CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

NOVEMBER 1, 2023 6:00 PM

Kathy Jones Chair

- 1. Call to order
- 2. Determination of a quorum.
- 3. Public Comments.
- 4. Approve minutes of the October 11, 2023, and October 18, 2023, Planning Commission meeting.

5. Old Business:

- a. Zoning application [2023-403] for approximately 18 acres located along East Northfield Boulevard and North Tennessee Boulevard to be rezoned from CF to PRD (Northfield Acres PRD – 14.7 acres) and PCD (Northfield Acres PCD – 3.28 acres), Haury & Smith Contractors, Inc. applicant. (Project Planner: Holly Smyth)
- **b.** Zoning application [2023-408] for approximately 1.2 acres located along North Maney Avenue and Lee Street to be rezoned from OG-R and CCO to PRD and CCO (Maney Estates PRD), BNA Homes applicant. (Project Planner Holly Smyth)

6. Public Hearings and Recommendations to City Council:

- a. Mandatory Referral/ROW Abandonment [2023-728] to consider the abandonment of a right-of-way on property at 1935 Northwest Broad Street, Huddleston-Steele Engineering, Inc. on behalf of 84 Lumber Company applicant. (Project Planner: Amelia Kerr)
- b. Zoning application [2023-414] for approximately 0.35 acres located along Van Cleve Lane to be rezoned from RS-15 to L-I, Norman Brown applicant. (Project Planner: Margaret Ann Green)
- c. Zoning application [2023-411] for approximately 0.15 acres located along East Castle Street to be rezoned from RD and CCO to PRD and CCO (East Castle Manor PRD), BA Homes, LLC applicant (Project Planner: Holly Smyth)

MURFREESBORO PLANNING COMMISSION AGENDA PAGE 2 November 1, 2023

- **d.** Annexation petition and plan of services [2023-503] for approximately 5.2 acres located west of Sanctuary Place, W. Andrew Adams applicant. (Project Planner: Marina Rush)
- e. Zoning application [2023-416] for 5.2 acres located west of Sanctuary Place to be zoned PUD (Marymont Springs PUD) simultaneous with annexation, W. Andrew Adams applicant. (Project Planner: Marina Rush)

7. Staff Reports and Other Business:

8. Adjourn.

MURFREESBORO PLANNING COMMISSION STAFF COMMENTS, PAGE 1 NOVEMBER 1, 2023 PROJECT PLANNER: HOLLY SMYTH

5.a. Zoning application [2023-403] for approximately 18.02 acres located along East Northfield Boulevard and North Tennessee Boulevard to be rezoned from CF to PRD (Northfield Acres PRD – 14.85 acres) and PCD (Northfield Acres PCD – 3.24 acres), Haury & Smith Contractors, Inc. applicant.

The PRD (Planned Residential District) development proposes to accommodate a total of 77 dwellings with 37 of them single family detached dwelling units and 40 single family attached dwelling units (in eight 5-plex buildings). All dwelling units will be available for sale via a horizontal property regime. The residential density, excluding the 1.45 acre wetlands, equates to **5.75 dwelling units per developable acre**. Two commercial outlots, which are requested to be zoned PCD (Planned Commercial District) are laid out in the pattern book to potentially accommodate a drive-through food service use and gas station.

The initial public hearing was held on this item at the April 5, 2023 Planning Commission meeting to consider rezoning from CF to PRD and PCD. The staff report for that meeting is attached to this report.

During the public hearing there were multiple questions about points of vehicular access, and the Commission also asked to applicant to re-evaluate the potential gas station use. The applicant has not removed the potential gas station use but has modified the site access points to remove 1 of the internal connections between the PCD and the PRD and has added 2 additional points of egress for the commercial component of the development. Other minor modifications have been made and are summarized in the attached SEC, Inc. memorandum with an updated program book.

The following are key overview pages providing the best project context for the overall project, and requested exceptions are discussed below and shown in red text throughout.

-Page 8 contains the overall layout plan for the entire site.

- -Page 11 contains typical layout & setbacks proposed for the detached homes
- -Page 17 contains typical layout & setbacks proposed for the attached townhomes
- -Page 33 contains comparative district tables for both attached and detached residential based on RSA type-2 comparative district
- -Page 38 contains comparative district tables for the commercial outlots based on CF (Commercial Fringe) comparative district

Exception(s) Requested: Pages 33 and 38 of the Program Book show the comparative use tables for the single family detached, single family attached, and commercial uses with the requested exceptions shown in red text.

The <u>single family residential detached homes</u> component of the plan includes 3 exceptions from the RSA type-2 comparative zone districts (which can be seen on page 11) to:

- a) Reduce the front setback from 35' to 15' for the main building and 22' for the garages from the back of sidewalk of the private roads.
- b) Reduce the corner lot side setback from 35' to 10' from the back of sidewalk.
- c) Reduce the 40' 'rear' setback, from the imaginary mid-point backyard between buildings to 30'.

