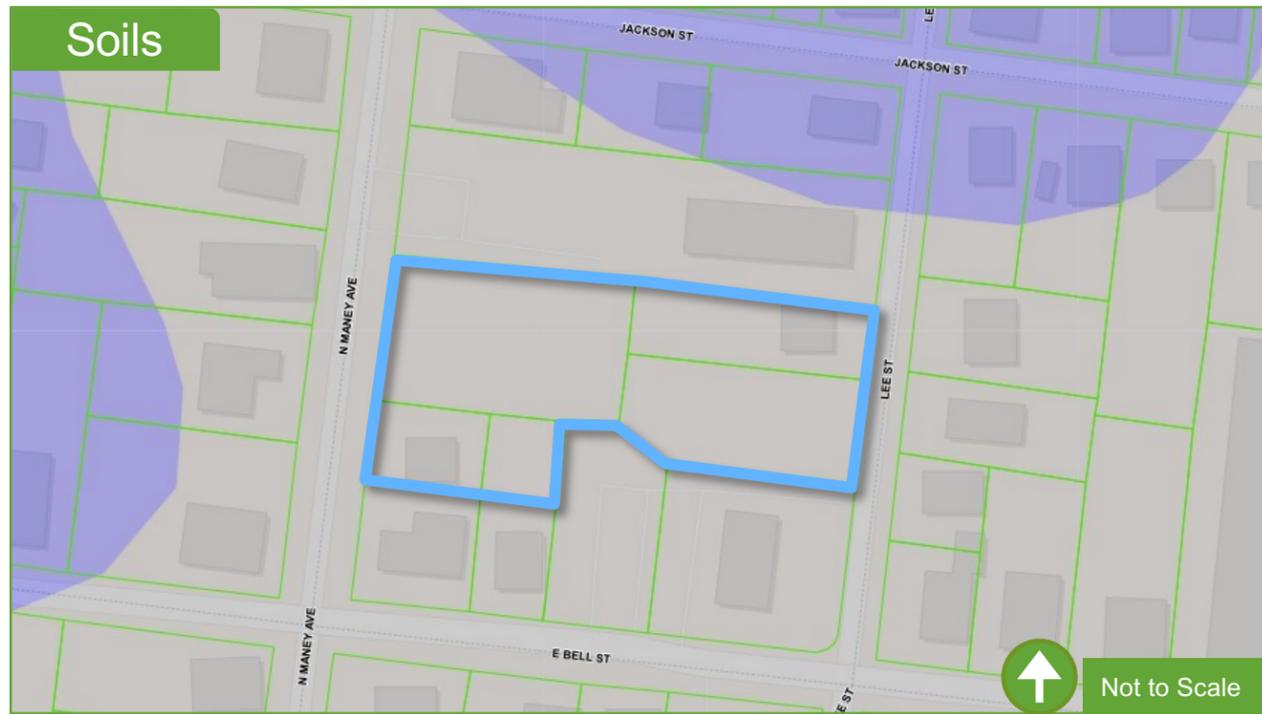
Summary

- The subject sites are served by North Maney Avenue (designated as a 'residential collector' in the North Highland Avenue study) and Lee Street (a 'local' designated street).
- Nearby is East Bell Street (which is a designated 'residential collector' street) and Jackson Street (designated as a 'local' Street).
- 2 Shared access driveways are being provided along N. Maney Avenue to serve the 4 single family detached homes and 1 shared access driveway from Lee Street to access the 7 townhome units.

Legend

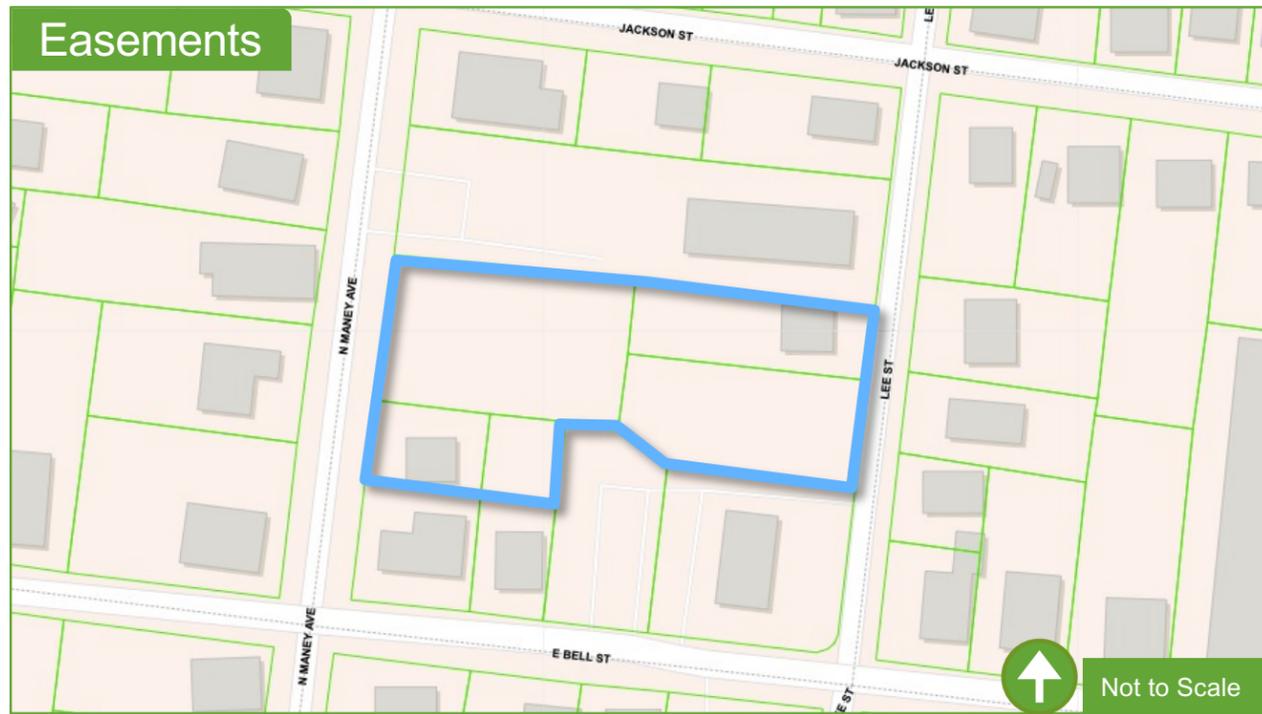
- Private Roadway:
- Public Street:
- Residential Collector:
- Shared Access Points:
- Site boundary

SHUDDLESTON-STEELE
ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080

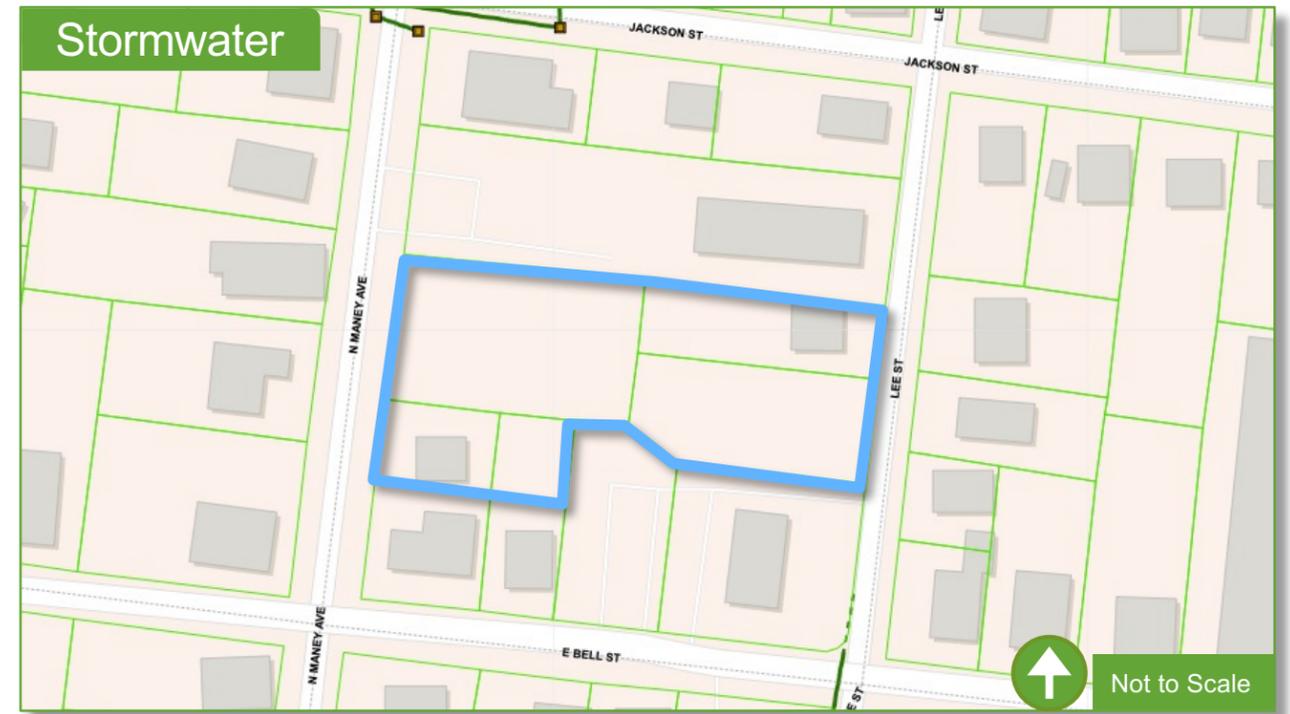


Map Summary

- The subject property has an average grade change of 2ft making the property appear relatively flat.
- The natural drainage runs to the northwest.



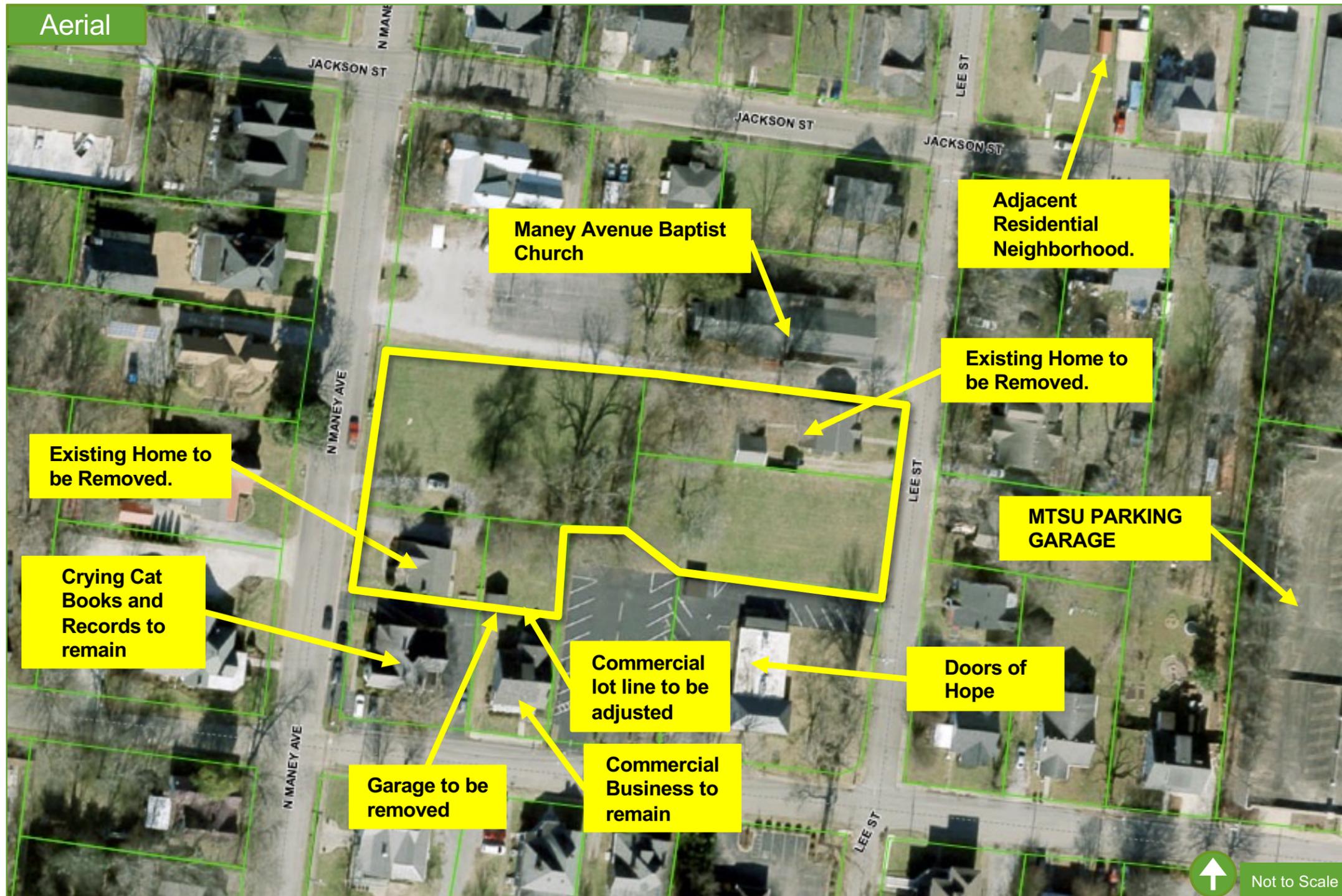
- ### Map Summary
- No easements are currently affecting the site.
 - 10' public utility easements (PUFs) will need to be provided along North Maney Avenue and Lee Street.



- ### Map Summary
- Stormwater Infrastructure is located to the north along Jackson Street.
 - Stormwater is being treated using small site option. This Includes
 - Pervious Pavers
 - Recessed Landscaping Island
 - Roof Draining into Landscaped Areas

SHUDDLESTON-STEELE
ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080

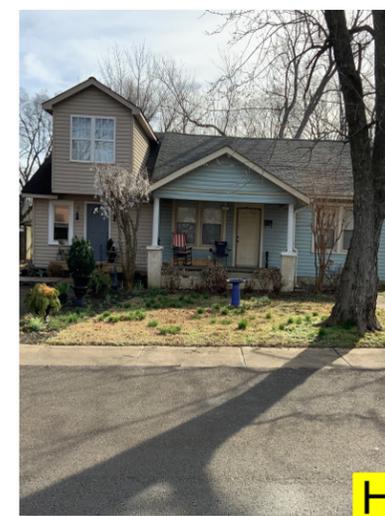
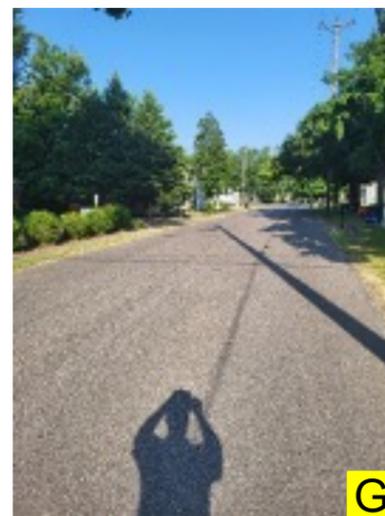
Aerial



Map Summary

See labelling

HS HUDDLESTON-STEELE
ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: 615-893-4084 FAX: 615-893-0080



HS HUDDLESTON-STEELE
ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080

Site plan



Site Data	Single Family	Townhome
Total Area	31,263 sq.ft.	25,498 sq.ft.
Lot size	6178 sq.ft. (min)	N/A
Density	6.25	12.28
Detached homes	4 (2200 sq.ft. minimum)	---
Attached homes	---	7 (1600 sq.ft. minimum)
Bedrooms	3	3
Parking required	6 Spaces	21 Spaces
Parking provided (Garage)	11	7
Parking provided (Surface)	11	16
Private Open Space (Porches)	---	350 sq.ft.
Setbacks		
Front	19.5 ft	15 ft
Rear	20 ft	10 ft
Side	5 ft	10 ft
<ul style="list-style-type: none"> • 5' Allowed Porch Encroachments on detached house type. • 2 gang vaults to be provided for townhomes. • Detached garages allowed to occupy 60% of normal required rear yard. 		

Legend

- Single Family Detached Homes
- Single Family Attached Townhomes
- Green Space
- Pervious Pavers
- Site boundary

↑ Not to Scale

SHUDDLESTON-STEELE ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080

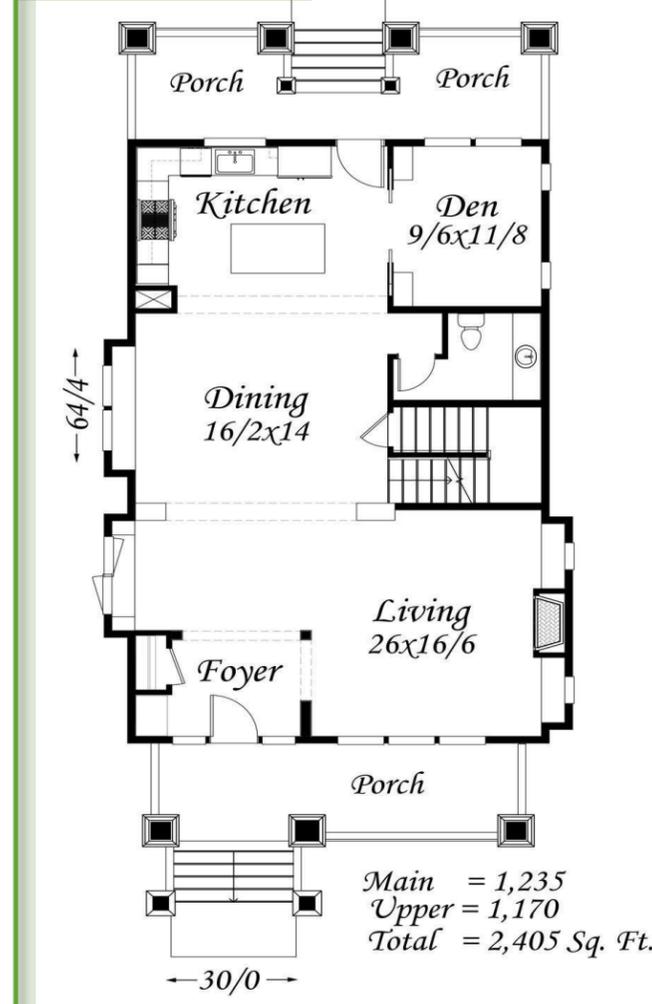
Front Elevation



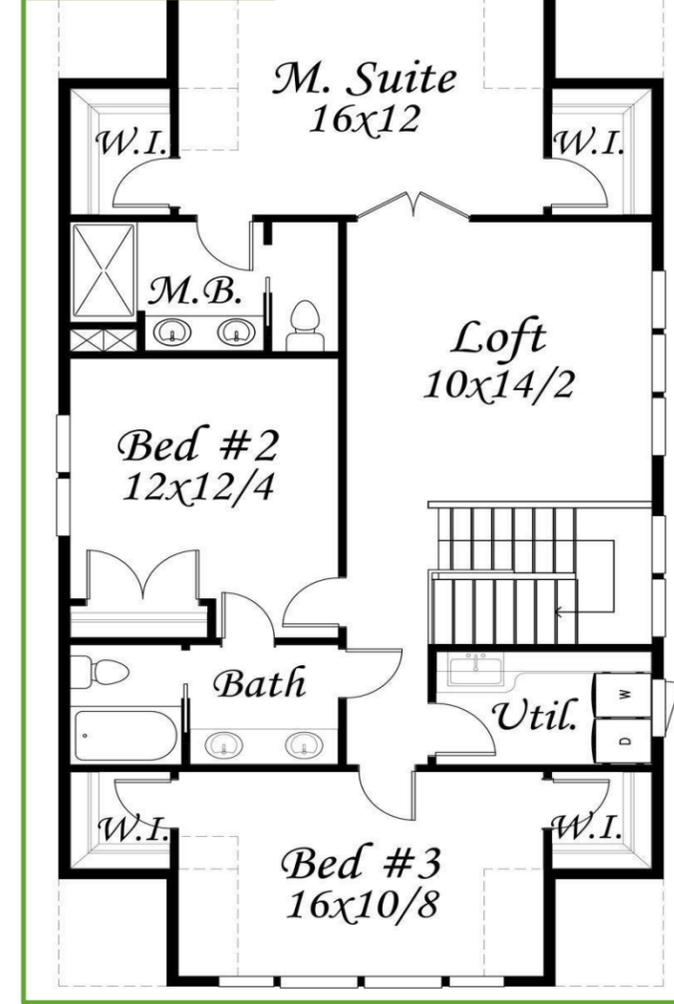
Rear Elevation



First Floor



Second Floor



Characteristics

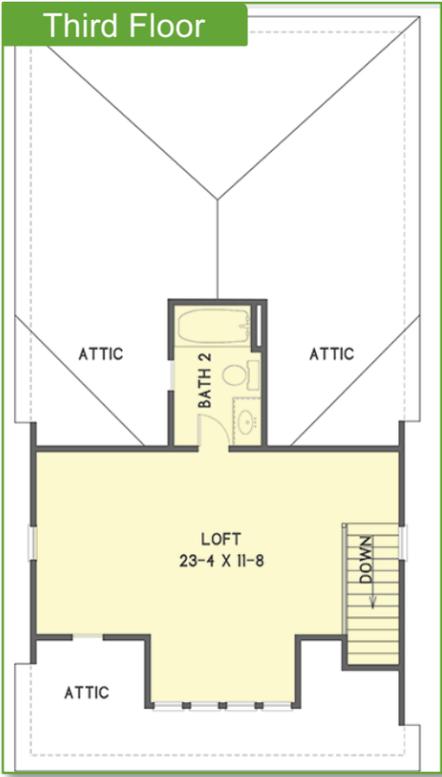
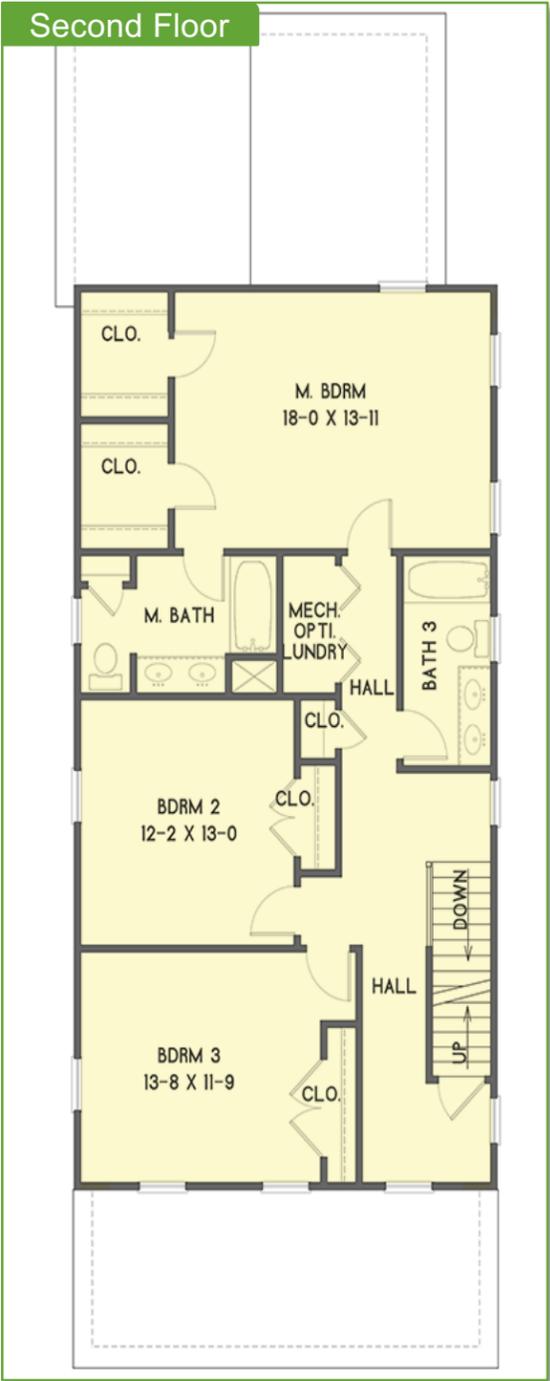
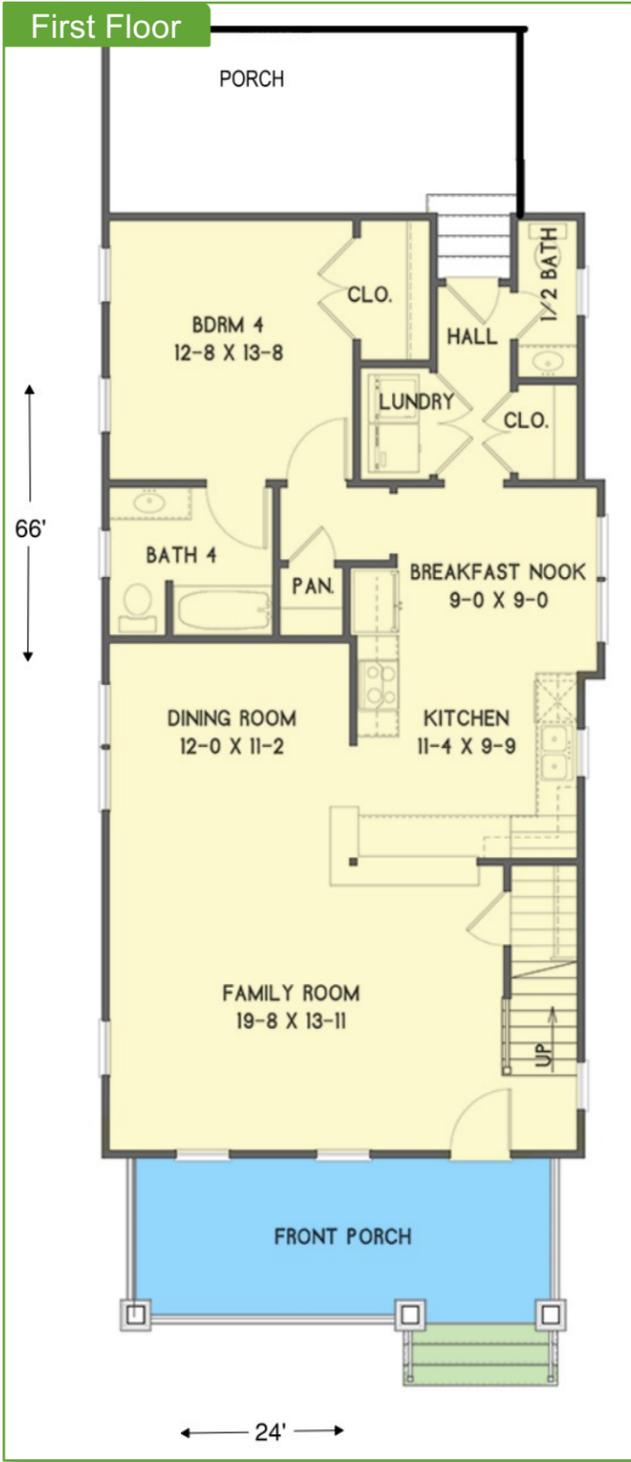
- Detached 3-car garage to be 30ft wide and 20ft deep.
- Material to be cementitious siding and brick base.
- 3 Surface parking spaces.
- Shared driveway access with house on individual lot of record.

HS HUDDLESTON-STEELE
ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: 615-893-4084 FAX: 615-893-0080



Characteristics

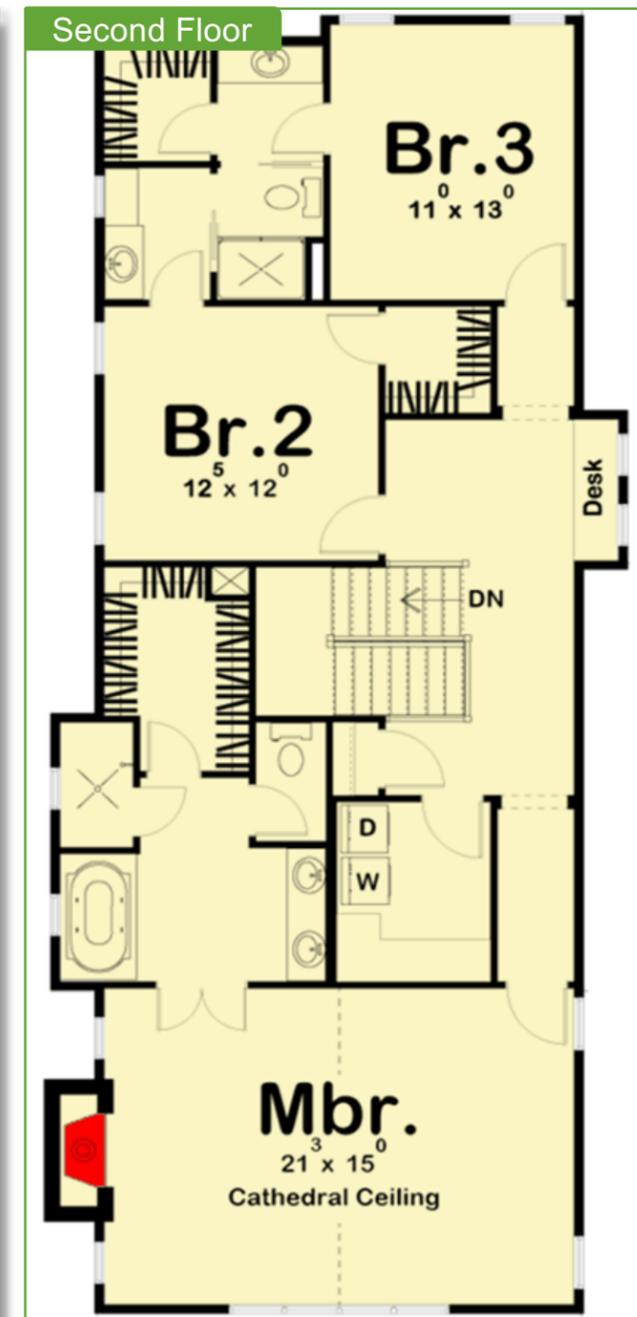
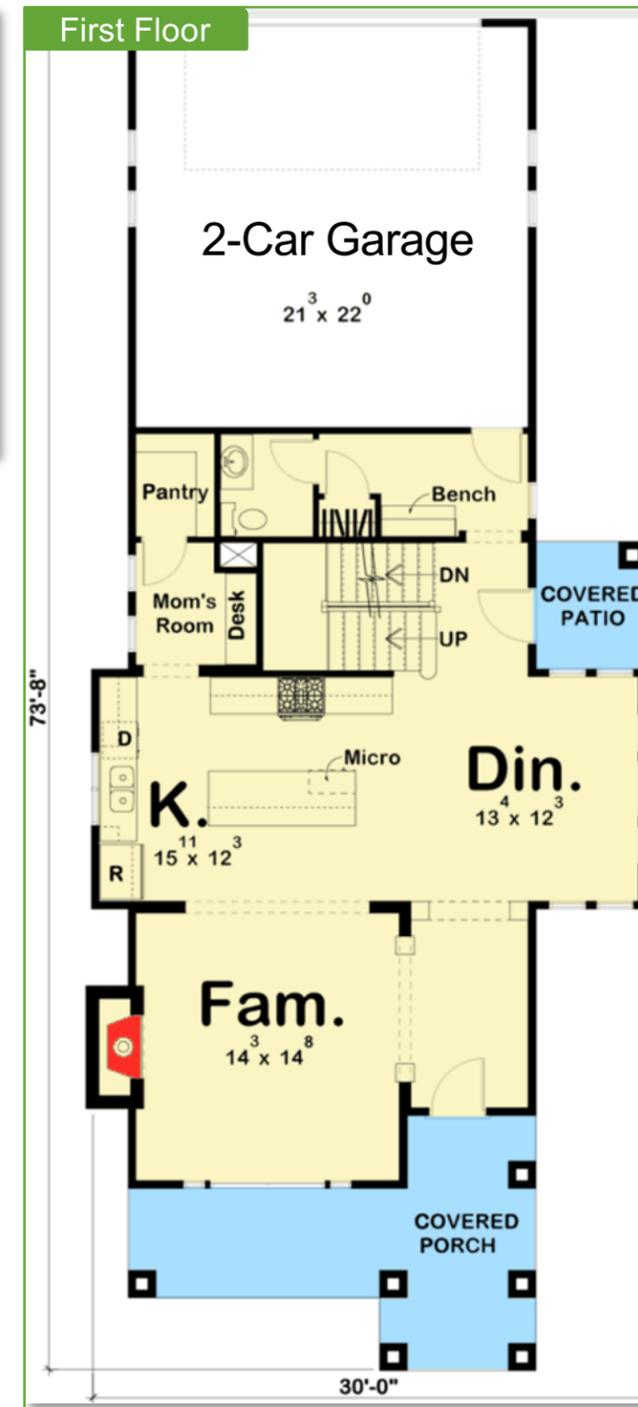
- Detached 3-car garage to be 30ft wide and 20ft deep.
- Material to be cementitious siding and brick base.
- 3 Surface parking spaces.
- Shared driveway access with house on individual lot of record.



HS HUDDLESTON-STEELE ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080



- Characteristics**
- 2- car attached garage to be 21ft wide and 22ft deep.
 - Material to be cementitious siding and brick base.
 - 3 Surface parking spaces.
 - Shared driveway access with house on individual lot of record.



HS HUDDLESTON-STEELE
ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080



Characteristics

- 1- car garage to be 13'-5" wide and 23' deep.
- 2 Surface parking spaces.
- Material to be cementitious siding and brick base.

4 Plex Front Elevation



SHUDDLESTON-STEELE ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080

Conceptual Landscape Plan



Fencing Example



Evergreen Trees in type A buffer on 3 sides



Decorative Kiosk

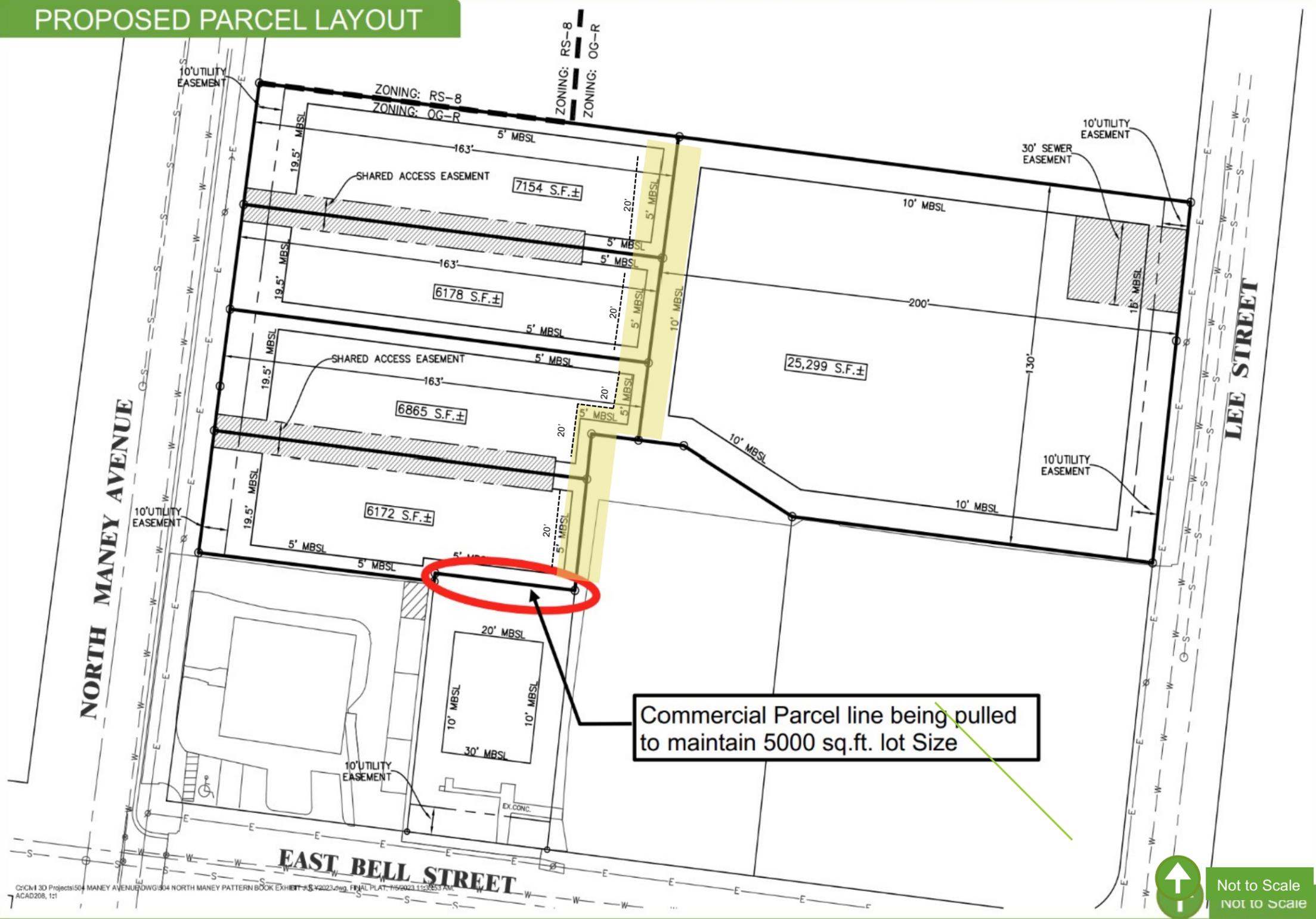


Foundation Plants



HS HUDDLESTON-STEELE ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080

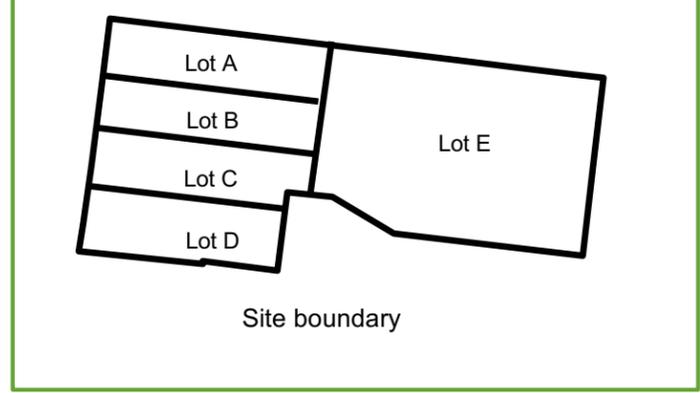
PROPOSED PARCEL LAYOUT



Map Summary

- 405 E. Bell property to be adjusted to 5000 sq.ft. prior to building permit issuance through final plot generally following the layout of this exhibit.
- 10' Public utility easement shall be provided along North Maney Avenue and Lee Street.
- 30' sewer easement will be provided to meet Murfreesboro Water Resources Department requirements.
- Utilizing allowed 5' porch encroachment for single family detached housing.
- Utilizing allowed 5' rear yard setback for the accessory structure.

Legend



HUDDLESTON-STEELE ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080

LAND REQUIREMENT TABLE

SETBACKS	RS-4	CCO	Proposed PRD single family Detached (4)	Difference	RS-A3	CCO	Proposed PRD Townhomes (7) HPR	Difference
FRONT SETBACK	35 ft	19.5 ft	19.5 ft		20 ft	25 ft	15 ft	10 ft
SIDE SETBACK	5 ft		5 ft		5 ft		10 ft	
REAR SETBACK	20 ft		20 ft		20 ft		10ft	10 ft
ACCESSORY STRUCTURE SETBACK	5 ft with < 25% in 'required rear yard'.	N/A	5 ft with up to 60% within 'required rear yard'	35%				
TOTAL LOT AREA	4,000 sq.ft.		5092sq.ft. (min)	1092 sq.ft.	2000 sq.ft.		3597 sq.ft.	
MIN. LOT WIDTH	40 ft		38 ft	2 ft	20 ft		N/A	N/A
MAX. HEIGHT	35 ft		35 ft		45 ft		28 ft	
MAX. GROSS DENSITY	10.8		+/- 6.67**	+/- 3.84	12		+/- 11.97**	+/- 0.3
MAX. F.A.R.	NONE		NONE		1		N/A	
MAX. L.S.R.	NONE		NONE		NONE		NONE	
MAX. O.S.R.	NONE		NONE		NONE		NONE	
MAX LOT COVERAGE	40%	50%	37%		NONE	50%	28%	22% (UNDER)
LANDSCAPE BUFFER	NONE				TYPE A		10' TYPE A	

* 5' Allowed Porch Encroachment

**OG-R (current zoning) allows 8.7 units/acre for single family detached and 14.5-17.4 units/acre for townhomes.

SITE DATA	Single Family (sq.ft.)	Single Family Percentage	Town Homes (sq.ft.)	Townhome Percentage	Entire Parcel (sq.ft.)	Entire Parcel Percentage
TOTAL LAND AREA	+/- 26,171 (.60 AC)	51%	+/- 25,498 (.59 AC)	49%	+/-51,669 (1.19 AC)	100%
PRIVATE OPEN SPACE	N/A	0%	350	1.4%	350	1.4%
TOTAL IMPERVIOUS	11,895	46%	9,589	38%	21,484	42%
TOTAL PERVIOUS (OPEN SPACE)	7,017	27%	7,176	28%	14,193	27%
TOTAL BUILDING COVERAGE	9,400	36%	7,297	29%	16,697	32%
TOTAL PARKING LOT COVERAGE	7,259	28%	8,733	34%	15,992	31%

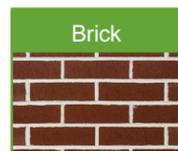
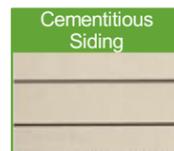
SHUDDLESTON-STEEL ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4084 FAX: 615-893-0080

Developmental Standards

- Development will include (4) 2-Story Detached homes on their own lots of record and (7) Attached Town homes on horizontal property regime lots.
- The maximum building height is 35'-0"
- Parking will be a combination of surface parking and parking in garages.
- Solid waste will be disposed using poly carts stored in garages (clear of required dimensions) and private hauler.
- Sidewalks will need to be constructed within this project along North Maney Avenue and may be subject to in lieu fees along Lee Street.
- Mail delivery will be accommodated via a mail kiosk.
- The garages are to meet standard city requirements of 11'4" x 20' for one-car garages and 19'4" x 20' for two-car garages clear of interior trash storage.
- Telecommunication and television equipment shall be located on the rear of the proposed buildings.
- AC units will be located on the rear and side of the homes.
- Building Elevation Materials: Brick and Hardie Board Siding.

Building Elevations Materials

Front Elevation:	All Masonry Materials (Brick, Stone, Fiber Cement Board, etc)
Side Elevations:	All Masonry Materials (Brick, Stone, Fiber Cement Board, etc)
Rear Elevations:	All Masonry Materials (Brick, Stone, Fiber Cement Board, etc)
All Elevations	Enhanced trim Package



*Different colors, cuts and patterns will be allowed

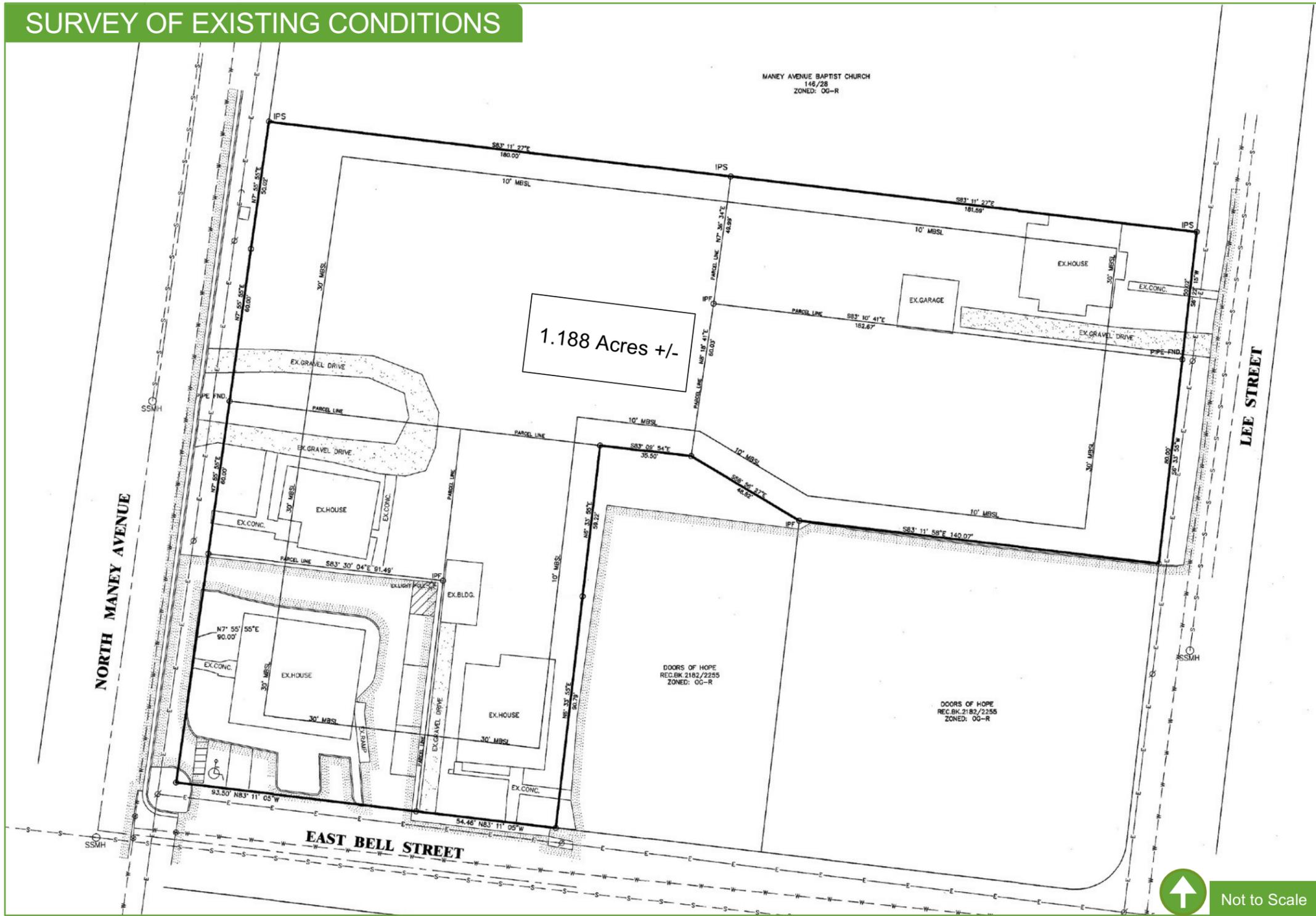
General Applicability Section 13b for Planned Development

- **Ownership and division of land:** The site is owned by the developer identified on Sheet 2 and the lot is currently zoned, OG-R.
- **Waiver of BZA action:** No BZA action is required.
- **Common space and common elements:** Town homes will have 50 square feet of private open space per home.
- **Accessibility of site:** Site will be accessed from Lee St., designated as a local street, and North Maney Avenue, designated as a residential collector street.
- **Off-street parking:** See Sheet 13 for parking calculations.
- **Pedestrian circulation:** There are no existing sidewalks currently. However, property may be subject to in lieu fees along Lee Street. New sidewalks shall be constructed along North Maney Street.
- **Privacy:** 6 ft privacy fence will be provided along side and rear property lines, as depicted on Sheet 13.
- **Relationship to zoning regulations and other zoning regulations:** A PRD is being requested for the subject property.
- **Development Period; Phasing:** The project shall be completed in one phase.
- **Annexation:** No Annexation is required for this site.
- **Landscaping:** Landscaping will be the responsibility of the new homeowners for the single-family detached homes. Perimeter trees and foundation planting will be provided for the town homes.