The <u>single family attached townhomes</u> component of the plan includes 3 exceptions from the RSA type-2 comparative zone districts (which can be seen on page 17) to:

- a) Reduce the 'rear' front setback from back-of-sidewalk adjacent to private streets on the garage side of the building, from 35' to 10' for the main building and 24' and 35' for the garages (to accommodate one or two car surface parking).
- b) Reduce the front setback along North Tennessee Boulevard from 35' to 20' with the addition of landscaping and the continuous 3-rail fence.
- c) Reduce the front setback along East Northfield Boulevard from 45' to 35'.

The <u>commercial</u> component of the plan includes the following 2 exceptions from the Commercial Fringe (CF) comparative zone district (which can be seen on page 38) to:

- a) Allow gasoline sales' buildings a minimum of 170' from the nearest proposed single family detached home in the PRD. However, the current CF policy states that fuel sales be permitted when a minimum distance of 200' from any RS, RD, RS-A, or PRD classified land measured from property line to property line. Therefore, this requested exception needs to be re-worded if Commission would allow the use as shown.
- b) Allow drive-thru with their ordering system kiosk a minimum of 100' from the nearest proposed single family detached or single family attached buildings within the PRD. However, the current CF policy states that drive up windows be permitted when a minimum distance of 200' from any RS, RD, RS-A, or PRD classified land to the closest part of the drive-up window use including the queuing lanes. Therefore, this requested exception as listed on page 38 of the program book would need to be re-worded if Commission would allow the use as shown.

Department Recommendation

Staff is generally supportive of this rezoning request for the following reasons:

- 1) The PCD retains a commercial component to serve the local neighborhood needs while prohibiting potentially incompatible commercial uses.
- 2) The density of 5.75 units per acre of the developable land is in line with the adjacent properties as listed in the comparative subdivision table in the April 5, 2023 staff report
- 3) Less traffic impacts are expected with the mixture of uses instead of all 16.57 developable acres being Commercial Fringe uses when comparing most commercial uses versus residential land uses.
- 4) The PRD offers a variety of housing types with quality architecture.

5) The zoning plan is compatible with the future land use map, when taken into context with the transition policies.

However, the following 2 Staff Comments should be integrated into the program book related to the residential use. Should the Planning Commission recommend approval of the potential gas station and drive thru with its proposed lay out, the 3rd staff comment below should be integrated.

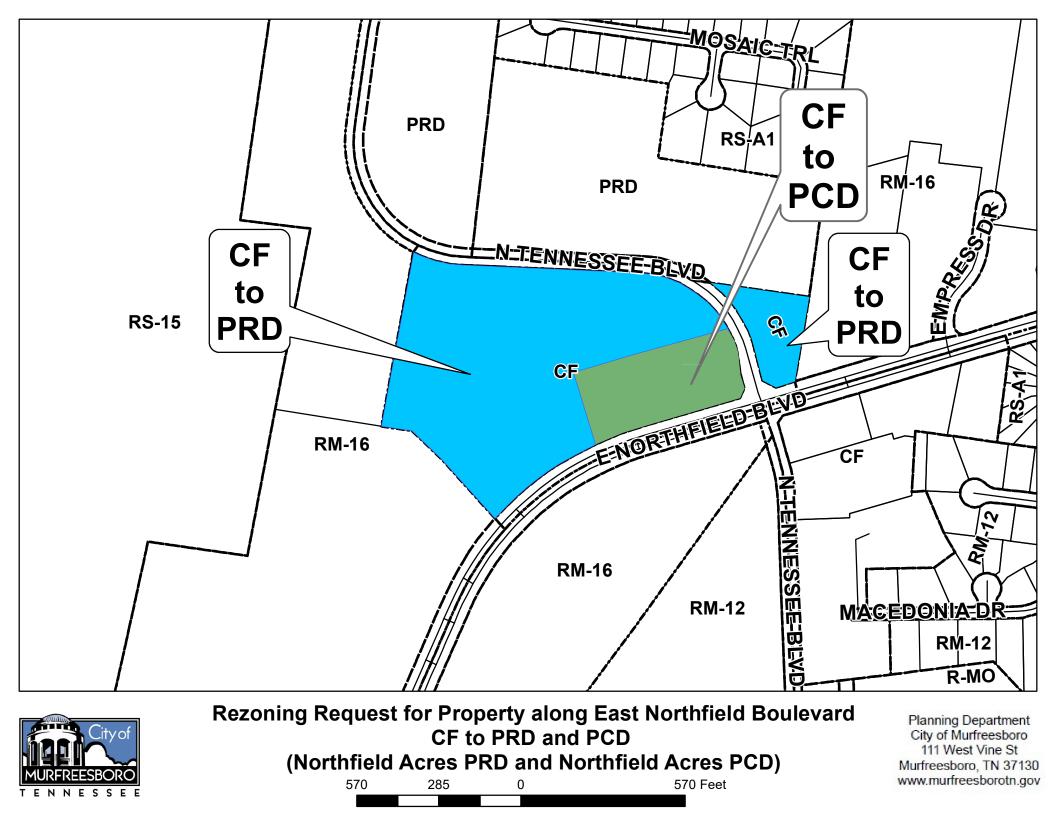
- a. Include a larger gazebo as one of the conceptual photos that holds approximately 20 persons for the interior location in addition to the small one currently shown.
- b. For the potential drive-thru, label the exact location of where the 2 speaker boxes might be allowed on page 36; one on the northwest corner of the Lot B's building (currently labeled 150') and one on the southeast corner of Lot A's building facing south (currently labeled 172').
- c. For the potential gas station and drive-thru, scale back hours of operation from 6am to 10pm and require the canopy or building lighting to be turned off after hours. All lighting for these uses shall be further evaluated during site plan review.