General Applicability Section 13b for Planned Development

1. Identification of existing utilities, easement, roadways, rail lines and public right-of-way crossings and adjacent to the subject property: [Shown in pattern book on Sheets 3-7.](#)
2. A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; [Shown in pattern book Sheets 8-9.](#)
3. A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structure on-site and within two hundred feet of the subject property and the identification of the use thereof; [Shown in pattern book Sheets 10-12.](#)
4. A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; [Shown in pattern book Sheet 13.](#)
5. A tabulation of the maximum number of dwelling units proposed including the number of units with two or less bedrooms and the number of units with more than two bedrooms; [Shown in pattern book Sheet 13.](#)
6. A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (floor area ratio), the L.S.R. (livability space ratio), and the O.S.R. (open space ratio); [Not applicable in this situation.](#)
7. A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the City and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article; [See sheet 2.](#)
8. If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating: (aa) the approximate date when construction of the project can be expected to begin; (bb) the order in which the phases of the project will be built; (cc) the minimum area and the approximate location of common space and public improvements that will be required at each stage; and, (dd) a breakdown by phase for subsections [5] and [6] above; [The PRD will be constructed in one phase.](#)
9. Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted; [The townhomes will have an HOA.](#)
10. A statement setting forth in detail either (1) the exceptions which are required from the zoning and Subdivision Regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed;
 - [EXCEPTION 1 - A reduction in front setback to be 15 ft for single family attached town homes.](#)
 - [EXCEPTION 2 - A reduction in rear setback to 10 ft for single family attached town homes.](#)
 - [EXCEPTION 3 - Increase the amount of accessory structure located within the 'required rear yard' from < 25% to 60%](#)
 - [EXCEPTION 4 - A reduction in total lot width from 40' to 38' for single family detached homes, which is a 2 ft reduction from comparative.](#)
11. The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article; [Not applicable in this situation.](#)
12. The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time; [The subject property is not influenced by the Major Thoroughfare Plan.](#)
13. The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated; [See Sheet 2.](#)
14. Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. [See Sheet 14-17.](#)
15. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign: [Not applicable in this situation.](#)

SURVEY OF EXISTING CONDITIONS



↑ Not to Scale

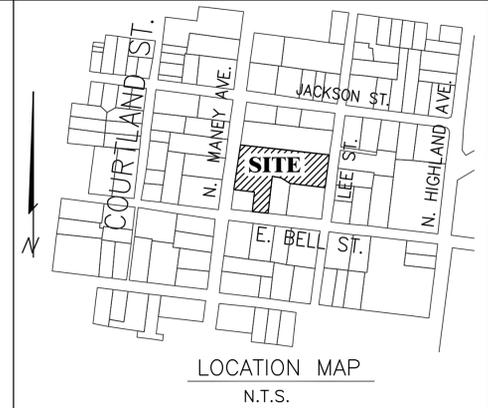
HS HUDDLESTON-STEELE
ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: 615-893-4084 FAX: 615-893-0080

NOTES:

- IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
- UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.

PLAT NOTES

- The purpose of this plat is to create six lots of record, to remove labeled existing parcel lines, and to dedicate easements, as shown.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, Telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- Easements in the subdivision may not have infrastructure constructed within them until some future time. There may be no notice or consultation with the individual lot owners of this construction.
- Release and Covenant Not to Sue:
Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of existing elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- Any street in this subdivision may be extended in adjoining property at any time without additional notice or consultation.
- The streets identified on the plat may be constructed or reconstructed in the future without consultation or notice to the owners of the lots in the subdivision.



CERTIFICATE OF OWNERSHIP AND DEDICATION
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

Date _____ BNA Homes, LLC
Record Book 2261, Page 2803 Brian Burns, Owner/Member
Tax Map 091L K Parcels 21, 24, 27, 29, & 30

Certificate of Approval for Recording
I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date _____ Planning Commission Secretary

Certificate of Approval of Streets and Drainage
I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date _____ City Engineer

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
I hereby certify that (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

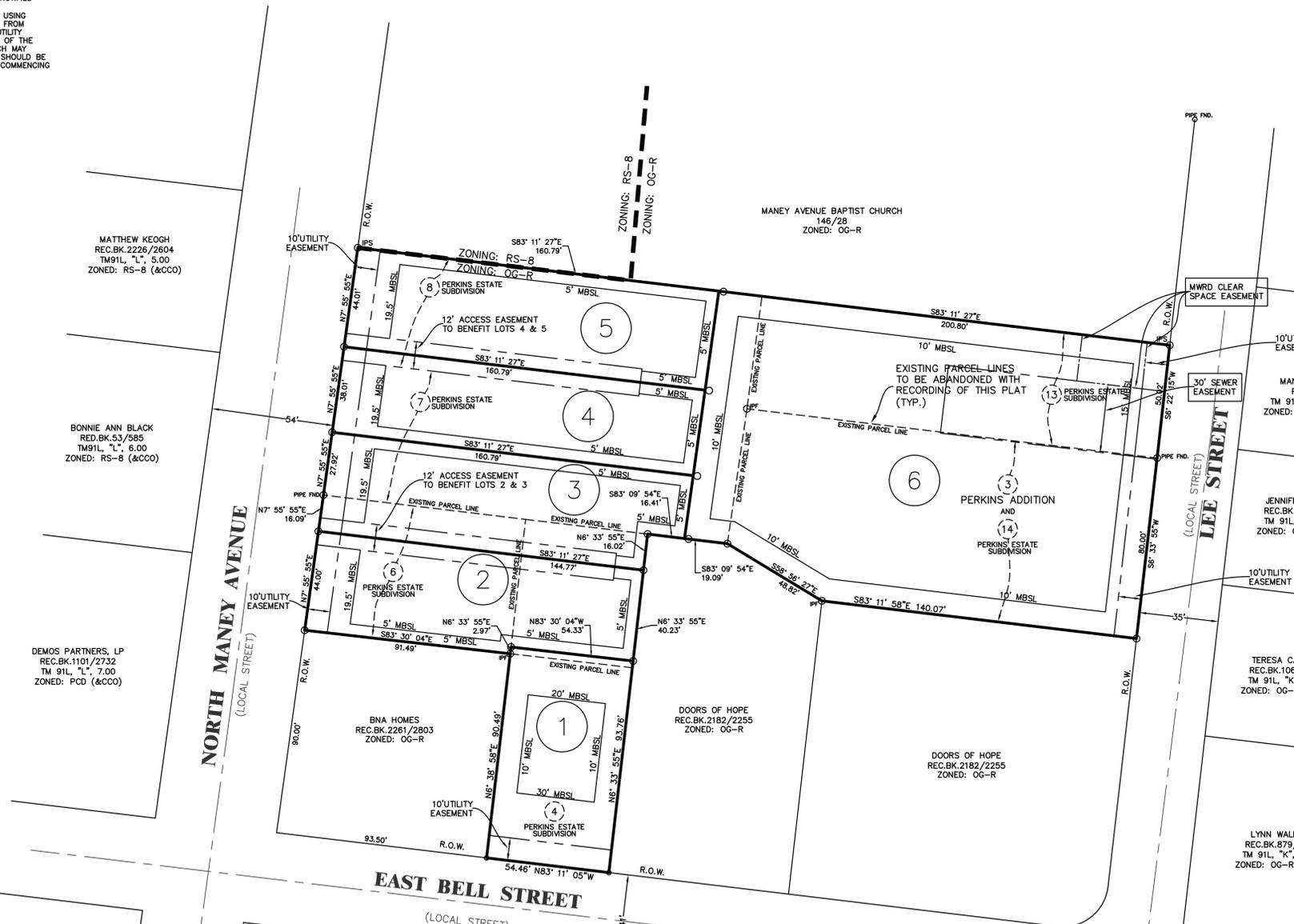
Date _____ Murfreesboro Water Resources Official

Certificate of Approval of Water Systems Located in the Water Service Jurisdiction of the City of Murfreesboro
I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with the city codes and specifications and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria; or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date _____ Murfreesboro Water Resources Official

Certificate of Approval for Electric Power in the Electric Service Jurisdiction of Middle Tennessee Electric Membership Corporation
Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MTEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's Requirements.

Date _____ Middle Tennessee Electric Membership Corporation



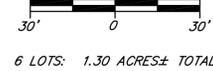
LOT	AREA (S.F.±)
1	5,092
2	6,172
3	6,814
4	6,110
5	7,075
6	25,498

A PLOT PLAN PREPARED BY A LICENSED SURVEYOR AND DRAWN TO SCALE MUST BE SUBMITTED FOR REVIEW AND APPROVAL OF THE PLANNING DEPARTMENT WITH THE BUILDING PERMIT APPLICATION FOR LOTS 2 - 5. IN ADDITION, A LICENSED SURVEYOR WILL BE REQUIRED TO LAY OUT THE FOOTING FOR EACH LOT AND PROVIDE WRITTEN CONFIRMATION TO THE CITY THAT THERE ARE NO ENCROACHMENTS INTO ANY EASEMENTS OR BUILDING SETBACKS.

THIS PLAT VOIDS AND VACATES ALL MATTERS PERTAINING TO LOTS 4,6,7,8,13&14, PERKINS ESTATES SUBDIVISION, AS RECORDED IN DEED BOOK 76, PAGE 73, AND LOT 3, PERKINS ADDITION, AS RECORDED IN PLAT BOOK 4, PAGE 45, R.O.R.C., TENNESSEE.

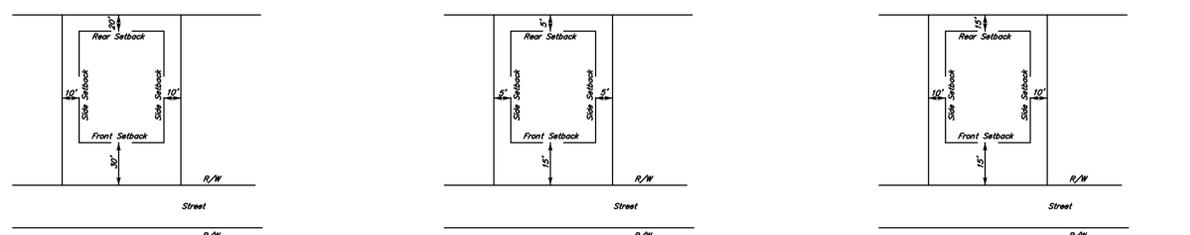


LEGEND FOR MONUMENTS
 I.P.S. ○ IRON PIN SET
 I.P.F. ○ IRON PIN FND.
 ○ RAILROAD SPIKE
 — FENCE
 ● SURVEY POINT
 ▲ NAIL
 ■ CONC. MARKER FND.



6 LOTS: 1.30 ACRES± TOTAL

ZONING: PRD (& CCO)
 FRONT SETBACK: 15' / 30'
 SIDE SETBACK: 5' / 10'
 REAR SETBACK: 15' / 20'
 *AS SHOWN IN TYPICAL BUILDING SETBACK DIAGRAMS.
 A 5' PORCH ENCROACHMENT IS ALLOWED INTO THE FRONT SETBACK.



TYPICAL BUILDING SETBACK DIAGRAM (LOT 1) N.T.S.
 TYPICAL BUILDING SETBACK DIAGRAM (LOTS 2-5) N.T.S.
 TYPICAL BUILDING SETBACK DIAGRAM (LOT 6) N.T.S.

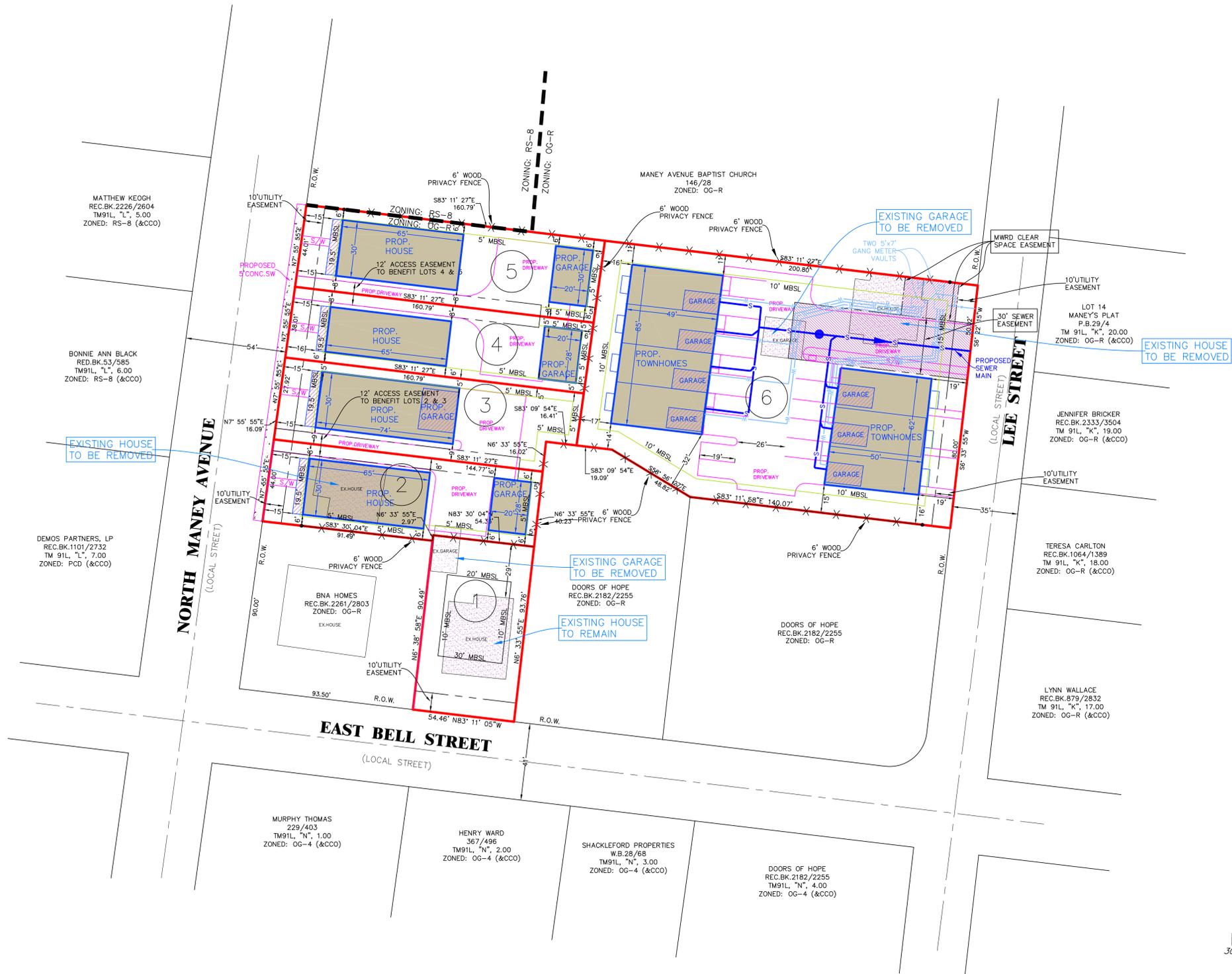
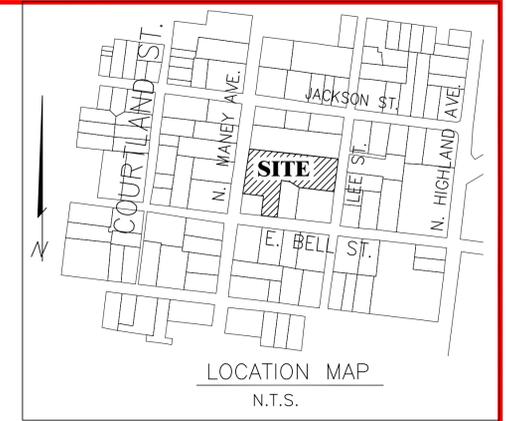
OWNER: BNA HOMES, LLC
 ADDRESS: 6 PUBLIC SQUARE NORTH
 MURFREESBORO, TN 37130
 TAX MAP: 91L, "K" PARCELS: 21, 24, 27, 29, & 30
 RECORD BOOK 2261, PAGE 2803

FLOOD MAP PANEL: 47149C0260J ZONE: X
 FLOOD MAP DATED: MAY 9, 2023
 NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

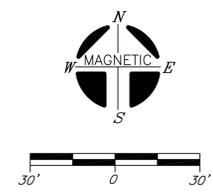
SHUDDLESTON-STEEL ENGINEERING
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: (615)983-4084, FAX: (615)983-0080

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK: _____, PAGE: _____

PERKINS ESTATE SUBDIVISION
 RESUBDIVISION OF LOTS 4,6,7,8,13&14
PERKINS ADDITION
 2ND RESUBDIVISION OF LOT 3
 13TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.
 DATE: JUNE, 2023 SCALE 1"=30' SH. 1 OF 1



LOT	AREA (S.F.±)
1	5,092
2	6,172
3	6,814
4	6,110
5	7,075
6	25,498



NOTES:

1. IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS. NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
2. UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.

ZONING: OG-R
 FRONT SETBACK: 30'
 SIDE SETBACK: 10'
 REAR SETBACK: 20'

LEGEND FOR MONUMENTS
 IPS ○ IRON PIN SET
 IPF ○ IRON PIN FND.
 ○ RAILROAD SPIKE
 → FENCE
 ● SURVEY POINT
 ▲ NAIL
 ■ CONC. MARKER FND.

OWNER: BNA HOMES, LLC
 ADDRESS: 6 PUBLIC SQUARE NORTH
 MURFREESBORO, TN 37130
 TAX MAP: 91L, "K" PARCELS: 21, 24, 27, 29, & 30
 RECORD BOOK 2261, PAGE 2803
 FLOOD MAP PANEL: 47149C0260J, ZONE: X
 FLOOD MAP DATED: MAY 9, 2023
 NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

FOR REVIEW ONLY.
NOT FOR CONSTRUCTION.

SURVEY MAP
MANEY ESTATES

HSHUDDLESTON-STEEL ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: (615)893-4084, FAX: (615)893-0080

13TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.
 DATE: JUNE, 2023 SCALE 1"=30' SH. 1 OF 1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 11, 2023
PROJECT PLANNER: MARINA RUSH**

6.a. Annexation petition and plan of services [2023-504] for approximately 32.43 acres located along New Salem Highway and Barfield Road, including 520 linear feet of Barfield Road right-of-way, World Outreach Church of Murfreesboro Tennessee, Inc. applicant.

The property owner, World Outreach Church of Murfreesboro Tennessee, submitted a petition requesting a portion of its property be annexed into the City of Murfreesboro. The subject area is 32.43 acres located along the south side of New Salem Highway and west of Barfield Road.

In addition, included in the annexation study area is 520 linear feet of Barfield Road right-of-way (ROW). The annexation of the Barfield Road ROW was presented to the Rutherford County Road Board on September 5, 2023, and the Board voted to grant consent for annexation of this ROW into the City. The annexation study area is depicted on the attached maps and includes the following:

- Portion of Tax Map 114, Parcel 008.00 (31.71 acres)
- 520 linear feet Barfield Road (0.72 acres)

There are no residential structures currently located on the property. There is no zoning application with this annexation request; as such, if annexed into the City of Murfreesboro, the zoning would be designated as Single Family Residential (RS-15). The annexation study area is located within the City of Murfreesboro's Urban Growth Boundary and is contiguous with the City limits along the northern and eastern property lines. The Murfreesboro 2035 Comprehensive Plan, Chapter 4 Future Land Use Map identifies a "Service Infill Line"; this line is to help facilitate growth and development in the City in an orderly, planned, and sustainable manner and to help plan for future City services. This annexation study area is located within the Service Infill area.

Staff has prepared a plan of services (POS) for the proposed annexation, which provides detailed information regarding each of the City services. It is attached to this staff report for reference. The annexation study demonstrates that City services can be provided to the subject property.

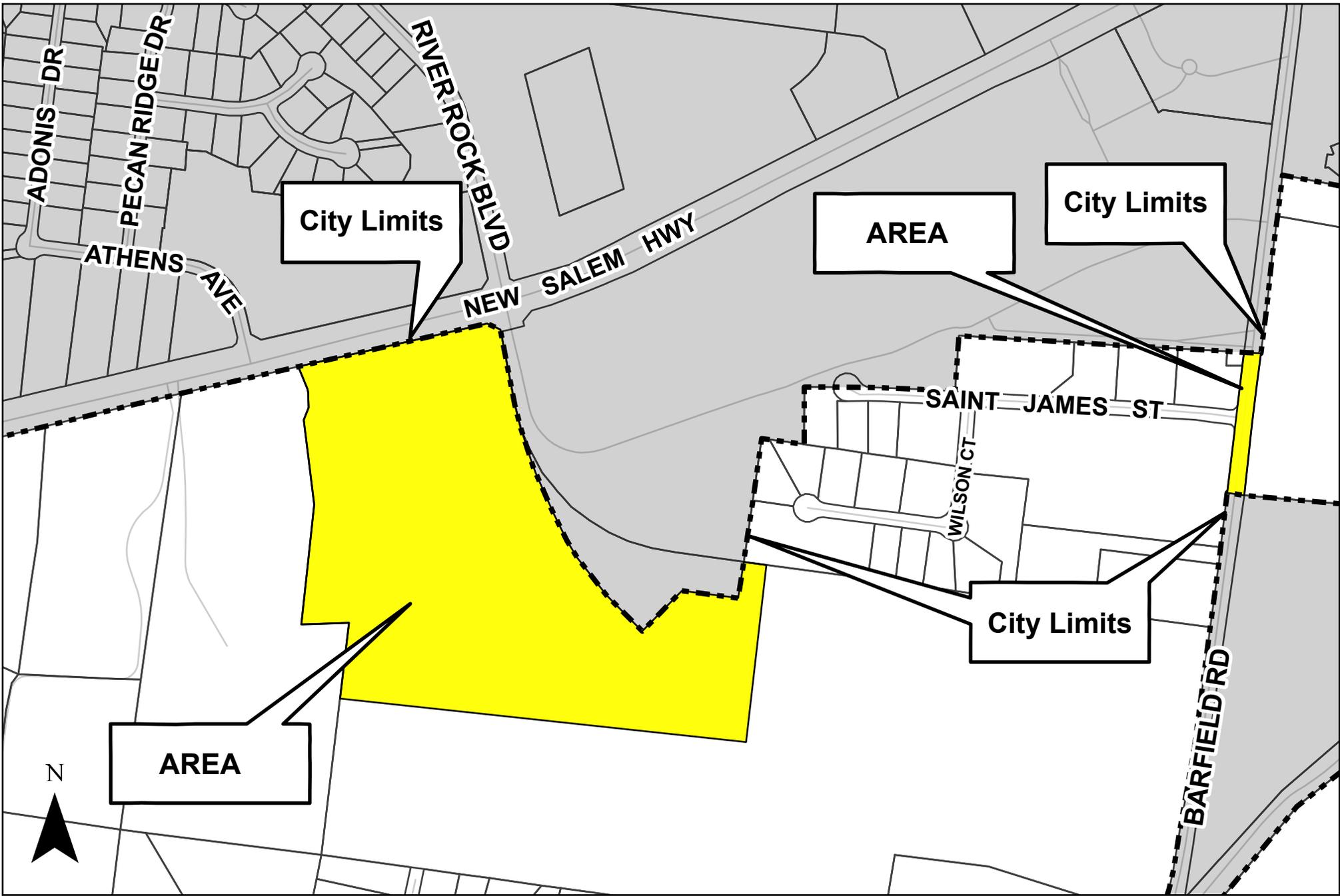
Staff Recommendations:

Staff recommends approval of the annexation based on the following reasons:

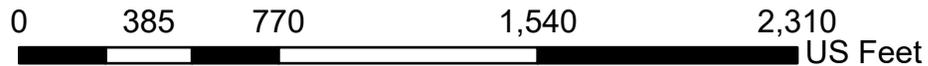
- a. Study area is contiguous with the existing City limits and is within the Murfreesboro Urban Growth Boundary.
- b. Study area is in the Service Infill area of the adopted 2035 Comprehensive Plan Future Land Use Map.
- c. City services can be provided to the subject property upon annexation.

Action Needed:

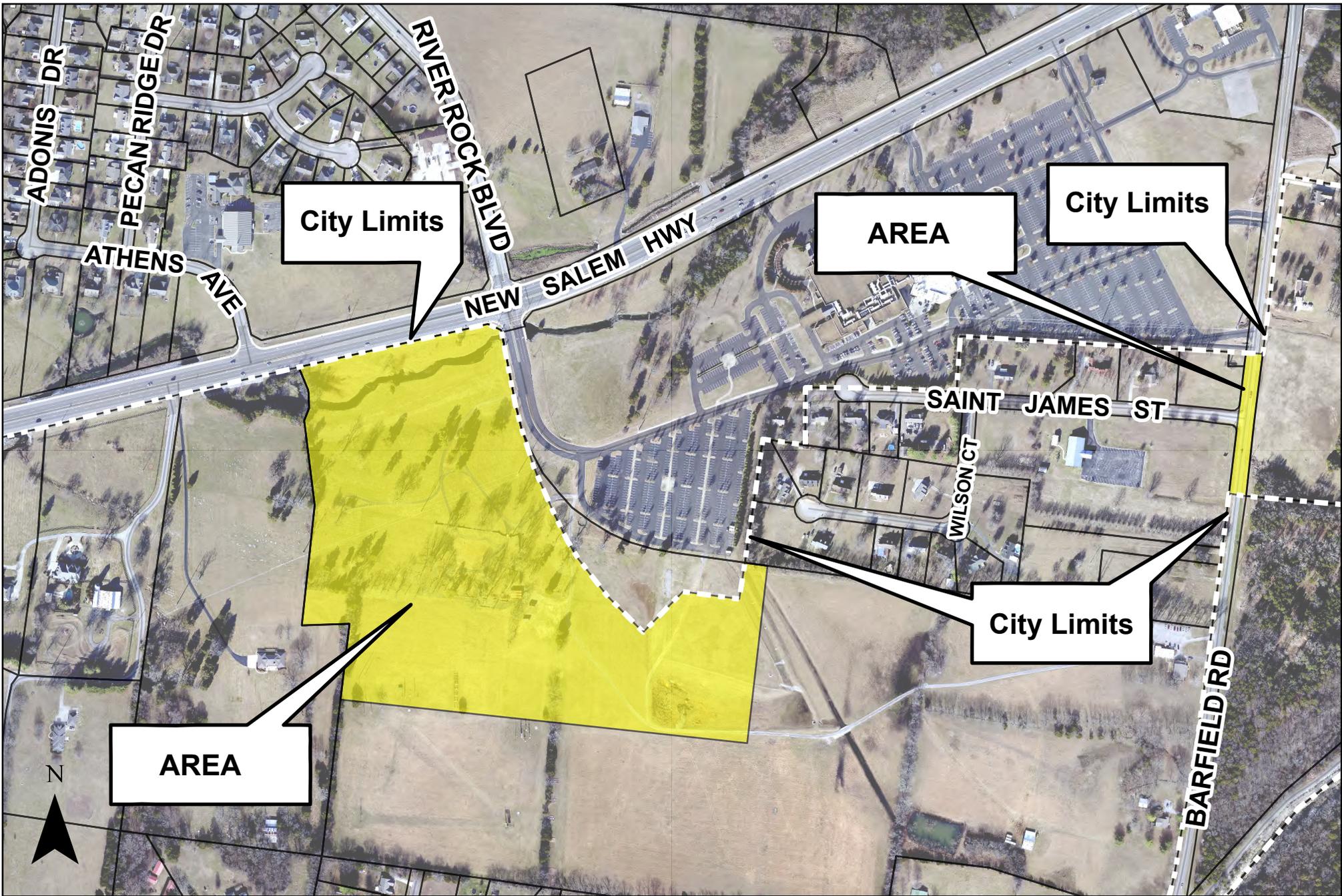
The Planning Commission will need to conduct a public hearing and then discuss the matter, after which it will need to formulate a recommendation for the City Council. The applicant's representative will be present to answer questions.



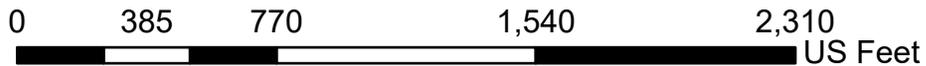
**Annexation request for property along
New Salem Highway and for Barfield Road Right-of-Way**



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



**Annexation request for property along
New Salem Highway and for Barfield Road Right-of-Way**



Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. World Outreach Church of Murfreesboro Tennessee, Incorporated
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
G. Allen Jackson, Jr.
Signature: [Signature] Status: President Date: 8/14/23
1921 Highway 99, Murfreesboro, TN 37128
Mailing Address (if not address of property to be annexed)

2. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

3. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes _____ No

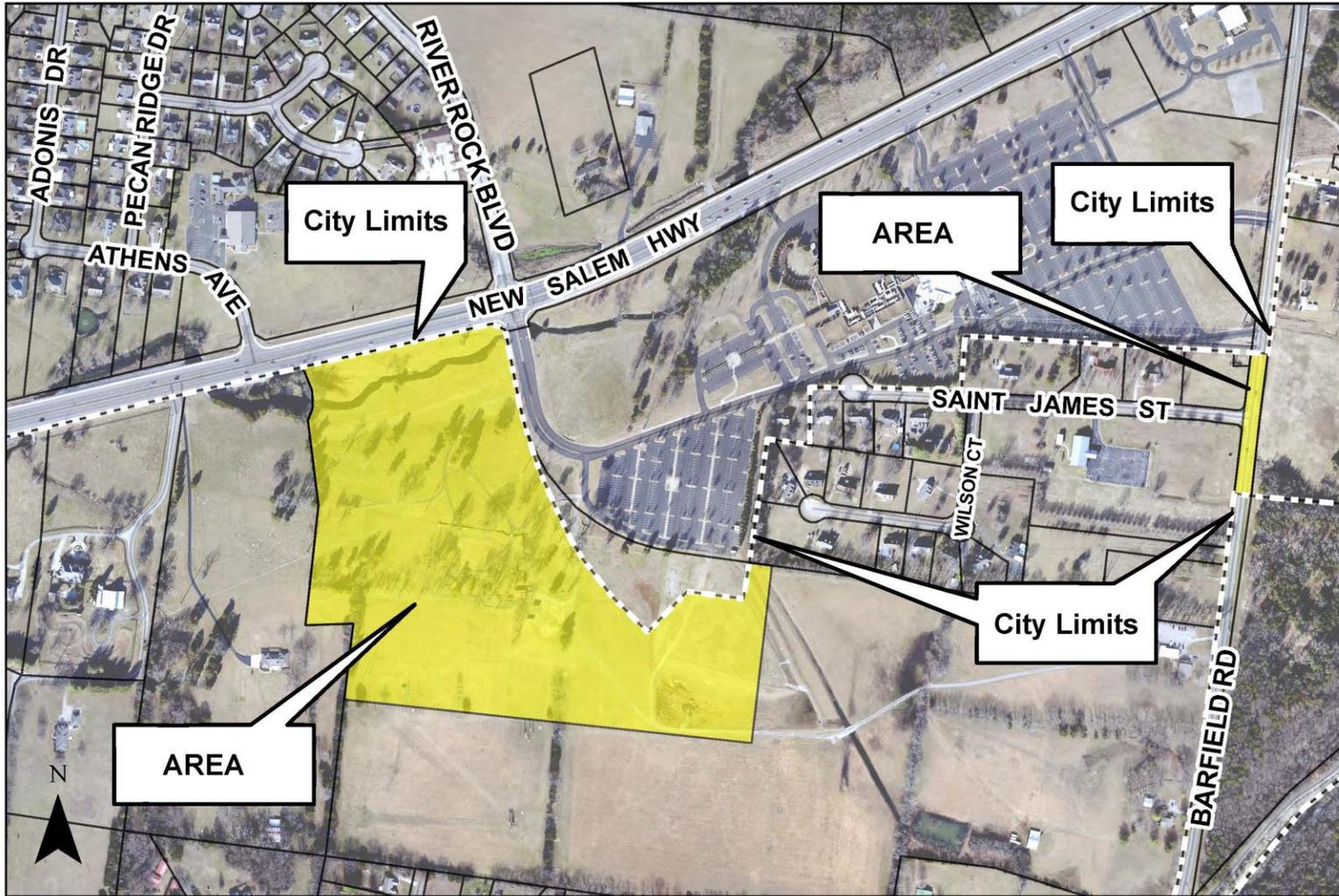
*pd. \$ 500.00
Receipt 175379*

*2023-504
ACF*

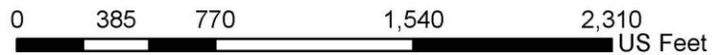
**ANNEXATION REPORT FOR PROPERTY LOCATED ALONG
NEW SALEM HIGHWAY (WORLD OUTREACH CHURCH)
INCLUDING PLAN OF SERVICES
(FILE 2023-504)**



**PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
OCTOBER 11, 2023**



**Annexation request for property along
New Salem Highway and for Barfield Road Right-of-Way**



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

INTRODUCTION

OVERVIEW

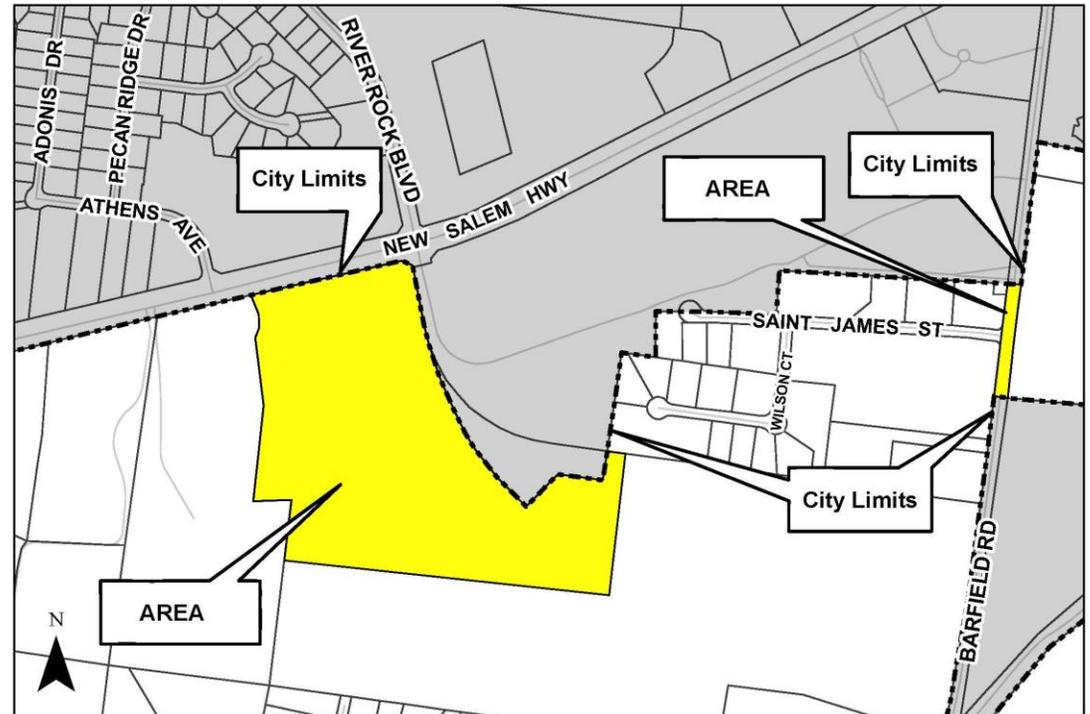
The property owner, World Outreach Church of Murfreesboro TN, has submitted a petition requesting the subject property be annexed into the City of Murfreesboro. It is located along the south side of New Salem Highway and west of Barfield Road and is approximately 31.71 acres in size. The annexation study area also includes an approximately 520 linear-foot segment of Barfield Road right-of-way (ROW). On September 5, 2023, the Rutherford County Road Board voted to grant its consent for the annexation of this segment of Barfield Road ROW. The total study area is 32.43 acres and includes the following:

- Barfield Road ROW (0.72 acres)
- Portion of Tax Map 114, Parcel 00800 (31.71 acres)

The study area is located within the City of Murfreesboro's Urban Growth Boundary and is contiguous to the city limits along the north (New Salem Highway) and east property lines. There are no residential structures currently located on the property.

The property is currently zoned Single Family Residential – Medium Density (RM) in the unincorporated County. There is no zoning application with this annexation

request; as such, if annexed into the City of Murfreesboro the zoning would be designated as Single Family Residential (RS-15). The annexation requested is to allow World Outreach Church future expansion of the current institutional use (church) onto the study area.



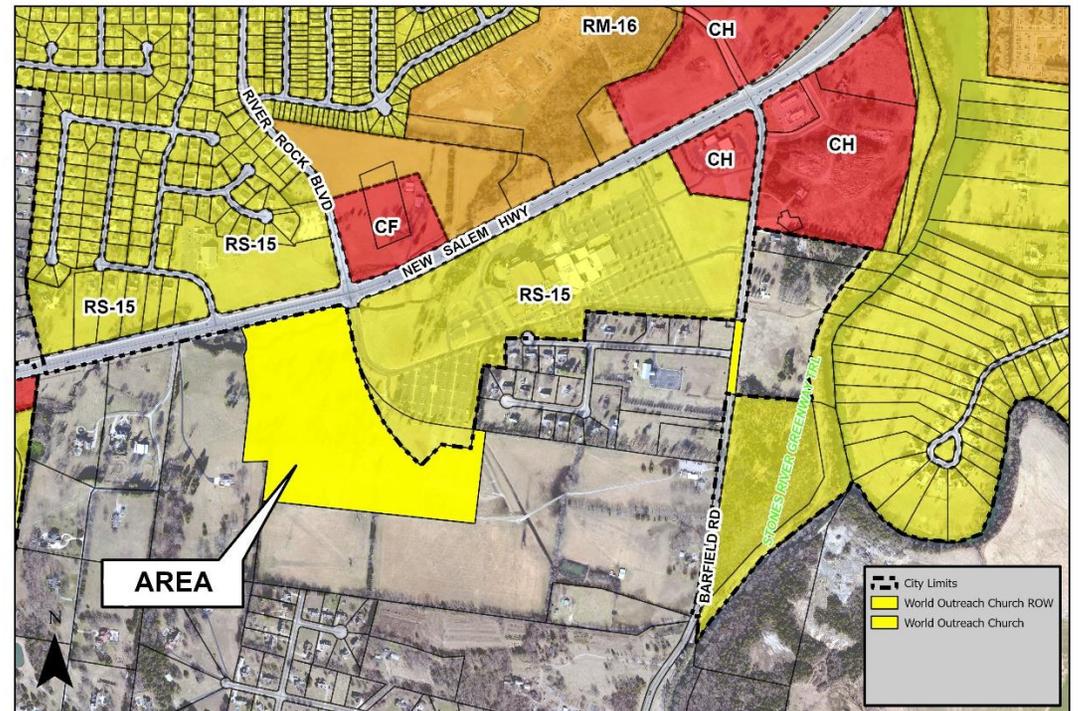
**Annexation request for property along
New Salem Highway and for Barfield Road Right-of-Way**

0 385 770 1,540 2,310
US Feet

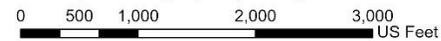
Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

SURROUNDING ZONING

The subject property is currently zoned RM (Residential Medium Density) in Rutherford County. The surrounding properties to the south and west are within unincorporated Rutherford County and also zoned RM. The properties to the north, across New Salem Highway, are within the City and zoned Single-Family Residential (RS-15), Commercial Fringe (CF), and Multiple Family Residential (RM-16). The property contiguous to the east, the World Outreach Church facilities, is within the City and zoned single family residential (RS-15) and properties further east are in the unincorporated Rutherford and zoned RM.



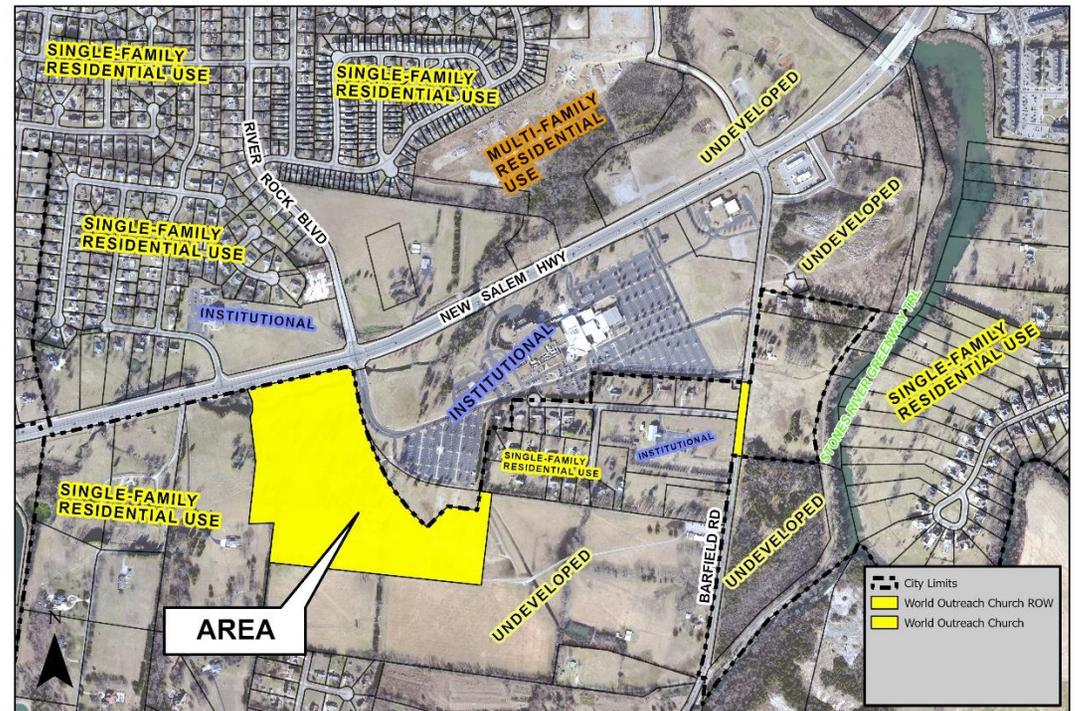
Annexation request for property along New Salem Highway



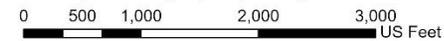
Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

PRESENT AND SURROUNDING LAND USE

The study area is vacant. A mixture of uses is developed on the properties in the surrounding area. To the north is New Salem Highway. Further to the north and west are large parcels each developed with a single-family residence, to the northeast an apartment complex is currently under construction. To the east is the main campus for World Outreach Church, an institutional use, and to the south is vacant land.



Annexation request for property along New Salem Highway



Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE, and other community crime prevention programs to the study area immediately upon the effective date of annexation. If the property is zoned RS-15, it will have little impact upon police services. This property is in Police Zone #2.

ELECTRIC SERVICE

The existing World Outreach Church facility is presently served by Middle Tennessee Electric (MTE). The study area is vacant and not currently served by MTE. MTE has capacity to accommodate any future development on the church campus. All new electrical infrastructure installed to serve the future development will be required to adhere to MTE standards.

STREET LIGHTING

There are no streetlights along Barfield Road. There are streetlights along this segment of New Salem Highway within the

study area. No new street lighting is anticipated with this annexation. However, if the City determines that streetlights are necessary along the subject ROW, MTE has the ability to install streetlights upon request by the City of Murfreesboro.

SOLID WASTE COLLECTION

The study area is currently vacant, no solid waste collection will be required for the study area in its current state. World Outreach Church currently uses a private solid waste management service to collect solid waste for the church facilities. Any future development will be collected by a private solid waste management service. Murfreesboro Solid Waste Department will not service the future church development.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees. If the property develops with church facilities, this type of development would have minimal impact to the Recreation Department.

CITY SCHOOLS

The Murfreesboro City School (MCS) system serves grades kindergarten through sixth and is offered to students who are within

the jurisdiction of the City of Murfreesboro. The property is currently vacant. Since the property is proposed for development of church facilities, there would not be any impacts to the City Schools with future development.

BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new

development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

STREETS AND ACCESS

The annexation study area includes approximately 520 linear feet of Barfield Road ROW, an existing 2-lane, ditch-section roadway. Upon annexation, the City will be responsible for operation and maintenance of this street. Based on a 15-year repaving cycle, the annualized maintenance cost for Barfield Road is \$775 with State Street Aid and General Fund as funding sources. The addition of the ROW will also result in approximately \$130 of capital cost with State Street Aid and General Fund as funding sources. The study area has access to New Salem Highway. Any new connections to Barfield Road must be approved by the City Engineer and any connections to New Salem Highway must be approved by TDOT and the City Engineer. Additionally, development along Barfield Road will require participation in construction of improvements to the roadway and ROW/easement dedication in accordance with the City's Substandard Street requirements.

Any new public roadways to serve the study area must be constructed to City Standards.

REGIONAL TRAFFIC & TRANSPORTION

The study area is currently served by New Salem Highway. The 2014 Level of Service Model in the proposed 2040 Major Transportation Plan shows New Salem Highway to be operating at a Level of Service F in the study area using average daily traffic (ADT) counts. The 2040 Level of Service Model indicates that new Salem Highway operates at a Level of Service of F without the proposed improvements recommended in the 2040 Plan and remains at a Level of Service F with the proposed improvements.

PROPERTY AND DEVELOPMENT

New development will be required to meet City Floodplain regulations to include proper elevation of new structures and no encroachment into the floodway.

A 50-foot Water Quality Protection Area will be required along Spence Creek.

New development may require a hydrologic determination on the stormwater conveyance system on the east side.

New development should comply with the City's Stormwater Quality Regulations by providing stormwater quality, streambank

protection, and detention. Improvements to and ROW and easement dedication for Barfield Road should be incorporated in the development plans.

SANITARY SEWER SERVICE

According to the Murfreesboro Water Resources Department (MWRD), in order to serve the property requesting annexation, a sanitary sewer main extension, from the future development to the existing 18" sewer interceptor along the southern side of Spence Creek, would be required. Any sewer main extensions would be dedicated, along with the necessary sewer easements, to the City for operation and maintenance.

This property is within the Salem Barfield Sanitary Sewer Assessment District. The fees associated with this are \$3,150 per single family unit (sfu) in addition to the standard connection fees of \$2,550 per sfu. One sfu is equivalent to 260 gallons per day.

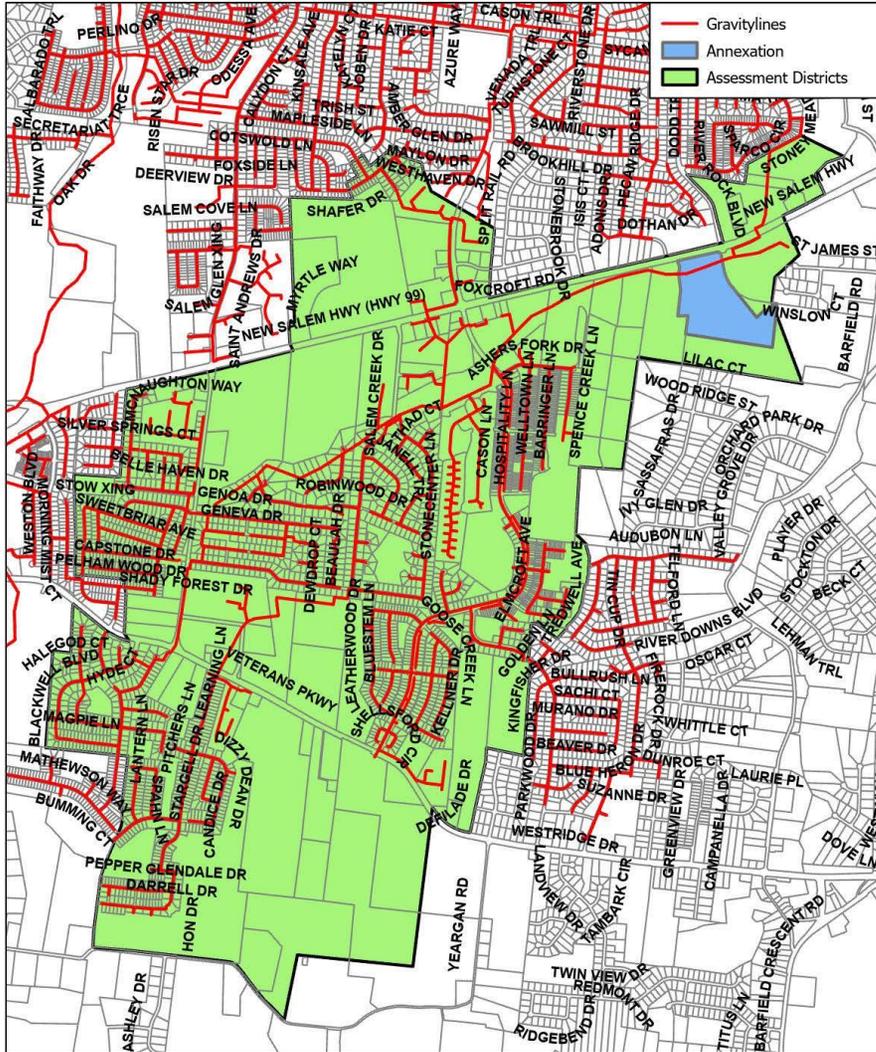
The property will come into the City with an RS-15 zoning, the same as the remaining World Outreach Church property within the City. Per the Sewer Allocation Ordinance (SAO) and a RS-15 zoning, the property is allotted 95 sfu's on 31.71 acres (31.71 acres * 3 sfu/acre = 95 sfu).

Although the extent of the proposed development's effects to the sewer system are not known at this time, the Salem

Barfield Sewer Basin is limited to 3,473 new single-family connections approved on or after January 1, 2023.

All main line extensions are the financial responsibility of the developer and may be extended in accordance with the Development Policies and Procedures of the Murfreesboro Water Resources Department.

As depicted on the map below, the blue area represents the study area, the red lines on the map below represent the approximate location of the gravity sewer line.