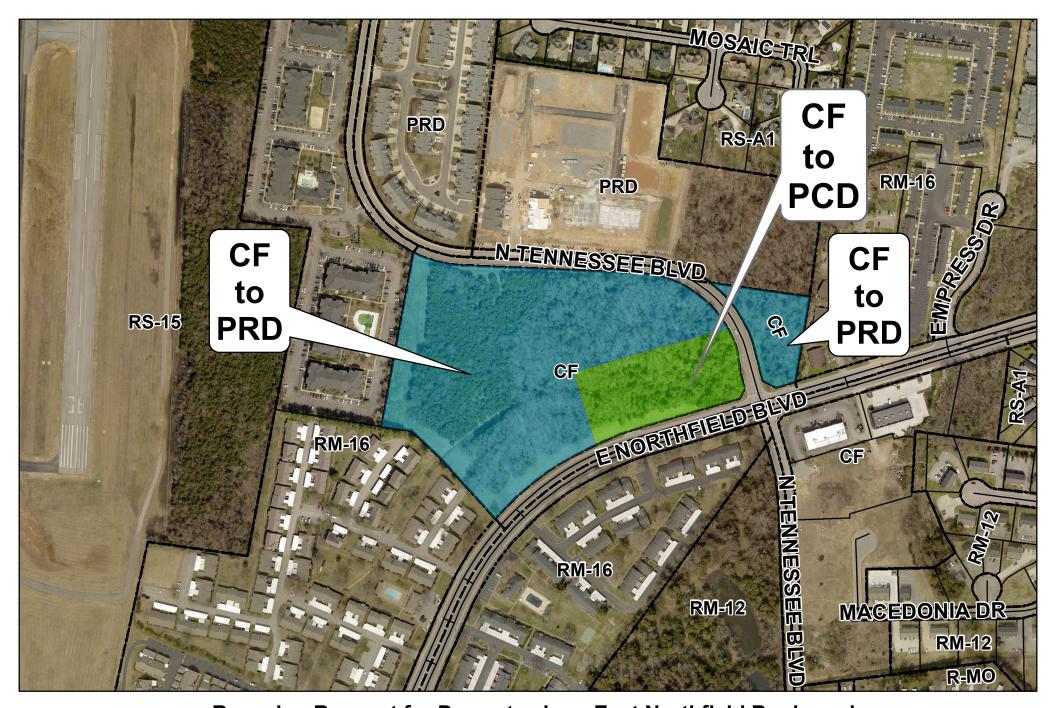
Action Needed

The applicant and their land planner will all be in attendance at the meeting to make a presentation and to answer questions. The Planning Commission will need to discuss this matter and then formulate a recommendation to City Council.

Attachments:

-NoOrtho Map--Ortho Map -April 5, 2023 Staff Report -Program Book Modification Memo of 10-23-2023 -Updated Program Book





City of MURFREESBORO TENNESSEE Rezoning Request for Property along East Northfield Boulevard CF to PRD and PCD (Northfield Acres PRD and Northfield Acres PCD) 570 285 0 570 Feet

Planning Department City of Murfreesboro 111 West Vine St Murfreesboro, TN 37130 www.murfreesborotn.gov

MURFREESBORO PLANNING COMMISSION STAFF COMMENTS, PAGE 1 APRIL 5, 2023 PROJECT PLANNER: HOLLY SMYTH

4.b. Zoning application [2023-403] for approximately 17.98 acres located along East Northfield Boulevard and North Tennessee Boulevard to be rezoned from CF to PRD (Northfield Acres PRD – 14.7 acres) and PCD (Northfield Acres PCD – 3.28 acres), Haury & Smith Contractors, Inc. applicant.

The subject property is located predominantly at the northwest corner of the intersection of East Northfield Boulevard and North Tennessee Boulevard. The study area involves one undeveloped parcel that crosses North Tennessee Boulevard. The site is identified as Parcel 115.02 of Tax Map 081 and is approximately 17.98 acres. Of the 17.98 acres, 3.28 acres along East Northfield Boulevard is proposed to be rezoned as Planned Commercial District (Northfield Acres PCD). The remaining 14.70 acres will be rezoned to Planned Residential District (Northfield Acres PRD) for this development. Of this 14.70 acres to be zoned PRD, 1.45 acres of land to the east across North Tennessee Boulevard will be set aside as existing wetlands to remain within the PRD resulting in 13.25 developable acres. The proposed PRD would accommodate a total of 77 residential units; 37 single family detached residential homes and 40 single family attached residential units (in eight 5-plex buildings) equating to **5.81 dwelling units per developable acres**.

The following are key overview pages providing the best project context for the overall project, and requested exceptions are discussed below and shown in red text throughout.

-Page 8 contains the overall layout plan for the entire site.

-Page 11 contains typical layout & setbacks proposed for the detached homes

-Page 17 contains typical layout & setbacks proposed for the attached townhomes

-Page 33 contains comparative district tables for both attached and detached residential -Page 38 contains comparative district tables for Commercial Fringe

Adjacent Zoning and Land Uses

The surrounding zone districts include primarily RM-16 (Multi-Family Residential District) to the west, south and east, PRD (Planned Residential District) to the north and northeast, and CF (Commercial Fringe) to the southeast at the south-east corner of the East Northfield Boulevard and North Tennessee Boulevard intersection. The primary surrounding land uses are either apartments, condos, or duplexes on all sides, as more particularly labeled on page 4 of the program book. The opposing southeast corner of the intersection has a strip commercial center occupied by a small scale furniture store, convenience store, and formerly a pizza business.

At the request of staff, the developer sent out notices to the adjacent neighborhoods within 500' of the project site and held a neighborhood meeting on March 21st, 2023. A little over 30 neighbors attended, with four out of the five nearby residential neighborhoods being represented. These adjacent neighborhoods have the following attributes:

Subdivision Name	Type of Housing	<u>#</u>	Acreage	Density
		<u>units</u>		
Brookwood Point	3 & 4-plex townhomes	52	9.76 developable	5.32
			(+4.18 wetlands)	
The Retreat at Northwoods	4, 5, & 6-plex townhomes	74	9.62	7.69
The Preserve Murfreesboro (aka Pointe	3-story Apartments	346	17.26	19.98
at Raiders Campus student housing)	3-story Apartments	540	17.20	19.90
Forest Oaks II & III	2 & 3-plex townhomes	117	18.35	6.38
Forest Oaks I Condominiums	4, 6, & 8-plex townhomes	98	15.41	6.36

The concerns shared at the neighborhood meeting included why are there so many points of access into the development, why were townhome products included, increases in traffic will make it more difficult for adjacent developments to get out of their existing streets on North Tennessee Boulevard, can some of the trees be preserved along the westerly side of the property, can a fence be placed along the western property edge to deter potential trespassers and mitigate the glare of headlights next to the mail kiosk, and could the locations of the pickle balls courts and amenity area adjacent to North Tennessee Boulevard across from adjacent condos be removed due to the noise.

Based on this input, the developer has revised the pattern book to move the pickle ball court to the interior and has added 6' tall opaque fencing along the south-westerly property line.

Proposed PRD and PCD

The PRD overall layout is best seen on page 8 of the program book and also includes basic site data for both the PRD and PCD. The PRD is being requested to allow for 37 single family detached homes and 40 attached townhome units within a horizontal property regime (HPR). The single family detached and attached units are most similar to what would be allowed in a RS-A, Type 2 zone district.

All dwellings will be available for sale via the HPR. The developer proposed that all homes developed within the subdivision shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder(s) of all homes within the subdivision shall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity.

Detached single-family homes will be one or two story products with a minimum of 1,800 square feet of floor area and a minimum of 3 or more bedrooms with a standard house width of approximately 38'. All homes will have a patio area at the rear of the unit with an optional privacy fence. Exterior exposed building sides will have additional detailed articulation to create more architectural interest. Parking will be provided by 2-car front-loaded garages with decorative garage doors with window panels at the top of the door and a roof like feature above the opening to reduce the prominence of the garage. Driveways will have a concrete surface and will be 16' wide by 25' deep to accommodate another 2 vehicles. Exterior materials shall consist of masonry materials such as fiber cement lap board, fiber cement board and batten, brick, and stone with the roof being standing metal seam or asphalt shingle roof and/or standing seam accent roof. Vinyl will only be permitted in trim & soffit areas.

Proposed setbacks and typical layouts are depicted on page 11 and in a table format on page 33 of the program book. The below extraction from the program book most clearly shows proposed setbacks of the PRD when compared with RS-A, Type 2 zoning district that is most similar. Because the PRD is a horizontal property regime, some of the exceptions/differences need to be compared between buildings, as there are no internal property lines. The exceptions that are being requested are shown in red below.