MURFREESBORO WATER RESOURCES DEPARTMENT

Annexation Request New Salem Hwy and Barfield Road ROW



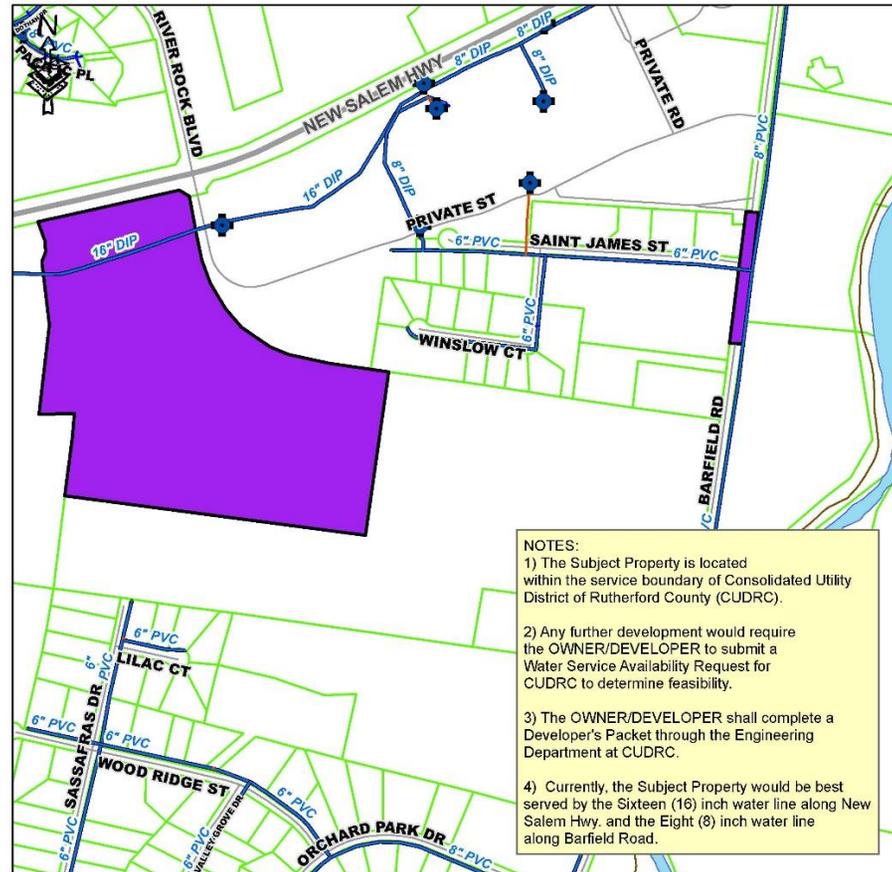
WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUD) service area.

A 16-inch ductile iron water main (DIP) is located along New Salem Highway and an 8-inch water main is located along Barfield Road. These water lines can serve the annexation study area and the future development of new church facilities, as illustrated in the attached exhibit.

Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUD's Developer Packet through CUD's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUD's development policies and procedures.

WOC New Salem Hwy Annexation Request Map 114 Parcel 8.00



- NOTES:
- 1) The Subject Property is located within the service boundary of Consolidated Utility District of Rutherford County (CUDRC).
 - 2) Any further development would require the OWNER/DEVELOPER to submit a Water Service Availability Request for CUDRC to determine feasibility.
 - 3) The OWNER/DEVELOPER shall complete a Developer's Packet through the Engineering Department at CUDRC.
 - 4) Currently, the Subject Property would be best served by the Sixteen (16) inch water line along New Salem Hwy, and the Eight (8) inch water line along Barfield Road.

-  CUD HYDRANT
-  CUD WATER MAIN
-  SUBJECT PROPERTY

SEPTEMBER 8, 2023

TAX MAP: 114
PARCEL: 8.00

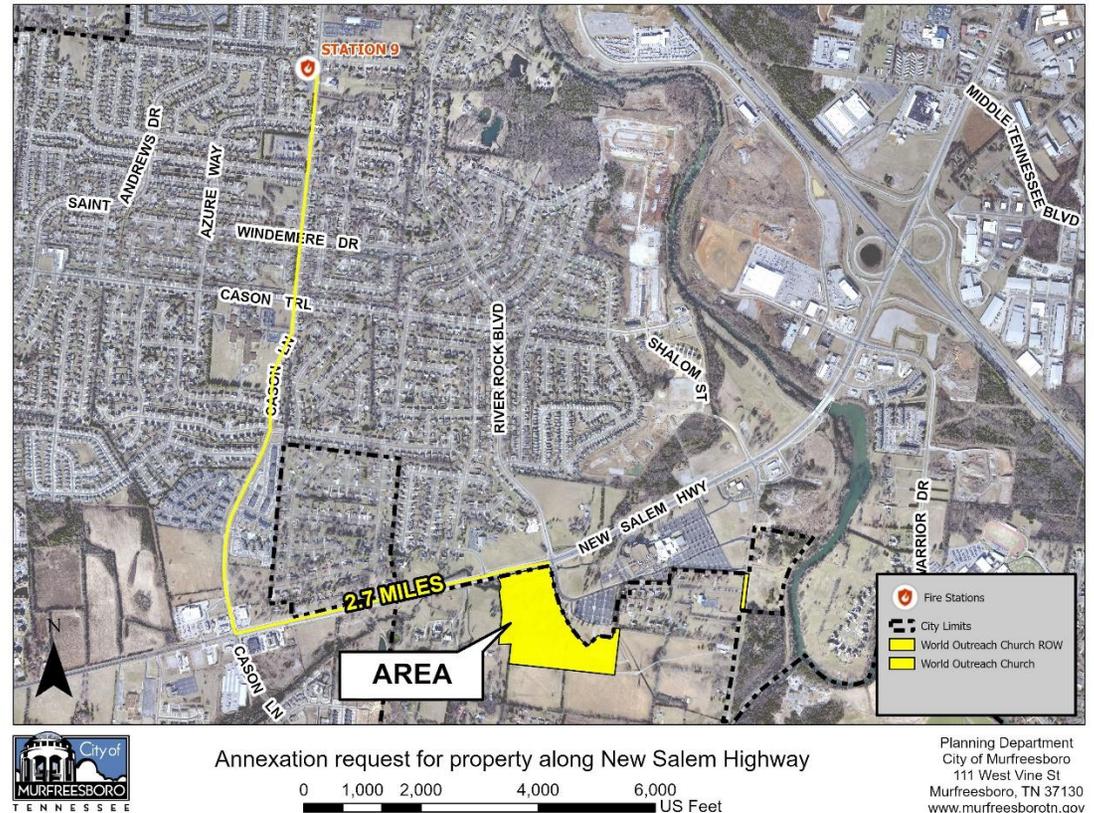


0 250 500 1,000
Feet

FIRE AND EMERGENCY SERVICE

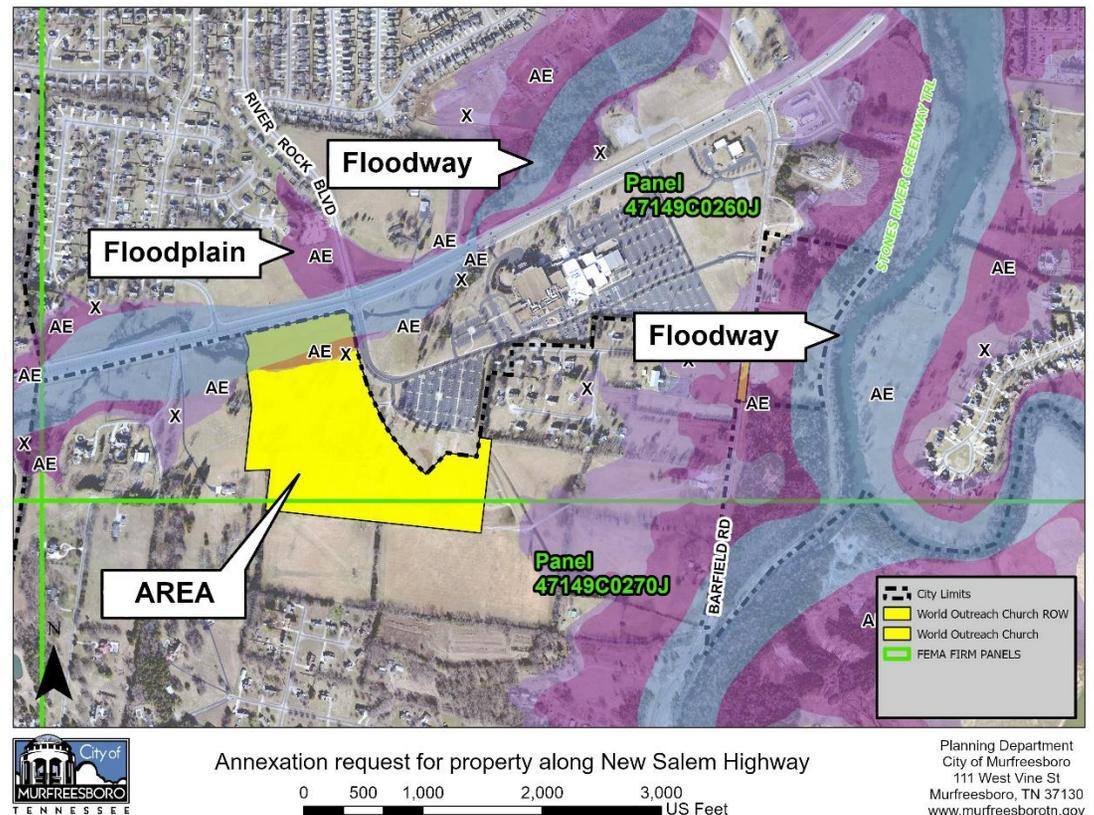
The study area is currently vacant. The Murfreesboro Fire and Rescue Department (MFRD) can provide emergency services to the study area immediately upon the effective date of annexation at no additional expense. MFRD can also provide fire protection upon development of the study area with future church facilities.

Currently the study area is located 2.7 miles from Fire Station #9 (802 Cason Lane). The yellow line on the adjacent map represents the linear distance range from the nearest fire station.



FLOODWAY

The study area is located within Zone AE and Zone X of the 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA). The adjacent map shows the 100-year floodplain along New Salem Highway to the north and to the east of the study area.



DRAINAGE

Public Drainage System

Public drainage facilities are in the study area and include facilities in New Salem Highway. This drainage system is the responsibility of TDOT for routine maintenance. No additional public drainage systems are in the study area. Any new public drainage facilities proposed to serve the study area in the future must meet City standards.

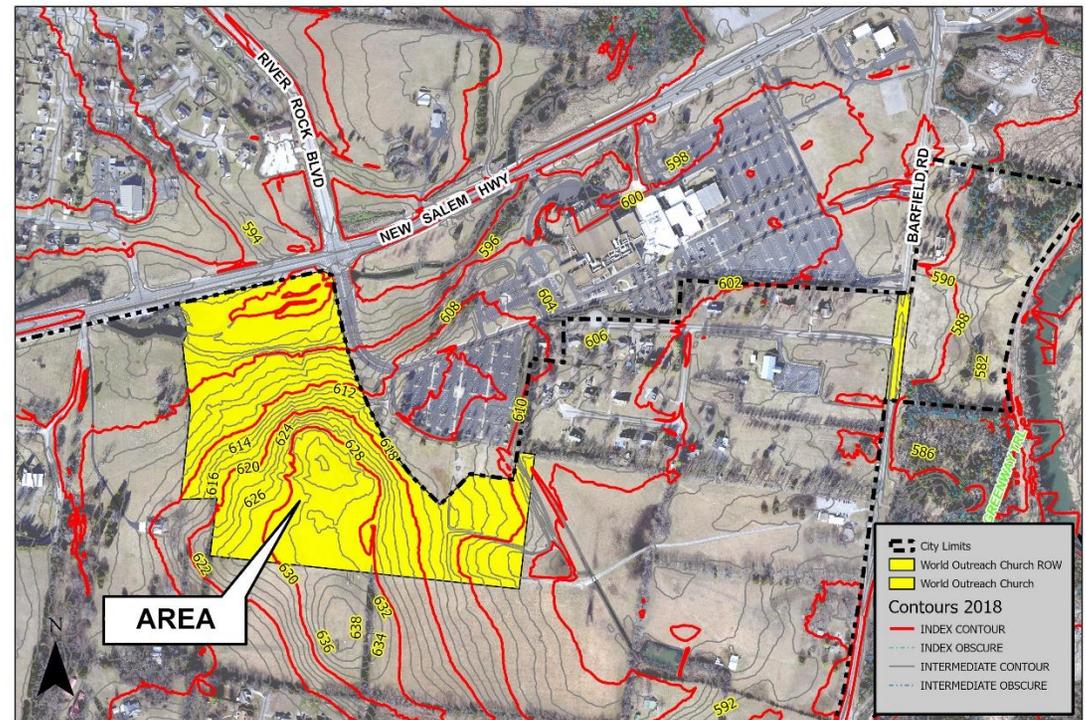
Regional Drainage Conditions

Regional drainage flows north to Spence Creek. The remainder of the study area drains to the east to a miscellaneous tributary to West Fork of the Stones River.

Stormwater Management and Utility Fees

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area in its current state, and new improvements will be subject to the Stormwater Utility Fee. The annexation study area is currently vacant and will not generate revenue for the Stormwater Utility Fee.

The red lines on the adjacent map represent ten-foot contours. The grey lines represent two-foot intervals.



Annexation request for property along New Salem Highway

0 405 810 1,620 2,430 US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 11, 2023
PROJECT PLANNER: MARINA RUSH**

6.b. Zoning application [2022-402] to amend the existing PUD zoning (Hidden River Estates PUD) on 121 acres located along Cason Trail and Racquet Club Drive, Hidden River Holding Company, LLC developer.

The applicant, Hidden River Holding Company, LLC, represented by Brian Burns, is requesting to amend the Hidden River Estates Planned Unit District (PUD) as a result of changes to The Cottages townhomes from a two-story house design to a 1-story house design, thus increasing the building footprint for each unit. This design change resulted in the following site development modifications from the previous PUD plan book:

1. Reduced Total Units: Reduction in total number of townhomes from 620 units (approved) to 566 units (proposed), net decrease of 54 townhomes. The proposed changes by unit type are:
 - a. The Cottages: reduction from 236 units to 166 units,
 - b. The Villas: increase from 196 units to 257 units,
 - c. The Landings: reduction from 106 units to 61 units,
 - d. The River Row: no change, remains at 64 units, and
 - e. The Estates: no change, remains at 17 single family detached units.
2. Reduced Density: Reduction in density from 5.16 dwelling units/acre to 4.60 dwelling units/acre.
3. Reduced Parking Spaces: Reduction in guest parking proportional to the reduction of housing units. Parking spaces required for each residence remains consistent with the Zoning Ordinance, there are no parking exceptions requested.
4. Reduced Open Space: Reduction in a portion of the open space areas by 20% within The Cottages development section. Overall open space continues to exceed the 30% minimum requirement. Play fields, kayak launch, two pools, pedestrian trails, formal open spaces remain as amenities.
5. Modification to Detention Ponds: Changes to the location and size of some of the detention ponds in the Cottages area.

The townhome building designs remain the same. The site design changes are noted in the program book and listed above in this staff report. The two amenity centers and the commercial portion of the plan remain the same as currently approved.

The Hidden River Estates PUD was recommended for approval by the Planning Commission on October 2, 2019, and approved by the City Council in December 2019. Townhome units have been constructed and sold in Phase 1 and site improvements are currently under construction for the next phase.

As depicted on the attached maps, the subject property is located along the north side of Cason Trail, east of Stoney Meadow Drive, north of Eastview Drive, southeast of Racquet Club Drive, and west of the Stones River Greenway Trail. The property tax map/parcel numbers are Tax Map 101, Parcels 00310, 00311 and 00312, as well as Tax Map 101E, Group C, Parcels 00100 through 01700. The area noted below by the arrow is the location for The Cottages section and the area where the changes are proposed within the Hidden River Estates PUD development.



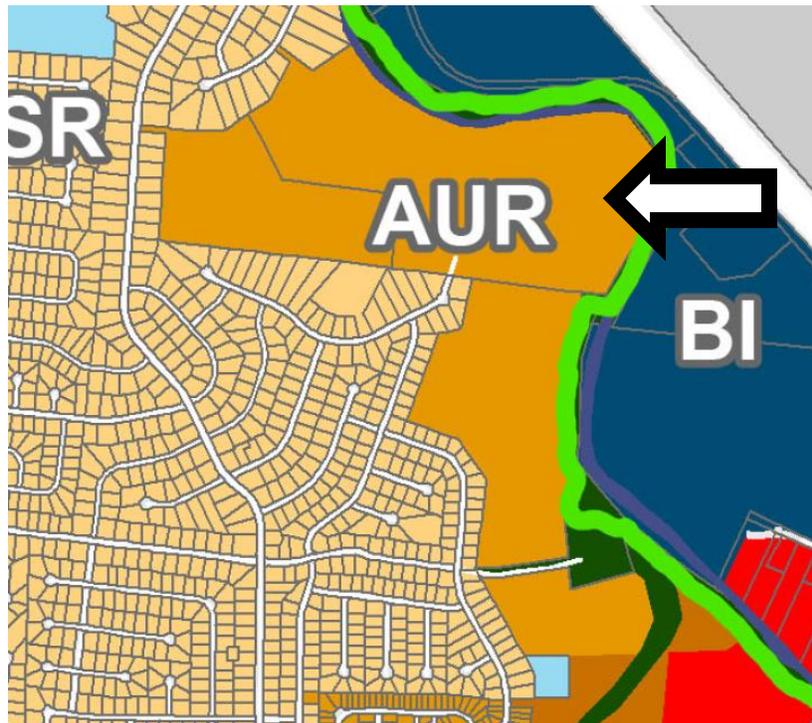
Adjacent Zoning and Land Uses

The subject property is currently zoned PUD. The adjacent properties to the west and north are zoned RS-10 (Cason Grove subdivision) and RS-15 (Cason Grove Estates and Countryside subdivisions), to the south is RS-10 (Parkside at Hidden River subdivision), and to the east is the Stones River West Fork. Further to the east are properties zoned Light Industrial and developed with an RV sales facility, Costco and gun range.

Future Land Use Map

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan indicates “Auto Urban Residential” as the most appropriate land use character. The general characteristics of Auto-Urban Residential are less openness between dwellings, urban landscaping, emphasis on connectivity within the development, density range of 4.0-12.0 du/acre, and PRD zoning for townhome developments. The proposed PRD is consistent with the AUR characteristics, but not with the AUR development criteria regarding the percentages for area and number of units devoted to single-family attached development (e.g., townhomes). However, the proposed amendment is a reduction in the total number of units and a reduction in overall density. In addition, the original zoning was approved in 2019 under the previous 2035 FLUM, which had different criteria.

Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



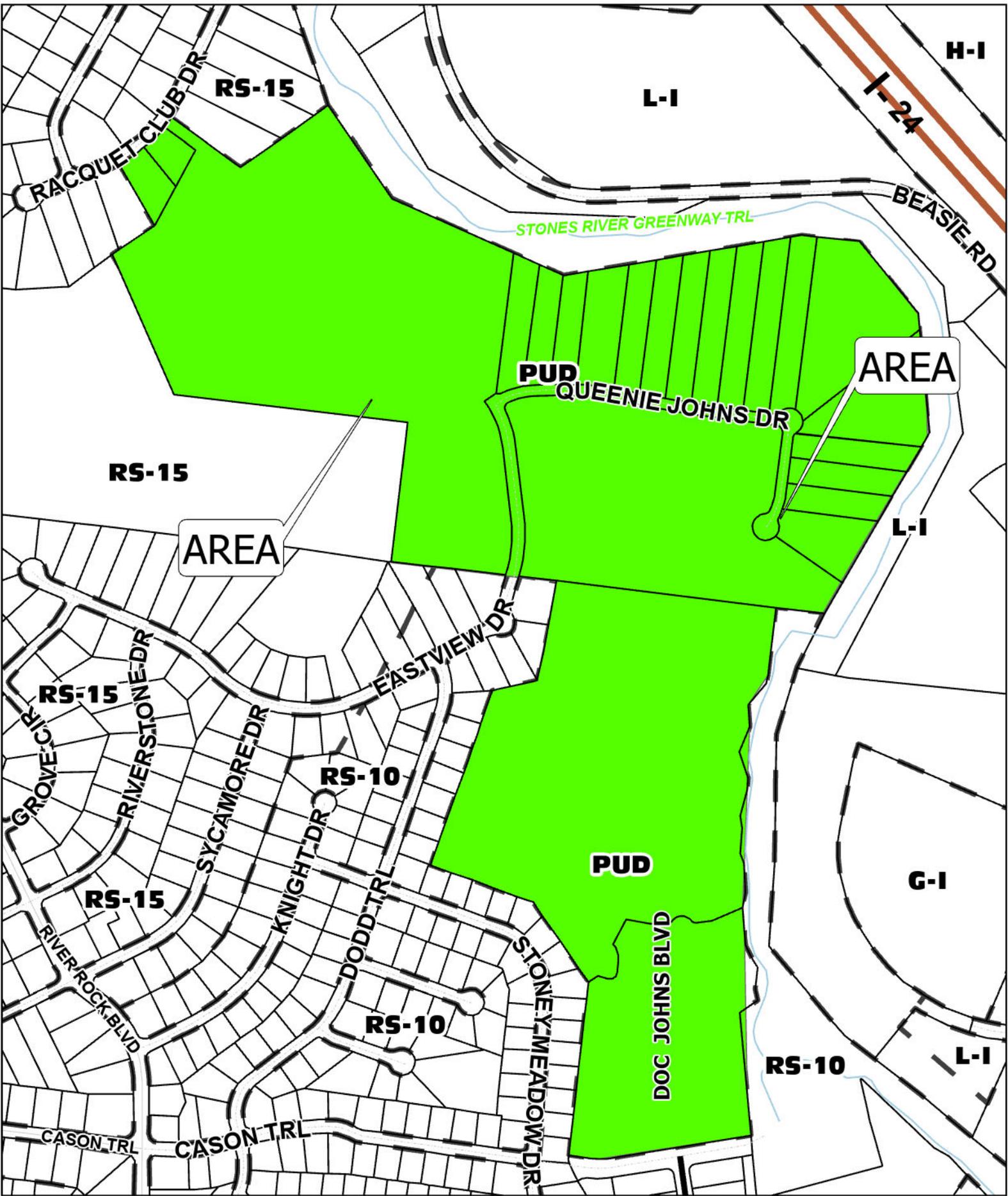
Recommendation:

Staff is supportive of this zoning request for the following reasons:

- 1) Hidden River Estates proposed modifications include a reduction in the total number of residential units, reduction in density, and changes to open space, parking and detention ponds can be accommodated within the site development.
- 2) Hidden River Estates proposed modifications is consistent with the 2035 Murfreesboro Future Land Use designation of Auto Urban Residential for housing type, characteristics, and density.
- 3) Hidden River Estates proposed modifications to the house relocations, open space and detention pond changes are in the northeastern portion of the property and would not be visible from adjacent neighboring properties.

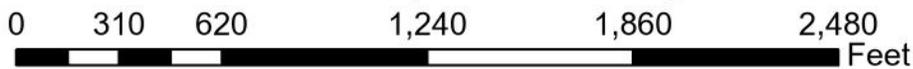
Action Needed:

The Planning Commission will need to conduct a public hearing and then discuss the matter, after which it will need to formulate a recommendation for the City Council. The applicant's representative will be present to make a presentation and to answer any questions or provide clarifications regarding the proposed zoning.



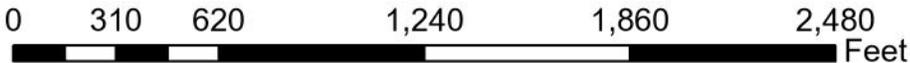
Zoning Request for Property located along Cason Trail and Racquet Club Drive
 PUD Amendment (Hidden River PUD)

Planning Department
 City of Murfreesboro
 111 W. Vine St.
 Murfreesboro, TN 37130
www.murfreesborotn.gov





Zoning Request for Property located along Cason Trail and Racquet Club Drive
 PUD Amendment (Hidden River PUD)



Planning Department
 City of Murfreesboro
 111 W. Vine St.
 Murfreesboro, TN 37130
www.murfreesborotn.gov

8.16.2023

Greg McKnight, Planning Director
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139

Re: PRD Amendment Request – Hidden River Estates

Described as Tax Map 101, Parcel 3.10, 3.11, & 3.12 consisting of 121 +/- ac. rezoned PRD

Dear Greg,

On behalf of our client, Hidden River Development Company, we hereby request to amend the current PRD. The amendment is due to modifications of the Cottage townhomes from a 2-story design to a 1-story design thus increasing the house footprint which in turn impacted the layout of multiple homes. The result of the changes is a reduction in the overall home count from 620 to 566.

Please let me know if you need any additional information and thank you for your assistance with this request.

Sincerely,

Clyde Rountree

Clyde Rountree, RLA

Hidden River Estates

PLANNED UNIT DEVELOPMENT



SUBMITTED ON 09/28/2023 FOR THE OCTOBER 11, 2023 PLANNING COMMISSION PUBLIC HEARING

Plans Prepared By:



Sheet Index

Hidden River Estates

PLANNED UNIT DEVELOPMENT

1. DEVELOPMENT TEAM
2. BUILDING ON EXPERIENCE
3. PROJECT AMENDED SUMMARY
4. TOPOGRAPHY
5. AERIAL MAP
6. ADJACENT ZONING
7. EXISTING UTILITIES
8. SITE CONNECTIVITY
9. SITE CONNECTIVITY (CONT.)
10. EXISTING CONDITION NORTH
11. EXISTING CONDITION SOUTH
12. EXISTING AND FUTURE TRAILHEAD GATE LOCATION
13. PUBLIC & PRIVATE ROADS EXHIBIT
14. CONCEPTUAL SITE PLAN - AMENDED
15. CONCEPTUAL SITE PLAN NORTH - AMENDED
16. CONCEPTUAL SITE PLAN SOUTH - AMENDED
17. THE RIVER ROW NEIGHBORHOOD
18. THE RIVER ROW NEIGHBORHOOD DETAIL
19. THE VILLAS NEIGHBORHOOD
20. THE VILLAS NEIGHBORHOOD DETAIL
21. THE LANDINGS NEIGHBORHOOD
22. THE LANDINGS NEIGHBORHOOD DETAIL
23. THE COTTAGES NEIGHBORHOOD
24. THE COTTAGES NEIGHBORHOOD DETAIL

25. THE ESTATES NEIGHBORHOOD
 26. THE ESTATES NEIGHBORHOOD DETAIL
 27. SOUTH AMENITY CENTER
 28. NORTH AMENITY CENTER
 29. CONCEPTUAL LANDSCAPE PLAN
 30. DEVELOPMENT CHARACTERISTICS (PROPOSED)
 31. DEVELOPMENT CHARACTERISTICS (ACTUAL)
 32. DEVELOPMENT CHARACTERISTICS (CONT.)
 33. OPEN SPACE PLAN
 34. PHASING PLAN
 35. 2035 PLAN RECOMMENDATIONS
 36. COMMERCIAL CENTER CONCEPT
 37. PLANNED DEVELOPMENT CRITERIA
 38. PLANNED DEVELOPMENT CRITERIA
 39. EXCEPTION REQUEST SUMMARY
 40. DEVELOPMENT STANDARDS
- ADD. #I - ROAD CLARIFICATION
- ADD. #II - PUD AMENDMENT (APPROVED SITE PLAN)
- ADD. #III - PUD AMENDMENT (AMENDED SITE PLAN)

Development Team

Hidden River Estates

PLANNED UNIT DEVELOPMENT



Planning and Engineering

**HS HUDDLESTON-STEELE
ENGINEERING, INC.**

2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: 615-893-4084 FAX: 615-893-0080

Huddleston-Steele Engineering, Inc.
Attention: Clyde Rountree, RLA
2115 N.W. Broad Street
Murfreesboro, TN, 37129

Owner/ Developer

**Hidden River Development
Company, LLC.**
Brian Burns
6 N. Public Square
Murfreesboro, TN, 37129
Tel: 615.405.5647

Architecture/Design

JTaylor Designs
Jamie Taylor
310 Uptown Square
Murfreesboro, TN, 37129
Tel: 615.542.4675
Mail: jamie@jtaylordesigns.net

Building on Experience

Hidden River Development Company, LLC is a renowned residential community builder that specializes in crafting beautifully designed homes in the Murfreesboro and Rutherford County regions. They have earned a strong reputation within the community and are widely regarded as industry leaders. Some of their noteworthy projects include General's Retreat, General's Run, and Cottages on Clark.



General's Retreat



North Church Street



General's Landing



General's Run



Cottages on Clark

Hidden River Estates

PLANNED UNIT DEVELOPMENT



AMENDED HIDDEN RIVER MASTER PLAN

Project Amendment Summary

Hidden River Estates is currently zoned PUD (Planned Unit Development). Hidden River Development Company, LLC requests an amendment to the Hidden Estates PUD zoning as a result of the modification to The Cottages townhomes from a 2-story design to a 1-story design increasing house footprint. This change resulted in the following modifications as proposed in the previous PUD:

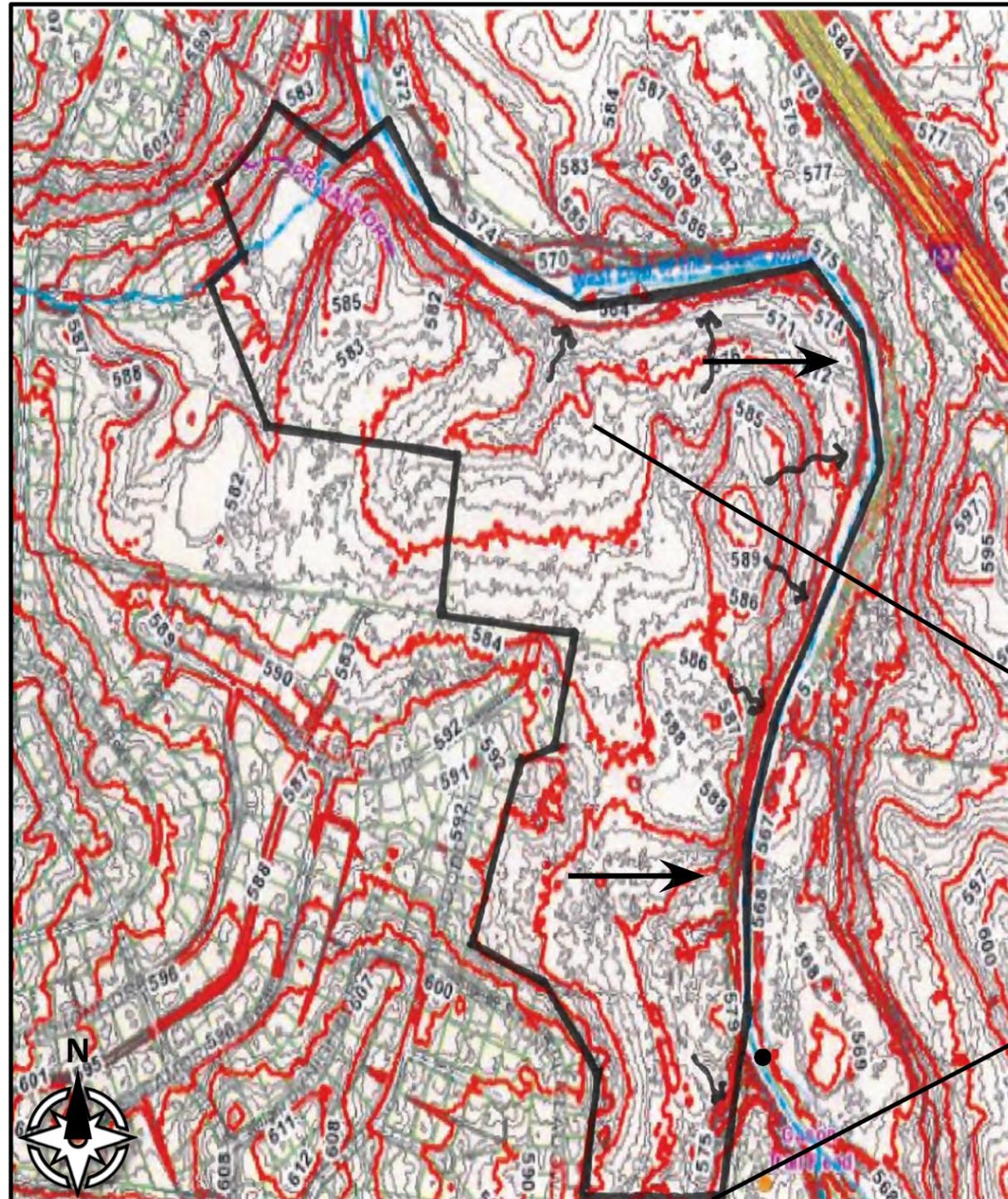
- Reduction in the overall number of units from 620 allowed to total of 566, a net decrease of 54 townhomes. Proposed changes include the following:
 - The Cottages townhome total units decreased from 236 to 166.
 - The Villas townhome units increased from 196 to 257.
 - The Landings townhome total units decreased from 106 to 61.
- Reduced density from 5.16 to 4.6 units per Acre.
- Guest Parking counts reduced in proportion to the reduction in number of homes; which meet city requirements.
- The green space in the general area for The Cottages has been reduced by 20%; which meet city requirements.
- Modifications to detention ponds in affected areas.

The PUD is located on Parcels 3.10, 3.11 & 3.12 on Rutherford County Tax Map # 101 & is a Horizontal Property Regime (HPR) which includes over 18 acres of active open space, 2 miles of internal walking trails, 2 amenity centers serving both sides of the development, 1 private access points connecting to the Cason Trail Greenway, a small commercial node, private gated access, and a kayak launch to the Stones River. Access to the site will be via 3 access points: Southeast Access via Cason Trail (Southern Access), Northwest Access via Racquet Club Drive (Northern Access), and Middle Access via an extension to Eastview Drive (Middle Access). Each entrance will have formal landscaping, gated access, and apportioned architectural elements. Northern and Southern Entrances allow for direct access to the respective amenity centers, and feature YELP emergency open gates.

	Type	Quantity of units (Approved)	Quantity of units (Proposed)	Diff.	Square footage	Bedrooms	Garage / surface parking	Parking spaces required	Provided parking spaces
	River Row	64	64	0	2000 - 3500	<ul style="list-style-type: none"> • 16 - 4 Bdrm • 48 - 3 Bdrm 	<ul style="list-style-type: none"> • 2-Car Garage • Surface Parking 	230	280
	The Landings	106	61	-45	1400 - 2800	<ul style="list-style-type: none"> • 24 - 2 Bdrm • 37 - 3 Bdrm 	<ul style="list-style-type: none"> • 1-2 Car Garage • 2-Car Driveway 	174	244
	The Villas	196	257	+61	1300 - 2200	<ul style="list-style-type: none"> • 105 - 2 Bdrm • 152 - 3 Bdrm 	<ul style="list-style-type: none"> • Surface Parking 	732	742
	The Cottages	236	166	-70	1800 - 2500	<ul style="list-style-type: none"> • 67 - 2 Bdrm • 99 - 3 Bdrm 	<ul style="list-style-type: none"> • 2-Car Garage • 2-Car Driveway 	473	664
	The Estates	18	18	0	2500 (Min.)	<ul style="list-style-type: none"> • Custom 	<ul style="list-style-type: none"> • Custom 	72	108

Topography

The subject property is located along the Murfreesboro Greenway with the Stones River to the East, with the Southern entrance along Cason Trail, near the Cason Trailhead. The Western Border of the development is bound by Dodd Trail & Eastview Drive and the Cason Trail Subdivision; the Northwestern Border of the development is Racquet Club Drive. From the Southern Entrance, it is 2.3 miles to Interstate 24; from the Northern Entrance, it is 1.5 miles to Interstate 24. The topography of the site is relatively flat, with several natural swales leading towards the river; the topography drops at a modest rate from west to east towards the river.



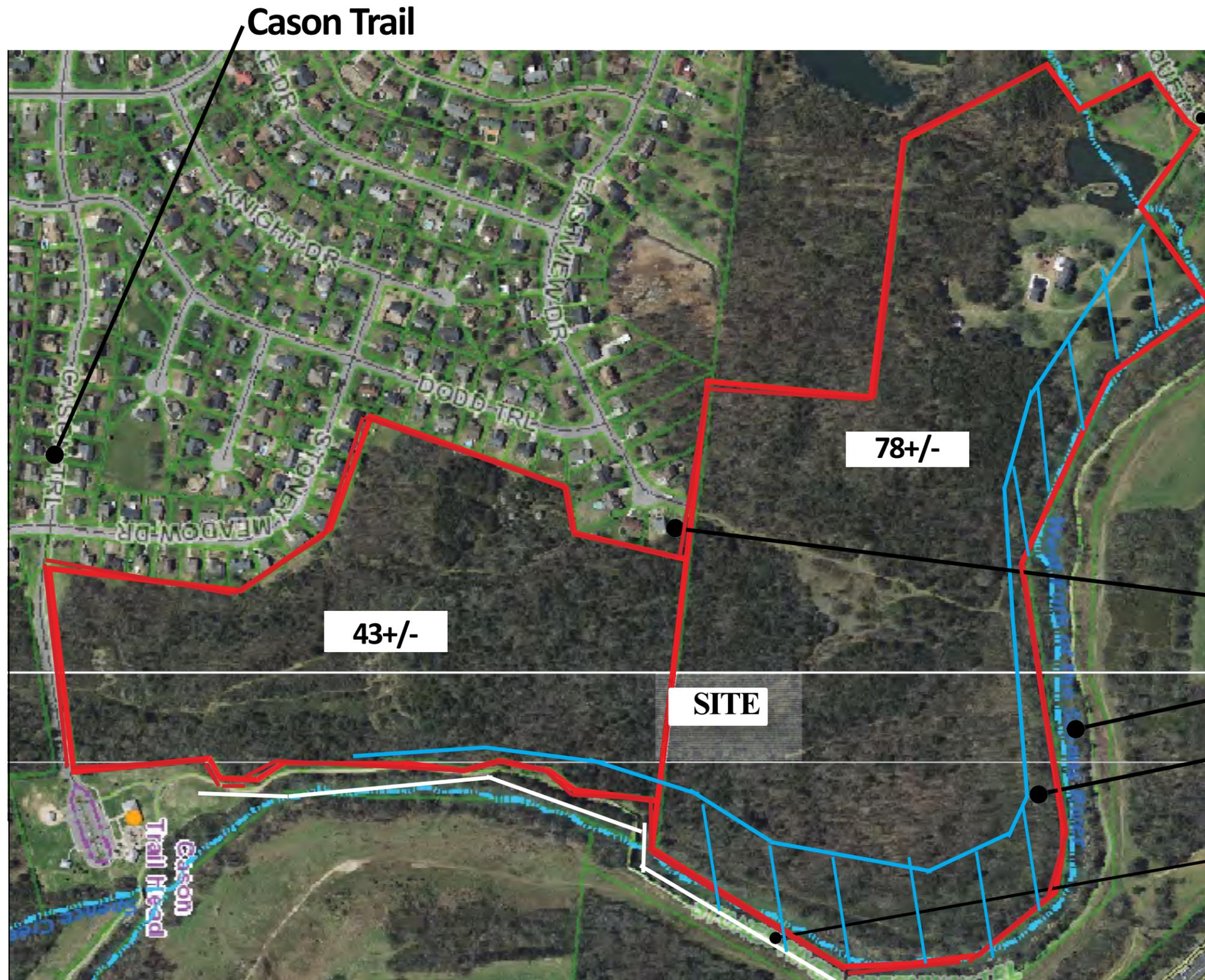
SITE

**Cason Trail
Greenway
Trail Head**

Aerial Map

Hidden River Estates

PLANNED UNIT DEVELOPMENT



Cason Trail

Racquet Club Drive

The subject property is a combination of two large tracts, 43 +/- acres & 78 +/- acres, respectively. The floodway along the Stones River is identified with the blue line and the Greenway is identified with the white line. The Greenway crosses the Stones River at the midpoint of the subject property where the two parcels join.

78+/-

43+/-

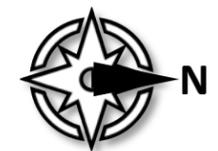
SITE

Eastview Drive

Stones River

Flood Way

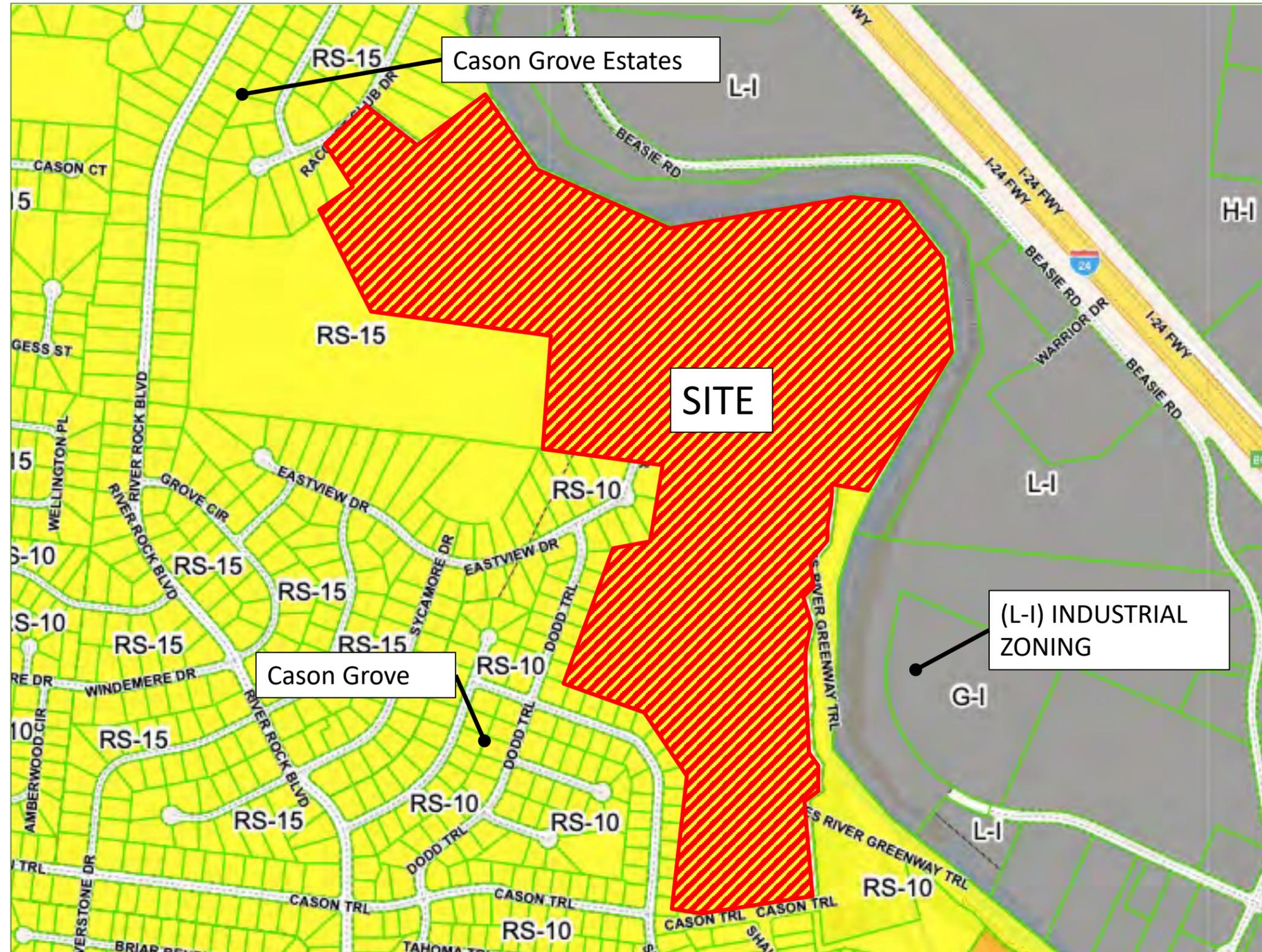
Greenway Trail



Adjacent Zoning

Hidden River Estates

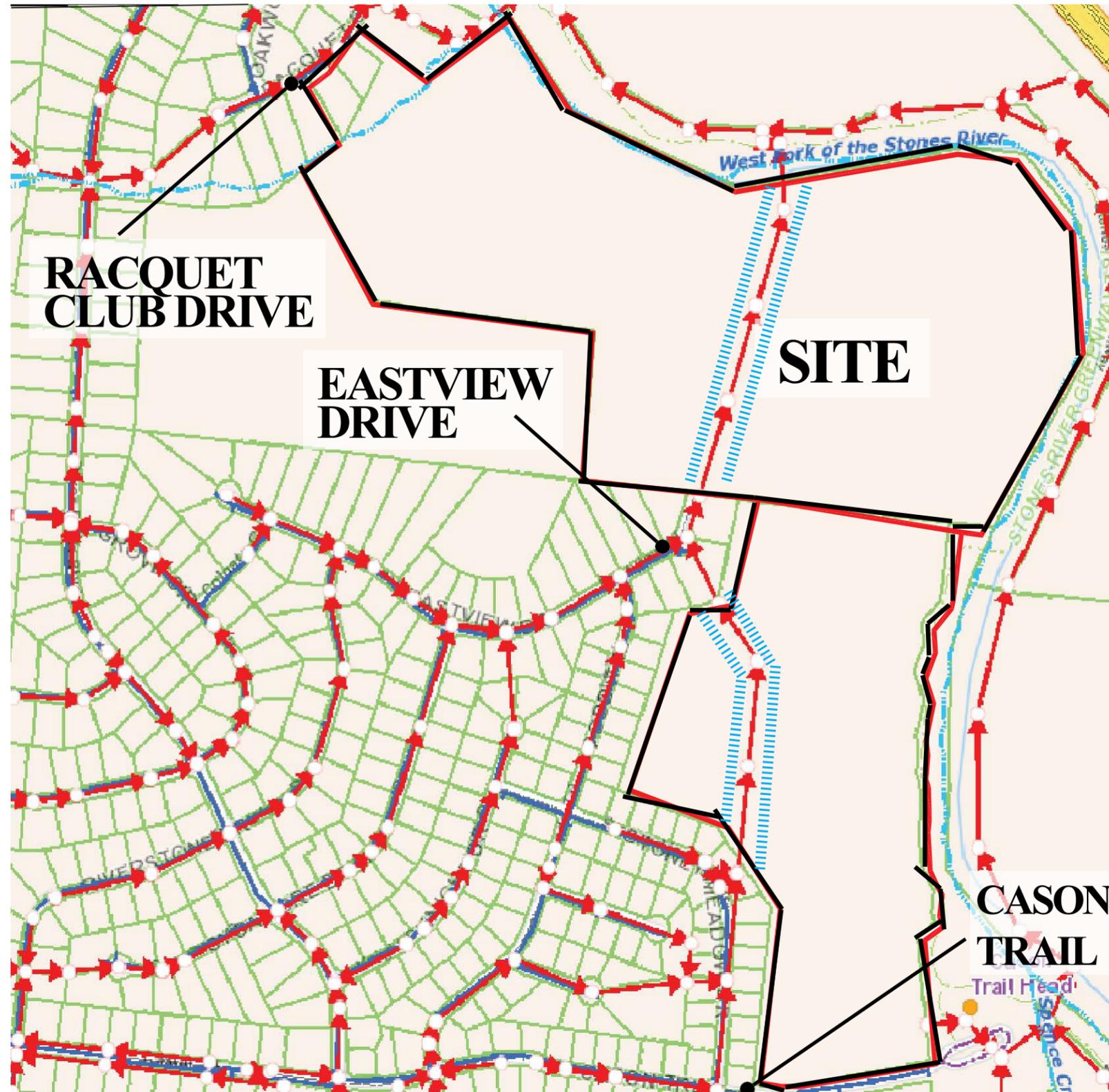
PLANNED UNIT DEVELOPMENT



The subject property is bordered by RS-10 on the Southern boundary and Western border. To the North is zoned RS-15; to the East, across the Stones River is zoned L-1. The proposed zoning for the subject property is a Planned Unit Development (PUD) with a combination of townhouse types (HPR) and single-family detached homes.