Setbacks Proposed in PRD compared to to RS-A, Type 2 zone Single-Family Detached Homes Minimum Building Setbacks (Internal):

Front of garage to Back of Sidewa	lk: 25-feet	vs. 35'
Front of house to Back of Sidewalk: 18-feet		vs. 35'
Sideyard to Back of Sidewalk (corr	ner):10-feet	vs. 35'
Side to Back of Sidewalk Alternation	ve: 15-feet*	vs. 35'
Side to Side between bldgs:	10-feet	vs. 5' to PL (10' between bldgs)
Side to Rear between bldgs:	25-feet	vs. 20' to PL (40' between bldgs)
Rear to Rear between bldgs:	30-feet	vs. 20' to pl (40' between bldgs)

Minimum Building Setbacks to External Development Boundaries:

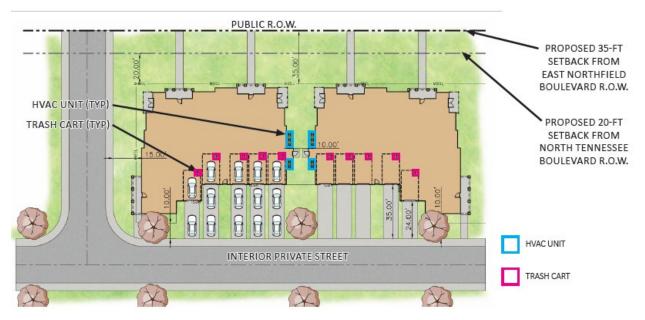
PCD Property Lines (side & rear)	20-feet	vs. 5' & 20' to Property Line (PL)
All Other Property Lines (rear):	25-feet	vs. 20' to PL

*Porch slab and fencing permitted within the setbacks as generally shown.

Red text denotes exceptions from the comparative zone district.

Attached single-family homes will be a minimum of 1,200 square feet and will all be 2bedroom dwellings as shown in the floor plan layout on pages 18 and 19. Specific architectural plans have been created specifically for this project to create a very unique product that does not look like apartments or standard vertical townhomes. The product is intended to look like a large single family home with lots of details, porch spaces, and varying roof heights. The overall 'height' of the building is 30.25' with the top ridge line at 37.5' tall. Each building functions like a stacked-flat style townhome, with three dwelling units only accessing the ground level and two dwellings on the 2nd floor accessed by a

2023-403_Northfield Acres PRD-PCD_Rezone_PC_PH_Final Page 3 April 5. 2023 PC PH Mtg shared interior staircase. Each of the 5 units' living area and garage is depicted in a different color outline on the floor plan pages 18 and 19. All townhomes will have a porch area at the front or side of each unit. Parking will be provided by a 1-car front loaded garage with a decorative garage door with window panels at the top of the door. Driveways are concrete and 10' wide by 24' for the corner units and 10' wide by 35' deep for all others with planting strips separating each. Driveways will accommodate 1 vehicle for the corner unit or 2 vehicles for all other units. Pages 20 through 24 include rendered and line drawings of the four elevation sides and a roof plan to better understand the building articulations. Exterior materials shall consist of masonry materials such as fiber cement lap board, fiber cement board and batten, brick, and stone with the roof being standing metal seam or asphalt shingle roof and/or standing seam accent roof. Vinyl will only be permitted in trim & soffit areas.



Minimum Building Setbacks to External Development Boundaries

East Northfield Boulevard:	35-feet	vs. 45' 'front' setback
North Tennessee Boulevard:	20-feet	vs. 35' 'front' setback
PCD Property Lines:	20-feet	vs. 10' front setback
All Other Property Lines:	25-feet	vs. 5' to property line (10' between bldgs.)

*End units may have garage setback of 24-feet minimum.

**Porches shall be permitted to encroach a maximum of 3-ft into setbacks shown above

Red text denotes exceptions from the comparative zone district.

Single-Family Attached Homes Minimum Building Setbacks (Internal):

Garage to Back of Sidewalk: 24-feet t "Rear" of house to Back of Sidewalk:		vs. 35' 'front' setback vs. 35' 'front' setback
Side to Back of Sidewalk (corner):	<mark>15-feet</mark>	vs. 35' front setback
Side to Side between bldgs:	10-feet	vs. 5' to property line (10' between bldgs.)

Proposed setbacks and typical layouts are depicted on page 17 and in a table format on page 33 of the program book. The below extraction from the program book most clearly shows proposed setbacks of the PRD when compared to RS-A, Type 2 zoning district that is most similar. Because the PRD is an HPR, some of the exceptions/differences need to be compared between buildings, as there are no internal property lines. Exceptions to the comparative setbacks are identified in red text above.

Amenity areas are proposed throughout the development as depicted on page 28-30 of the program book. These areas are programmed to include elements such as pickleball courts, a dog-park, outdoor seating, community fire pits, grilling stations, cornhole boards, 2 gazebos, and walking trails. In previous drafts, a larger scale single gazebo was provided near North Tennessee Boulevard but was changed to a smaller gazebo by the applicant when staff asked for a second gazebo over a seating area towards the site interior. Staff recommends that the interior gazebo be larger to accommodate 20 persons under cover and a second conceptual picture needs to be added. All property owners of the development shall be part of an HOA managed by a third party. The HOA shall be responsible for maintaining all common areas and amenities. Three residential monument signs will be incorporated at the one East Northfield Boulevard and the two North Tennessee Boulevard entrances. Signs will be constructed of masonry materials and anchored with landscaping.