Existing Utilities



Legend: Existing Utilities

Red = 8" Sanitary Sewer

Blue = 8" Water

||||||| = Sewer Easement

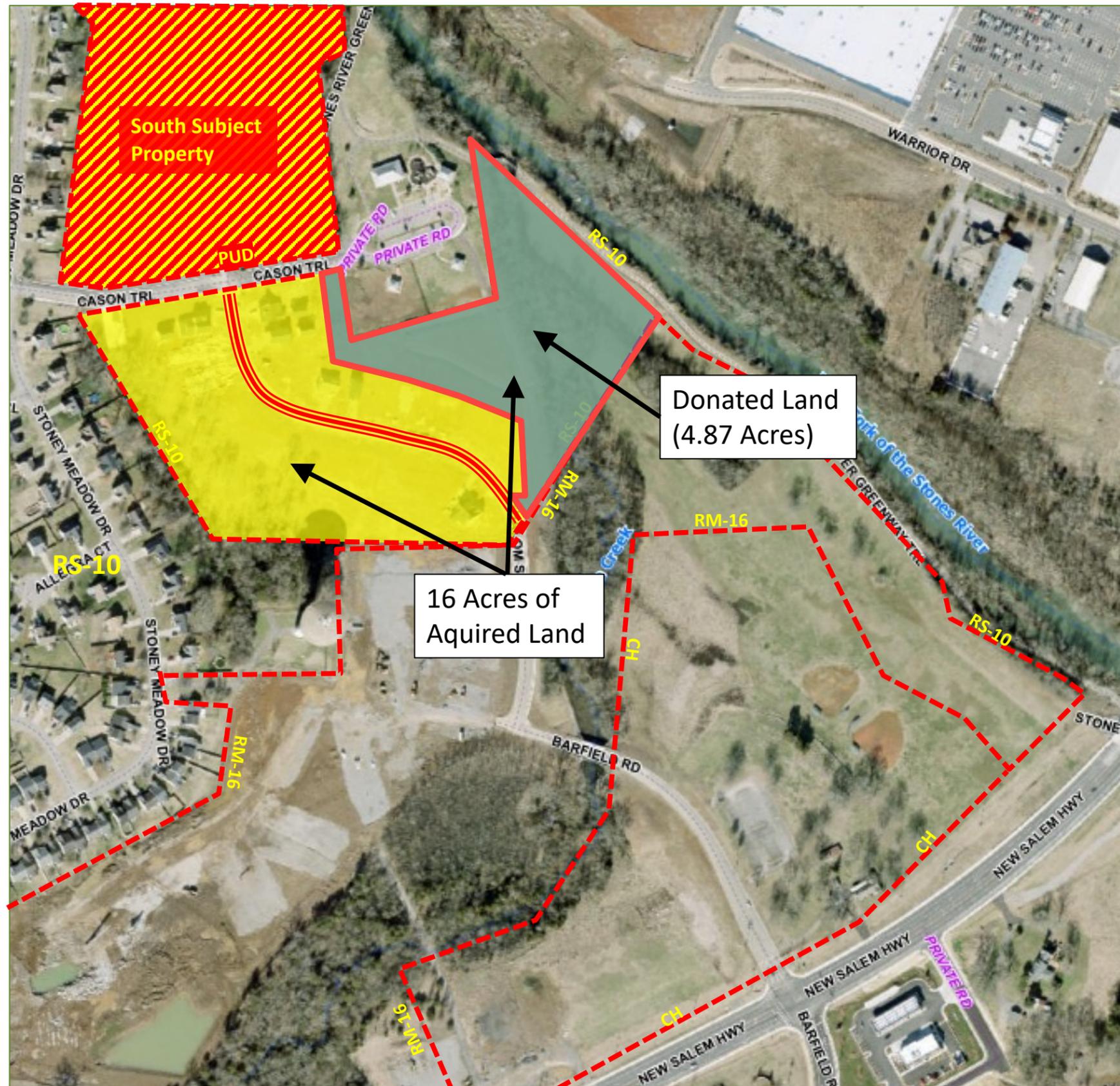
Existing Infrastructure Providers:



Site Connectivity

Hidden River Estates

PLANNED UNIT DEVELOPMENT



- The developer acquired an additional 16-acre tract of land located on the southern side of Cason Trail, to create a direct public connection to New Salem Road (US HWY 99), a major arterial roadway, for the future residents of Hidden River Estates and the surrounding neighborhoods.
- This newly acquired land was developed separately from this PUD, for single family homes, Parkside @ Hidden River Estates subdivision.
- The constructed roadway (Shalom Street) has been completed which provides construction access to Hidden River Estates.
- 4.87 acres of land identified in Plat book 45 page 172, (Parcel # 102 05607) has been donated to the City of Murfreesboro.

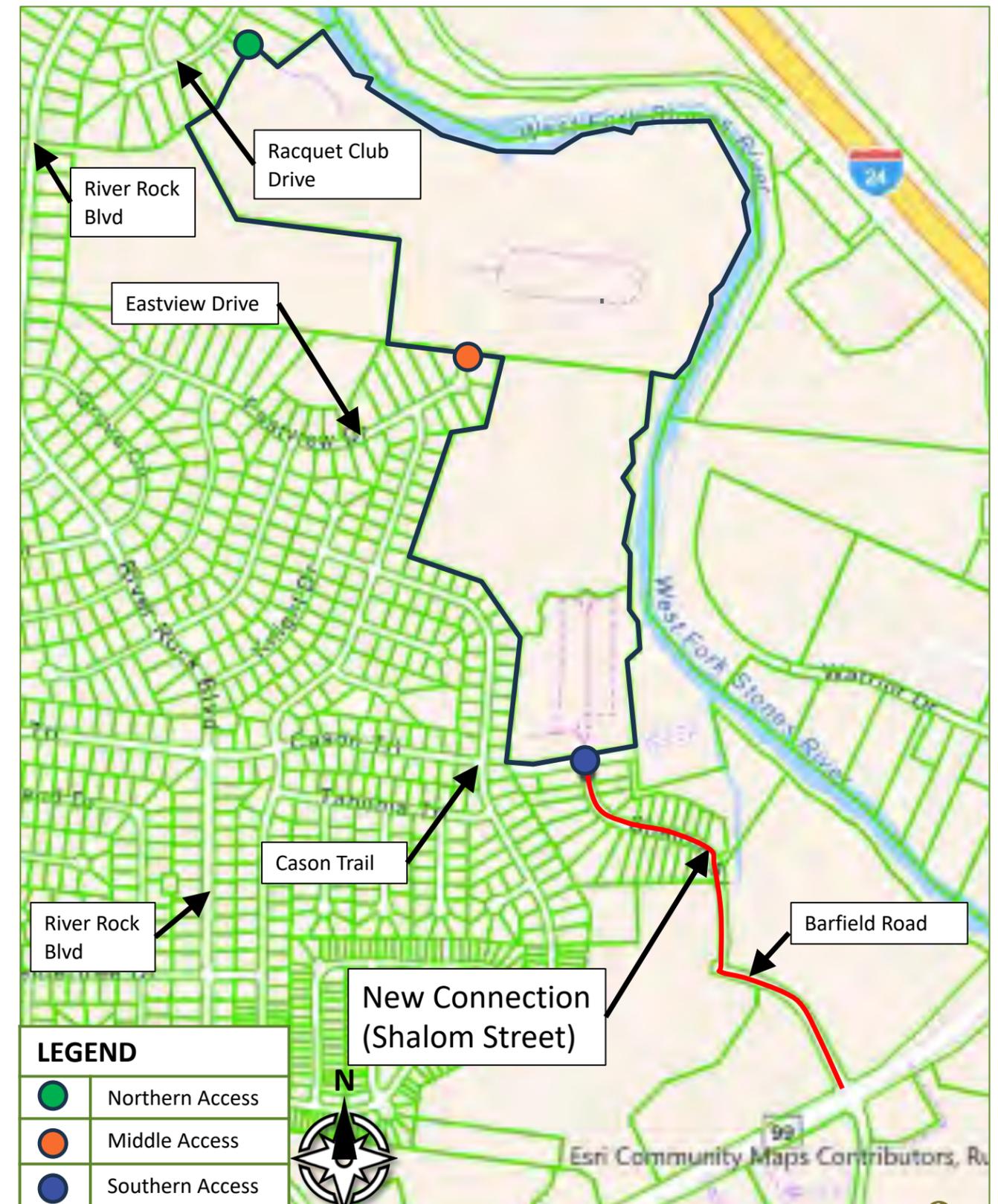


Site Connectivity (Cont.)

The development is served by several access roads. The Southern entrance will be accessible via Cason Trail and Shalom Street. The Northwestern entrance will be accessible via Racquet Club Drive, the Middle development access will be via Eastview Drive (an extension to which has been incorporated within the development site) and Dodd Trail. From the Southern entrance, US Hwy 99 (New Salem Road – currently under construction – widening to 5 lanes) is 1 mile away, and via US Hwy 99 – Interstate 24 is a further 1.4 miles away . From the Northern entrance, TN Hwy 96 (Franklin Rd) is 1.2 miles away, and via TN Hwy 96 – Interstate 24 is a further .3 miles away.

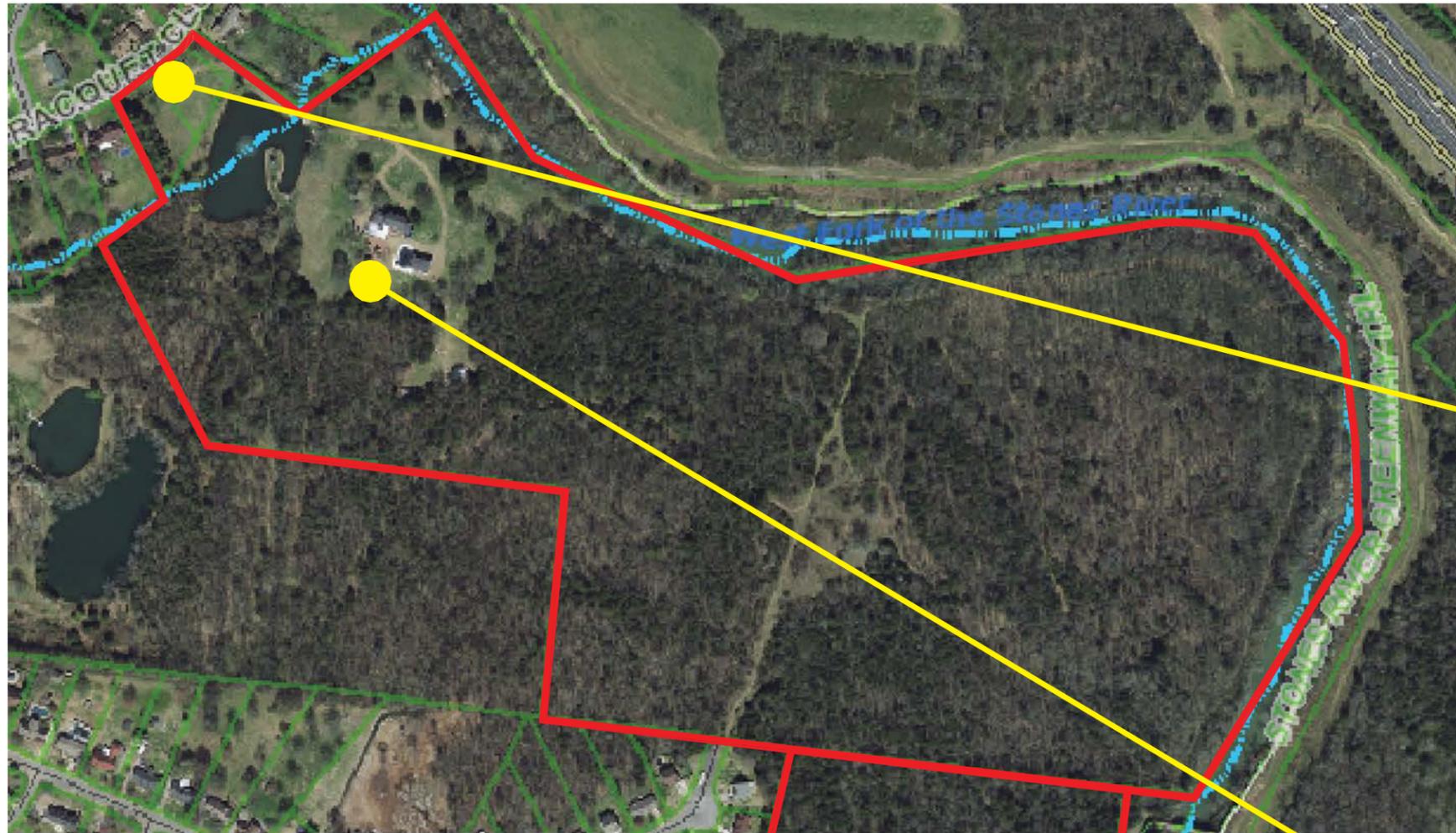
Accessing the Site:

Interstate 24 (North/South)	Expressway / Freeway
From US Hwy 99 (New Salem Road)	Major Arterial Connector
River Rock Blvd	Community Collector
Cason Trail	Residential Collector
Stony Meadow Drive	Residential Sub Collector
From TN Hwy 96 (Franklin Road)	Major Arterial Connector
Cason Lane	Community Collector
Racquet Club Drive	Residential Collector
River Rock Blvd	Community Collector
Shalom Street	Residential Sub Collector



Existing Condition Pictures North

Aerial view of subject property.



Existing northern entrance off of Racquet Club Drive

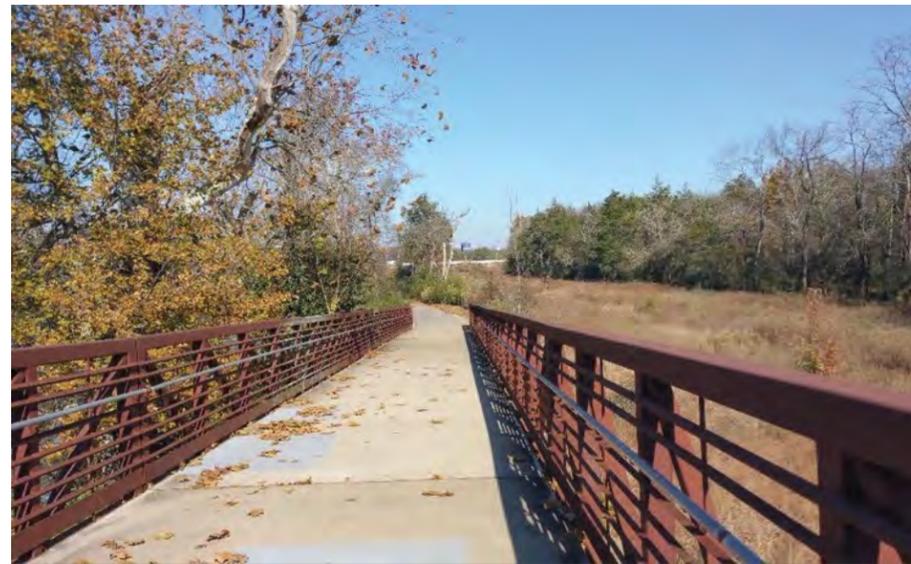


Existing Residence (To be converted to future club house)

Existing Condition Pictures South

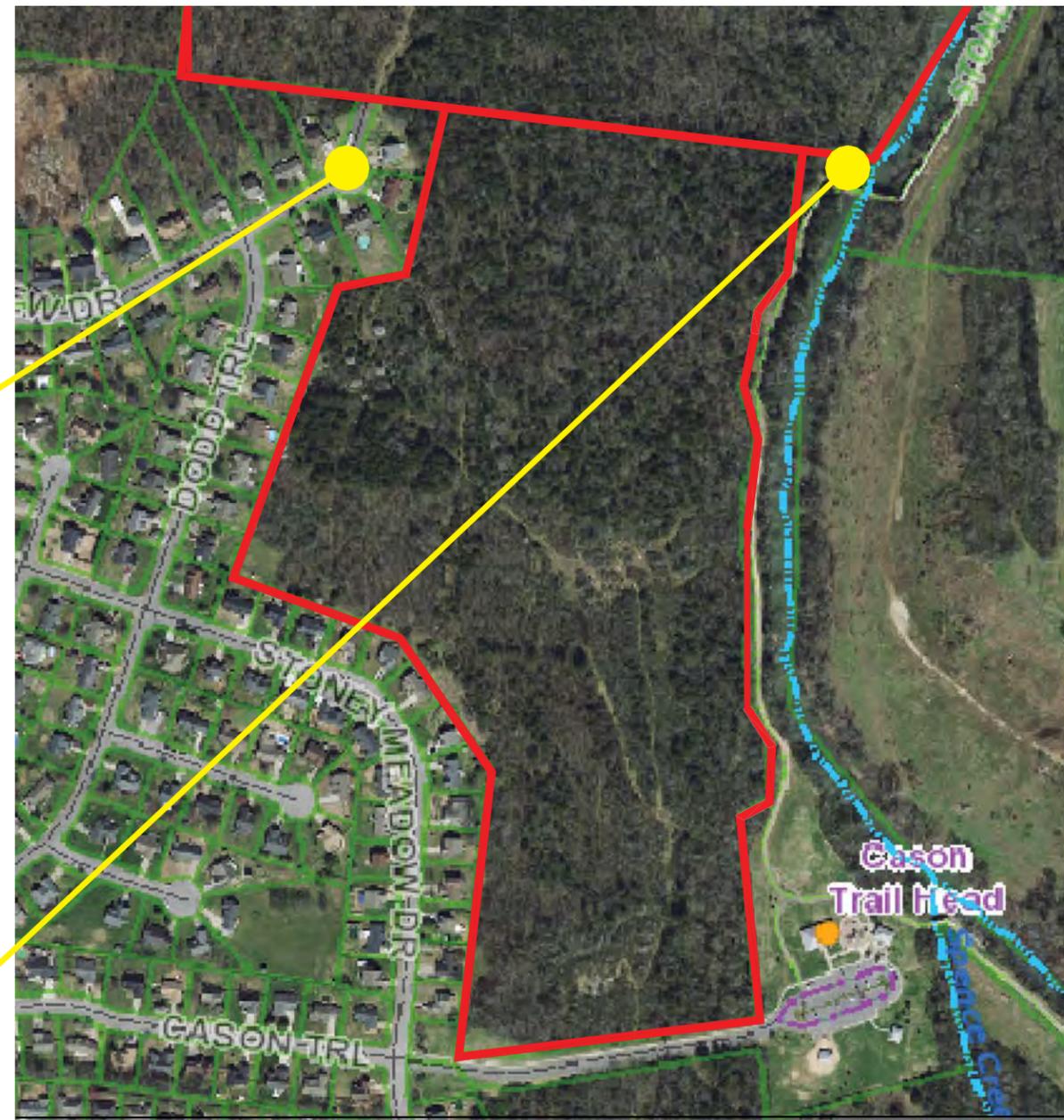


End of Eastview Drive



View of Greenway with I-24 in the background

Aerial view of subject property.



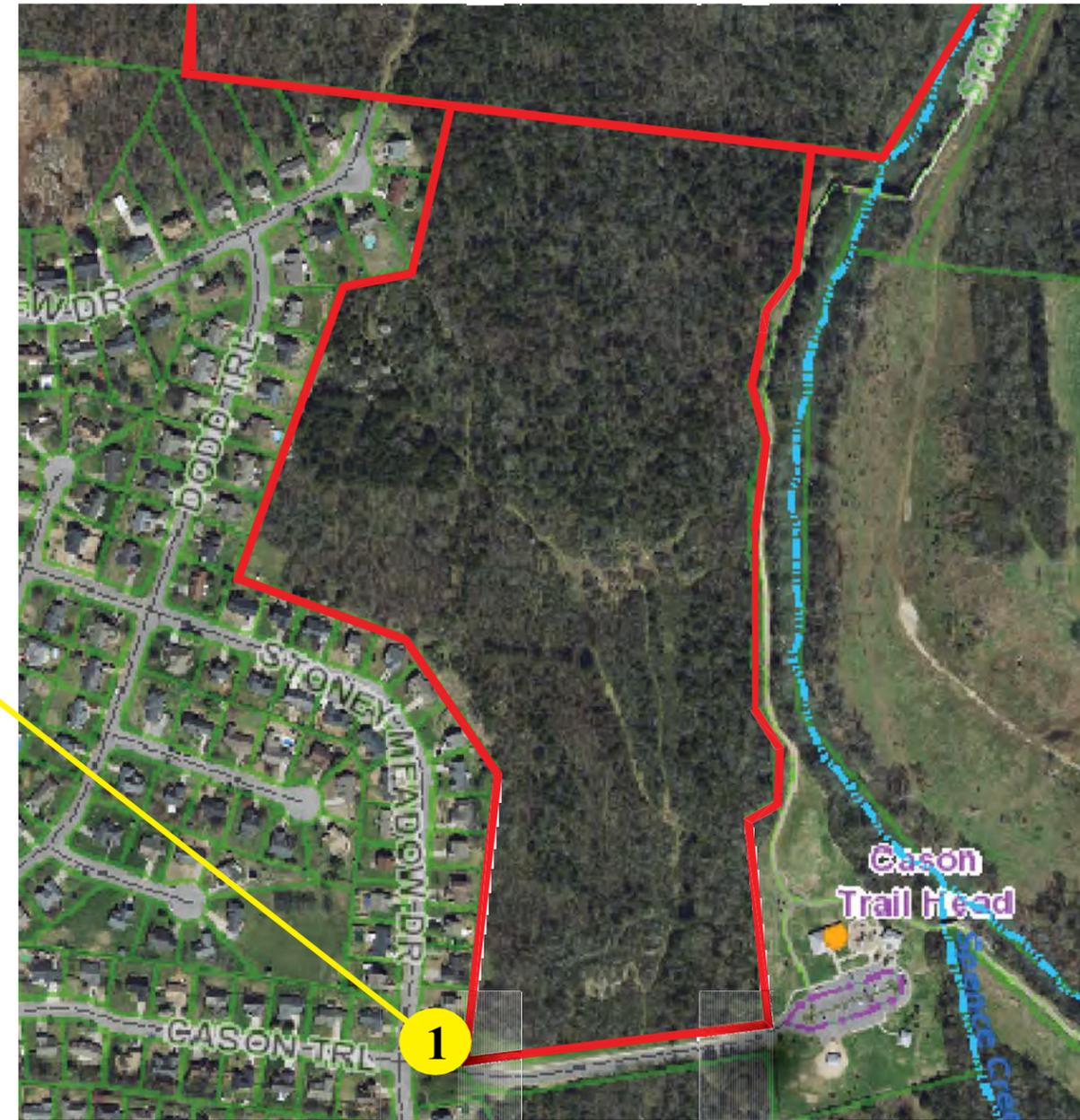
Existing and Future Trailhead Gate Location



1 Former location of trail head gate

* City to relocate gate to entrance of trailhead park

Aerial view of subject property.



Public and Private Roads Exhibit

Hidden River Estates

PLANNED UNIT DEVELOPMENT



LEGEND	
	PRIVATE ROAD
	PUBLIC ROAD
	GATE LOCATIONS



Amended Conceptual Site Plan

Hidden River Estates

PLANNED UNIT DEVELOPMENT



	Type	Square footage
	River Row	2000 - 3500
	The Landings	1400 - 2800
	The Villas	1300 - 2200
	The Cottages	1800 - 2500
	The Estates	2500 (Min.)



Amended Conceptual Site Plan (North)

Hidden River Estates

PLANNED UNIT DEVELOPMENT



Amended Conceptual Site Plan (South)

Hidden River Estates

PLANNED UNIT DEVELOPMENT

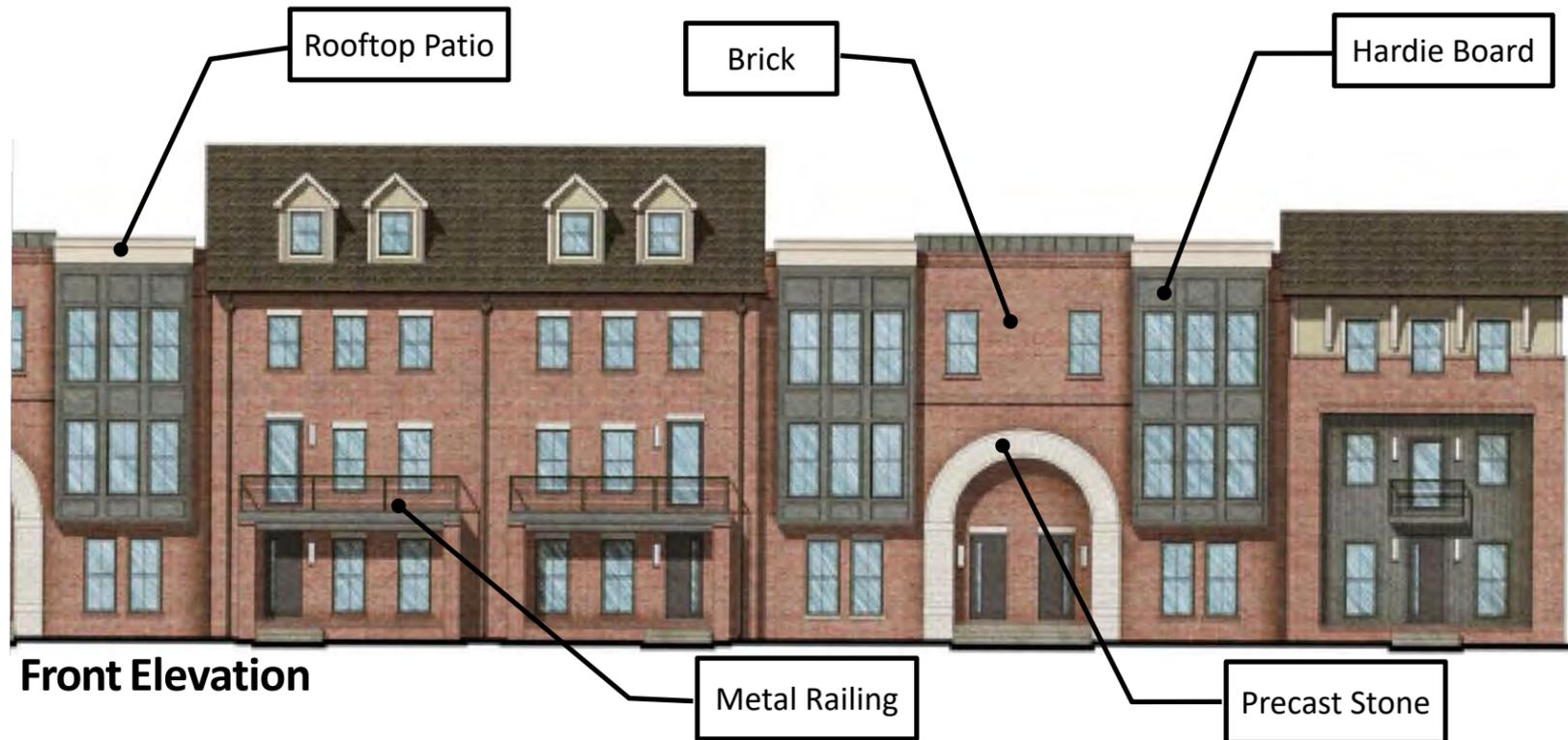


	Type	Square footage
	River Row	2000 - 3500
	The Landings	1400 - 2800
	The Villas	1300 - 2200
	The Cottages	1800 - 2500
	The Estates	2500 (Min.)

The River Row Neighborhood

Hidden River Estates

PLANNED UNIT DEVELOPMENT



Front Elevation



Rear rooftop view of built units



Front view of built units

The River Row - Neighborhood Detail



Hidden River Estates

PLANNED UNIT DEVELOPMENT



HOME TYPE	SIZE	HEIGHT	MATERIALS	BEDROOMS		PARKING	PARKING SPACE WIDTH	SPACES PROVIDED
The River Row	2000 S.F. (Min)	3 Story (45 ft)	<ul style="list-style-type: none"> •Brick •Metal •Cement Board 	3-Bdrm	48	<ul style="list-style-type: none"> •2 Car Garage •2 Car Carport 	10 ft ea.	280
				4-Brdm	16			
				TOTAL	64			

 Units already constructed

The Villas Neighborhood

Hidden River Estates

PLANNED UNIT DEVELOPMENT

Balcony

Brick

Metal

Cement Board



Front Elevations



Built Villas along Cason Trail

The Villas - Neighborhood Detail

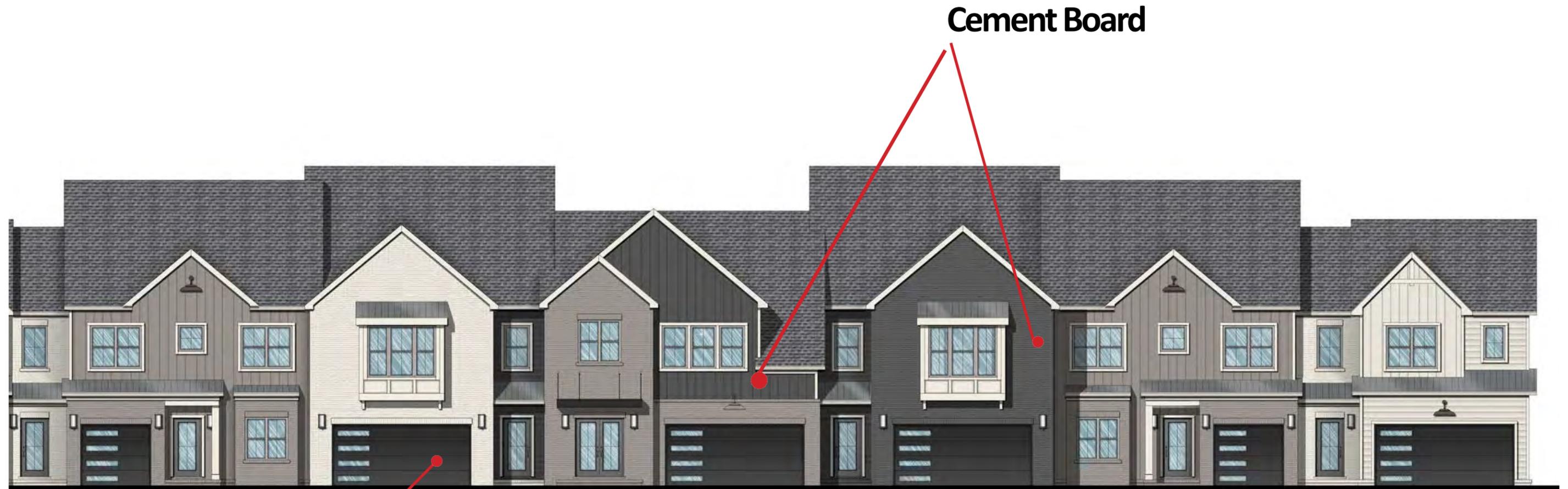
Hidden River Estates

PLANNED UNIT DEVELOPMENT



HOME TYPE	SIZE	HEIGHT	MATERIALS	BEDROOMS		PARKING	PARKING SPACE WIDTH	SPACES PROVIDED
The Villas	1300 S.F. (Min)	2 Story (35 ft)	<ul style="list-style-type: none"> •Brick •Metal •Cement Board 	2-Bdrm	105	Surface Parking	9' Min.	742
				3-Brdm	152			
				TOTAL	257			

Units already constructed



Cement Board

Decorative Garage Doors

FRONT ELEVATION

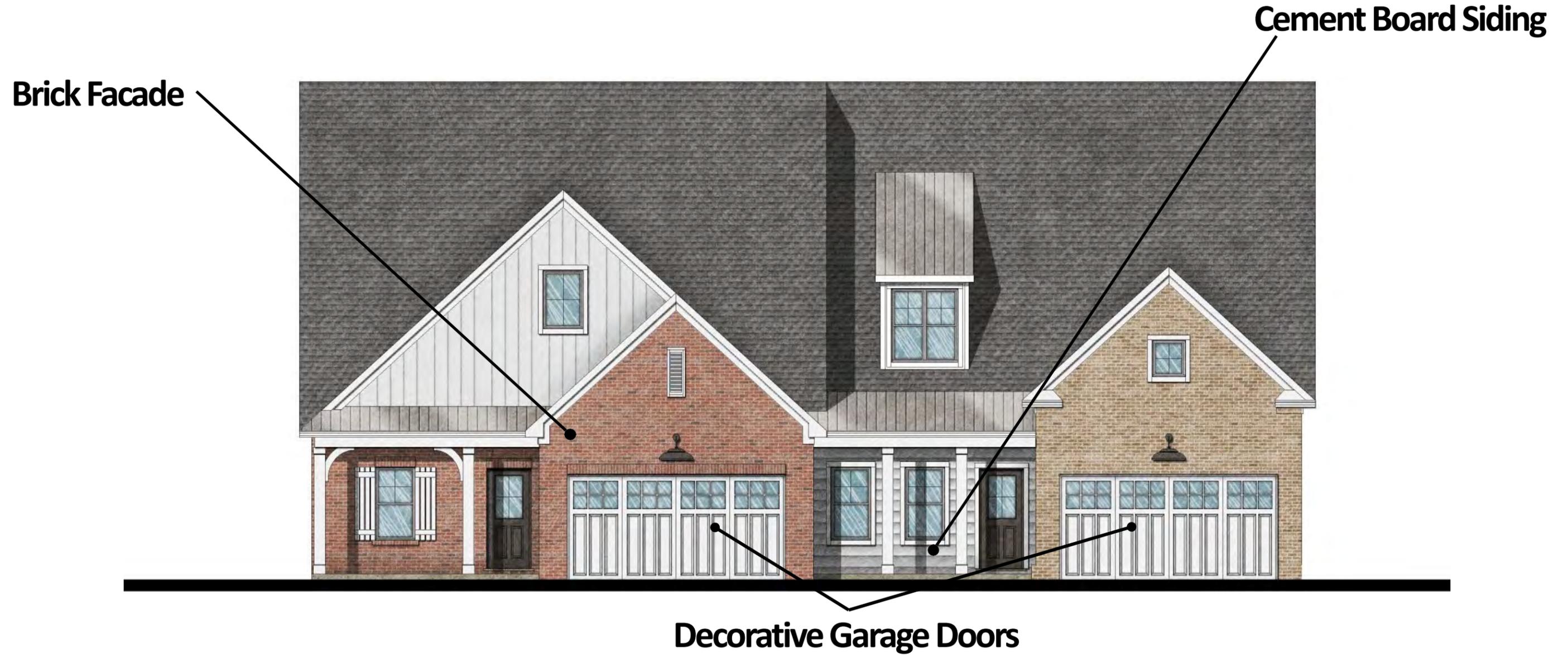
The Landings - Neighborhood Detail

Hidden River Estates

PLANNED UNIT DEVELOPMENT



HOME TYPE	SIZE	HEIGHT	MATERIALS	BEDROOMS		PARKING	PARKING SPACE WIDTH	SPACES PROVIDED
The Landings	1400 S.F. (Min)	2 Story (35 ft)	<ul style="list-style-type: none"> •Brick •Cement Board 	2-Bdrm	24	<ul style="list-style-type: none"> •1 & 2-Car Garage •2-Car Driveway 	10 ft each	244
				3-Brdm	37			
				TOTAL	61			



The Cottages - Neighborhood Detail



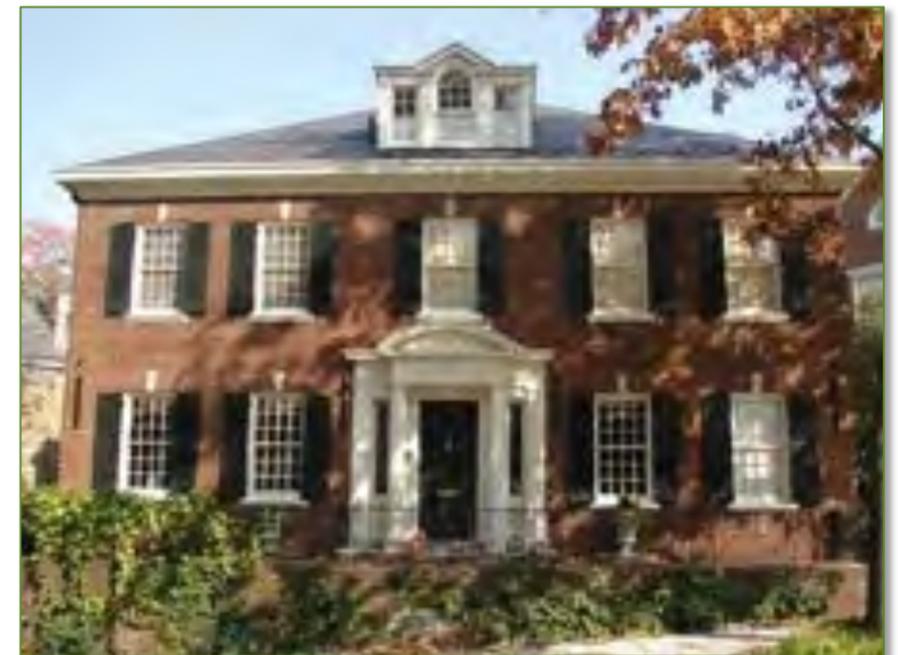
HOME TYPE	SIZE	HEIGHT	MATERIALS	BEDROOMS		PARKING	PARKING SPACE WIDTH	SPACES PROVIDED
The Cottages	1800 S.F. (Min)	1 1/2 Story	<ul style="list-style-type: none"> •Brick •Cement Board 	2-Bdrm	67	<ul style="list-style-type: none"> •2-Car Garage •2-Car Driveway 	10 ft each	664
				3-Brdm	99			
				TOTAL	166			

The Estates Neighborhood



Hidden River Estates

PLANNED UNIT DEVELOPMENT



The Estates - Neighborhood Detail



Hidden River Estates

PLANNED UNIT DEVELOPMENT



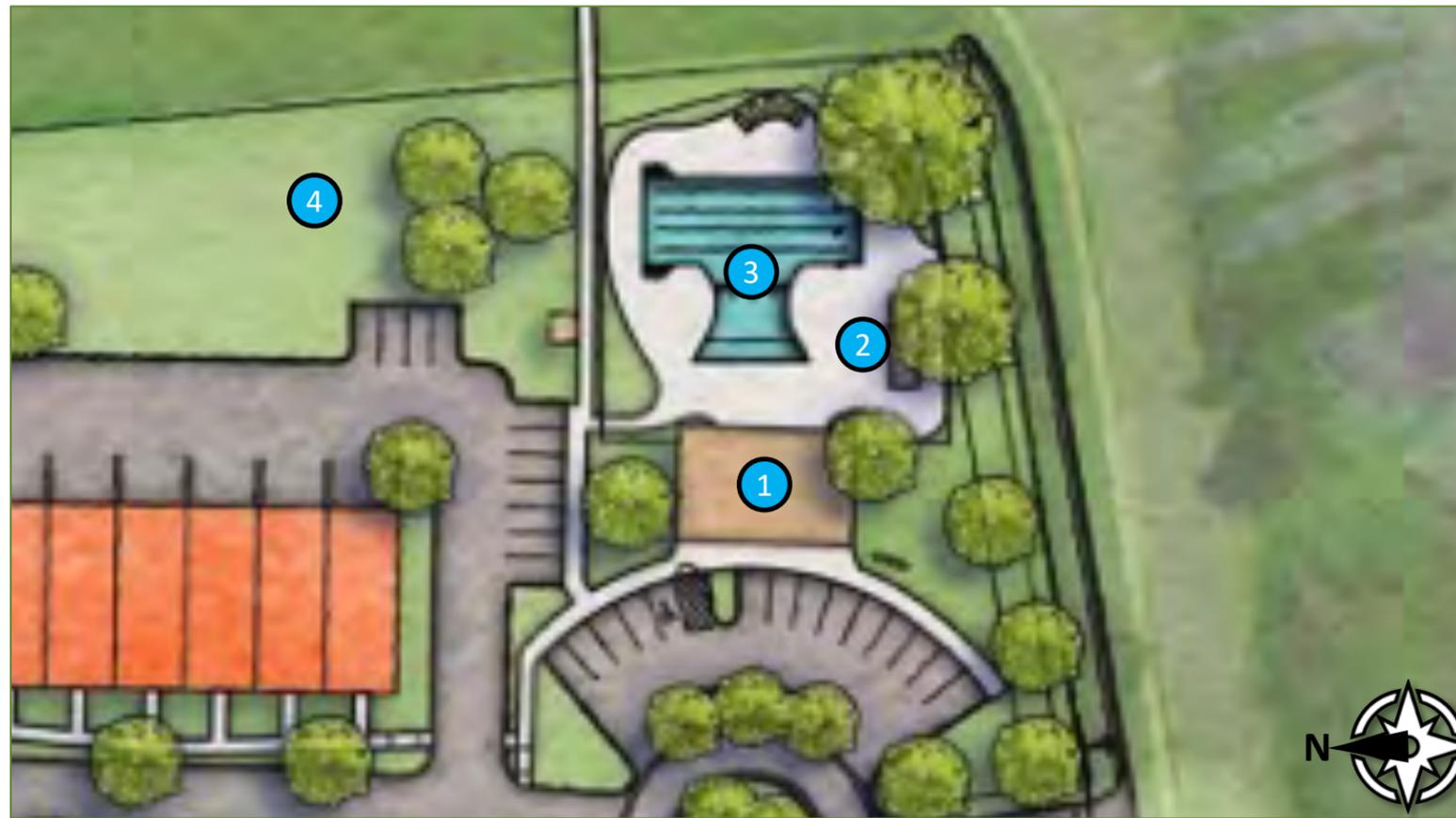
HOME TYPE	SIZE	HEIGHT	MATERIALS	BEDROOMS	PARKING	DRIVEWAY WIDTH	SPACES PROVIDED
The Estates	2500 SF (Min)	3 Story Max.(35 ft)	Custom	Custom	Custom (Min. 2-Car garage)	10 ft each	108

* All plans will be subject to architectural review committee approval.

South Amenity Center

Hidden River Estates

PLANNED UNIT DEVELOPMENT



AREA	MAP #	FEATURES	MATERIALS	PARKING
Amenity Area South	1	Mail Kiosk/ Restroom	Brick	15 Spaces
	2	Pavilion / Pump house	Stone	
	3	Pool	Wood	
	4	Putting Green		



North Amenity Center

Hidden River Estates

PLANNED UNIT DEVELOPMENT



AREA	MAP#	FEATURES	MATERIALS	PARKING
Amenity Area North	①	Picnic Area	Brick	82 Spaces
	②	Half Court Basketball	Stone	
	③	Formal Gathering / Event Lawn	Wood	
	④a	Pools and Cabana		
	④b	Private Cabana		
	⑤	Club House		
	⑥	Tennis and Pickleball Court		
	⑦	Shuffleboard		
	⑧	Bocce Ball		
	⑨	Private Pond and Dock		
	⑩	Kayak Launching Point		
	⑪	Sand Volleyball		

Conceptual Landscape Plan

Hidden River Estates

PLANNED UNIT DEVELOPMENT



Buffer Planting Types



White Pine



Southern Magnolia



Leyland Cypress



Green Giant Arborvitae



Forsythia



Skip Laurel



Development Characteristics (Proposed)

Hidden River Estates

PLANNED UNIT DEVELOPMENT



Proposed Street Light



Proposed Clock Tower

Proposed
Signage



Proposed Bench

Development Characteristics (Actual)

Hidden River Estates

PLANNED UNIT DEVELOPMENT

South Entrance



Swimming Pool



Pavilion



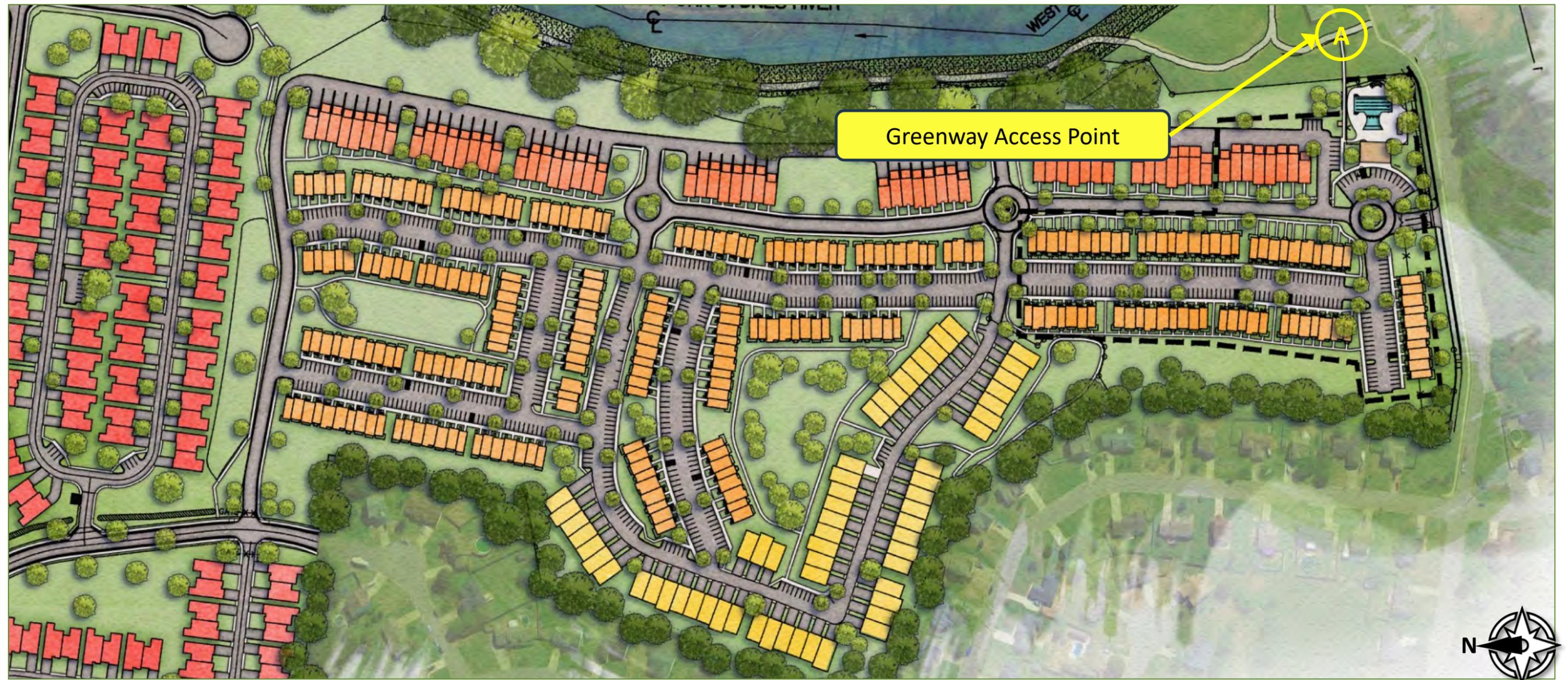
Aerial View of Phase 1A Construction



Development Characteristics (Cont.)

Hidden River Estates

PLANNED UNIT DEVELOPMENT



Open Space Plan

Hidden River Estates

PLANNED UNIT DEVELOPMENT

OPEN SPACE ZONE	AREA
1	601,339
2	69,883
3	159,377
4	136,438
5	175,932
6	46,379
7	227,736
8	3,852
9	3,158
10	2,971
11	5,269
12	3,807
13	22,060
14	4,140
15	59,738
16	27,218
17	247,090
18	9,995
19	11,252
20	61,231
21	22,093
22	11,945
23	14,452
24	6,384
25	12,209
26	27,947
27	3,453
28	19,547
29	3,455
30	16,431

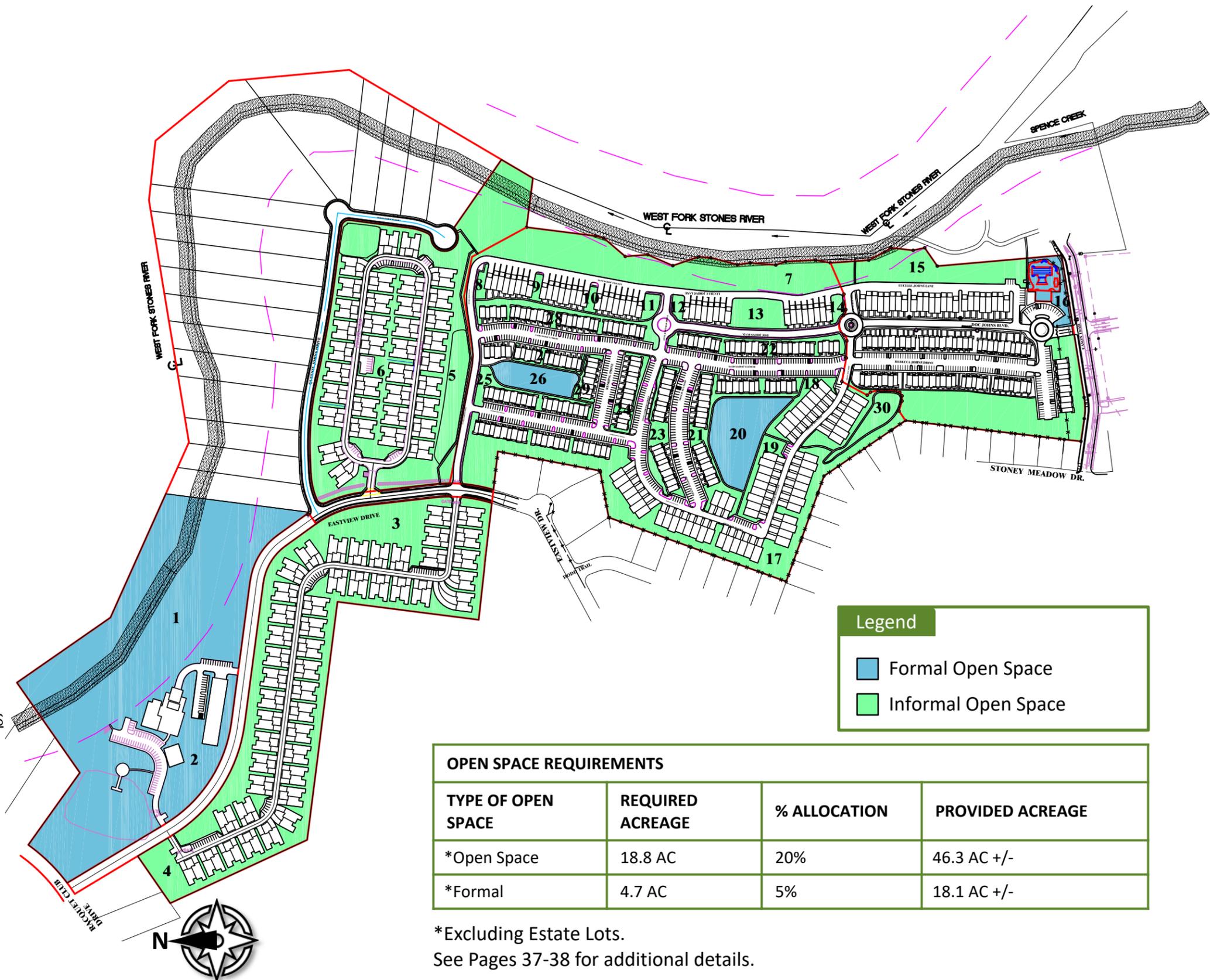
TOTAL PROJECT AREA, EXCLUDING ESTATES LOTS
= 4,089,898 S.F.±

OPEN SPACE REQUIRED FOR PROJECT, EXCLUDING ESTATE LOTS
(4089898) x (0.20) = 817,980 S.F.