Landscape plantings and buffers are provided within and along the perimeter of the project as shown on page 31 of the program book and include the following:

- The existing wetlands to the east across North Tennessee Boulevard are to remain undeveloped. The residential H.O.A. shall be responsible for the maintenance and upkeep of the existing wetlands.
- Trees along the private streets shall be placed every 100' on average as generally depicted on the concept plan.
- 3-rail fencing along the west side of North Tennessee Boulevard to match adjacent side of street with berm located along the drainage basin.
- A 3-ft tall berm shall be constructed along North Tennessee Boulevard along the proposed detention pond and shall be attractively landscaped with a mixture of evergreen and deciduous plantings.
- 15' wide Type "D" landscape buffer between the commercial and residential uses with an opaque fence bisecting the tree line.
- Low level parking landscape screening where headlights interfere with ROW or residential
- Minimum 10' of landscape area between parking and all property lines
- Perimeter and base of building plantings to meet standard City ordinance requirements.

Access/Parking: Pages 26 and 27 of the program book summarize most of the specifics related to access. All interior streets, parking, and driveways are private and will be maintained by an H.O.A. Interior private streets consist of a 34' cross-section with two 12' travel lanes and two 5' monolithic sidewalks (which are sidewalks that are directly adjacent to the curb with no grass strip between the curb and sidewalk). Entrance cross-sections accommodate three 12' travel lanes and two 5' monolithic sidewalks and two 5' monolithic sidewalks.

The residential portion of the property will have access to the existing public rights-of-way of East Northfield Boulevard through one entrance, and to North Tennessee Boulevard through two entrances. The PCD portion of the property will have access to the existing public rights-of-way of East Northfield Boulevard through one entrance and shall connect to the private drives proposed within the PRD portion of the property. These connections to the PRD property will provide residents with indirect access to East Northfield Boulevard. All entrances to the site will be designed to incorporate three lanes of travel; one lane entering the development and two lanes for travel leaving the development because East Northfield is a designated Major Arterial and North Tennessee Boulevard is a designated Community Collector.

Interior cross-access is being provided between the commercial and residential components so that the overall project site is more cohesive and potential line-of-sight issues for a commercial driveway is reduced by the shared access point. These interior connection points are shown in blue circles with access easements proposed in the dark blue dashed lines on page 8 and of the program book. These access drives are proposed to be built with the first commercial outparcel. As stated on page 26 of the program book, a traffic impact study will be conducted during site plan review and adjustments or improvements to the site shall be made accordingly (which may require a right-turn pocket off East Northfield Boulevard or other improvements).

The residential uses require 210 total parking spaces with 310 parking spaces being provided. Spaces are distributed between 114 garage spaces, 146 driveway spaces, and 50 guest parking spaces for the 77 residential dwelling units. This equates to 4.03 spaces per unit on average.

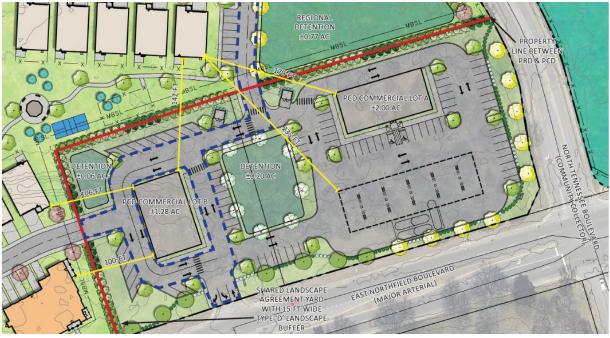
The PCD overall layout is best seen on page 8 of the program book and also includes basic site data for both the PRD and PCD. Pages 34, 35, and 36 provide more details of the proposed conceptual PCD characteristics as the immediate end users have not yet been determined. The PCD is being requested to allow for two outparcels to be developed with CF (Commercial Fringe) type uses as outlined more specifically in the "Permitted Uses" table provided therein. Prohibited uses include primary pain clinic, primary drug and alcohol rehab centers, vape/cigarette shop/tobacco shop, and liquor store. Limited uses could include a gas station with 6am to 11pm operating hours and a drive-thru.

In the existing zoning ordinance, if a Commercial Fringe – CF zoned property is adjacent to RS, RD, RS-A, PRD, or PUD zoned land (aka "sensitive land") the gas station and drive-thru uses require special separation. The "sale or distribution of gasoline" requires a 200' setback as measured between the CF and sensitive land zone properties. The drive-thru use requires 200' separation be measured from the closest part of the drive-up window use including the queuing lanes to the sensitive land. The intent is to ensure that the drive-up window and associated queuing lane, menu boards, on-site circulation, and ordering system will not have an adverse impact on the sensitive land to assure compatibility.