OPEN SPACE PROVIDED, EXCLUDING ESTATE LOTS
2,016,780 S.F.±

FORMAL OPEN SPACE REQUIRED FOR PROJECT,
EXCLUDING ESTATE LOTS
(4089898) x (0.05) = 204,495 S.F.

FORMAL OPEN SPACE PROVIDED, EXCLUDING ESTATE LOTS
787,618 S.F.±



Legend

- Formal Open Space
- Informal Open Space

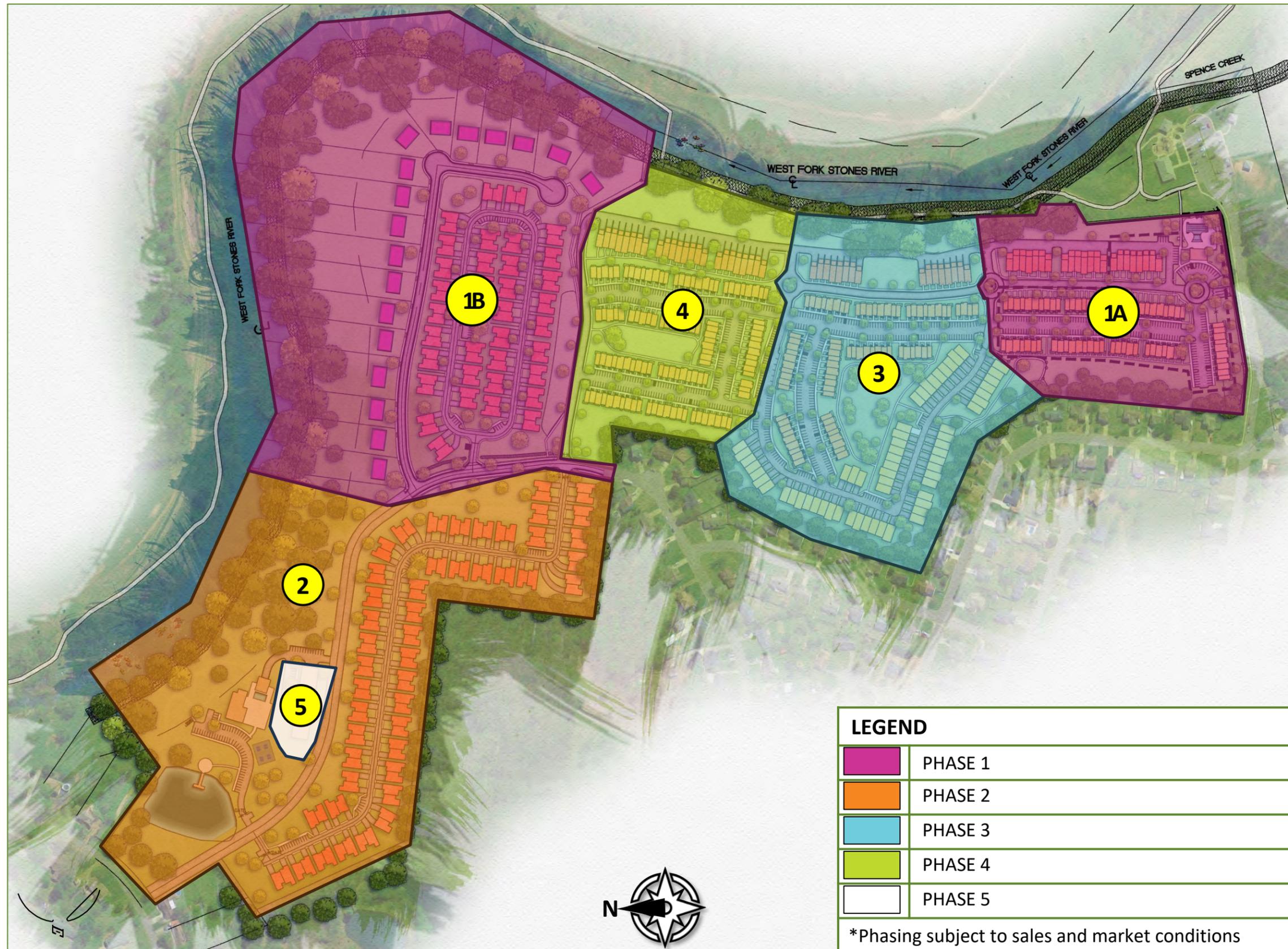
OPEN SPACE REQUIREMENTS			
TYPE OF OPEN SPACE	REQUIRED ACREAGE	% ALLOCATION	PROVIDED ACREAGE
*Open Space	18.8 AC	20%	46.3 AC +/-
*Formal	4.7 AC	5%	18.1 AC +/-

*Excluding Estate Lots.
See Pages 37-38 for additional details.

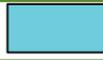
Phasing Plan

Hidden River Estates

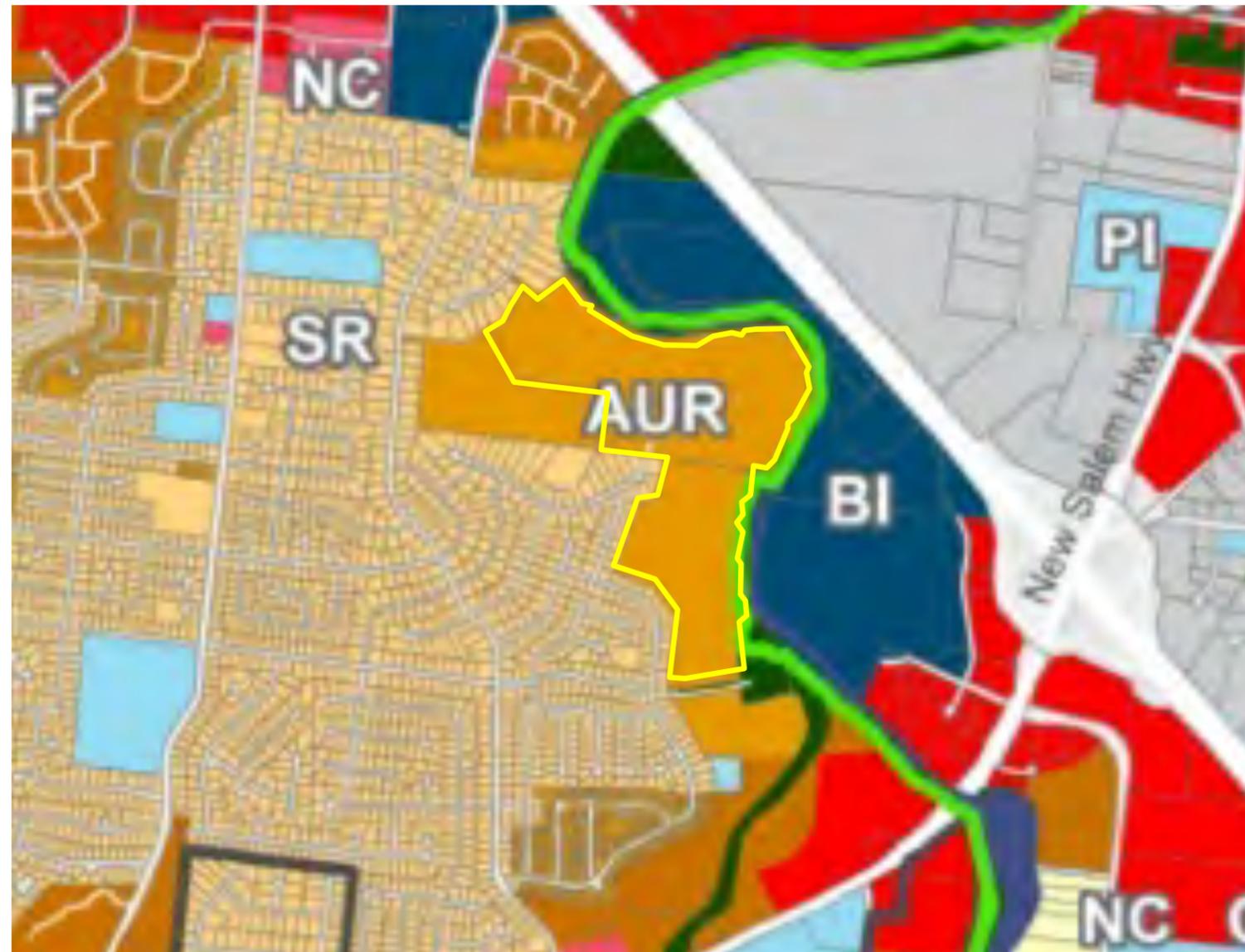
PLANNED UNIT DEVELOPMENT



- Phase 1B includes construction of a portion of the public road connection between Eastview and Racquet Club Drive, which will then be completed in Phase 2.

LEGEND	
	PHASE 1
	PHASE 2
	PHASE 3
	PHASE 4
	PHASE 5

*Phasing subject to sales and market conditions



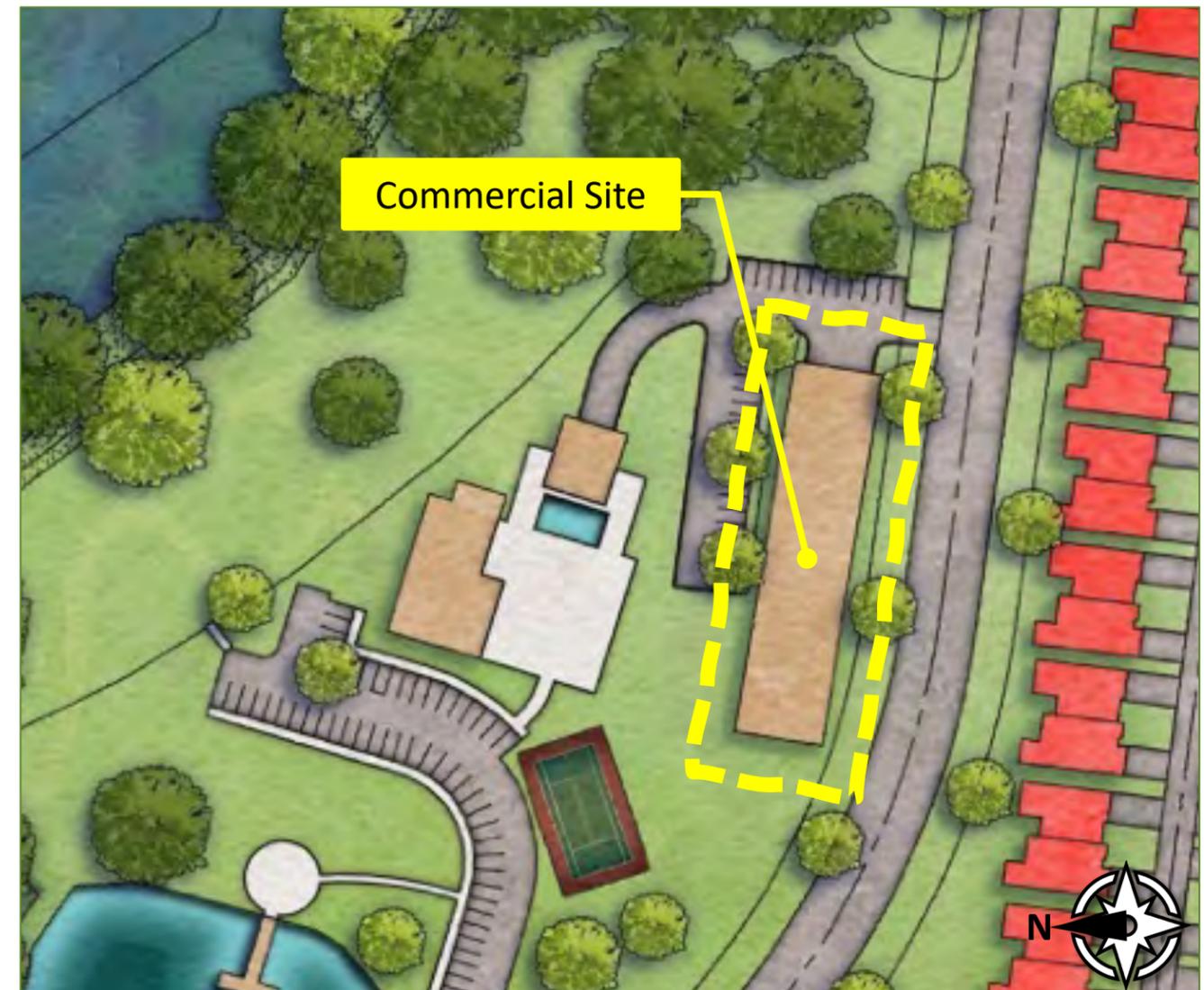
The 2035 Comprehensive Plan identifies the subject property as Auto-Urban (General) Residential Character. This character classification allows for a density of 4.0 - 12.0 dwelling units per acre; we are proposing a density of 4.6 units per acres. Thus, this PUD is consistent with the 2035 Comprehensive Plan.

Future Commercial Center Concept

Concept Image



The Hidden River Estates Commercial Center will provide neighbor services which will meet the needs of the development and surrounding community. The 15,000 SF commercial node will be scaled and designed consistent with the development. We anticipate this node to be constructed in Phase 5 of the development.



PROPOSED ALLOWABLE & PERMITTED USES FOR COMMERCIAL SPACE WITH IN PUD FOR HIDDEN RIVER ESTATES

- Animal Grooming Facility
- Bakery, Retail
- Coffee, Food, or Beverage
- Delicatessen
- Flower or Plant Store
- Kiosk Health Club
- Restaurant and Carry-Out Rest.
- Restaurant, Specialty
- Restaurant, Specialty - Limited
- Sauna
- Specialty Shop

Planned Development Criteria

General Applicability Per Section 13 - Planned Development

1. **Ownership and division of land:** *The site is owned by Hidden River Development Company, LLC.*
2. **Waiver of BZA action:** *No action of the BZA shall be required for approval of this planned unit development.*
3. **Common open space:** *Open space will be provided throughout the property.*

TOTAL ACREAGE	122 AC. +/-
TOTAL ACRES (EXCLUDING ESTATE LOTS)	93.9 AC. +/-
*TOTAL OPEN SPACE REQUIRED	18.8 AC. +/-
*TOTAL OPEN SPACE PROVIDED	46.3 AC. +/-
*FORMAL OPEN SPACE REQUIRED	4.7 AC. +/-
*FORMAL OPEN SPACE PROVIDED	18.1 AC. +/-

* Excluding Estate Lots.

4. **Accessibility to site:** *The property is accessible from Cason Trail, Eastview Drive, and Racquet Club Drive.*
5. **Off street parking:** *See sheet 3 for parking calculations.*
6. **Pedestrian circulation:** *Sidewalks will be added throughout the development.*
7. **Privacy and screening:** *A type B buffer will be provided along the western property line.*

8. **Zoning and subdivision modifications proposed:** *The property owner is requesting the property remain a Planned Unit Development (PUD).*
9. **Phasing:** *The project shall be completed in 5 phases.*
10. **Annexation:** *Annexation is not requested with this zoning request.*
11. **Landscaping:** *Landscaping buffers and perimeter yard planting will be included with the site plan. A type B buffer will be provided on the western property line and the perimeter planting yards will occur on the remaining property line.*
12. **Major Throughfare Plan:** *The PUD is consistent with the Major throughfare plan.*
13. **Applicant contact information:** *Contact information is located on sheet 1.*
14. **Proposed Signage:** *Signage is depicted on Sheet 30 and will be consistent with the proposed materials & designs on the structures.*

Planned Development Criteria

Section 13 – Project Development Criteria Requirements

1. Identification of existing utilities: *Shown in sheet 7*
- 2&3. Graphics, renderings, maps and or aerial photography showing existing conditions and natural features of the site: *Shown in sheets 10-12.*
- 4&5. Drawing and/or diagrams identifying areas of development, proposed buildings, screening, proposed landscaping and pedestrian and vehicular circulation: *Shown in sheets 13-31.*
6. Development schedule: *The project is currently 80% completed within phase 1A.*
7. Relationship of the planned development to current city polices and plans: *The development is consistent with the growth in the area, see page 35.*
8. Proposed deviation from zoning and subdivision ordinance: *We are requesting the height allowance for the River Row Townhomes to be 45 feet which includes the roof top patios.*

9. Site tabulation data for land area, FAR, LSR, and OSR:

TOTAL SITE AREA	5,316,983
TOTAL MAXIMUM FLOOR AREA	1,049,509
TOTAL DRIVE AND PARKING AREA	1,263,147
TOTAL LOT COVERAGE	2,312,656
TOTAL LIVABLE SPACE	2,901,166
TOTAL OPEN SPACE	3,133,877
FLOOR AREA RATIO (F.A.R.)	0.2
LIVABILITY SPACE RATIO (L.S.R.)	2.76
OPEN SPACE REQUIREMENTS (O.S.R.)	2.99

10. The nature and extent of any overlay zones as described in Section 24 and 34: *The development is consistent with the 2035 plan for the City of Murfreesboro. See page 35.*

Exception Request Summary

LAND USE PARAMETERS AND BUILDING SETBACKS						
ZONING (EXISTING VS PROPOSED)	RS-A2	PROPOSED PUD (TOWNHOMES)	DIFFERENCE	RS-10	PROPOSED PUD (ESTATES)	DIFFERENCE
RESIDENTIAL DENSITY						
MAXIMUM DWELLING UNITS MULTI-FAMILY	—	—	—	—	—	—
MINIMUM LOT AREA (SQ.FT.)	2000	N/A	N/A	10,000	N/A	N/A
MINIMUM LOT WIDTH (FT.)	40	N/A	N/A	65	N/A	N/A
MINIMUM EXTERNAL SETBACK REQUIREMENTS						
MINIMUM FRONT SETBACK (FT.)	35	25	-10	35	25	-10
MINIMUM SIDE SETBACK (FT.)	5	5	—	10	10	—
MINIMUM REAR SETBACK (FT.)	20	20	—	25	N/A (Floodway)	N/A
LAND USE INTENSITY RATIOS						
MAX F.A.R.	1	0.25	—	none	none	N/A
MINIMUM LIVABLE SPACE RATIO	0.5	1.7	—	none	none	N/A
MINIMUM OPEN SPACE REQUIREMENT	0.25	0.2	—	none	none	N/A
MINIMUM FORMAL OPEN SPACE REQUIREMENT	0.05	0.05	—	0.05	0.05	—
MAX HEIGHT (FT.)	35	45	+10	35	35	—

PUD Exceptions Request Summary

- Requesting an exception for a 10’ increase in allowable building height from 35’ to 45’ for The River Row townhome type units only. All other townhome type units shall not exceed 35 feet height.
- Requesting an exception for a 10’ reduction of minimum front setback from 35’ to 25’ for townhome type units.
- Requesting an exception for a 10’ reduction of minimum front setback from 35’ to 25’ for Estate type lots.
- Requesting an exception for the site to have no trash compactor and instead use private trash hauling service (third party).

Development Standards

Summary of Revisions

- Required modifications to detention ponds in affected areas.
- Parking counts reduced in proportion to the reduction in number of homes; which meet city requirements.
- The Cottages unit count decreased from 236 to 166.
- The Villas unit count increased from 191 to 257.
- The Landings unit count decreased from 111 to 61.
- These changes result in a net decrease of 54 townhomes, so the overall quantity of townhomes is reduced from 620 to 566.
- Reduced density from 5.16 to 4.6 units per Acre.
- The green space at The Cottages has been reduced by 20%; which meet city requirements.

Development Standards

- This development is a gated private community which will be governed by an HOA.
- The HOA will be responsible for maintaining all common areas, trash collection and shared amenities.
- Homes will be sold under the Horizontal Property Regimes (HPR)
- Phase 1B includes construction of a portion of the public road connection between Eastview and Raquet Club Drive, which will then be completed in Phase 2

Site Data

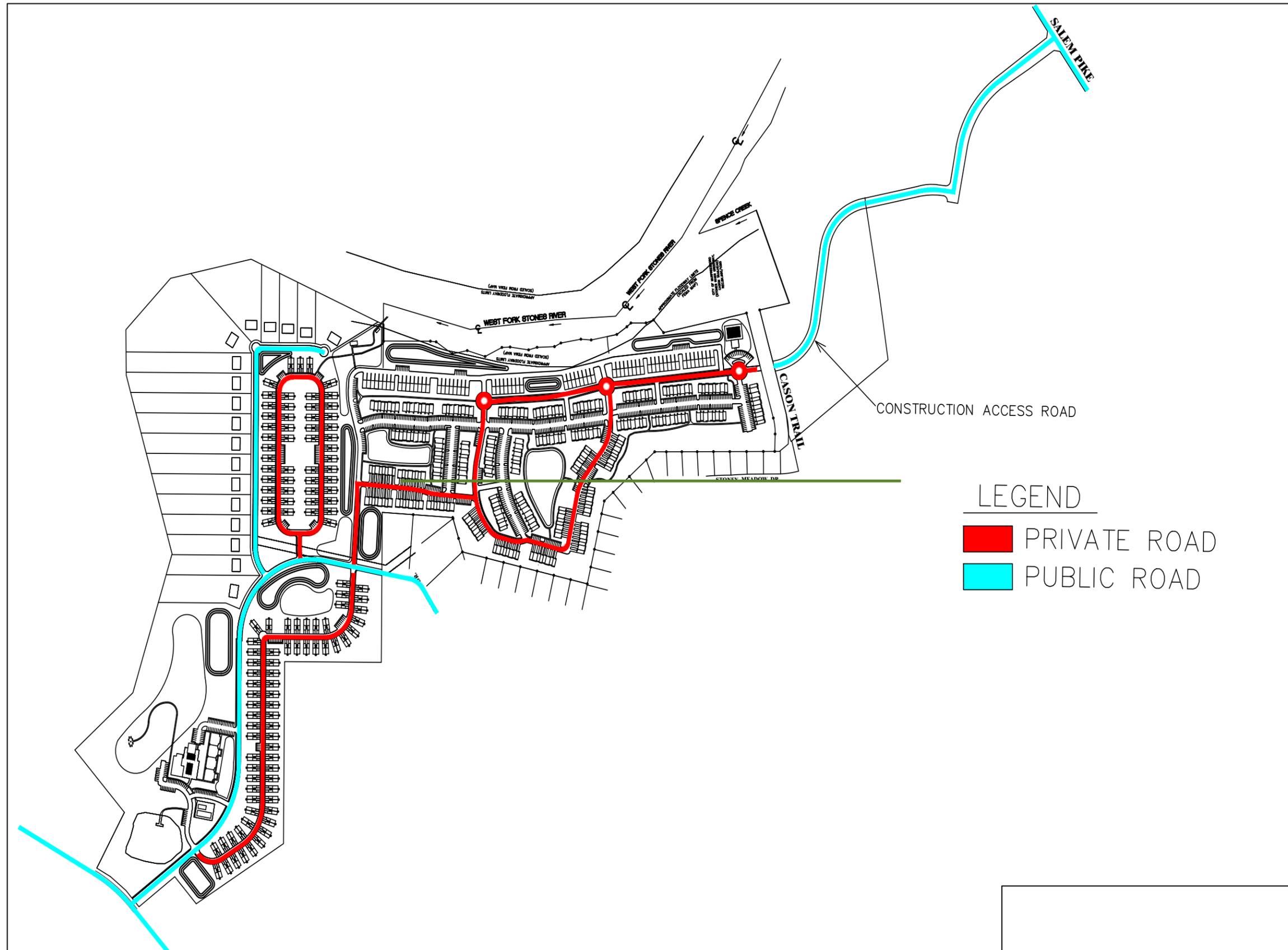
- Total Acreage: 122 AC +/-
- Existing Zoning: PUD
- Proposed Zoning: Planned Unit Development (PUD)
- Max Units: 566
- Unit Density: 4.6 Units Per Acre

	Type	Quantity of units (Approved)	Quantity of units (Proposed)	Diff.	Square footage	Bedrooms	Garage / surface parking	Parking spaces required	Provided parking spaces
	River Row	64	64	0	2000 - 3500	<ul style="list-style-type: none"> • 16 - 4 Bdrm • 48 - 3 Bdrm 	<ul style="list-style-type: none"> • 2-Car Garage • Surface Parking 	230	280
	The Landings	106	61	-45	1400 - 2800	<ul style="list-style-type: none"> • 24 - 2 Bdrm • 37 - 3 Bdrm 	<ul style="list-style-type: none"> • 2-Car Garage • 2-Car Driveway 	174	244
	The Villas	196	257	+61	1300 - 2200	<ul style="list-style-type: none"> • 105 - 2 Bdrm • 152 - 3 Bdrm 	<ul style="list-style-type: none"> • Surface Parking 	732	742
	The Cottages	236	166	-70	1800 - 2500	<ul style="list-style-type: none"> • 67 - 2 Bdrm • 99 - 3 Bdrm 	<ul style="list-style-type: none"> • 2-Car Garage • 2-Car Driveway 	473	664
	The Estates	18	18	0	2500 (Min.)	<ul style="list-style-type: none"> • Custom 	<ul style="list-style-type: none"> • Custom 	72	108

Addendum 1: Road Clarification

Hidden River Estates

PLANNED UNIT DEVELOPMENT



- This Addendum was presented to the City Council (Thursday 02/06/2020) and has been added to this PUD for clarification at the request of the City Planners.
- For Additional details on the Public & Private Roads: See Sheet 13.
- For Additional Details on the Construction Access Road: See Sheets 8 & 9.

Addendum 2: PUD Amendment (Approved Site Plan)

Hidden River Estates

PLANNED UNIT DEVELOPMENT



Addendum 3: PUD Amendment (Amended Site Plan)

Hidden River Estates

PLANNED UNIT DEVELOPMENT



PUD AMENDMENTS:

	TYPE	INITIAL PROPOSAL	REVISED PROPOSAL
	River Row	64	64
	The Landing	106	61
	The Villas	196	257
	The Cottage	236	166
	The Estates	18	18

Summary of Revisions

- Required modifications to detention ponds in affected areas.
- Parking counts reduced in proportion to the reduction in number of homes; which meet city requirements.
- The Cottages unit count decreased from 236 to 166.
- The Villas unit count increased from 191 to 257.
- The Landings unit count decreased from 111 to 61.
- These changes result in a net decrease of 54 townhomes, so the overall quantity of townhomes is reduced from 620 to 566.
- Reduced density from 5.16 to 4.6 units per Acre.
- The green space at The Cottages has been reduced by 20%; which meet city requirements.

Hidden River Estates

PLANNED UNIT DEVELOPMENT



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 11, 2023**

PRINCIPAL PLANNER: MARGARET ANN GREEN

- 6.c. Zoning application [2023-413] to amend the existing Vintage Apartments and TDK office PUD (11.3 acres) and to rezone approximately 2.5 acres from CH to PUD located along Medical Center Parkway, Robert Rose Drive and Maplegrove Drive, TDK Construction applicant.**

Introduction

The subject property is located along the south side of Medical Center Parkway, west of Robert Rose Drive and east of Maplegrove Drive (Tax Map 092 Parcels 006.06 & 006.06). The properties consist of 13.7 acres and are zoned PUD (Planned Unit District), CH (Commercial Highway District), and GDO-1 (Gateway Design Overlay District). The subject properties, the parcels to the north and south are a part of the Robert Rose Village West master planned development. The property to the west is the Avenues Lifestyle center, which is zoned CH (Commercial Highway District), PSO (Planned Signage Overlay District) and GDO-1. The properties to the east, across Robert Rose Drive, are a part of the Robert Rose Village East master planned development and consist of a future assisted living facility, apartments, self-storage, commercial strip centers, financial institutions, hotel, and restaurant.

Background

In February of 2013, then previous property owner, C.M. Gatton Trustee, submitted a Master Plan for 37.5 acres. The master plan envisioned a mixture of a large commercial tract surrounded by multiple smaller outparcels and rounded out by a multifamily tract large enough to support over 300 units.

In 2013, the Planning Department created a MU district and initiated a study to rezone properties to the newly created MU district. The Robert Rose Village West master planned property was included in the rezoning as the MU district was consistent with the Rose Village West Master Plan. A few years after the creation of the MU district, the Murfreesboro City Council became aware that MU zoned properties were becoming consumed by multi-family uses. City Council asked staff to draft a Zoning Ordinance amendment that protected the mixed-use vision for this area and required properties to develop with primarily commercial, office and institutional uses. Because the Everwood at the Gateway apartments utilized the multi-family potential for the subject property, the applicants pursued a rezoning application to PUD to obtain entitlements for additional apartments.

June 23, 2022, rezoning:

PUD: In 2022, the City Council approved a rezoning request for the TDK PUD to allow multi-family as a permitted use, as it was not permitted in the MU district. The Everwood at the Gateway apartments exhausted all entitlements for multi-family as a permitted use within the Robert Rose Village West master planned area. In exchange for granting 232 additional multi-family dwelling units, the developer offered to construct a corporate office location. The apartment may have a maximum of 138 one-bedroom units and 94 two-bedroom units. A minimum of 13,000 square feet of the first floor is to be dedicated to commercial uses such as offices, restaurants, and retail spaces. The corporate office building is a 5-story building with a minimum size of 60,000 square foot. The PUD has a requirement that a fountain/reflecting pool shall be provided along Robert Rose Drive to provide curb appeal to the space.

CH: The zoning change also included 2.5 acres to be zoned from MU to CH. The development of this portion of property were unknown, therefore the application request to rezone the 2.5 acres, while remaining within the GDO-1 overlay. The approximately 2.5 acres potentially could have created 2 commercial outparcels. The applicant proposed to record restrictive covenants on the CH property to prevent some uses.

Robert Rose Village West PUD - PUD Amend (11.3 acres) and CH to PUD (2.5)

Overview

The rezoning application consists of two parts.

1. **PUD AMENDMENT:** The first request is to amend the existing PUD (11.3 acres).
2. **CH to PUD REZONING:** The second request is to rezone 2.5 acres from CH to PUD.

PUD AMENDMENT

Lot 1

The first request, which consist of amending the existing PUD, is intended to make few modifications to the apartments by keeping the density and unit mix but removing the shuffleboard amenity. The phasing/parking plan will be reworked based on the tenant mix of the adjacent office. The intent is to keep the minimum required 13,000 square feet retail/office/restaurant urban storefront on the first floor of the apartments.

Lot 2

The most significant change to the existing PUD is the request to modify the requirements for the corporate office building, which currently plans a minimum 60,000 square foot structure designed to be 5-stories tall with a rooftop patio and a fountain/reflecting pool along Robert Rose Drive. The proposed change reduces the minimum required office area from 60,000 square feet to 12,000 square feet, reduces the structure height from 5-stories to 1-story, and removes the requirement for a fountain/reflecting pool along Robert

Rose Drive. In addition to the 12,000 square foot office, the plan will make available an additional 8,000 square feet of retail or restaurant space, bringing the total square feet of this building to 20,000. The parking standard for restaurants is three times greater than that of general office uses, therefore the tenant mix will vary to meet the parking exception created with the Planned Development.

Comparison of Amendments to existing PUD

	PUD	Proposed PUD Amend	difference
LOT 1- # of dwelling units	232	232	0
LOT 1- minimum first-floor commercial incorporated in apartments (ft2)	13,000	13,000	0
Lot 2- minimum office size (ft2)	60,000	12,000	-48,000
Lot 2- minimum building height (stories)	5	1	-4
Lot 2- retail/restaurant incorporated in office building (ft2)	0	8,000	+8,000

CH to PUD REZONING

The second request is to rezone 2.5 acres from CH to PUD. This rezoning request will allow the development of a grocery store while giving exceptions to general development regulations and the GDO development regulations.

Transportation, Circulation and Access:

The subject property has access to Medical Center Parkway, a major arterial. Currently the Public Infrastructure department is designing an additional lane along Medical Center Parkway in each direction. Engineering staff requested that the needed right-of-way be dedication with this project. Additionally, they have requested an updated Traffic Study.

The plans approved for Lots 2 & 3 require that these lots depend on each other to meet development standards. Lot 3 provides offsite operation and maintenance of stormwater management facilities for Lot 2 and Lot 2 extends public sewer to Lot 3.

Purposes of Planned Develop District:

According to the Zoning Ordinance, the purposes of planned development district regulations are as follows:

1. to promote flexibility in development design and to permit planned diversification in the location of structures;
2. to promote the efficient use of land by permitting a planned arrangement of buildings, circulation systems, land uses, and utilities;
3. to preserve existing landscape features and amenities and to utilize such features

in a harmonious fashion;

4. to encourage the total planning of land tracts consistent with adopted long-range plans;
5. to permit the use of new and innovative land development techniques while assuring protection of existing adjacent development;
6. to encourage the functional and beneficial use of open spaces and to preserve natural features of a development site;
7. to promote the creation of a safe and desirable living environment for residential areas characterized by a unified site and development program;
8. to permit the creation of a variety of housing types compatible with surrounding development to provide a greater choice of types of environment and living units;
9. to promote the provision of attractive and appropriate locations for business and manufacturing uses in well-designed developments and the provision of opportunities for employment closer to residences with a reduction in travel time from home to work;
10. to encourage the revitalization of established commercial centers;
11. to promote the diversification in the uses permitted and variation in the relationship of uses, structures, open space, and height of structures in developments intended as cohesive, unified projects;
12. to encourage design in the development of land that is of a higher quality than is possible under the regulations otherwise applicable to the property; and,
13. to promote the significance of architectural and aesthetic improvements and details in atypical developments.

Exceptions

Exceptions must be specifically identified and requested in the application for a planned development. The Zoning Ordinance states the following regarding exceptions within planned developments:

The planned development approval may provide for such exceptions from the Subdivision Regulations, Design Guidelines, and from district and overlay district zoning regulations governing use, density area, bulk, parking, architecture, landscaping, and open space as may be necessary or desirable to achieve the objectives of the proposed planned development, provided such exceptions are consistent with the standards and criteria contained in this section and have been specifically identified and requested in the application for a planned development. Unless the application for a planned development contains a clear statement of exceptions to them, the standards and criteria of the Subdivision Regulations, Design Guidelines, and district and overlay district zoning regulations will apply to all planned developments. The specific zone district used as a comparison for the planned development shall be the most like zone district to the planned development, as determined by the Planning Director.

The existing PUD was granted 6 exceptions. They are:

1. Requesting an exception to endnote 22 of Chart 1 Endnotes. Uses Permitted by Zoning District to allow multi-family as a permitted use (Not currently permitted in underlying MU zoning) [In developments consisting of ten (10) or more acres in the MU zoning district, the use “dwellings, multiple-family” shall constitute no more than twenty-five (25) percent of developable land area.] To allow multi-family residential land-use as a part of this PUD.
2. Requesting an exception to the allowable number of multi-family units beyond the 25% limitation in endnote 22 of Chart 1 Endnotes. Specifically this PUD is requesting up to 232 multi-family units.
3. Requesting exceptions to Zoning Ordinance and Design Guidelines regarding commercial architecture and permitted materials for the mixed-use buildings, to allow the use of faux wood in building elevations.
4. An exception to allow outdoor sales and the sale of food and beverage in park space and public open space for temporary special events.
5. Requesting exception to single bedroom parking calculations to utilize 1.1 instead of 1.5 spaces per bedroom.
6. Requesting an exception to Minimum Building Setbacks along Robert Rose Drive from 50-feet to 40-feet. **(Lot 2 only)**

The 6 exceptions noted above are proposed to remain with the PUD in addition to a request to grant 22 additional exceptions, for a total of 28 exceptions. The proposed PUD book identifies them on pages 33-37 of the program book.

**PUD Exceptions Request Summary:
(Applies to Lots 1 -3 & Common Space Shared Access Drive)**

1. Requesting an exception to not provide landscape buffers along proposed parcels' internal property lines.
2. Requesting an exception to the maximum foot-candles along proposed internal property lines. Foot candles shall be allowed to exceed 0.5 along all proposed internal property lines. External property lines shall still be held to the 0.5 maximum.

**Lot 1 Requested Exceptions
(Residential/Mixed Use)**

3. Requesting an exception to the required perimeter landscaping along the shared boundary of Lot 1 and Lot 2 to include a shared landscaping yard. This will make the planting yard approximately 5-ft on each side of the lot line.
4. Requesting an exception to the required 15-ft of separation from access drives to

parking areas to be reduced to 5-ft along the Lot 1/Lot 2 shared property line.

5. Requesting an exception to the required 15-ft of separation from access drives to parking areas to be reduced to 8-ft along the Common Space Access Drive.

**Lot 2 Requested Exceptions
(Office/Retail/Restaurant Building)**

6. Requesting an exception to the required perimeter landscaping along the shared boundary of Lot 1 and Lot 2 to include a shared landscaping yard. This will make the planting yard approximately 5-ft on each side of the lot line.
7. Requesting an exception to the required 15-ft of separation from access drives to parking areas to be reduced to 5-ft along the Lot 1/Lot 2 shared property line.
8. Requesting an exception to the required 15-ft of separation from access drives to parking areas to be reduced to 8-ft along the Common Space Access Drive.
9. Requesting an exception to the required 8-ft landscaping yard along the Common Space Access Drive to be reduced to 5-ft.

Lot 3 Requested Exceptions (Commercial Lot)

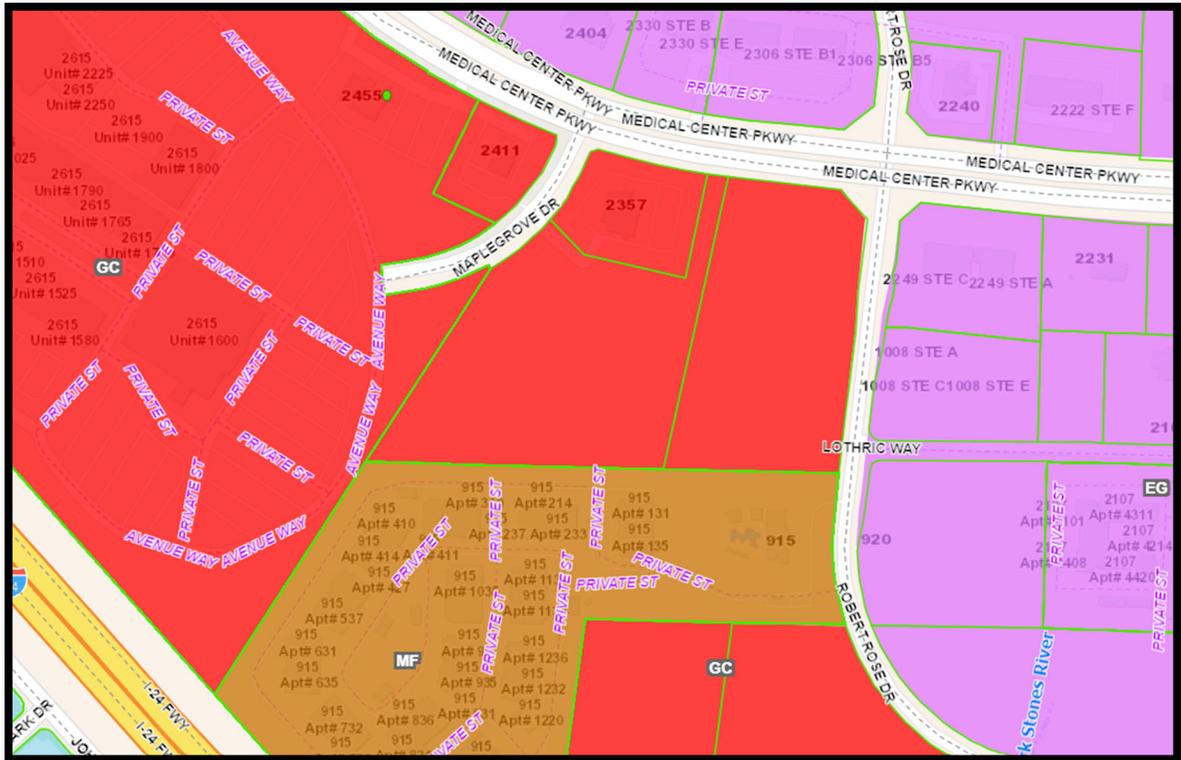
10. Requesting an exception to the required 8-ft landscaping yard along the southern perimeter to be reduced to 5-ft.
11. Requesting an exception to the required 15-ft of separation from access drives to parking areas along the southern perimeter be reduced to 5-ft.
12. Requesting an exception to the required 15-ft of separation from access drives to parking areas along the Common Space Access Drive on the west side of the lot to be 10-ft.
13. Requesting an exception to the required 15-ft of separation from access drives to the back of curb along the Lot 3 vehicular service area on the south side of the lot to 3.5-ft.
14. Requesting an exception that the rear foundation planting, facing the Common Space Access Drive, be waived. This area is a loading/unloading zone.
15. Requesting an exception that the screening for service areas, loading docks, and storage areas from ROW and adjacent parcels be waived.
16. Requesting an exception to the required 50-ft main building setback line along Robert Rose Drive to be reduced to 40-ft.
17. Requesting an exception to the required formal open space that no formal open space shall be required on this parcel.

Common Shared Access Drive Exceptions:

18. Requesting an exception to the required 5-ft landscaping yard along all perimeters to 0-ft.

19. Requesting an exception to the required perimeter and frontage landscaping requirements along all perimeters.
20. Requesting an exception to the required 20% open space to no open space this lot.
21. Requesting an exception to the required formal open space that no formal open space shall be required on this common space access drive

Future Land Use Map



(GENERAL) COMMERCIAL CHARACTER (GC)

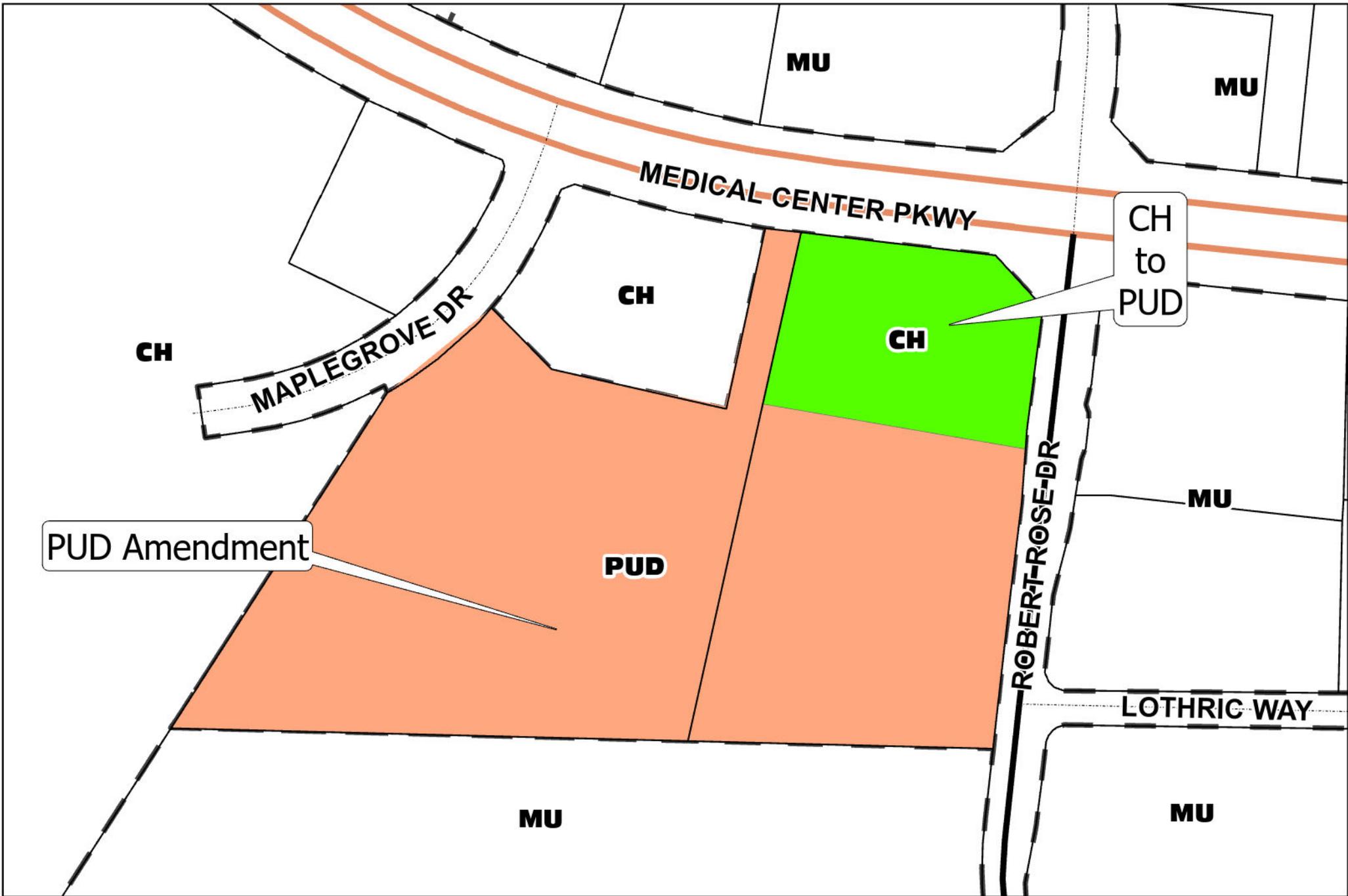
This designation pertains to commercial development as well as outparcels located on arterial and collector transportation routes. The primary difference in Urban and Auto-Urban character categories is the role of the automobile in its site design. Rather than buildings oriented to the street, as in an urban setting, such as what is found in downtown, auto-urban environments are characterized by large parking lots surrounding the buildings. Auto-Urban commercial uses include high intensity commercial businesses that have a trade area outside of Murfreesboro and/or require a large amount of land for their operations. Uses like regional shopping center, grocery, hotels, gas stations, restaurants, and “big box” retailers. Due to the potential for these uses to generate high traffic volumes, their location should be on or with adequate access to arterial roadways.

Recommendation:

Staff requests the Planning Commission to consider the following items in its review of this request:

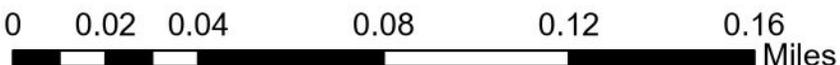
1. The proposed development type and characteristics are consistent with the approved *Murfreesboro 2035 Comprehensive Plan* and the *Future Land Use Map*.
2. The Planning Commission should consider the appropriateness of the exceptions that are a part of the PUD.

The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning request. A copy of the PUD program book is included with the agenda materials. The Planning Commission conduct a public hearing prior to formulating a recommendation to the City Council. The City Council scheduled a public hearing on October 19, 2023.



Zoning Request for Property located along Medical Center Parkway and Robert Rose Drive
 PUD Amendment and CH & GDO1 to PUD (TDK Headquarters/Vintage "Mixed Use" PUD) and GDO-1

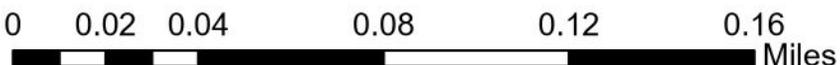
Planning Department
 City of Murfreesboro
 111 W. Vine St.
 Murfreesboro, TN 37130
www.murfreesborotn.gov





Zoning Request for Property located along Medical Center Parkway and Robert Rose Drive
 PUD Amendment and CH & GDO1 to PUD (TDK Headquarters/Vintage "Mixed Use" PUD) and GDO-1

Planning Department
 City of Murfreesboro
 111 W. Vine St.
 Murfreesboro, TN 37130
www.murfreesborotn.gov



CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY CONSENT AND THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS SHOWN.

DATE: 1-19-2016 C.M. GATTON, TR.
 TRUSTEE OF THE C.M. GATTON TRUST
 RECORD BOOK 346, PAGE 2035
 UNDER AGREEMENT DATED JANUARY 7, 1995

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 0.1000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

DATE: 1-18-16 Deirda A. Paek
 REGISTERED SURVEYOR
 TENN. REG. NO. 2381

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE

I HEREBY CERTIFY THAT ALL STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE: 1/25/2016 Sam C. Hudleston
 CITY ENGINEER

CERTIFICATE OF APPROVAL OF IMPROVED WATER SYSTEMS

I HEREBY CERTIFY THAT THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA FOR SEWER WORKS. (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME, OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE FINISHED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: 1/22/2016 Valerie H. Smith
 MURFREESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DESIGN CRITERIA FOR SEWER WORKS. (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME, OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE FINISHED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: 1/22/2016 Valerie H. Smith
 MURFREESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF APPROVAL OF APPROVED WATER SYSTEMS

I HEREBY CERTIFY THAT THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY. (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE: 1-22-16 [Signature]
 CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY OFFICIAL

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT FOR ELECTRIC POWER SERVICE. THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED. AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OWNER COMPLIANCE WITH THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MED'S REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.

DATE: 1-22-16 [Signature]
 MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

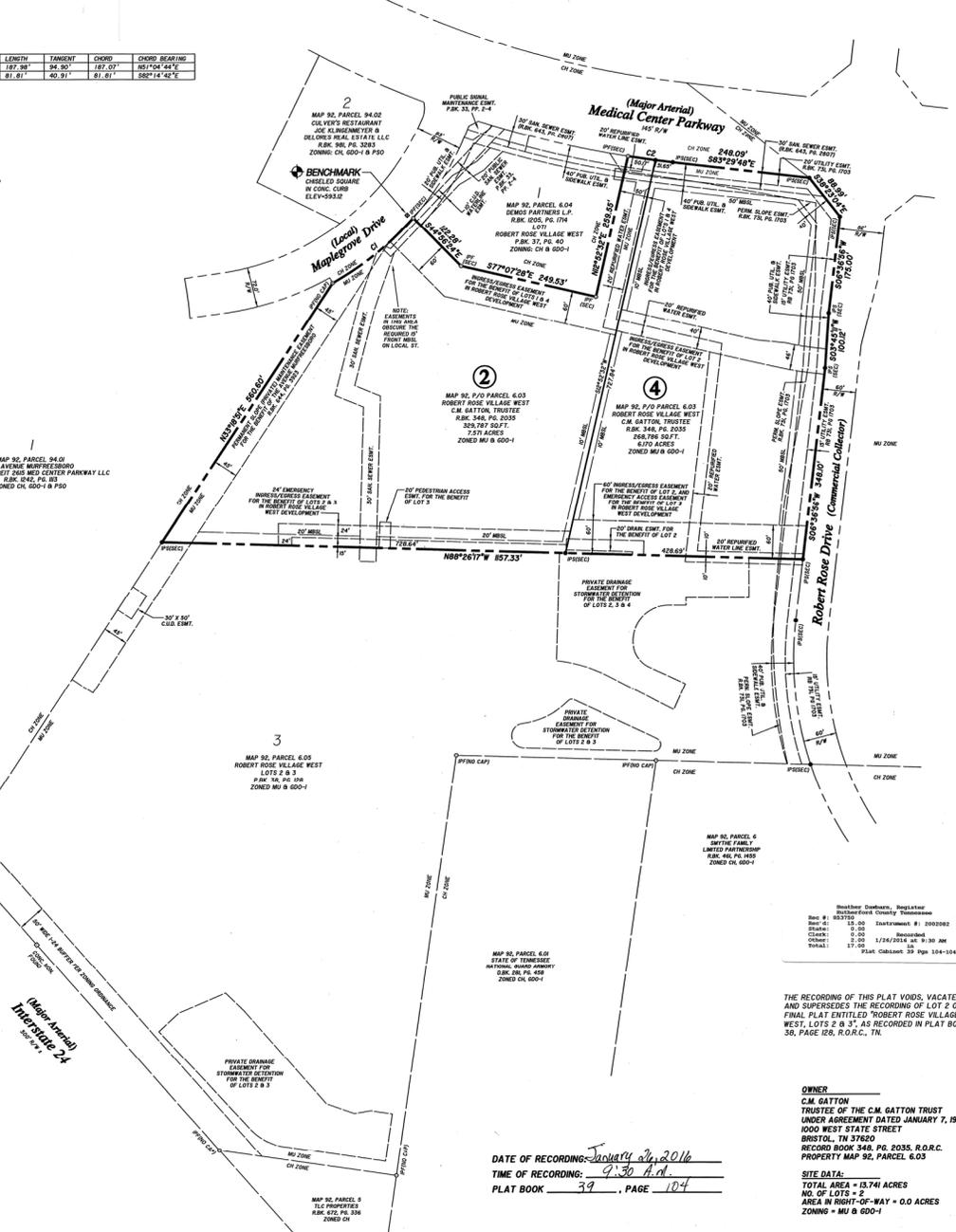
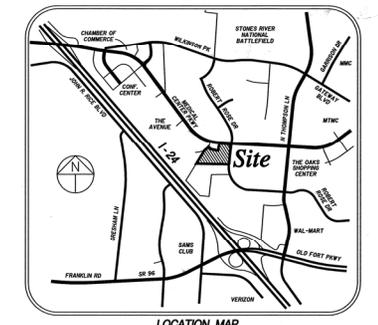
CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE: 1/21/2016 [Signature]
 PLANNING COMMISSION SECRETARY

CURVE DATA

CURVE	BEILA	ADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	1°19'37"	552.50'	187.30'	187.07'	851.08'	44.42°E
C2	2°50'17"	1875.50'	81.81'	40.91'	81.81'	326°14'42"E



- GENERAL NOTES**
- THE PURPOSE OF THIS FINAL PLAT IS TO RESUBDIVIDE LOT 2 INTO 2 LOTS.
 - BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENTS UG02-26 & UG70-04. (DAD 93-96)
 - THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATION SHOWN ON FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. 17000C02R. EFFECTIVE DATE: JANUARY 8, 2007.
 - ANY MINIMUM CRUSHED FLOOR ELEVATION SHOWN HEREON INCLUDES THE MAIN BUILDING, GARAGES AND ACCESSORY STRUCTURES.
 - THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM PUBLIC RECORDS AND FIELD SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR PREVIOUSLY EXISTED. THE LOCATION AND DEPTH OF UTILITIES SHOULD BE CONFIRMED BY THE APPLICABLE UTILITY COMPANY.
 - NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR. THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
 - LOT 2 AND LOT 4 ARE ZONED MU 8-000-1 MINIMUM BUILDING SETBACKS FOR THIS ZONING DESIGNATION ARE AS FOLLOWS:
 FRONT = 50' (ADJACENT TO MAJOR ARTERIAL & COMMERCIAL COLLECTOR STREET)
 SIDE = 10' (ADJACENT TO LOCAL STREET)
 REAR = 20' (ADJACENT TO MAJOR ROAD)
 ADDITIONAL: THIS PROPERTY IS LOCATED IN A GATEWAY DESIGN OVERLAY DISTRICT. 600-1 PROPERTY IS SUBJECT TO ANY RESTRICTIONS THAT MAY APPLY.
 - THE SOIL MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING ROAD DEVELOPMENT. THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL ENGINEER OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
 - IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE UNDERGROUND WATER SYSTEM WHICH WILL COLLECT SURFACE WATER, WITHOUT FLOODING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
 - NON-SPECIFIC PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES INCLUDING ELECTRIC, GAS, WATER, TELEVISION, AND OTHERS. COMPANIES, CONSOLIDATED UTILITY DISTRICT, CABLE TELEVISION SERVICES AND OTHERS.
 - UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. THE BUYER OR BUILDER OF THE HOME OWNER SHALL INSTALL A BACKFLOW VALVE FOR THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGREEMENT TO THE CITY OF MURFREESBORO WITH REGARD TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
 - EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEIR UNITS. SOME FUTURE CITY AGENCIES MAY BE IN CONTACT OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
 - ANY STREET IN THIS SUBDIVISION MAY BE EXTENDED INTO ADJOINING PROPERTY AT ANY TIME WITHOUT ADDITIONAL NOTICE OR CONSULTATION.
 - THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
 - PROVE TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION. THE OWNER SHALL POST A SURETY BOND TO BE A BOND TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO STORMWATER DRAINAGE IMPROVEMENTS OR CONSTRUCTION OF WATER QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
 - THIS PROPERTY LIES WITHIN THE OVERALL CREEK AND MEDICAL CENTER PARKWAY ASSESSMENT DISTRICT.
 - THIS SITE CONTAINS POST-CONSTRUCTION BEST MANAGEMENT PRACTICES UTILIZED IN TREATING STORMWATER RUNOFF IN ORDER TO COMPLY WITH MURFREESBORO CITY CODE. A STORMWATER MAINTENANCE AGREEMENT IS REQUIRED WITH THIS PROPERTY AND OBLIGATES THE SUBSEQUENT OWNER TO ENTER INTO THE STORMWATER MAINTENANCE PLAN ON FILE WITH THE CITY OF MURFREESBORO.
 - WATER SERVICE, DOMESTIC & FIRE PROTECTION, IS PROVIDED BY CUD.
 - THE DEVELOPER IS FINANCIALLY RESPONSIBLE FOR PROVIDING WATER, REPURIFIED WATER, AND SEWER SERVICE TO EACH LOT.

THE RECORDING OF THIS PLAT VACATES AND SUPERSEDES THE RECORDING OF LOT 2 ON A FINAL PLAT ENTITLED "ROBERT ROSE VILLAGE WEST, LOTS 2 & 3" AS RECORDED IN PLAT BOOK 36, PAGE 126, R.O.R.C., TN.

Sheet	Number	Dimensions	Register
Sheet #	1	12.00	12.00
Sheet #	2	12.00	12.00
Sheet #	3	12.00	12.00
Sheet #	4	12.00	12.00
Sheet #	5	12.00	12.00
Sheet #	6	12.00	12.00
Sheet #	7	12.00	12.00
Sheet #	8	12.00	12.00
Sheet #	9	12.00	12.00
Sheet #	10	12.00	12.00
Sheet #	11	12.00	12.00
Sheet #	12	12.00	12.00
Sheet #	13	12.00	12.00
Sheet #	14	12.00	12.00
Sheet #	15	12.00	12.00
Sheet #	16	12.00	12.00
Sheet #	17	12.00	12.00
Sheet #	18	12.00	12.00
Sheet #	19	12.00	12.00
Sheet #	20	12.00	12.00
Sheet #	21	12.00	12.00
Sheet #	22	12.00	12.00
Sheet #	23	12.00	12.00
Sheet #	24	12.00	12.00
Sheet #	25	12.00	12.00
Sheet #	26	12.00	12.00
Sheet #	27	12.00	12.00
Sheet #	28	12.00	12.00
Sheet #	29	12.00	12.00
Sheet #	30	12.00	12.00
Sheet #	31	12.00	12.00
Sheet #	32	12.00	12.00
Sheet #	33	12.00	12.00
Sheet #	34	12.00	12.00
Sheet #	35	12.00	12.00
Sheet #	36	12.00	12.00
Sheet #	37	12.00	12.00
Sheet #	38	12.00	12.00
Sheet #	39	12.00	12.00
Sheet #	40	12.00	12.00
Sheet #	41	12.00	12.00
Sheet #	42	12.00	12.00
Sheet #	43	12.00	12.00
Sheet #	44	12.00	12.00
Sheet #	45	12.00	12.00
Sheet #	46	12.00	12.00
Sheet #	47	12.00	12.00
Sheet #	48	12.00	12.00
Sheet #	49	12.00	12.00
Sheet #	50	12.00	12.00

DATE OF RECORDING: January 27, 2016
 TIME OF RECORDING: 9:30 A.M.
 PLAT BOOK: 39, PAGE 104

OWNER
 C.M. GATTON
 TRUSTEE OF THE C.M. GATTON TRUST
 UNDER AGREEMENT DATED JANUARY 7, 1995
 1000 WEST STATE STREET
 BRISTOL, TN 37620
 RECORD BOOK 346, PG. 2035, R.O.R.C.
 PROPERTY MAP 92, PARCEL 6,03

SITE DATA:
 TOTAL AREA = 13.741 ACRES
 NO. OF LOTS = 2
 AREA IN RIGHT-OF-WAY = 0.0 ACRES
 ZONING = MU 8-000-1

FINAL PLAT

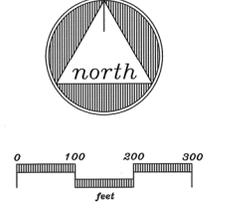
Resubdivision of Lot 2
Robert Rose Village West
 SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE
 13th CIVIL DISTRICT OF RUTHERFORD COUNTY

SEC, Inc. **SITE ENGINEERING CONSULTANTS**

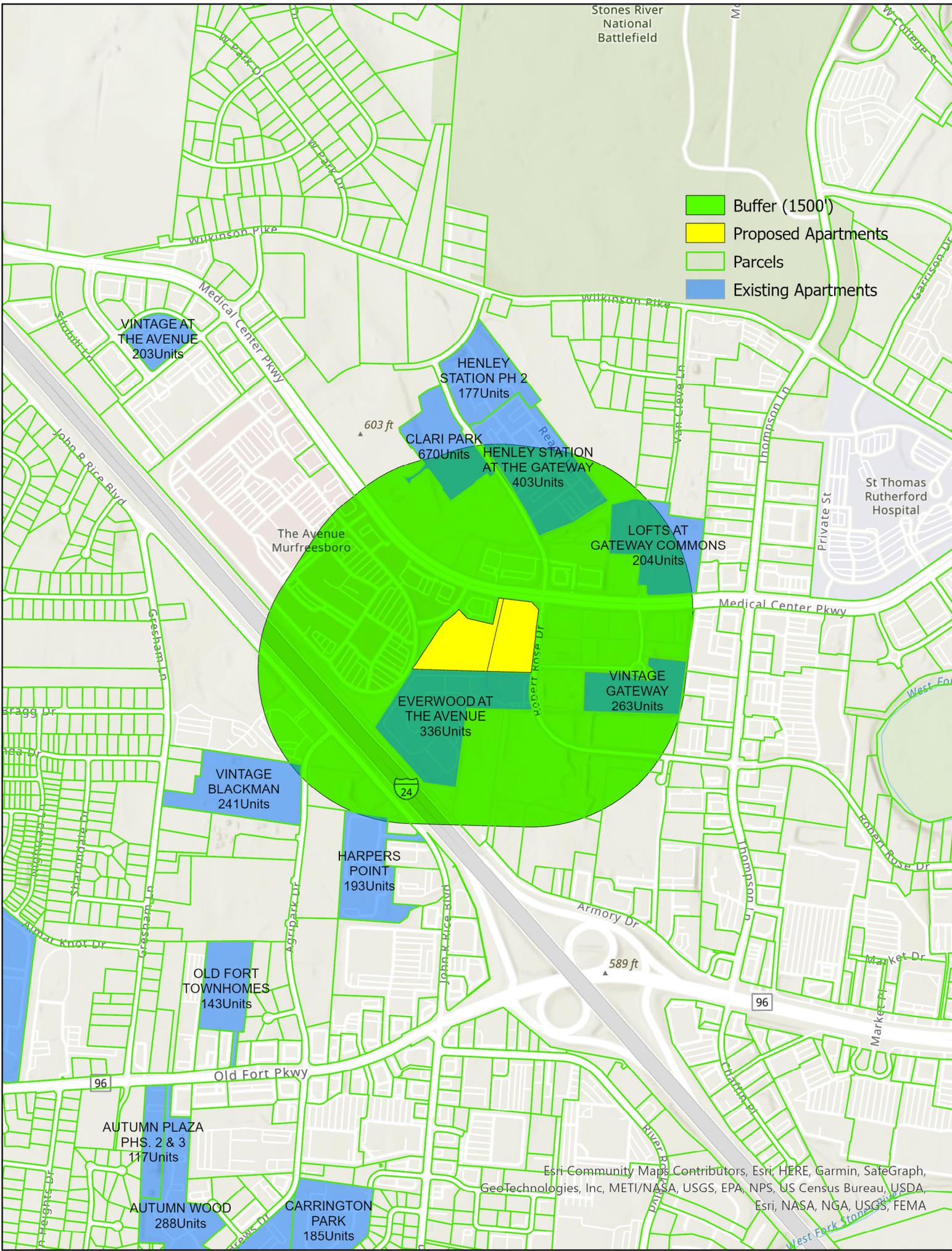
ENGINEERING • SURVEYING • LAND PLANNING
 800 MOBILE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37209
 PHONE (615) 893-7900 • FAX (615) 893-2567

PROJ. #	DATE: 7-02-10	FILE:	DRAWN BY:	SCALE:	SHEET #
080	REV: 1-15-16	REV: 08/04/10/12/13/14	ACAD/PLG	1" = 100'	OF 1



- LEGEND**
- IRON PIN (P UGARD)
 - IRON PIN SET (NEW)
 - CONC. MONUMENT (FOUND)

15-2018



Stones River National Battlefield

St Thomas Rutherford Hospital

TDK CORPORATE HEADQUARTERS / VINTAGE "MIXED USE"

A REQUEST FOR AN AMENDMENT TO AN EXISTING PLANNED UNIT DISTRICT
Murfreesboro, Tennessee

Initial Submittal
August 17th, 2023

Resubmitted
September 27th, 2023 for the
October 11th Planning Commission Public Hearing



SEC, Inc.

SEC Project #09110



CENTRIC
ARCHITECTURE



Company Name: SEC, Inc.
 Profession: Planning.Engineering.Landscape Architecture
 Attn: Rob Molchan / Matt Taylor
 Phone: (615) 890-7901
 Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com
 Web: www.sec-civil.com

850 Middle Tennessee Blvd.
 Murfreesboro, Tennessee 37129



Company Name: TDK Construction
 Profession: Builder
 Attn: Ross Bradley
 Phone: (615) 895-8743
 Email: RBradley@tdkconstruction.com
 Web: www.tdkconstruction.com

1610 South Church Street Suite C
 Murfreesboro, Tennessee 37130



Company Name: Gamble Design Collaborative
 Profession: Landscape Architect/Development Planner
 Attn: Jeff Rosiak
 Phone: (615) 545-4121
 Email: jeff@gdc-tn.com
 Web: gdc-tn.com

3020 Stansberry Lane, Suite 201
 Franklin, Tennessee 37069

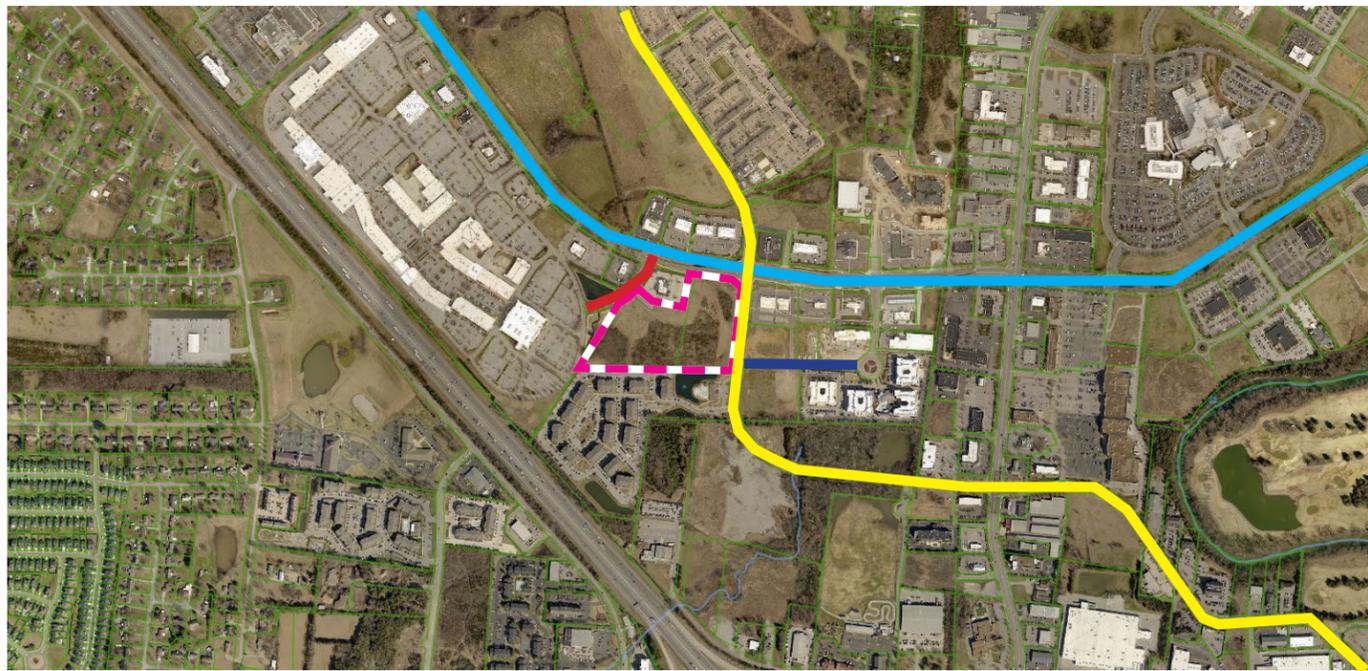


Company Name: Centric Architecture
 Profession: Architect
 Attn: Gina Emmanuel
 Phone: (615) 243-4663
 Email: gemmanuel@centricarchitecture.com
 Web: www.centricarchitecture.com

1206 Buchanan Street
 Nashville, Tennessee 37208

TABLE OF CONTENTS 02
 PROJECT SYNOPSIS & MAJOR THOROUGHFARE PLAN 03
 SUBDIVISION MAP & ZONING MAP 04
 UTILITY MAP & HYDROLOGY AND TOPOGRAPHY 05
 ON-SITE & OFF-SITE PHOTOGRAPHY 06
 CONCEPTUAL SITE AND LANDSCAPE PLAN 07-10
 CONCEPTUAL PHASING PLAN & PARKING ASSESSMENT 11-14
 DEVELOPMENT STANDARDS & ALLOWABLE USES 15
 ARCHITECTURAL CHARACTERISTICS 16-23
 AMENITIES & LANDSCAPE STANDARDS 24-28
 INGRESS AND EGRESS 29
 STREET SCAPE 30
 ARTICLE 13: SUBSECTION 2B 31
 EXCEPTION SUMMARY PAGE 32
 EXCEPTION EXHIBITS 33-36

© Copyright 2023, Site Engineering Consultants, Inc. (SEC, Inc.)
 This document shall not be reproduced, modified, published, or used in any way or form of media/print
 without the expressed written consent of Site Engineering Consultants, Inc.



AERIAL PHOTOGRAPH

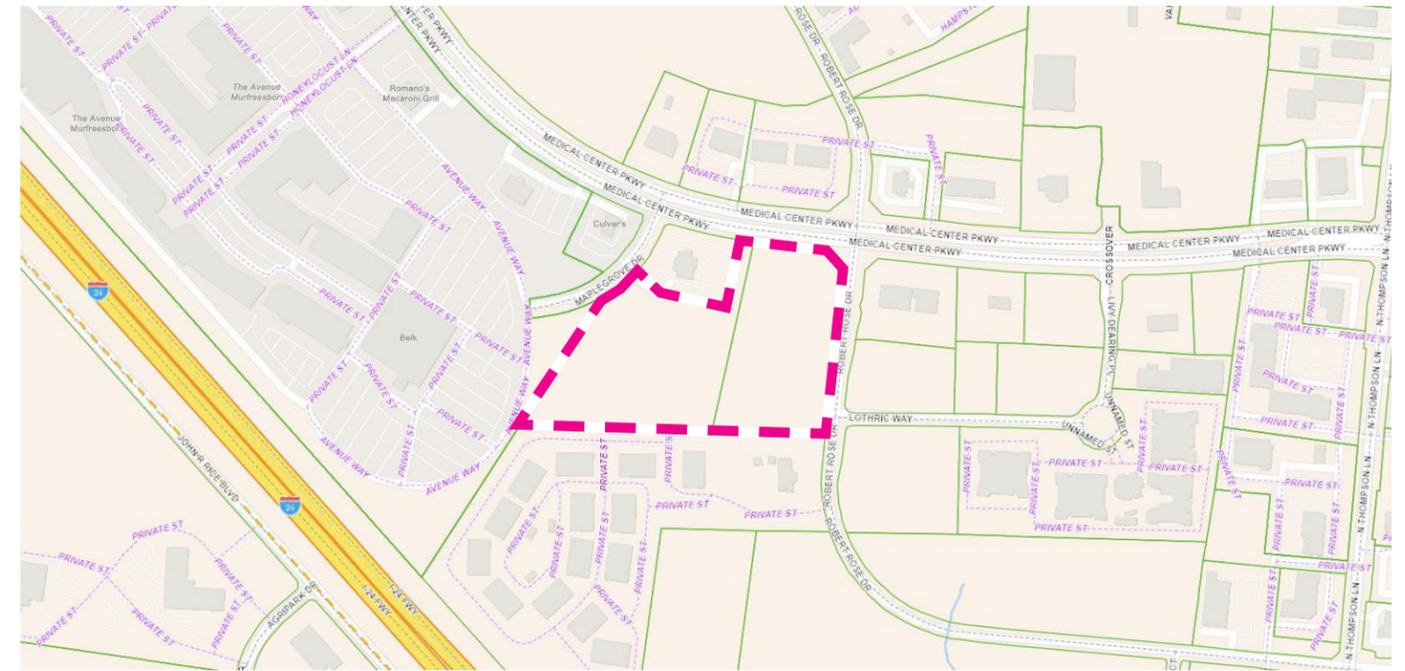
Not To Scale 

-  Medical Center Parkway
-  Robert Rose Drive
-  Maple Grove Drive
-  Lothric Way



TDK Construction, LLC respectfully requests an amendment to the existing TDK Corporate Headquarters / Vintage “Mixed Use” PUD. The property is located south of Medical Center Parkway and west of Robert Rose Drive. The site is identified as Parcel 6.06 of Tax Map 92 and Parcel 6.03 of Tax Map 92 and is approximately 13.74 acres. With this amendment, the 2.49 acres of land originally rezoned to Commercial Highway (CH) will be rezoned to PUD and included as part of the overall development. The PUD shall be split into 3 distinct parcels; a Residential/Mixed Use Parcel (8.46 AC), an Office/Retail/Restaurant Parcel (1.79 AC), and a Corner Commercial Parcel (2.39 AC). A Common Space Access Drive shall be created between the three parcels and maintained via a Property Owners Association (POA) (1.10 AC).

The proposed development shall include a mixture of uses including residential, office, and retail. The residential luxury apartments ranging from one bedroom to two bedrooms shall be provided within buildings A-D and shall contain a maximum of 232 residential units. These apartments shall offer amenities such as valet trash services, a fitness center, private conference spaces, elevators, and centralized courtyard providing a myriad amount of additional amenities. At street level (1st floor), these buildings will contain between 13,000 and 15,000 square feet of office/retail/restaurant space, and shall provide intermittent outdoor seating areas for restaurants/shops, thus expanding upon the urban store front found commonly within the Medical Center Parkway area and The Avenue’s outdoor shopping area. An additional 1-5 story building shall provide a mix of office, retail, and restaurant space consisting of 20,000-65,000 square feet with a minimum of 12,000 square feet of office. A commercial building shall be constructed at the intersection of Medical Center Parkway and Robert Rose Drive and shall not exceed 14,500 square feet. Heights of the surrounding structures have been considered to avoid overshadowing existing adjacent properties. The proposed apartment buildings shall have a maximum height of 65’, the proposed corner commercial building shall have a maximum height of 35’, and the office building shall have a maximum height of 80’. The articulating facade of the buildings will add variety and character to the area. The building facades shall be constructed of primarily masonry materials to echo the surrounding Gateway character. Sidewalks have been provided throughout the development to promote pedestrian connectivity.

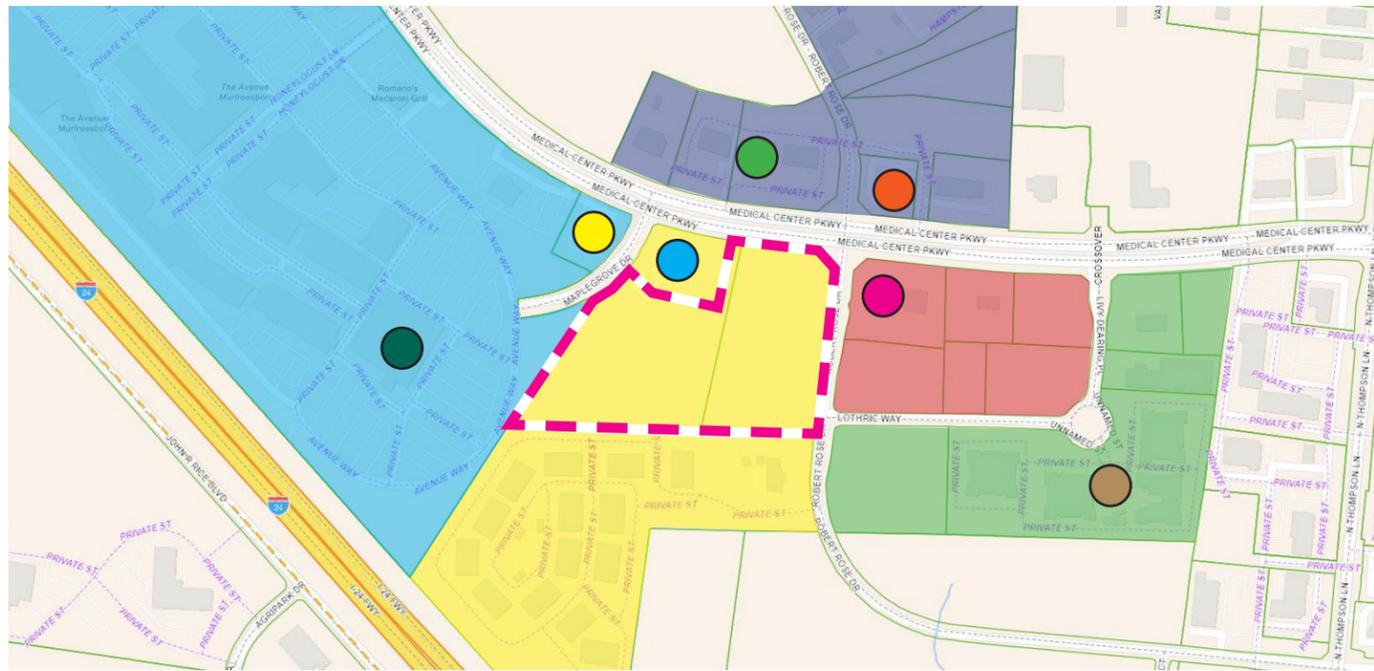


MAJOR THOROUGHFARE PLAN

Not To Scale 



The property has/will have access to the existing public rights-of-way of Robert Rose Drive through two entrances, Medical Center Parkway through one entrance, and Maple Grove Drive through one entrance. There is an additional entrance connecting to Avenue Way, which is a private roadway to the west which serves as a major circulation roadway for The Avenue. No roadways impacted by this development are on the City of Murfreesboro Major Thoroughfare Plan. The primary Roadway that will be affected by this development is Robert Rose Drive, which is currently built as a two-lane roadway with a central turnlane.



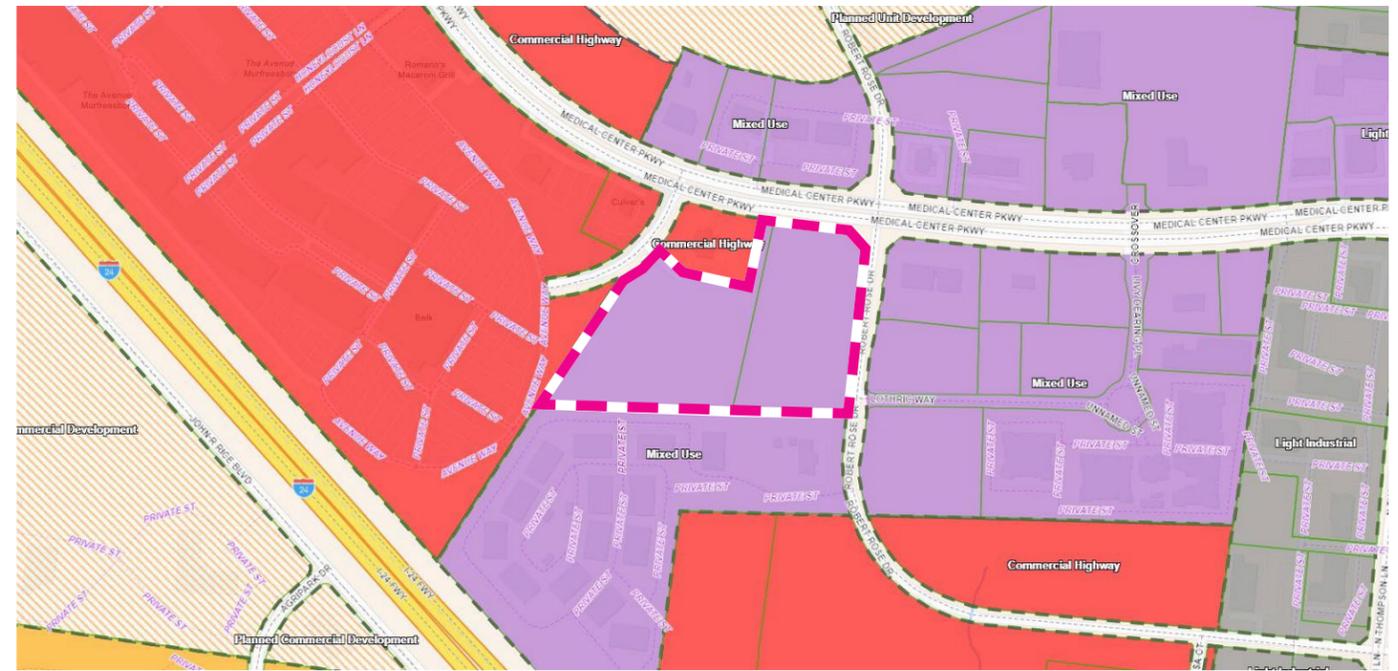
SUBDIVISION MAP

Not To Scale

- | | | | |
|--------------------------|--------------------|------------------|----------------------|
| The Avenue | Vintage Gateway | McAlister's Deli | Mission BBQ |
| Robert Rose Village West | North Church LLC I | Culver's | Volunteer State Bank |
| Robert Rose Village East | The Vintage | PM Pediatrics | Belk |
- Site Boundary

TDK Corporate Headquarters / Vintage “Mixed Use” is surrounded by a mixture of residential, retail, restaurants, and office uses. Directly to the south of the property is the remainder of the Robert Rose Village West subdivision. This property serves as an apartment complex called Everwood at the Avenue. This apartment complex consists of three-story apartment buildings. The elevations of these buildings are primarily brick with alternating colors and patterns to add a sense of architectural diversity. The Avenue, a major center for retail and restaurants, is located to the west of this development. All buildings within The Avenue are constructed of primarily masonry materials and share various outdoor spaces designed for pedestrian seating and walkability. North Church LLC I is a subdivision north of this development with a mixture of retail, office, restaurant, and residential land uses. The commercial land uses are fronting onto Medical Center Parkway, and the residential use is to the north along Robert Rose Drive. This residential use makes up the LC Murfreesboro apartment complex. This complex consists of single-family attached apartments for rent. The elevations of these building consist of primarily masonry material with brick along all facades and vinyl on internal elevations. Robert Rose Village East is to the east of this development and consists of primarily restaurant and retail uses with a hotel at the rear. All commercial buildings within this development are made of primarily masonry materials. The Vintage is an apartment complex to the east within the Robert Rose Village East subdivision. This apartment complex consists of 4-story buildings with primarily masonry materials along all facades. The development has one point of ingress/egress onto Lothric Way’s roundabout. The apartment complex hosts a series of amenities, including a rooftop terrace & lounge, a pet park, a pool with a sundeck, grilling stations, and a fitness center. The amenities within this apartment complex closely match those being proposed within this rezoning.

The majority of uses surrounding TDK Corporate Headquarters / Vintage “Mixed Use” are apartment style living and restaurant/retail services with spaces designed for pedestrian connectivity and walkability. The proposed development matches the surrounding land uses as well as the character of the Gateway District.



ZONING MAP

Not To Scale

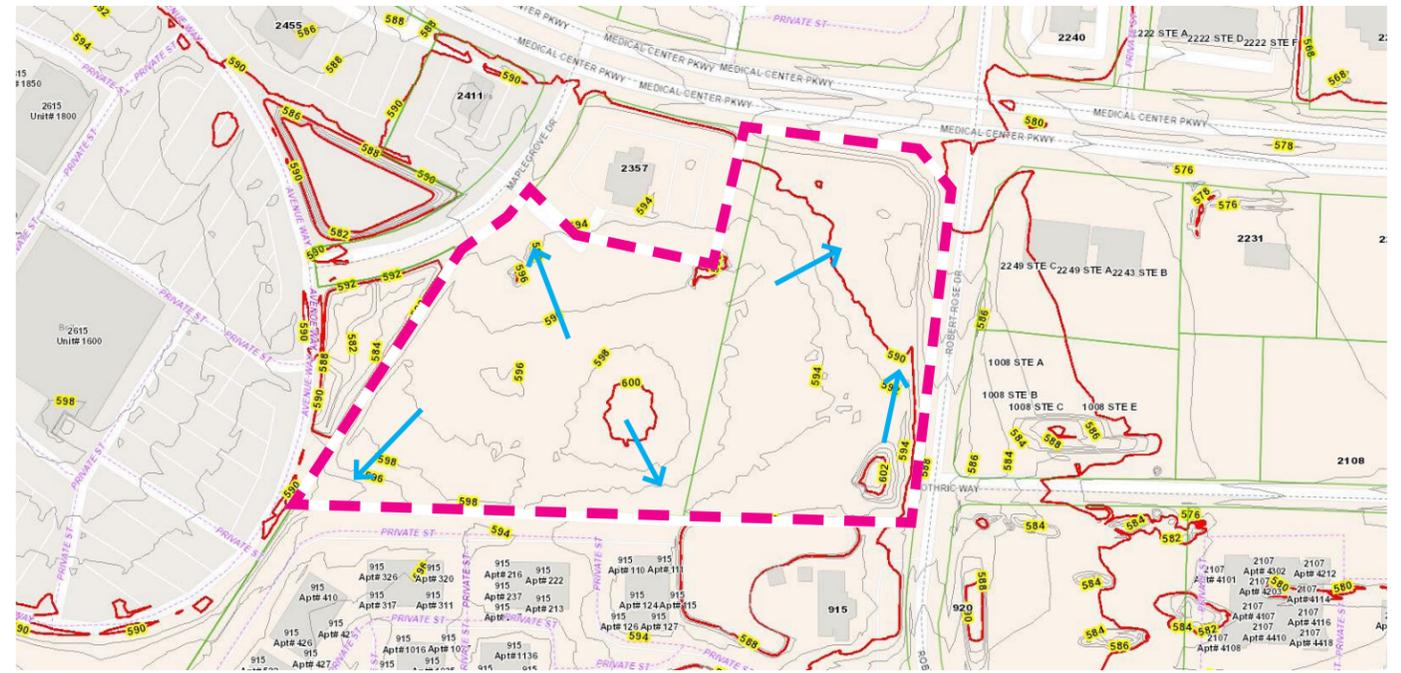
- | | |
|-----|--------------------------------------|
| CH | Commercial Highway (CH) |
| MU | Mixed Use (MU) |
| LI | Light Industrial (LI) |
| PCD | Planned Commercial Development (PCD) |
| PUD | Planned Unit District (PUD) |
- Site Boundary

The surrounding area consists of a mixture of zoning types and uses. The lands to the south, north, and east are zoned Mixed Use (MU). The land to the west is zoned for Commercial Highway (CH). The site is also within the City Gateway Design District (GDO-1). The proposed PUD’s mix of uses will be a addition to the existing character of the area and will help to bridge the gap of pedestrian facilities between the Mixed Use and the Commercial Highway sectors of the area.



UTILITY MAP

Not To Scale



HYDROLOGY AND TOPOGRAPHY

Not To Scale



Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 12" PVC line within the R.O.W. of Medical Center Parkway as well as an existing 8" PVC line within the western portion of the site. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property.



Water service will be provided by the Consolidated Utility District. There is an existing 12 inch water line along Medical Center Parkway and Robert Rose Village Drive as well as an existing repurified waterline exists along Medical Center Parkway and Robert Rose Drive as well. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Electric service will be provided by Middle Tennessee Electric. Service will be extended from Medical Center Parkway and Robert Rose Drive. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.

The topographic map above shows the site's topographic high point generally at the south perimeter of the property. From this high point, the property drains towards the northwest, northeast, and southwest. All stormwater on site flows towards existing roadway drainage systems which surrounding the property.

No portions of this site are within a floodway or floodplain per FEMA flood panel 47149C0260J eff. 05/09/2023 and FEMA flood panel 47149C0225J eff. 05/09/2023.

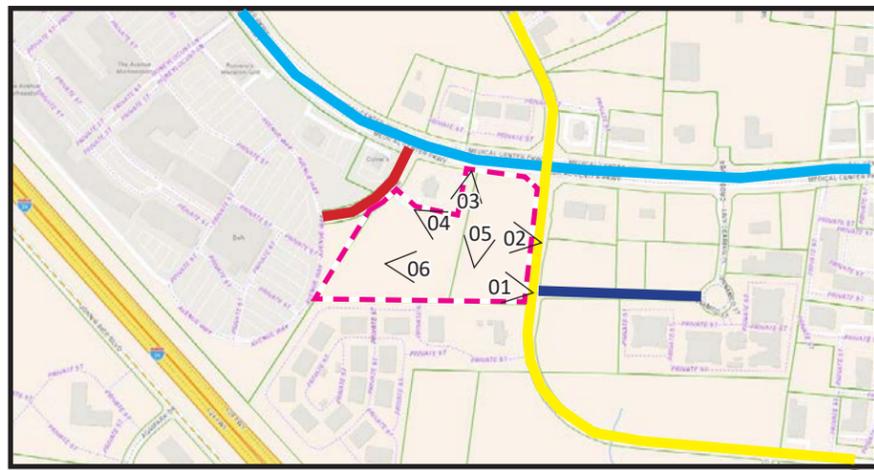
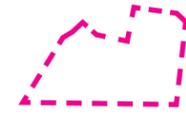


PHOTO DIRECTION MAP

Not To Scale

- Medical Center Parkway
- Robert Rose Drive
- Maple Grove Drive
- Lothric Way



Site Boundary

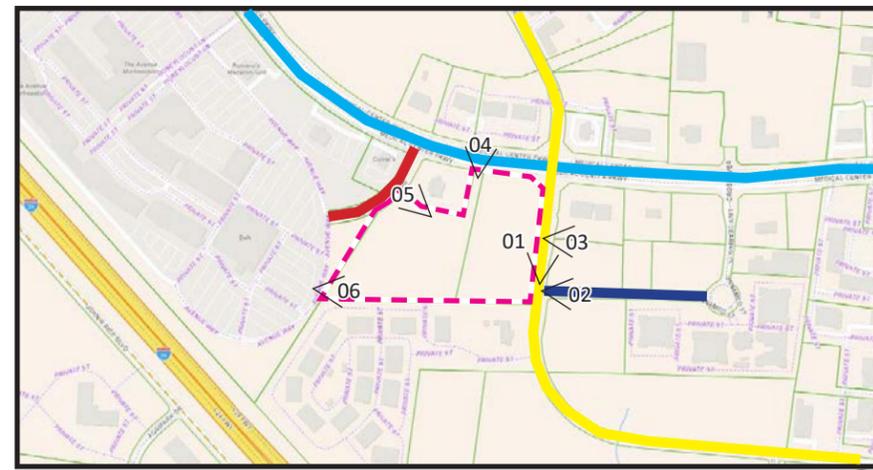


PHOTO DIRECTION MAP

Not To Scale

- Medical Center Parkway
- Robert Rose Drive
- Maple Grove Drive
- Lothric Way



Site Boundary



Total Land Area:	±13.74 Acres
Corner Commercial Land Area:	±2.39 Acres
Common Access Drive Land Area:	±1.10 Acres
Office/Retail/Restaurant Land Area:	±1.79 Acres
Residential/Mixed Use Land Area:	±8.46 Acres
Total Number of 1-BDR Units:	138 Units
Total Number of 2-BDR Units:	94 Units
Maximum Number of Units:	232 Units
Density: 232 Units/8.46 Acres =	±27.42 Units/Acre

Open Space:	
Required Overall Open Space:	±2.75 Acres (20%)
Provided Overall Open Space:	±2.75 Acres (20%)
Required Overall Formal Open Space:	±0.54 Acres (4%)
Provided Overall Formal Open Space:	±0.54 Acres (4%)

Notes:

- Stormwater will be handled via underground detention and utilization of the existing stormwater pond to the south within the Everwood Apartment Complex.

-  Proposed Buildings
-  Open Space

The central courtyard area shall be fenced in and access shall be restricted to residence of the facility. Locking mechanisms for this area will be similar to those provided with typical subdivision pools. Additionally, life safety access will be provided for emergencies.



Lot 1 Land Area: ±8.46 Acres
 Proposed Building A Area: 77,000 SF
 Proposed Building B Area: 98,500 SF
 Proposed Building C Area: 54,600 SF
 Proposed Building D Area: 89,000 SF

Parking Requirements:
 1 B.R. (138 X 1 B.R.)= 138 B.R.'s
 138 Total B.R.'S X 1.1 spaces/B.R. = 152 Spaces

 2 B.R. (94 X 2 B.R.)= 188 B.R.'s
 188 Total B.R.'S X 1.1 Spaces/B.R. = 207 Spaces

Commercial Center (Not to Exceed 15,000 SF)
 1 Space/225 SF = 67 Spaces
Total Parking Spaces Required: 426 Spaces
Total Park Spaces Provided: 525 Spaces (+99 Spaces)

Open Space:
 Required Overall Open Space: ±2.75 Acres (20%)
 Provided Overall Open Space: ±2.75 Acres (20%)
 Required Overall Formal Open Space: ±0.54 Acres (4%)
 Provided Overall Formal Open Space: ±0.54 Acres (4%)

Notes:
 1. Stormwater will be handled via underground detention and utilization of the existing stormwater pond to the south within the Everwood Apartment Complex.

- Proposed Buildings
- Open Space

The central courtyard area shall be fenced in and access shall be restricted to residence of the facility. Locking mechanisms for this area will be similar to those provided with typical subdivision pools. Additionally, life safety access will be provided for emergencies.



Lot 2 Land Area: ±1.79 Acres
 Proposed Building Area: 20,000- 65,000 SF
 Parking Requirements:
 1 Space/300 SF of Building = 217 Spaces
 Total Park Spaces Provided: 92 Spaces (-125 Spaces)

Open Space:
 Required Overall Open Space: ±2.75 Acres (20%)
 Provided Overall Open Space: ±2.75 Acres (20%)
 Required Overall Formal Open Space: ±0.54 Acres (4%)
 Provided Overall Formal Open Space: ±0.54 Acres (4%)

Notes:

- Stormwater will be handled via underground detention and utilization of the existing stormwater pond to the south within the Everwood Apartment Complex.

-  Proposed Buildings
-  Open Space



Lot 3 Land Area: ±2.39 Acres
 Proposed Building Area: Not to Exceed 14,500 SF
 Parking Requirements:
 1 Space/300 SF of Building = 48 Spaces
 Total Park Spaces Provided: 122 Spaces (+74 Spaces)

Open Space:
 Required Overall Open Space: ±2.75 Acres (20%)
 Provided Overall Open Space: ±2.75 Acres (20%)
 Required Overall Formal Open Space: ±0.54 Acres (4%)
 Provided Overall Formal Open Space: ±0.54 Acres (4%)

Notes:

- Stormwater will be handled via underground detention and utilization of the existing stormwater pond to the south within the Everwood Apartment Complex.
- See Pages 32 and 36 for requested exception to formalized open space.