The applicant requests that these 200' special separation rules for these 2 uses between comparative RS-A zone district (being rezoned PRD) and comparative CF- Commercial Fringe zone district (being rezoned to PCD) be reduced to 170' for gas sales and 100' for drive thru uses from the actual structures rather than from the property lines or queue lanes respectively. The conceptual zoomed in layout on page 36 provides for two enclosed buildings and one free-standing gas canopy and shows potential setback reductions with yellow dimension lines. The comparative zone table on page 38 shows exceptions being requested from these setback standards from the future residential structures that generally apply in a CF zone as follows:

- <u>Requesting an exception to the required 200' setback from the property line for gasoline</u> <u>sales to be reduced to 170' as depicted on exhibit shown on Page 36.</u> This is measured from nearest proposed residential unit instead of measured from nearest residential property line to the convenience building or to the gas canopy.
- Requesting an exception to the required 200' setback from a drive-up window, queuing lane, menu boards, on-site circulation, and ordering system to be reduced to 100' as depicted on exhibit shown on Page 36. This is measured from nearest proposed residential unit instead of measured from nearest residential property line to the ordering system speaker box or pickup window.

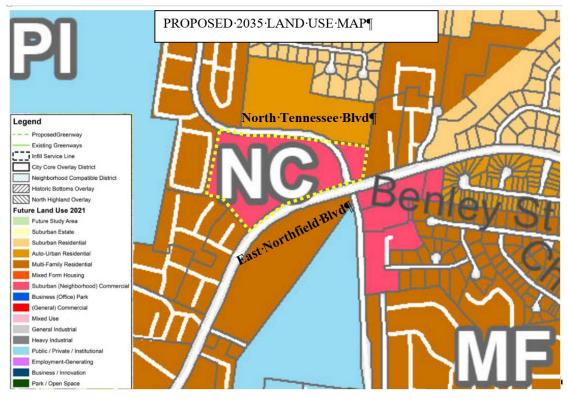
The 200' special setback rules does not apply to the existing surrounding neighborhoods because they are either zoned RM-12 or RM 16 or the future commercial outparcels are located more than 200' from PRD zoned property.



Future Land Use Map

The future land use map contained in the <u>Murfreesboro 2035 Comprehensive Plan</u>, which was adopted in July 2017, and the proposed new General Plan land use map recommend that the subject property develop primarily with a *Suburban Neighborhood Commercial* land use character (see excerpt from the proposed future land use map below). This

2023-403_Northfield Acres PRD-PCD_Rezone_PC_PH_Final Page 7 April 5, 2023 PC PH Mtg Suburban Neighborhood Commercial character consists of commercial and office uses that are automobile-oriented but designed at a neighborhood scale and cater to pedestrians in neighborhood commercial configurations rather than linear strips. The scale and intensity level of the building size, shape, and footprint is about the same as residential development within the suburban estate or suburban residential categories and is clustered at intersections. The existing comprehensive plan calls out CL, CF, CM-R, CM, and CM-RS-8 zoning districts as being compatible with this designation. Development types in this designation includes professional offices, convenience stores, dry cleaners, post offices, coffee shops, and drug stores. The proposed new General Plan calls out for CF, OG, CM, and PCD/PUD zoning districts as being compatible with this



land use character, evaluated on a case-by-case basis. Recommended development types in the updated plan are the same as the existing plan with drive-thru uses being discouraged but potentially allowed if they are integrated into the design to not be prominent.

Based on the Comprehensive Plan designations, the proposed PCD component is clearly consistent with the *Suburban Neighborhood Commercial*.

Based on the Comprehensive Plan designations, the proposed PRD component is not clearly consistent with the *Suburban Neighborhood Commercial* land use character. However, the new transition policies stemming from the proposed new General Plan updated may address this type of situation, and this may be an instance for the following reasons:

1)"Unique geographical, environmental or infrastructure conditions shape development opportunities differently than property line configurations." The layout of

the two different uses allows the natural flow of water to stay in place adjacent to the proposed residential walking trail rather than bisecting a commercial center.

2)"More than one type of land use category may be suggested to occur within property boundaries, especially on large parcels." The developable property acreage is 16.53 acres of Commercial Fringe – CF zoned property, which has remained undeveloped in its current zone for over 20 years, showing that the large size may make it difficult to develop as presently zoned for only commercial uses.

3)-"Guiding Principle 11 states that proposed development should transition from the existing development pattern in adjacent neighborhoods. Lots on periphery should be sized consistent with the existing lots within adjacent city neighborhoods." The project has townhome units on the periphery adjacent to other townhomes or apartment uses with single family detached units oriented in the middle of the development with an overall density similar to the surrounding uses.

Department Recommendation

Staff is generally supportive of this rezoning request for the following reasons:

- 1) The PCD retains a commercial component to serve the local neighborhood needs while prohibiting potential problematic uses.
- 2) The density of 5.81 units per acre of the developable land is in line with the adjacent properties as listed in the table above.
- 3) Less traffic impacts are expected with the mixture of uses instead of all 17.98 developable acres being Commercial Fringe uses.
- 4) The PRD offers a variety of housing types with quality architecture.
- 5) The zoning plan is compatible with the future land use map, when taken into context with the transition policies.