- Proposed Buildings
- Open Space

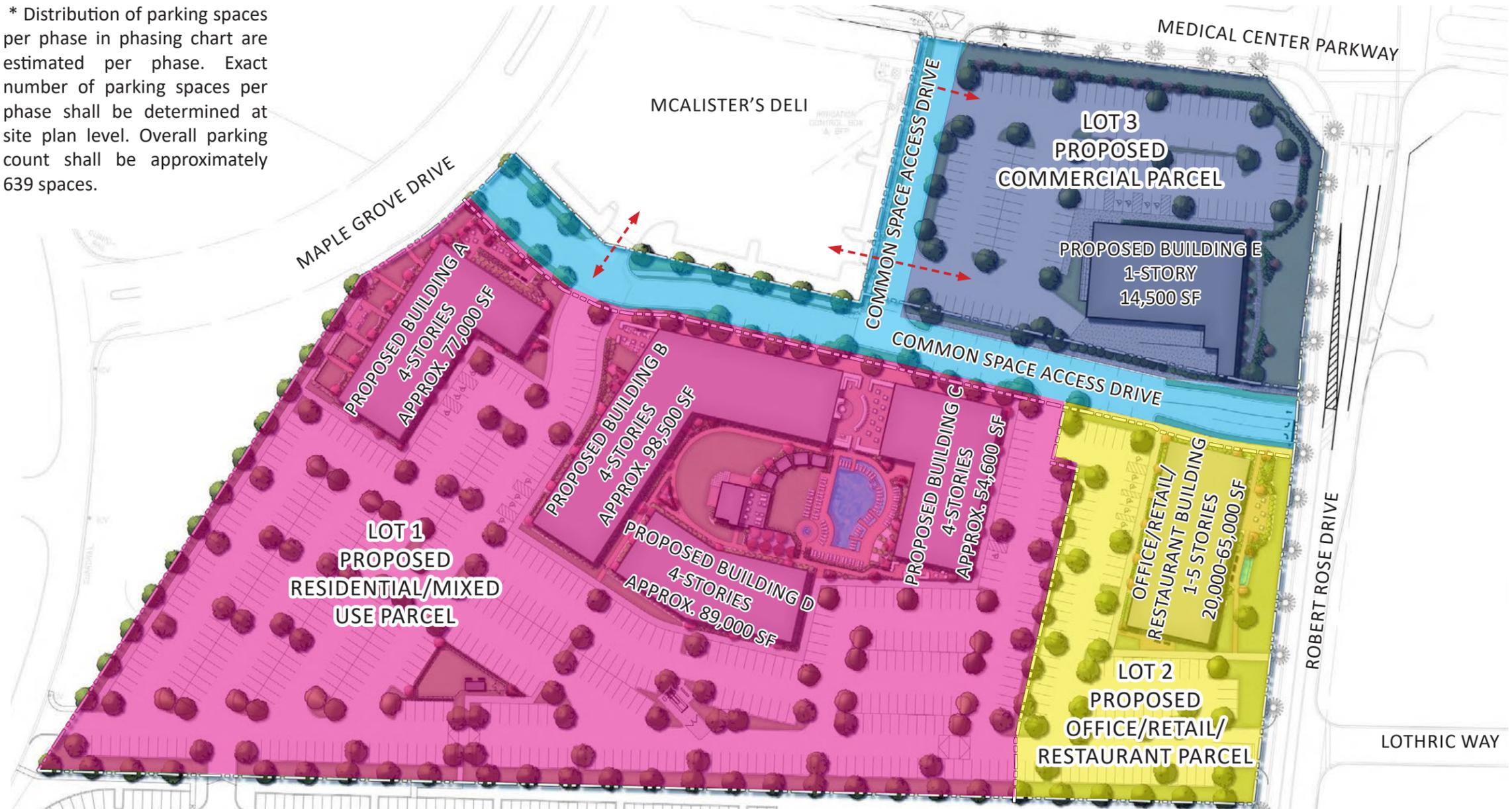


Phasing may be started and completed in any order, and the provided phasing plans intend to show the common space access drive and applicable building parcel construction area in each phase.

- Common Space Access Drive
- Residential/Mixed Use Parcel (Lot 1)
- Office/Retail/Restaurant Parcel (Lot 2)
- Commercial Corner Parcel (Lot 3)

- The project is anticipated to be built in 3 distinct parcels/phases.
- Phase 1 will include all roadway improvements proposed for this site and all public road improvements.
- Construction of Phase 1 is anticipated to begin within 180 days after the completion of the rezoning process.
- Phases will be market driven
- All amenities and open spaces shall be constructed within the phase they are shown and must be operational prior to the recording of the final section's plat.
- All parcels shall have access to this drive through an access easement.
- The common space access drive shall be constructed with whichever phase is started first.

* Distribution of parking spaces per phase in phasing chart are estimated per phase. Exact number of parking spaces per phase shall be determined at site plan level. Overall parking count shall be approximately 639 spaces.



OVERALL PARKING REQUIREMENT:

LOT 1 - RESIDENTIAL UNITS	
1 B.R. (138 X 1 B.R.)= 138 B.R.'S	
138 TOTAL B.R.'S X 1.1 SPACES REQ'D/B.R.	= 152 SPACES REQUIRED
2 B.R. (94 X 2 B.R.)= 188 B.R.'S	
188 TOTAL B.R.'S X 1.1 SPACES REQ'D/B.R.	= 207 SPACES REQUIRED
LOT 1 - COMMERCIAL CENTER	
NOT TO EXCEED 15,000 SQ.FT. X 1/225 SQ.FT.	= 67 SPACES REQUIRED
LOT 2 OFFICE/RETAIL/RESTAURANT SPACE	
BETWEEN 20,000 AND 65,000 SQ.FT X 1/300 SQ.FT.	= 217 SPACES REQUIRED
TOTAL REQUIRED SPACES	= 643 SPACE
PROVIDED SPACES	= 645 SPACES (523 STANDARD SPACES + 22 PARALLEL SPACES + 100 COMPACT SPACES) + AN ADDITIONAL 16 H.C. SPACES
LOT 3 - COMMERCIAL HIGHWAY CENTER	
NOT TO EXCEED 14,500 SQ.FT. X 1/300 SQ.FT.	= 48 SPACES REQUIRED
PROVIDED SPACES	= 122 SPACES + AN ADDITIONAL 5 H.C. SPACES



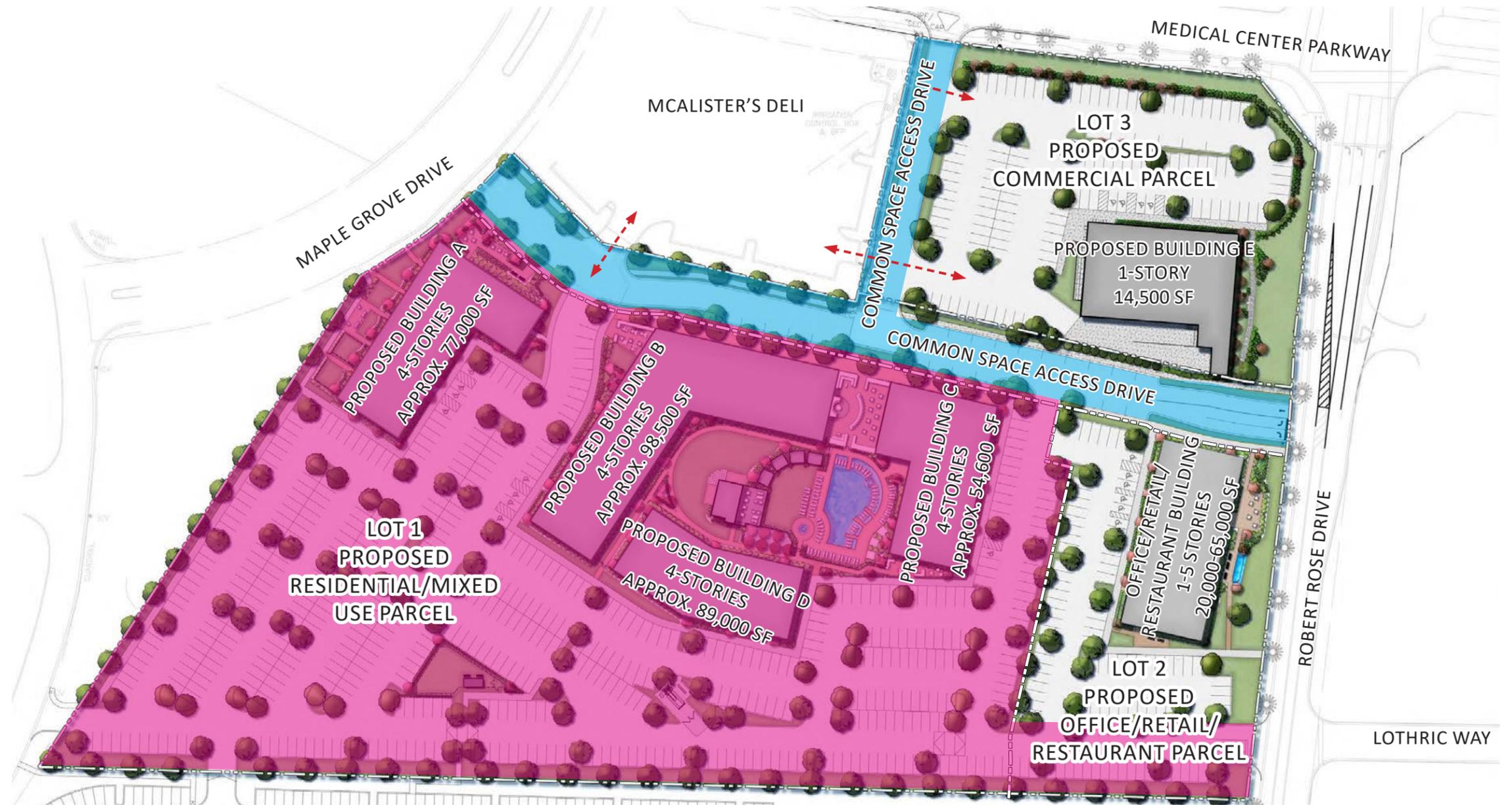
Phasing Plan (Lot 1 - Residential/Mixed Use):

Standard Spaces Provided: 455 Spaces
Compact Spaces Provided: 100 Spaces
Parallel Spaces Provided: 22 Spaces
Total Parking Provided: 577 Spaces

HC Spaces Provided: +10 Spaces

*Parallel parking spaces to be provided along common space shared access drive.

-  Common Space Access Drive
-  Residential/Mixed Use Parcel (Lot 1)



Phasing Plan (Lot 2 - Office/Retail/Restaurant):

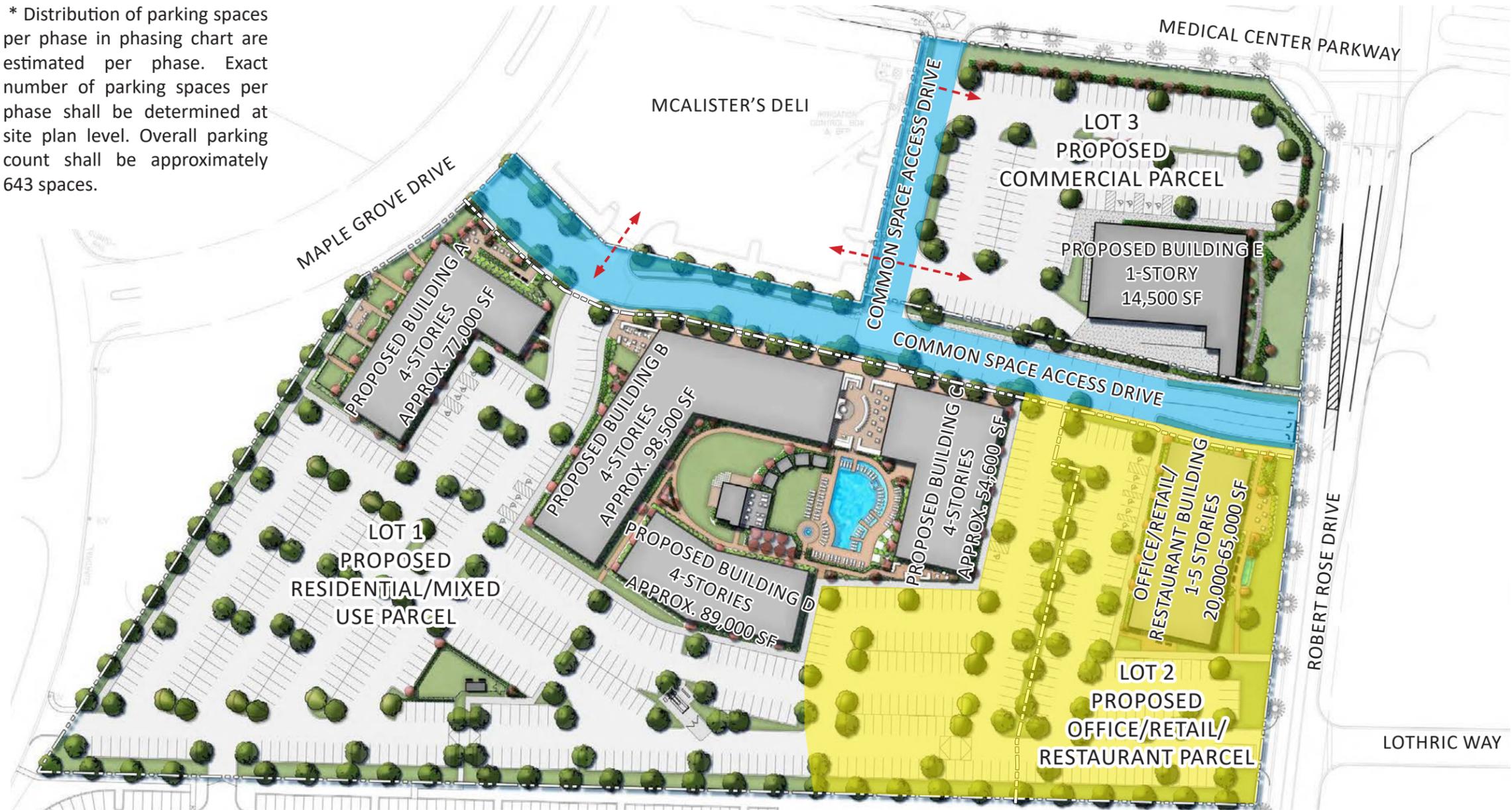
Standard Spaces Provided: 157 Spaces
Compact Spaces Provided: 65 Spaces
Parallel Spaces Provided: 22 Spaces
Total Parking Provided: 242 Spaces

HC Spaces Provided: +8 Spaces

*Parallel parking spaces to be provided along common space shared access drive.

-  Common Space Access Drive
-  Office/Retail/Restaurant Parcel (Lot 2)

* Distribution of parking spaces per phase in phasing chart are estimated per phase. Exact number of parking spaces per phase shall be determined at site plan level. Overall parking count shall be approximately 643 spaces.



Phasing Plan (Lot 3 - Corner Commercial):

Standard Spaces Provided: 122 Spaces
HC Spaces Provided: 5 Spaces
Parallel Spaces Provided: 22 Spaces
Total Parking Provided: 149 Spaces

*Parallel parking spaces to be provided along common space shared access drive.

-  Common Space Access Drive
-  Commercial Corner Parcel (Lot 3)



PUD Standards:

- 6 Proposed Buildings on 4 lots of record
 - Lot 1
 - Proposed Building A (4-Stories) - Mixed Use (Residential, Office, Retail)
 - Proposed Building B (4-Stories) - Mixed Use (Residential, Office, Retail)
 - Proposed Building C (4-Stories) - Mixed Use (Residential, Office, Retail)
 - Combined first floor retail from buildings A,B, and C shall be between 13,000 and 15,000 square feet
 - Proposed Building D (4-Stories) - Residential
 - Combined residential units for all buildings shall contain a maximum of 232 units.
 - Lot 2
 - Proposed Office/Retail/Restaurant Building (1-5 Stories)
 - 20,000-65,000 square feet with a minimum of 12,000 square feet of office
 - Lot 3
 - Proposed Commercial Highway Building (1-Story)
- Mixed-Use (Lot 1) and Office/Retail/Restaurant (Lot 2) will have a recorded shared parking agreement executed
- All residential units shall have a minimum one bedroom
- Each unit will be for rent
- All mechanical equipment (i.e. HVAC and transformers) to be screened
- HVAC units will be located on the roof of each building and shall be screen with parapet walls.
- All on-site utilities will be underground
- Solid waste will be handled via a trash compactor and serviced by a valet trash service.
- Any solid waste enclosures will be constructed of masonry materials consistent with building architecture and be at least 8 feet tall with opaque gates and enhanced with landscaping
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed
- The fitness center building will have fire protection via a sprinkler or dry standpipe.
- Public sidewalks will be provided on both sides of all streets throughout the development to create a pedestrian friendly community
- Mail service will be provided via CBUs
- Decorative street lights will be coordinated with MTE and will meet MTE's standards for management by MTE. These same lights will be used along pedestrian routes in the development while more standard LED lights will be utilized in parking areas.
- Street lights shall match existing light structure along roadways within the Gateway District.
- Lighting internal to the site shall match existing light structures used within the Vintage Avenue & Gateway.
- All building owners will be required to be a member of the Property Owners Association (P.O.A.).
- As a member of the P.O.A., the owners will be subject to restrictive covenants, and be required to pay membership dues as determined by a 3rd party management company
- P.O.A will be managed by independent 3rd party management company
- The common areas will be owned and maintained by an P.O.A.
- All driveways and parking areas will be private and maintained by the P.O.A.
- The maintenance and upkeep of the Common Space Access drive shall be assured via a Property Owners Association (POA) between all lots.



EXAMPLE OF TRASH ENCLOSURE



EXAMPLE OF STREET LIGHT



EXAMPLE OF INTERNAL LIGHT

Lot 3 - Commercial Highway - Architectural

Characteristics:

- Building heights shall not exceed 35 feet in height
- All buildings will be 1-story
- Buildings shall have a well-defined architectural base via different materials, colors, changes in pattern, or a combination of these techniques.
- The building foundations shall be accented with a 5' wide landscaping bed along Medical Center Parkway and Robert Rose Drive. No foundation landscaping shall be provided on the south side of the building. The west side of the building shall include a minimum 5' landscape bed along the cart storage.
- Main entrances are to be well defined and easily recognizable by the use of; raised roof lines, canopies, glazing, change in materials, change in color, and/or change in building planes.
- Building exteriors shall consist of a mixture of materials and shall be varied to accentuate different elements along the building exteriors.
- All building and development signage shall be designed to the City of Murfreesboro signage guidelines.
- All architecture shall comply with the City Design Guidelines

Building Materials:

- Front Elevations: All Masonry Products
- Side Elevations: All Masonry Products
- Rear Elevations: All Masonry Products
- All Elevations: Vinyl shall not be permitted

Allowable Uses
DWELLINGS
Multi-Family
COMMERCIAL
Bakery, Retail
Bank, Branch Office
Bank, Main Office
Barber or Beauty Shop
Book or Card Shop
Business School
Business and Communication Service
Catering Establishment
Clothing Store
Coffee, Food, or Beverage Kiosk
Commercial Center
Delicatessen
Dry Cleaning Pick-Up Station
Financial Service - Excluding Cash Advance Business
Flower or Plant Store
Interior Decorator
Keys, Locksmith
Offices
Optical Dispensaries
Personal Service Establishment
Pharmacies

*Restricted uses shall be regulated through restrictive covenants

Photo Finishing
Photo Finishing Pick-Up Station
Radio, TV, or Recording Studio
Reducing and Weight Control Service
Restaurant and Carry-Out Restaurant
Restaurant, Specialty
Restaurant, Specialty-Limited
Retail Shop, other than enumerated elsewhere
Specialty Shop
INDUSTRIAL
Brewery
Food and Beverage Products except animal slaughter, stockyards, rendering, and brewery
Pottery, Figurines, and Ceramic Products
TRANSPORTATION AND PUBLIC UTILITIES
Post Office or Postal Facility
Telephone or Communication Services
OTHER
Advertising Sign
Home Occupations

Corner Commercial Parcel Prohibited Uses

- Gas Stations
- Automotive Repair
- Motor Vehicle Sales
- Car Washes
- Beer & Tobacco Store
- Liquor Store
- Convenience Store



EXAMPLE OF COMMERCIAL HIGHWAY LOT ARCHITECTURE

PUD Architectural Characteristics:

- Building heights shall not exceed 80 feet
- Buildings shall have articulation of planes to create varied facades along exteriors of all buildings.
- Building exteriors shall consist of a mixture of materials and shall be varied to accentuate different elements along the building exteriors.
- All building and development signage shall be designed to the City of Murfreesboro signage guidelines.

PUD Building Materials:

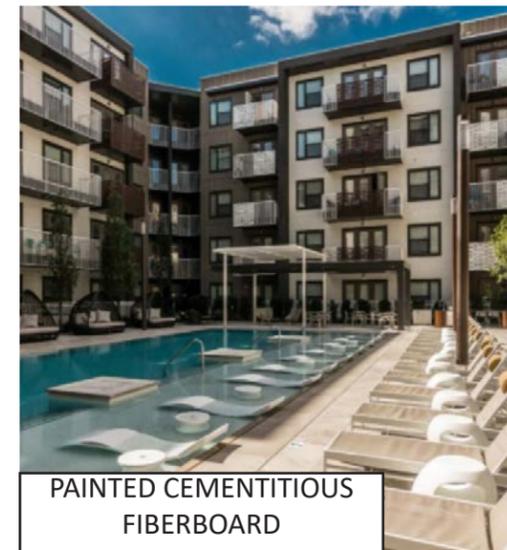
- Front Elevations: Masonry Products, Fiber Cement and/or Faux Wood Accents, Glass
 Side Elevations: Masonry Products, Fiber Cement and/or Faux Wood Accents, Glass
 Rear Elevations: Masonry Products, Fiber Cement and/or Faux Wood Accents, Glass
 All Elevations: Vinyl shall not be permitted



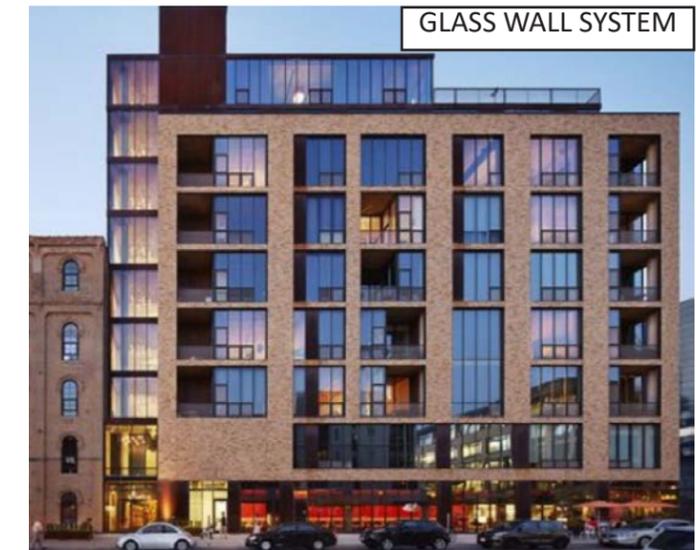
GRAY BRICK AND FAUX WOOD LOOK SIDING



CAST STONE



PAINTED CEMENTITIOUS FIBERBOARD



GLASS WALL SYSTEM



Setbacks External to the Site

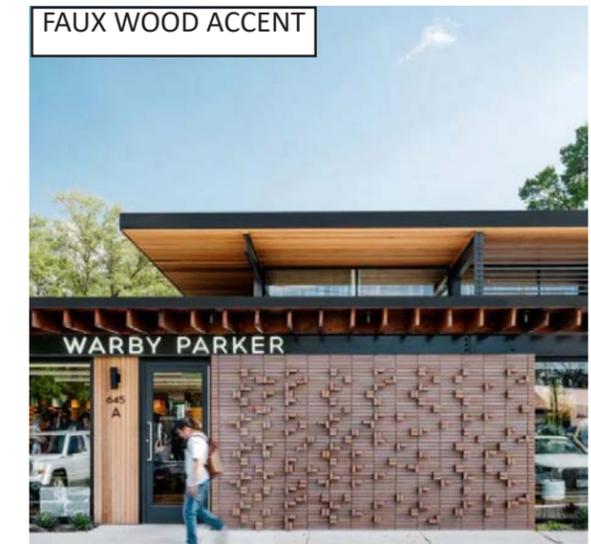
*All buildings shall be setback a minimum of 40-feet from all property lines except those which abut Maple Grove Drive. All buildings which abut Maple Grove Drive shall be setback a minimum of 15-feet

Setbacks Internal to the Site

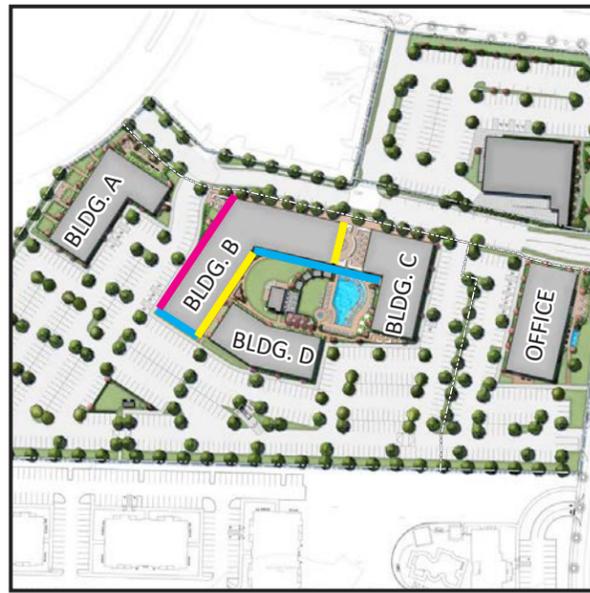
Front/Side to Back of Sidewalk:	5-feet
Side to Side:	20-feet
Side to Rear:	20-feet
Lot 1 and 3 Facade to Internal Property Lines:	10-feet
Lot 2 Facade to Internal Property Lines:	5-feet



FAUX WOOD ACCENT AT DOOR RECESSES



FAUX WOOD ACCENT



5 BUILDING B, C (CTYD) SOUTH (TOWARDS PARKING AND COURTYARD)



3 BUILDING B EAST (CTYD)



4 BUILDING B EAST (TOWARDS BUILDING C)



1 BUILDING B WEST (TOWARDS PARKING AND BUILDING A)



2 BUILDING B SOUTH ELEVATION (TOWARDS PARKING)

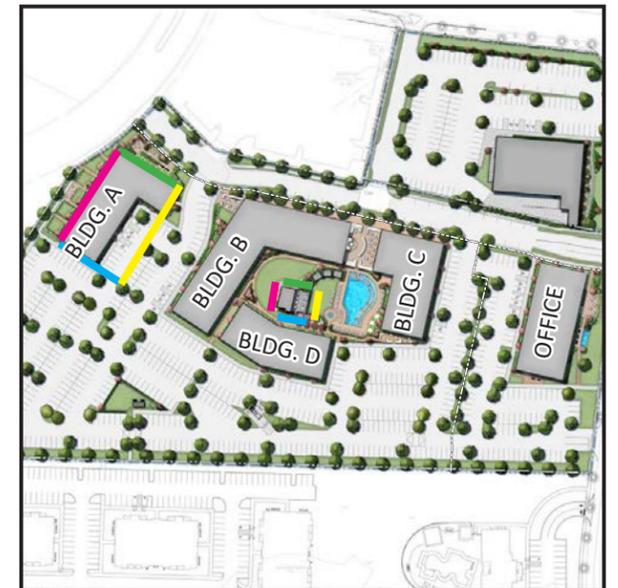


9 AMENITY BLDG - WEST

8 AMENITY BLDG - SOUTH

7 AMENITY BLDG - EAST

6 AMENITY BLDG - NORTH



4 BUILDING A SOUTH 2 (TOWARDS PARKING)



3 BUILDING A EAST (TOWARDS BUILDING B)



2 BUILDING A NORTH (TOWARDS McALISTER'S DELI)



1 BUILDING A WEST (TOWARDS THE AVENUE)



6 BUILDING D WEST (TOWARDS BUILDING B)



5 BUILDING D NORTH (CTYD) 2 (TOWARDS COURTYARD)



4 BUILDING D NORTH (CTYD) (TOWARDS COURTYARD)



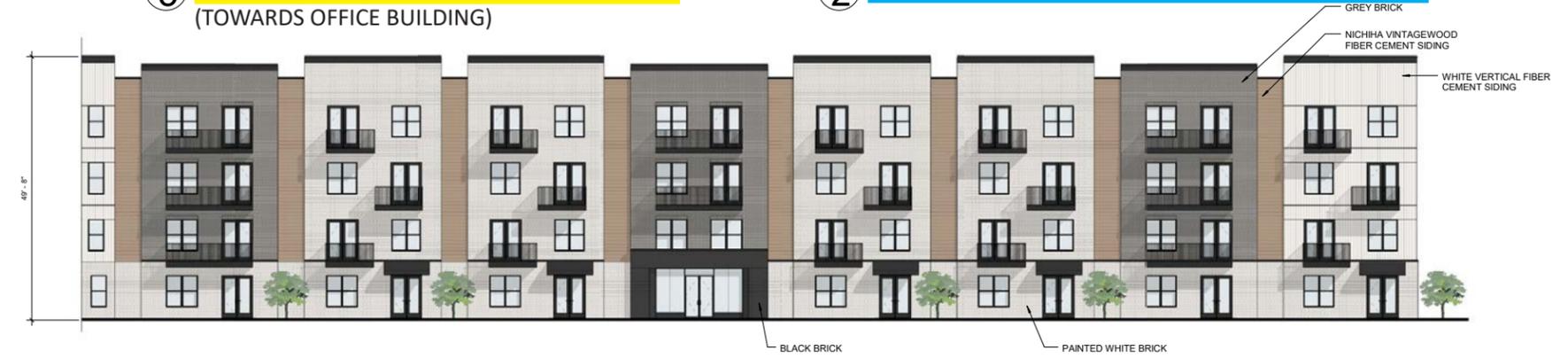
3 BUILDING D EAST ELEVATION (TOWARDS OFFICE BUILDING)



2 BUILDING D SOUTH 1 (TOWARDS PARKING)

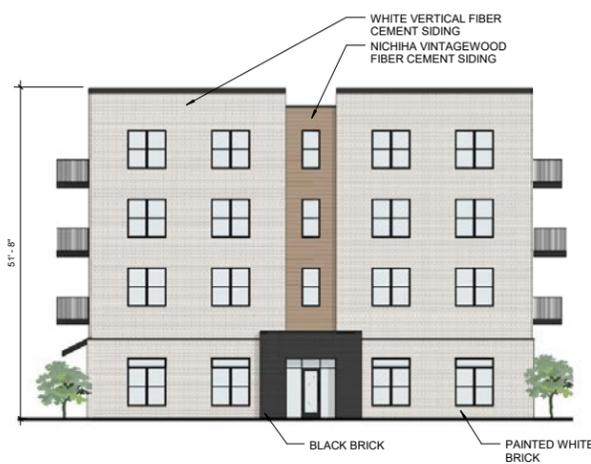


1 BUILDING D SOUTH 2 (TOWARDS PARKING)





4 BUILDING C EAST ELEVATION (TOWARDS OFFICE BUILDING)



3 BUILDING C SOUTH (TOWARDS BUILDING D)



2 BUILDING C WEST (CTYD)



1 BUILDING B, C NORTH ELEVATION (TOWARDS MEDICAL CENTER PARKWAY)



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



Evening Perspective looking Southwest across the TDK Development.



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



LOCATION MAP - AMENITIES

Not To Scale

- A** Public Seating
- B** Enhanced Landscaping
- C** Plaza Area/Flexible Seating

DOG PARK & BUILDING A

The dog park is located in the southwest portion of the property. The park will provide the development with a gathering place for pets and provide amenities such as pet agility equipment and a pet spa. Sidewalks have been provided to the dog park to promote walkability. Building A hosts two separate amenities areas, both supporting similar amenities. These amenities include public seating, enhanced landscaping, and a small outdoor dining space for those patronizing the commercial businesses on the first floor.

With this request TDK Corporate Headquarters / Vintage "Mixed Use" will be dedicating over 2 acres (20% of the site) to open space. Usable open space nodes have been provided throughout the site which support a variety of amenities for both residential and public use. Sidewalks will be provided throughout the development to promote pedestrian circulation both through the site and to surrounding properties.



Example of Dog Park



Example of Public Seating



Example of Enhanced Landscaping



Example of Outdoor Dining



LOCATION MAP - AMENITIES

Not To Scale

OFFICE BUILDING

The office building located along Robert Rose Drive will support a variety of both public and private amenities aimed to support those who work in or near the building. Outdoor seating and patio spaces have been provided along two sides of the building. Landscaping within the public spaces shall be enhanced to provide a soft screen from the adjacent roadway and enhance the overall appeal of the space.

- A** Public Seating
- B** Plaza Area/Flexible Seating
- C** Enhanced Landscaping



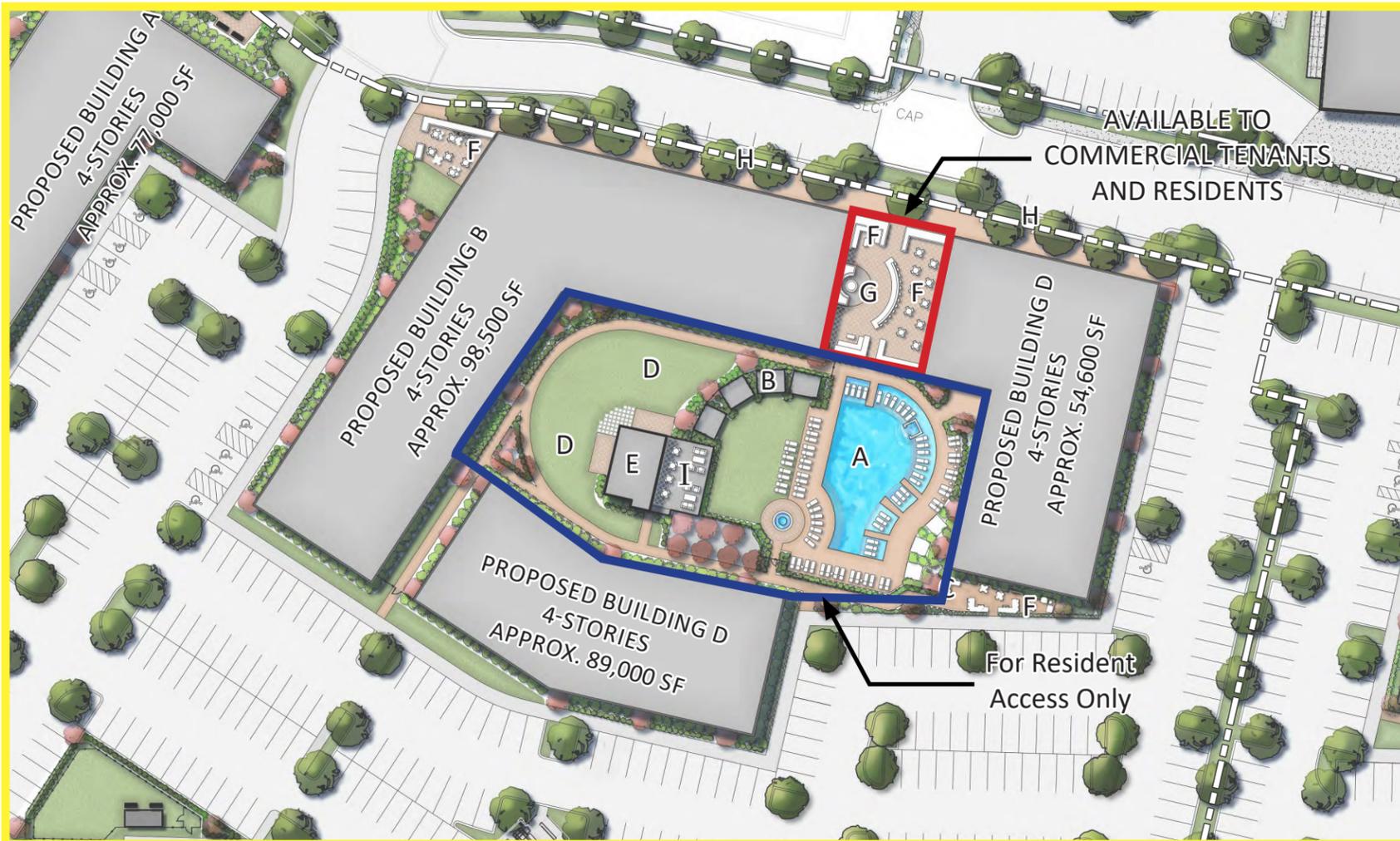
Example of Public Seating



Example of Outdoor Dining



Example of Enhanced Landscape



CENTRAL COURTYARD

The central courtyard will host the majority of the site amenities for both residential and commercial uses. This courtyard is located in the middle of the site, surrounded on all sides by proposed buildings. This courtyard will include: a resort lap pool, sun decks, cabanas, fire pits, grilling stations, a beergarten, an event lawn, corn hole, a fitness center, outdoor dining areas, an urban garden, and public seating. A portion of these amenities will support the local businesses by providing a large variety of outdoor events and spaces geared towards both casual and formal dining as well as spaces to hold public events. While the majority of the interior of the courtyard shall be private and only service the residence, the remainder of the amenities are located on the outside of the courtyard and between the buildings. This provides a delineation between the public and private uses of the site.



LOCATION MAP - AMENITIES

Not To Scale

- | | | |
|------------------------------|--------------------------------------|-----------------------------------|
| A Private Pool & Deck | D Event Lawn | G Public Performance Space |
| B Cabanas | E Fitness Center | H Street Scope |
| C Beer Garden | F Plaza Area/Flexible Seating | I Private Rooftop Patio |



Example of Pool Area



Example of Cabana



Example of Beer Garden



Example of Event Lawn



Example of Outdoor Recreation



Example of Outdoor Recreation



Example of Courtyard Character



Example of Outdoor Bar Seating



Example of Fitness Center



Example of Flexible Seating



Example of Alternate Hardscape



Example of Hammocks



Example of Public Performance Space



Example of Outdoor Dining Table w/ Fire Pit



Example of Entrance to Courtyard



Example of Outdoor Grilling Area



Example of Central Courtyard Character



Example of Central Courtyard Character



Example of Central Courtyard Character



Example of Central Courtyard Character



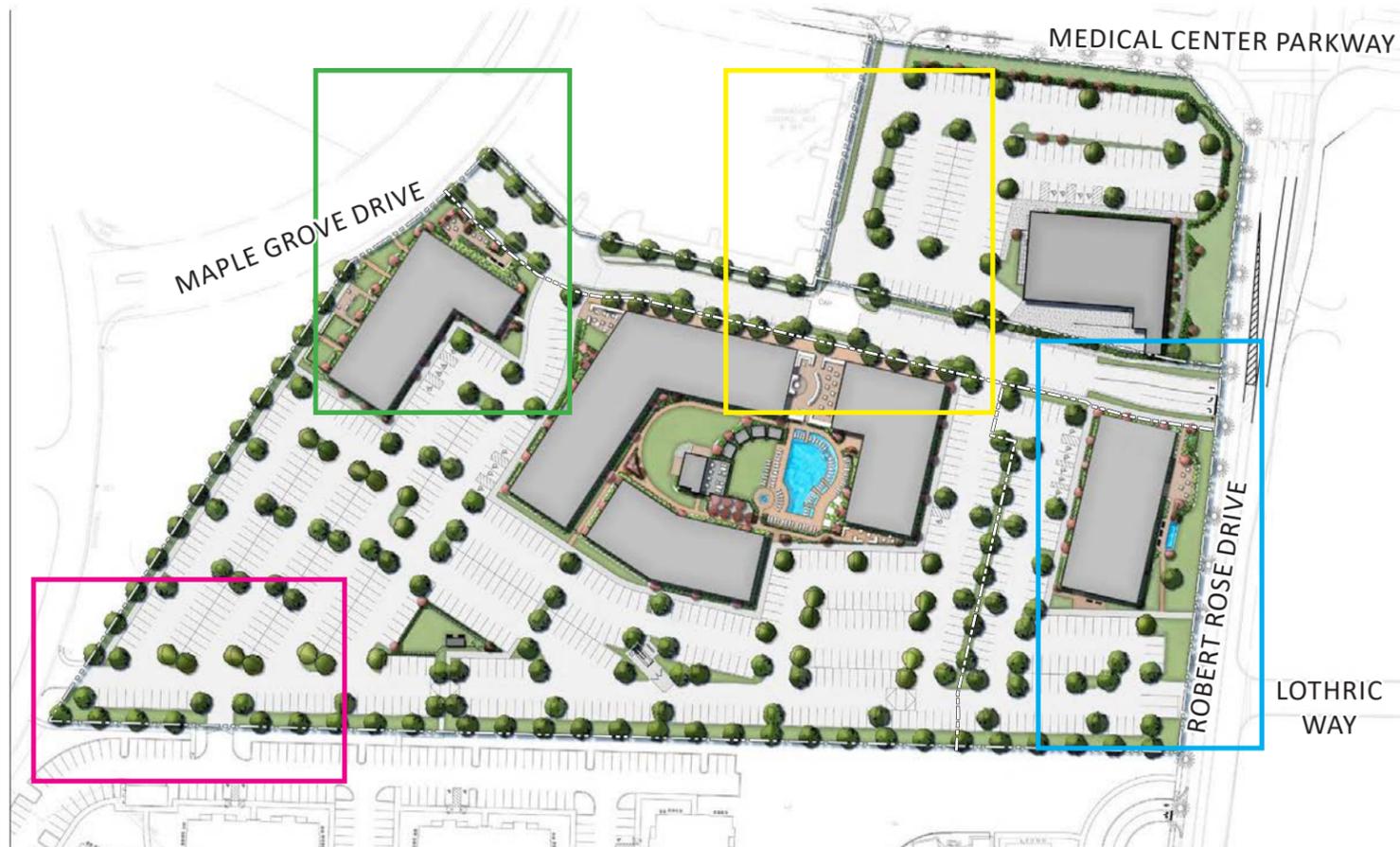
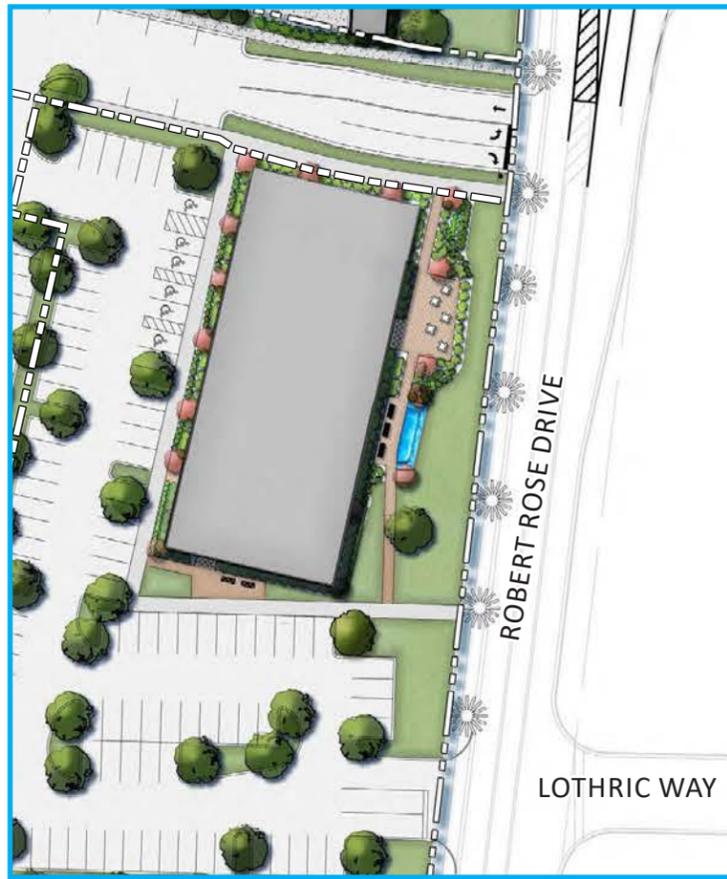
Example of Central Courtyard Character



The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

Landscaping Characteristics:

- Public rights-of-way shall be screened from parking by use of landscaping and/or berming.
- All above ground utilities and mechanical equipment shall be screened with landscaping and/or walls.
- Solid waste enclosure shall be screened with a masonry wall and enhanced with landscaping.
- The fronts and sides at the base of buildings will have at least 5 foot wide landscape strip.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.



Pursuant to the City of Murfreesboro's Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for improvements. Robert Rose Drive is a major thoroughfare where the majority of vehicular trips generated by this development will impact. It is currently built as a 3 lane cross-section with curb and gutter along with sidewalks on both sides of the roadway.

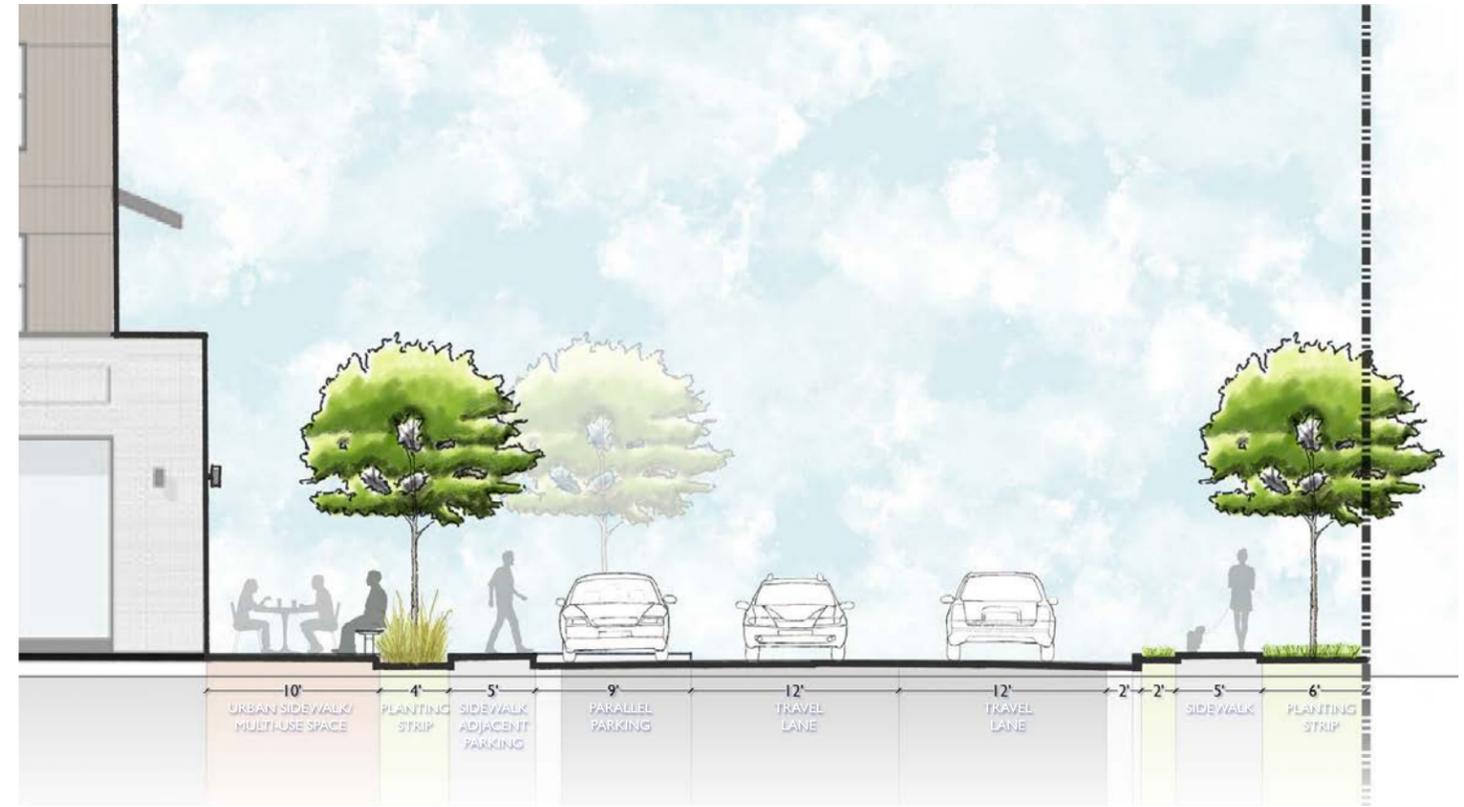
As stated above, the primary means of ingress/egress from this site will be onto Robert Rose Drive. The entrances are proposed to incorporate three travel lanes for proper circulation into and out of the development onto Robert Rose Drive. There will be a dedicated left and right out of the Development, as well as single lane for traffic entering the development. The master plan has included potential secondary means of ingress/egress from the development. The illustrations above show all proposed points of ingress/egress to the site.

This development will be completing the turn lane along Medical Center Parkway from its current ending to the intersection with Maple Grove Drive. Additionally, this development will be completing the GDO streetscape improvements along Robert Rose Drive and Medical Center Parkway with the first development.

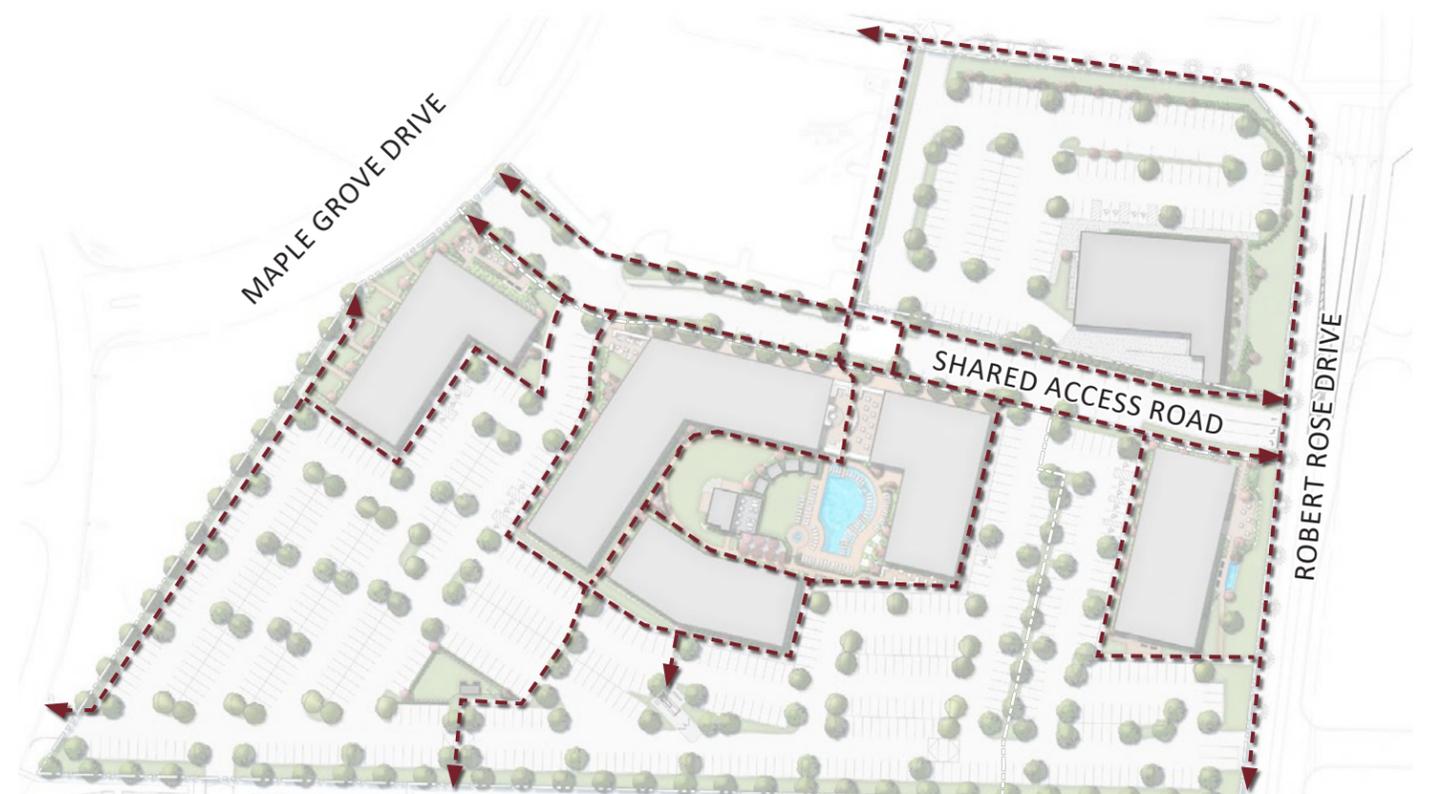


Street-Scapes

The northern access road connecting Maple Grove Drive and Robert Rose Drive shall be designed to incorporate a number of Urban Street-Scape Elements. Such elements shall include a large sidewalk along store fronts to accommodate intermittent outdoor seating, street trees, pedestrian scale lighting, and planting strips. Parallel parking shall be provided along the south side of the access road to create an additional buffer between pedestrians and vehicular circulation. Pedestrian access across the site can be seen in the diagram to the right. The northern access road shall provide pedestrian access to a majority of the site, including resident access to the central amenity center.



Example of Northern Access Road Street Scape



Pedestrian Circulation Diagram

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: The exhibits provided on Pages 3-6 provide the required materials.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits are shown on Page 5 that shows the existing contours and drainage patterns along with an aerial photograph of the area. No portion of the property is subject to floodplains or floodways, and the site ultimately drains to the Stones River.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: The exhibits provided on Pages 3-6 provide the required materials.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: The exhibits shown on pages 7-9 provide the required materials

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: The exhibits shown on pages 7-9 provide the required materials

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

TOTAL SITE AREA	598,577 s.f.
TOTAL MAXIMUM FLOOR AREA	340,000 s.f.
TOTAL LOT AREA	598,577 s.f.
TOTAL BUILDING COVERAGE	93,000 s.f.
TOTAL DRIVE/ PARKING AREA	290,579 s.f.
TOTAL RIGHT-OF-WAY	0 s.f.
TOTAL LIVABLE SPACE	307,998 s.f.
TOTAL OPEN SPACE	117,351 s.f.
FLOOR AREA RATIO (F.A.R.)	0.57
LIVABILITY SPACE RATIO (L.S.R.)	0.36
OPEN SPACE RATIO (O.S.R.)	0.84

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned PUD/CH. The surrounding area has a mixture of residential and commercial properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in four phases. Phasing information is described on Page 8.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Pages 9 & 18-21.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: In addition to the chart below, the applicant is requesting exceptions on Page 9.

SETBACKS	MU	PUD	DIFFERENCE
Front Setback	15.0'	40.0'	+25.0'
Side Setback	10'	40.0'*	+30.0'
Rear Setback	20'	40.0'	+20.0'
Minimum Lot Size	N/A	N/A	N/A
Minimum Lot Width	100'	N/A	N/A

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is in the Gateway Design Overlay District. No portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0255J eff. 05/09/2023 and FEMA flood panel 47149C0260J eff. 05/09/2023.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 3 & 23 discusses the Major Thoroughfare Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. and the developer/ applicant is TDK Construction. Contact info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Pages 10-15 show the architectural character of the proposed buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 9. All signage shall be on buildings for lots 2-3. Lot 3 shall have a monument sign.

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	MU (Existing)	Proposed PUD	Difference
Residential Density			
Maximum Dwelling Units Multi-Family	86	232	+146
Minimum Lot Area	5 AC	NA	NA
Minimum Lot Width	100'	NA	NA
Minimum Setback Requirements			
Minimum Front Setback	15'	40'	+25'
Minimum Side Setback	10'	40'	+30'
Minimum Rear Setback	20'	40'	+20'
Minimum Robert Rose Drive Setback	50'	40'	-10'
Minimum Maple Grove Drive Setback	15'	15'	+0'
Minimum Medical Center Parkway Setback	50	NA	NA
Land Use Intensity Ratios			
MAX FAR	None	None	NA
Minimum Livable Space Ratio	None	None	NA
Minimum Open Space Requirement	None	20%	+20%
Minimum Formal Open Space Requirement	None	5%	+5%
Max Height	150	80	-70'
Parking Ratios (See Page 8 for Parking Calculations)	<p align="center"><u>Multi-Family Units:</u> 1.1 space per single bedroom unit 1.1 space per bedroom in multi-bedroom units</p> <p align="center"><u>All Other Uses:</u> Per Chart 4 of the 2022 Zoning Ordinance</p>	Parking shall abide by Chart 4 of the 2022 Zoning Ordinance	

Lot 1 (Residential/Mixed Use)

- Requesting an exception to the required perimeter landscaping along the shared boundary of Lot 1 and Lot 2 to include a shared landscaping yard. This will make the planting yard approximately 5-ft on each side of the lot line.
- Requesting an exception to the required 15-ft of separation from access drives to parking areas to be reduced to 5-ft along the Lot 1/Lot 2 shared property line.
- Requesting an exception to the required 15-ft of separation from access drives to parking areas to be reduced to 8-ft along the Common Space Access Drive.

Lot 2 (Office/Retail/Restaurants) Requested Exceptions

- Requesting an exception to the required perimeter landscaping along the shared boundary of Lot 1 and Lot 2 to include a shared landscaping yard. This will make the planting yard approximately 5-ft on each side of the lot line.
- Requesting an exception to the required 15-ft of separation from access drives to parking areas to be reduced to 5-ft along the Lot 1/Lot 2 shared property line.
- Requesting an exception to the required 15-ft of separation from access drives to parking areas to be reduced to 8-ft along the Common Space Access Drive.
- Requesting an exception to the required 8-ft landscaping yard along the Common Space Access Drive to be reduced to 5-ft.
- Requesting an exception to the required 50-ft main building setback along Robert Rose Drive to be reduced to 40-ft.

PUD Exceptions Request Summary:

(Applies to Lots 1 -3 & Common Space Shared Access Drive)

- Requesting an exception to endnote 22 of Chart 1 Endnotes. Uses Permitted by Zoning District to allow multi-family as a permitted use (Not currently permitted in underlying MU zoning) [In developments consisting of ten (10) or more acres in the MU zoning district, the use “dwellings, multiple-family” shall constitute no more than twenty-five (25) percent of developable land area.] To allow multi-family residential land-use as a part of this PUD.
- Requesting an exception to the allowable number of multi-family units beyond the 25% limitation in endnote 22 of Chart 1 Endnotes. Specifically this PUD is requesting a maximum of 232 multi-family units where as per current zoning this development is allowed 86 multi-family units.
- Requesting exceptions to Zoning Ordinance and Design Guidelines regarding commercial architecture and permitted materials for the buildings, to allow the use of faux wood in building elevations.
- An exception to allow outdoor sales and the sale of food and beverage in park space and public open space for temporary special events.
- Requesting exception to single bedroom parking calculations to utilize 1.1 instead of 1.5 spaces per bedroom.
- Requesting an exception to not provide landscape buffers along proposed parcels’ internal property lines.
- Requesting an exception to the maximum foot-candles along proposed internal property lines. Foot candles shall be allowed to exceed 0.5 along all proposed internal property lines. External property lines shall still be held to the 0.5 maximum.

Lot 3 Requested Exceptions (Commercial Lot)

- Requesting an exception to the required 8-ft landscaping yard along the southern perimeter to be reduced to 5-ft.
- Requesting an exception to the required 15-ft of separation from access drives to parking areas along the southern perimeter be reduced to 5-ft.
- Requesting an exception to the required 15-ft of separation from access drives to parking areas along the Common Space Access Drive on the west side of the lot to be 10-ft.
- Requesting an exception to the required 15-ft of separation from access drives to the back of curb along the Lot 3 vehicular service area on the south side of the lot to 3.5-ft.
- Requesting an exception that the rear foundation planting, facing the Common Space Access Drive, be waived. This area is a loading/unloading zone.
- Requesting an exception to the required 50-ft main building setback along Robert Rose Drive to be reduced to 40-ft.
- Requesting an exception to the required formal open space that no formal open space shall be required on this parcel.

Common Shared Access Drive Exceptions:

- Requesting an exception to the required 5-ft landscaping yard along all perimeters to 0-ft.
- Requesting an exception to the required perimeter and frontage landscaping requirements along all perimeters.
- Requesting an exception to the required 20% open space to no open space this lot.
- Requesting an exception to the required formal open space that no formal open space shall be required on this parcel.

PUD Exceptions Request Summary:

(Applies to Lots 1 -3 & Common Space Shared Access Drive)

- Requesting an exception to endnote 22 of Chart 1 Endnotes. Uses Permitted by Zoning District to allow multi-family as a permitted use (Not currently permitted in underlying MU zoning) [In developments consisting of ten (10) or more acres in the MU zoning district, the use “dwellings, multiple-family” shall constitute no more than twenty-five (25) percent of developable land area.] To allow multi-family residential land-use as a part of this PUD.
- Requesting an exception to the allowable number of multi-family units beyond the 25% limitation in endnote 22 of Chart 1 Endnotes. Specifically this PUD is requesting a maximum of 232 multi-family units where as per current zoning this development is allowed 86 multi-family units.
- Requesting exceptions to Zoning Ordinance and Design Guidelines regarding commercial architecture and permitted materials for the buildings, to allow the use of faux wood in building elevations.
- An exception to allow outdoor sales and the sale of food and beverage in park space and public open space for temporary special events.
- Requesting exception to single bedroom parking calculations to utilize 1.1 instead of 1.5 spaces per bedroom.
- Requesting an exception to not provide landscape buffers along proposed parcels’ internal property lines.
- Requesting an exception to the maximum foot-candles along proposed internal property lines. Foot candles shall be allowed to exceed 0.5 along all proposed internal property lines. External property lines shall still be held to the 0.5 maximum.



**Lot 1 Requested Exceptions
(Residential/Mixed Use)**

- Requesting an exception to the required perimeter landscaping along the shared boundary of Lot 1 and Lot 2 to include a shared landscaping yard. This will make the planting yard approximately 5-ft on each side of the lot line.
- Requesting an exception to the required 15-ft of separation from access drives to parking areas to be reduced to 5-ft along the Lot 1/ Lot 2 shared property line.

- Requesting an exception to the required 15-ft of separation from access drives to parking areas to be reduced to 8-ft along the Common Space Access Drive.



**Lot 2 Requested Exceptions
(Office/Retail/Restaurant Building)**

- Requesting an exception to the required perimeter landscaping along the shared boundary of Lot 1 and Lot 2 to include a shared landscaping yard. This will make the planting yard approximately 5-ft on each side of the lot line.
- Requesting an exception to the required 15-ft of separation from access drives to parking areas to be reduced to 5-ft along the Lot 1/ Lot 2 shared property line.

- Requesting an exception to the required 15-ft of separation from access drives to parking areas to be reduced to 8-ft along the Common Space Access Drive.

- Requesting an exception to the required 8-ft landscaping yard along the Common Space Access Drive to be reduced to 5-ft.

- Requesting an exception to the required 50-ft main building setback line along Robert Rose Drive to be reduced to 40-ft.



Lot 3 Requested Exceptions (Commercial Lot)

- Requesting an exception to the required 8-ft landscaping yard along the southern perimeter to be reduced to 5-ft.
- Requesting an exception to the required 15-ft of separation from access drives to parking areas along the southern perimeter be reduced to 5-ft.

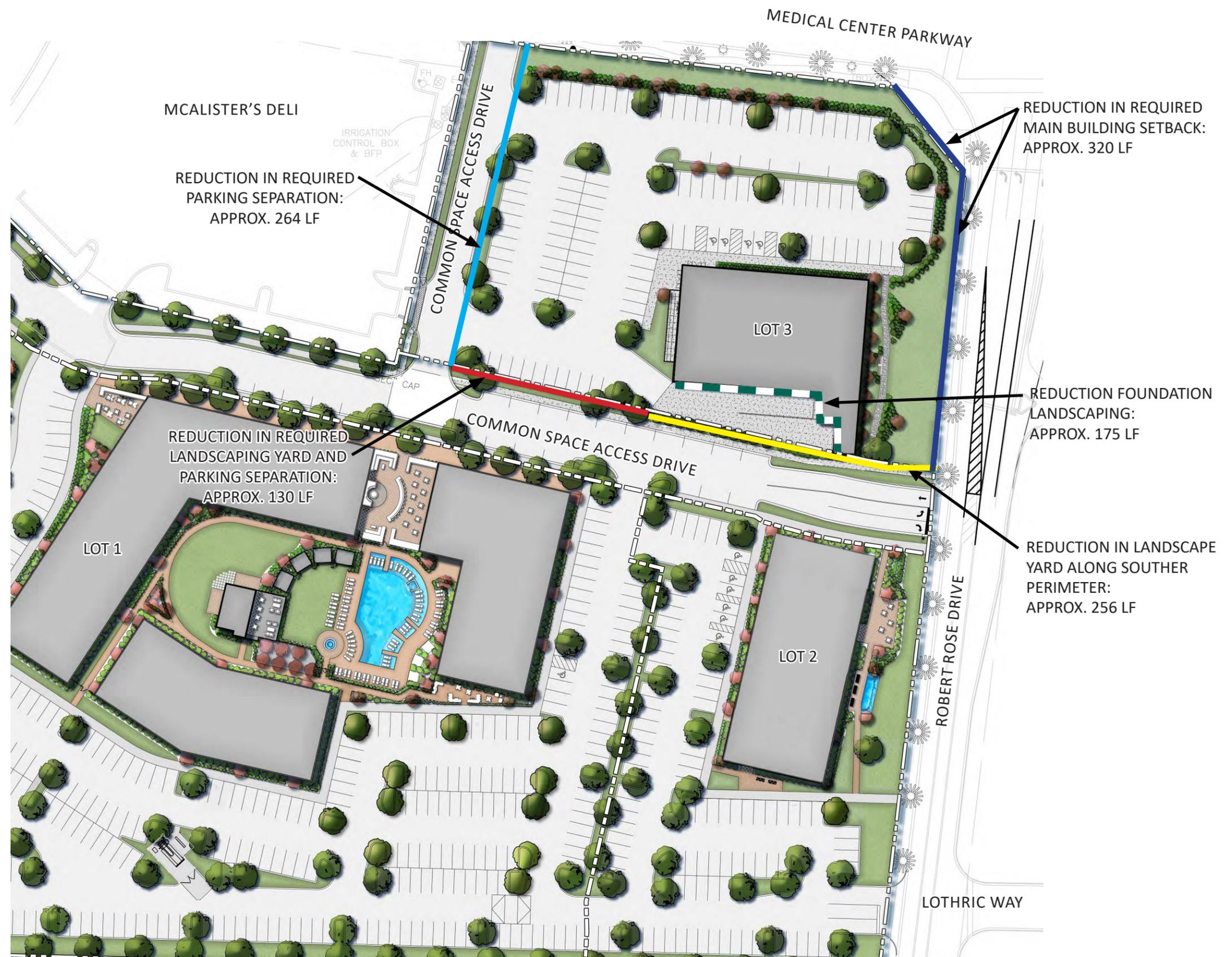
- Requesting an exception to the required 15-ft of separation from access drives to parking areas along the Common Space Access Drive on the west side of the lot to be 10-ft.

- Requesting an exception to the required 15-ft of separation from access drives to the back of curb along the Lot 3 vehicular service area on the south side of the lot to 3.5-ft.

- Requesting an exception that the rear foundation planting, facing the Common Space Access Drive, be waived. This area is a loading/unloading zone.
- **Requesting an exception that the screening for service areas, loading docks, and storage areas from ROW and adjacent parcels be waived.**

- Requesting an exception to the required 50-ft main building setback line along Robert Rose Drive to be reduced to 40-ft.

- Requesting an exception to the required formal open space that no formal open space shall be required on this parcel.



Common Shared Access Drive Exceptions:

- Requesting an exception to the required 5-ft landscaping yard along all perimeters to 0-ft.
- Requesting an exception to the required perimeter and frontage landscaping requirements along all perimeters.
- Requesting an exception to the required 20% open space to no open space this lot.
- Requesting an exception to the required formal open space that no formal open space shall be required on this common space access drive



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 11, 2023
PROJECT PLANNER: MATTHEW BLOMELEY**

6.d. Street renaming [2023-901] to rename a segment of Blackman Road (south of Pendleton Boulevard) to Blackman Beesley Court, City of Murfreesboro Planning Department applicant.

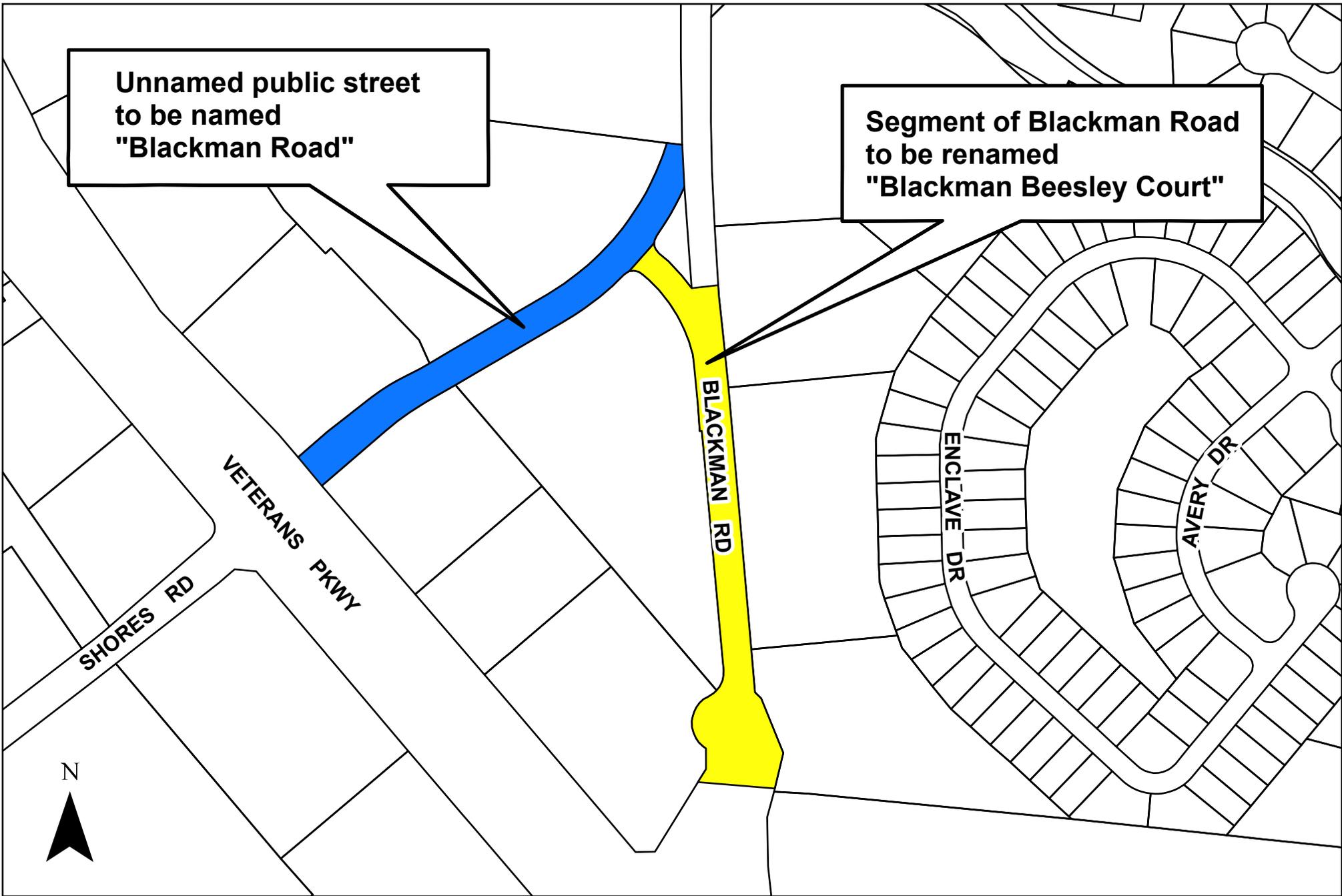
Section 5.2 of the Subdivision Regulations states that “The Planning Commission shall have final authority over street names.” It also states that “The proposed name of a subdivision, or street within the subdivision, shall not duplicate or closely approximate phonetically, the name of any other subdivision or street within the limits of the City of Murfreesboro or the jurisdictional area of Rutherford County.”

When Veterans Parkway was originally constructed, the design of the intersection of Veterans and Shores Road/Blackman Road was less than ideal. Subsequently, around 2008, the Westlawn PUD zoning was originally approved. An element of the Westlawn master zoning plan was the realignment of the intersection of Shores Road/Blackman Road and Veterans Parkway. The western half of this intersection was reconstructed with the realignment of Shores Road, which has been completed and is now open to traffic. In early 2022, the Planning Commission approved the construction plans for the Westlawn Commercial East Subdivision on the east side of Veterans Parkway. These plans included the reconstruction of the eastern half of this intersection with the realignment of Blackman Road, which is currently under construction and expected to be completed this Fall.

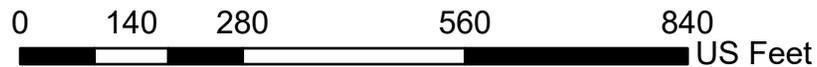
The road construction realigns Blackman Road to intersect with Veterans Parkway north of its current intersection. Once construction is complete, it will leave a remnant segment of Blackman Road that will “T” into the new alignment at its northern end. It will no longer intersect with Veterans Parkway and instead will terminate in a cul-de-sac at its southern end. This remnant segment will need to be renamed since it will be a separate street from the newly-aligned Blackman Road. This renaming was anticipated during the Planning Commission’s review of the construction plans last year. Staff proposes “Blackman Beesley Court” as a nod to the former “Beesley Road” street name for this segment of Blackman Road. Rutherford County E-911 has reviewed the “Blackman Beesley Court” street name and has approved its use for this location. Staff has reviewed the existing conditions and determined that there are no addresses that will be affected by this renaming. There is an existing daycare with frontage on both Blackman Road the proposed “Blackman Beesley Court”, but its driveway will be off of Blackman Road, so it will be able to retain its existing Blackman Road address.

Action Needed:

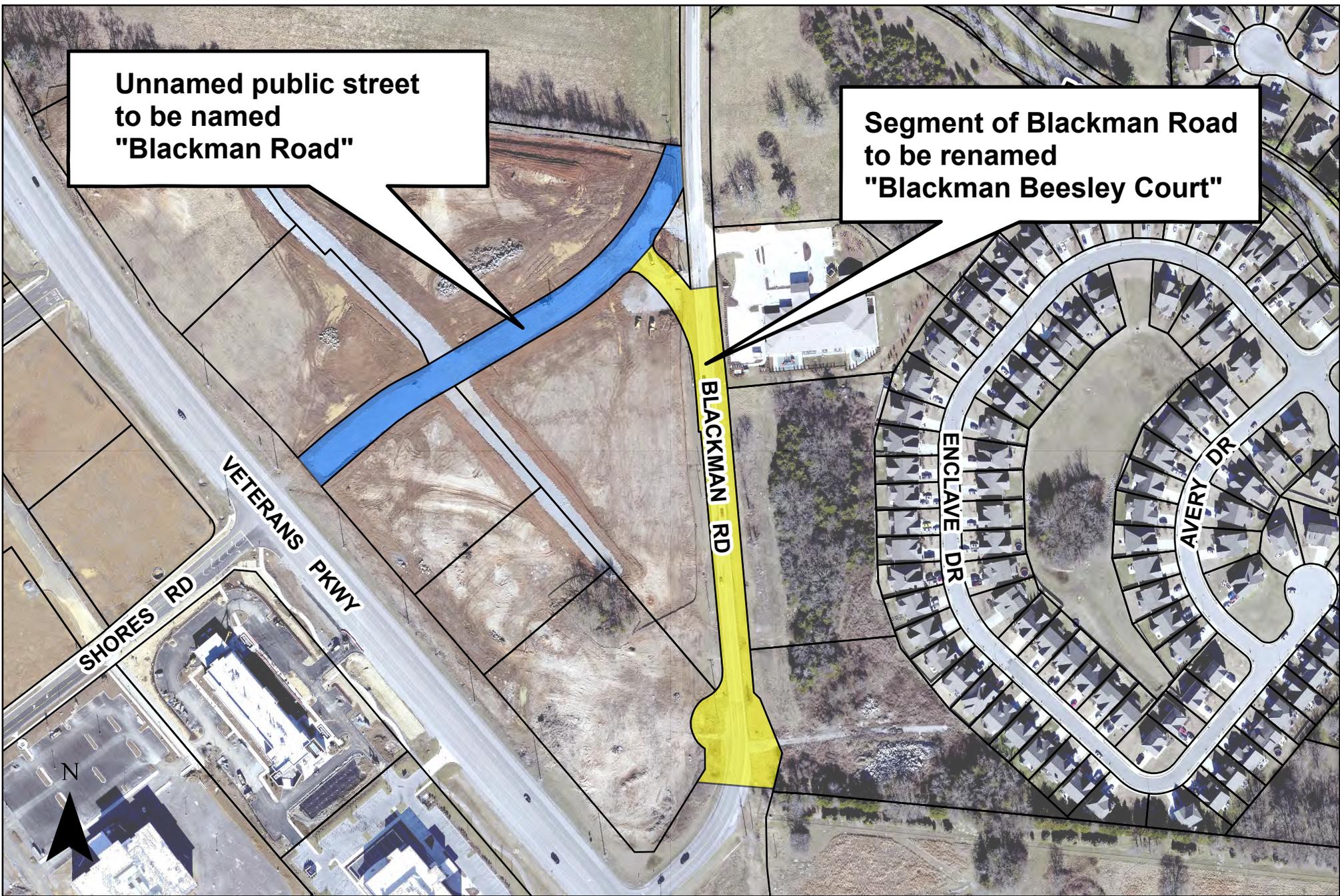
The Planning Commission will need to conduct a public hearing on this matter, after which it will need to vote on the proposed street renaming. If the Planning Commission votes to approve the request, then Staff recommends that the Planning Commission allow Staff to determine the effective date, based on the timing of the completion of the road construction.



Request to rename segment of
Blackman Road to "Blackman Beesley Court"



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

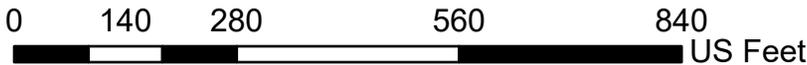


Unnamed public street
to be named
"Blackman Road"

Segment of Blackman Road
to be renamed
"Blackman Beesley Court"



Request to rename segment of
Blackman Road to "Blackman Beesley Court"



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 11, 2023
PROJECT PLANNER: BRAD BARBEE**

- 7.a. Mandatory Referral [2023-729] to consider the abandonment of a portion of a drainage easement on property located along Herring Crossing, Huddleston-Steele Engineering, Inc. on behalf of Kathy Nobles, applicant.**



In this mandatory referral, the Planning Commission is being asked to consider the abandonment and relocation of a portion of an existing 20ft drainage easement. The easement is located on property located along Lascassas Pike and Herring Crossing (Map 81J, Group C, Parcels 16.00 and 17.00), which is currently under development as Rockbridge Cove Annex. The easement is labeled on the above exhibit.

The site plan for Rockbridge Cove Annex included three townhome buildings. The approved site plan denoted that the lot being developed with the three new townhome buildings would be combined with the lot containing the existing Rockbridge Cove development via a resubdivision plat. The resubdivision plat has not yet been approved or recorded. The first townhome building was recently completed, and it was built on the common property line. In addition, it was built within a drainage easement. The developer has since submitted a resubdivision plat to combine the two parcels, and it is currently under review. This mandatory referral has been submitted to remedy the building encroachment into the drainage easement. The drainage infrastructure was not actually centered within the existing drainage easement. The easement is proposed to be relocated so that it is actually centered over the infrastructure and so that the existing structure and the drainage easement are not sharing the same space. Once relocated, the portion of the existing drainage easement in question will no longer be necessary.

The City Engineer has reviewed the application and is supportive of the request with the conditions enumerated below.

Staff recommends that the Planning Commission recommend approval of this abandonment to the City Council subject to the following conditions:

- 1) The request to abandon the drainage easement should be subject to submission and recording of a subdivision plat that relocates the easement.
- 2) The new easement shall be 10' each side of the existing drainage facility as determined by a field run survey.
- 3) The recording of the quitclaim deed formally abandoning the drainage easement and final plat dedicating the new drainage easement should be done simultaneously.
- 4) The easement abandonment should be subject to the final approval of the legal documents by the City Legal Department.
- 5) The applicant will be responsible for providing the information necessary for the Legal Department to prepare the legal documents for this easement abandonment (including, but not limited to, any exhibits and legal descriptions needed).
- 6) The applicant will be responsible for recording the legal documents, including payment of the recording fees.



City of Murfreesboro
Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, INCLUDING abandonment of right-of-way.....	\$350.00
Mandatory Referral, NOT INCLUDING abandonment of right-of-way.....	\$150.00

Property Information: Emerald Place, Lot 4 (aka Rockbridge Cove Townhomes)

Tax Map/Group/Parcel: 815, "C", 16217 | Address (if applicable): Herring Xing

Street Name (if abandonment of ROW): NA

Type of Mandatory Referral: Easement abandonment

Applicant Information:

Name of Applicant: Kathy Nobles

Company Name (if applicable): Equity Programmers, Inc.

Street Address or PO Box: P.O. Box 331258

City: Murfreesboro

State: TN | Zip Code: 37133

Email Address: kmnobles8@gmail.com

Phone Number: 615-542-6796

Required Attachments:

- Letter from applicant detailing the request
- Exhibit of requested area, drawn to scale
- Legal description (if applicable)

Kathy M. Nobles

9-12-23

Applicant Signature

Date

September 13, 2023

Mr. Greg McKnight, Planning Director
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130

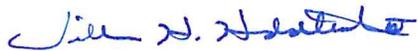
Re: Abandonment of portion of 20' Drainage Easement
Emerald Place, Lot 4
Murfreesboro, TN

Dear Greg:

At the request of our client, Mrs. Kathy Nobles, we hereby make a request to abandon a portion of a 20' Drainage Easement as shown on Plat Book 34, Page 2 (Emerald Place), and Plat 37, Page 113, and Plat Book 39, Page 99 (Rockbridge Cove Townhomes HPR Plats). We ask for this request to be granted with a mandatory referral by Planning Commission and City Council. The property description and exhibit of this portion of easement to be abandoned are attached.

Sincerely,

HUDDLESTON-STEELE ENGINEERING, INC.



William H. Huddleston IV, P.E., R.L.S.

Cc: Kathy Nobles

Property Description
Lot 4, Emerald Place
(Plat Book 34, Page 2)
and
Rockbridge Cove Townhomes
(Plat Book 37, Page 113 &
Plat Book 39, Page 99)
Tax Map 81J, Group C, Parcel 17.00

Abandonment of Portion of 20' Drainage Easement

Located in the 13th Civil District of Rutherford County, Tennessee. Bounded on northwest and northeast by the remaining portion of Lot 4, Emerald Place (Plat Book 34, Page 2); and on the southeast by Lot 3, Emerald Place (Plat Book 42, Page 39).

Commencing at an iron pin at the northernmost corner of Miteshkuma Arvindkumar Patel (Record Book 1693, Page 2172), being an interior corner of Lot 3, Emerald Place;

Thence through the property of Lot 3, Emerald Place, N54°04'15"W, 255.53 feet to the Point of Beginning, being in the northwest line of Lot 3, Emerald Place, and the southernmost corner of this tract;

Thence through the property of Lot 4, Emerald Place, N30°15'33"E, 127.47 feet to a point in the southeast line of an existing 20' Drainage Easement;

Thence with said southeast line, N39°17'12"E, 63.71 feet to a point, being the northernmost corner of this tract;

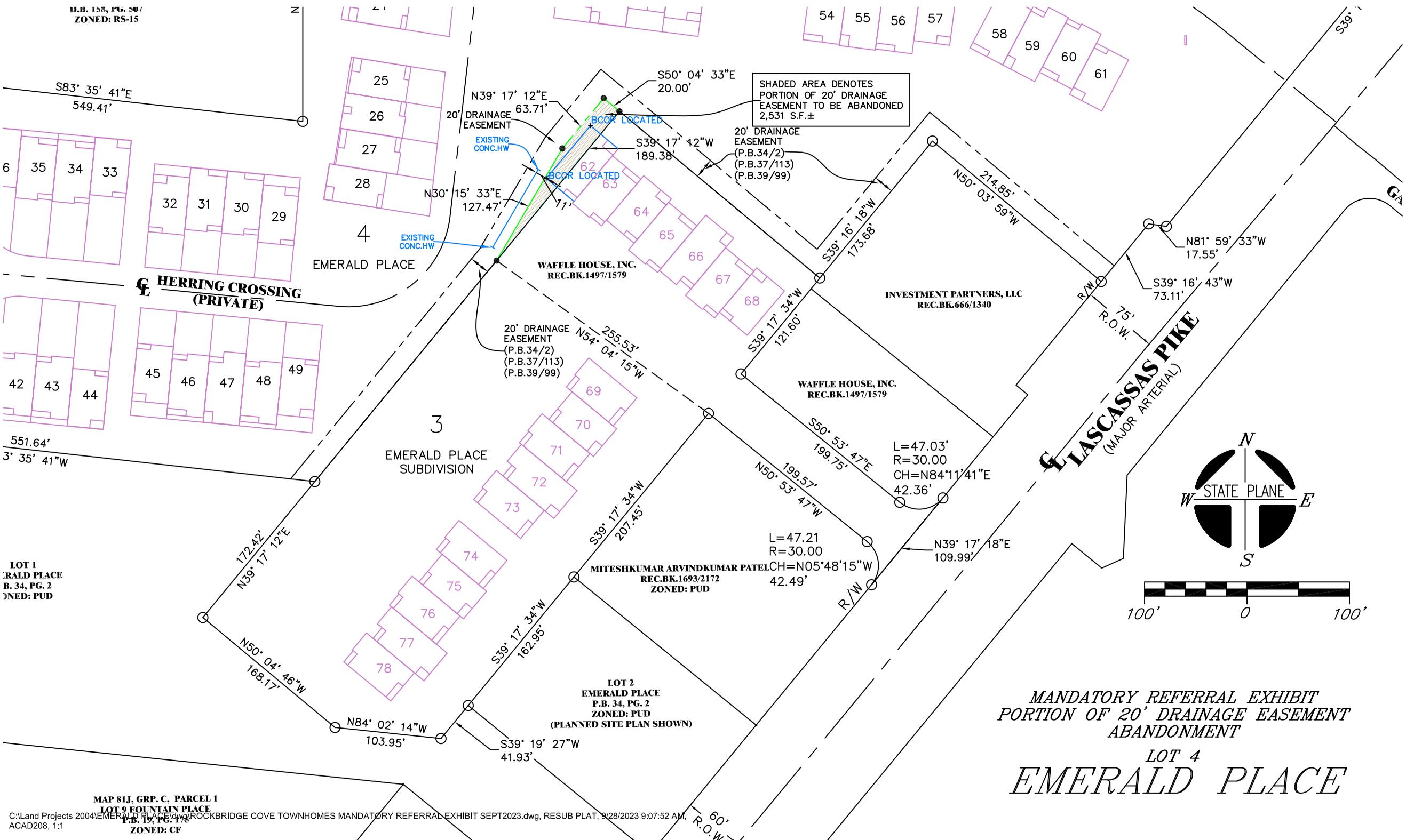
Thence S50°04'33"E, 20.00 feet to a point, being an interior corner of Lot 4, Emerald Place, and the easternmost corner of this tract;

Thence with the northwest line of Lot 3, Emerald Place, S39°17'12"W, 189.38 feet to the Point of Beginning, being 2,531 square feet, more or less.

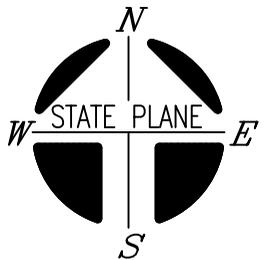
This tract is subject to all easements and/or restrictions either recorded or by prescription that a complete title search may reveal.

Prepared By:
Huddleston-Steele Engineering, Inc.
2115 Northwest Broad Street
Murfreesboro, Tennessee 37129





SHADED AREA DENOTES
PORTION OF 20' DRAINAGE
EASEMENT TO BE ABANDONED
2,531 S.F.±



*MANDATORY REFERRAL EXHIBIT
PORTION OF 20' DRAINAGE EASEMENT
ABANDONMENT*

*LOT 4
EMERALD PLACE*

LOT 1
EMERALD PLACE
P.B. 34, PG. 2
ZONED: PUD

MAP 81J, GRP. C, PARCEL 1
LOT 2 FOUNTAIN PLACE
P.B. 19, PG. 17
ZONED: CF

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

1:00 P.M.

City Hall

Members Present

Kathy Jones, Chair
Ken Halliburton, Vice-Chair
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Staff Present

Greg McKnight, Exec. Director Dev. Services
Matthew Blomeley, Assistant Planning Director
Margaret Ann Green, Principal Planner
Holly Smyth, Principal Planner
Brad Barbee, Planner
Joel Aguilera, Planner
Katie Noel, Project Engineer
Gabriel Moore, Project Engineer
Jennifer Knauf, Project Engineer
Carolyn Jaco, Recording Assistant
Roman Hankins, Assistant City Attorney

1. Call to order.

Chair Kathy Jones called the meeting to order at 1:00 p.m.

2. Determination of a quorum.

Chair Kathy Jones determined that a quorum was present.

3. Public Comments.

Chair Kathy Jones announced that no one signed up to speak during the Public Comments portion of the agenda.

4. Approve minutes of the September 6, 2023 Planning Commission meeting.

Mr. Shawn Wright made a motion to approve the minutes of the September 6, 2023 Planning Commission meeting; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

Chase Salas

Shawn Wright

Nay: None

5. Consent Agenda:

Advanced Concrete Systems [2023-3109] site plan for fencing and two electronic gates at an existing contractor's office and storage yard on 1.8 acres zoned H-I located at 625 West Main Street, BEM Investments, Inc. developer.

Salem Landing, Section 2, Phase 2A [2023-2065] final plat for 26 lots and 2 common areas on 8.4 acres zoned RS-6 located along Craven Lane, Salem Land Company, LLC developer.

Laurelstone Resubdivision of Lots 7, 9, 11, 31, and 34 [2023-2066] final plat for 12 lots on 1.4 acres zoned PRD located along Laurelstone Drive, Clayton Properties Group, Inc. developer.

Calvary Baptist Church, Lots 1-3 [2023-2068] final plat for 3 lots on 40.2 acres zoned PND and RS-15 located along Dejarquette Lane and Walton Lane, Calvary Baptist Church and Providence Christian Academy developers.

Three Rivers Commercial, Lot C6 [2023-2069] final plat for 1 lot on 3.4 acres zoned CH located along New Salem Highway, Bart and Leslie Gordon developers.

Victory Station South, Lot 5 [2023-2074] final plat for 1 lot on 1 acre zoned PUD located along Battalion Boulevard, Swanson Developments, LP developer.

Palmer Heights, Resubdivision of Lots 2 - 4 [2023-2067] final plat for 3 lots on 5.8 acres zoned CH located along Memorial Boulevard and Haynes Drive, Mancy Sanders and Austin Parker developers.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

Marymont Springs, Resubdivision of Lots 187 & 190 and the 2nd Resubdivision of Lot 188 [2023-2070] final plat for 3 lots on 11.4 acres zoned PUD in the City and RM in the unincorporated County located along Sanctuary Place, Sunita Agrawal, Stephen Flatt, Brandon Burks, and Springland Ventures, LLC developers.

Rutherford Crossing, Resubdivision of Lots 7 & 8 [2023-2073] final plat for 1 lot on 1.2 acres zoned CH located along Lascassas Pike, Nick Patel developer.

Northstar Industrial, Lot 1 (Metro Trailer) [2023-3116] site plan review for the “storage of transportation equipment” on 9.1 acres zoned L-I located at 5030 Northwest Broad Street, Metro Trailer Leasing, Inc. developer.

Mercury Park, Lots 1 & 2 [2023-2075] final plat for 2 lots on 4.35 acres zoned PUD & CCO located along Minor Street and South Bilbro Avenue, Murfreesboro Housing Authority developer.

There being no further discussion, Vice-Chairman Ken Halliburton moved to approve the Consent Agenda, including the revised staff comments presented for Mercury Park, Lots 1 & 2 [2023-2075], and all other staff comments; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

6. Old Business:

On Motion

Westlawn Commercial East, Lot 1 (WaWa) [2023-3098] initial/final design & site plan review of a 5,915 ft² convenience store and a 6,300 ft² gas canopy on 2.4 acres zoned PUD located along Veterans Parkway and Blackman Road, Unicorp National Developments, Inc., developer. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) and other members of the design team were in attendance representing the application. Mr. Taylor explained the revisions that had been made to the plans including that the EIFS exterior material had been changed to brick and stone.

There being no further discussion, Mr. Shawn Wright made a motion to approve the application subject to all staff comments; the motion was seconded by Vice-Chairman Ken Halliburton and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

7. GDO:

On Motion

Puckett Creek Station [2023-1021] master plan amendment for 14 lot subdivision on 32.4 acres zoned CH & GDO-1 located along Manson Pike, Cedar Glades Drive, and Manson Crossing Drive, Puckett Creek Station, LLP developer. Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Mr. Chase Salas made a motion to approve the application subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Puckett Creek Station, Lots 11 - 14 [2023-2071] final plat for 4 lots and 1 common area on 9.93 acres zoned CH & GDO-1 located along Manson Pike and Manson Crossing Drive and Cedar Glades Drive, Puckett Creek Station, LLP developer. Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the application subject to all staff comments; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Clari Park [2023-1020] master plan amendment for 20 lots on 77.2 acres zoned PUD, CH, GDO-1, & GDO-2 located along Medical Center Parkway, Robert Rose Drive, Willowoak Trail and Roby Corlew Lane (formally Clari Lane), Hines Clari Park Land Holdings, LLC developer. Ms. Margaret Ann Green presented the Staff Comments

regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the application subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

Shawn Wright

Nay: None

Clari Park, Lot 7 (P.F. Chang) [2023-6010 & 2023-3100] initial design review of a 6,611 ft2 restaurant located on 1.7 acres zoned CH and GDO-1 located along Medical Center Parkway, Honey Locust Lane, and Roby Corlew Lane, P.F. Murfreesboro (Medical), LLC, developer. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) and Mr. Grant Hildebrandt (architect) were in attendance representing the application.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the initial design review subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Reggie Harris

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Clari Park, Lot 10 (Raising Cane's) [2023-6011 & 2023-3122] initial design review of a 2,899 ft2, carry-out restaurant located on 1.4 acres zoned CH and GDO-1 located along Medical Center Parkway and Roby Corlew Lane, Raising Cane's Restaurants, L.L.C. developer. Ms. Margaret Ann Green presented the Staff Comments regarding this

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Jorge Cerros (architect) was in attendance to represent the application. Mr. Jorge Cerros explained the design of the building and patio and that he had incorporated staff's comments for this proposal.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the initial design review subject to all staff comments; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

8. **Plats and Plans:**

On Motion

Kona Ice (Parkway Place, Lot 16) [2023-3115] site plan for 13,368 ft² office/warehouse building on 1.5 acres zoned PID (Parkway Place PID, Region 3) located along Logistics Way, Kona Ice – EHC Developments, LLC developer. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

Mr. Chris McGuire (design engineer) and Mr. and Mrs. Will Rodriquez (owners) were in attendance representing the application.

There being no further discussion, Ms. Chase Salas made a motion to approve subject to all staff comments; the motion was seconded by Vice-Chairman Ken Halliburton and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Racquet Club Subdivision, Lot 1 – Commercial Center [2023-3123] site plan for two multi-tenant commercial buildings totaling 12,840 ft² on 8 acres zoned CH located at 605 River Rock Boulevard, Eric Dill developer. Mr. Matthew Blomeley presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Bill Huddleston (design engineer) and Mr. Dane Bradford (developer) were in attendance representing this application.

The Planning Commission began discussing the proposal wanting clarification regarding the layout of the site. Mr. Shawn Wright voiced his concerns with there being so many outstanding items mentioned by staff comments that still need to be addressed.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve subject to all staff comments being addressed prior to the issuance of building

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

permits; the motion was seconded by Mr. Chase Salas and failed by the following vote (3-3):

Aye: Kathy Jones
Ken Halliburton
Chase Salas
Nay: Reggie Harris
Bryan Prince
Shawn Wright

Mr. Shawn Wright made a motion for the application be deferred and brought back to the Planning Commission when the majority of the staff comments have been addressed; the motion was seconded by Mr. Brian Prince and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

9. **New Business:**

Annexation petition and plan of services [2023-504] for approximately 32.4 acres located along New Salem Highway and Barfield Road, including 520 linear feet of Barfield Road right-of-way, World Outreach Church of Murfreesboro Tennessee, Inc. applicant. Mr. Matthew Blomeley presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

Mr. Matt Taylor (design engineer) was in attendance to represent the application.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on October 11, 2023; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Abstain: Ken Halliburton (Vice-Chairman Halliburton abstained because he was not present in the room for the discussion on this item.)

Nay: None

Zoning application [2023-412] to amend the existing PUD zoning (Hidden River Estates PUD) on 121 acres located along Cason Trail and Racquet Club Drive, Hidden River Holding Company, LLC developer. Mr. Matthew Blomeley presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Bill Huddleston (design engineer) was in attendance to represent the application.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on October 11, 2023; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Zoning application [2023-413] to amend the existing Vintage Apartments and TDK office PUD (11.3 acres) zoning and to rezone approximately 2.5 acres from CH to PUD located along Medical Center Parkway, Robert Rose Drive, and Maplegrove Drive, TDK Construction applicant. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer), Mr. Ross Bradley (developer), and Mr. John Blankenship (developer) were in attendance representing the application. Mr. Matt Taylor explained the reason for the rezoning of the 2.5 acres was to allow a specialty grocery tenant.

There being no further discussion, Mr. Bryan Prince made a motion to schedule a public hearing on October 11, 2023; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Reggie Harris

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 20, 2023

Street renaming [2023-901] to rename a segment of Blackman Road (south of Pendleton Boulevard) to Blackman Beesley Court, City of Murfreesboro Planning Department applicant. Mr. Matthew Blomeley presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Mr. Bryan Prince made a motion to schedule a public hearing on October 11, 2023; the motion was seconded by Shawn Wright and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

10. Adjourn.

There being no further business the meeting adjourned at 2:20 p.m.

Chair

Secretary

GM: cj