However, the following Staff Comments should be integrated into the program book:

- a. Choose one solid non-combustible optional patio fencing type rather than three styles currently included for continuity and include the proper picture of this fence and the 3-rail fence in the program book. Staff prefers 4' solid with 2' permeable top section.
- b. Include a larger gazebo conceptual photo that holds approximately 20 persons for the interior location in addition to the small one currently shown.
- c. For the potential drive-thru, identify 2 specific speaker box locations on page 36; one on the northeast corner of the building shown on Lot B facing easterly and one on the southeast corner of the building shown on Lot A facing south.
- d. For potential gas station, scale back hours of operation from 6-10pm and require the canopy lighting to be turned off after hours. All lighting for this use shall be evaluated during site plan review.

Action Needed

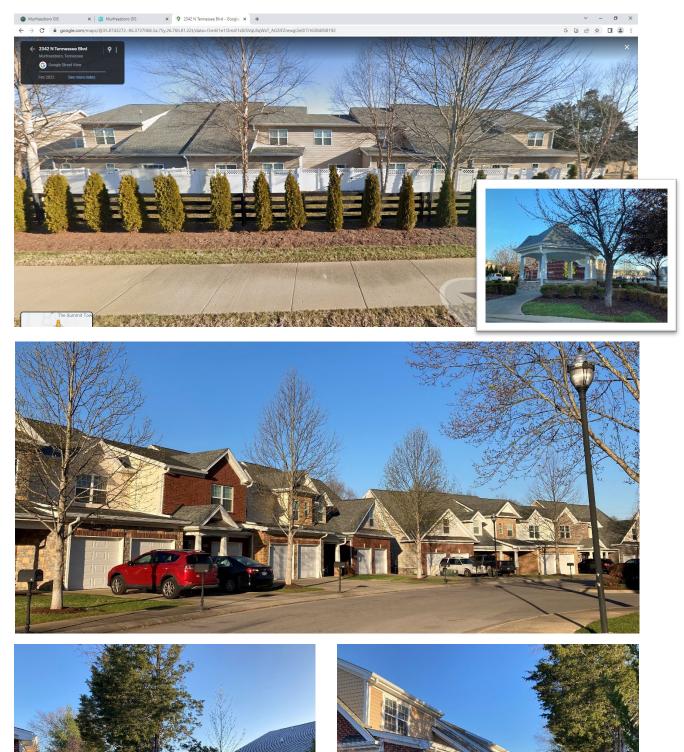
The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should hold the public hearing, discuss this item, and then formulate a recommendation to City Council.

BROOKWOOD POINT



2023-403_Northfield Acres PRD-PCD_Rezone_PC_PH_Final Page 11 April 5, 2023 PC PH Mtg

THE RETREAT AT NORTHWOODS



zon

April 5, 2023 PC PH Mtg

THE PRESERVE MURFREESBORO

(aka Pointe at Raiders Campus, converting out all 4 bed/4 bath student housing)



2023-403_Northfield Acres PRD-PCD_Rezone_PC_PH_Final Page 13 April 5, 2023 PC PH Mtg

FORREST OAKS II (located on the northside of East Northfield Blvd.)

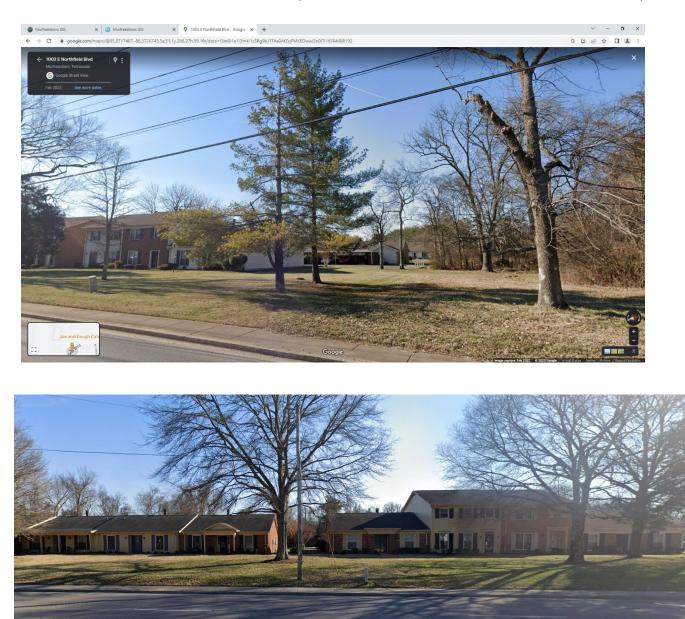






2023-403_Northfield Acres PRD-PCD_Rezone_PC_PH_Final Page 14 April 5, 2023 PC PH Mtg

FORREST OAKS II CONDOMINIUMS (located on the southside of East Northfield Blvd.)





SITE ENGINEERING CONSULTANTS

Engineering • Surveying • Land Planning • Landscape Architecture 850 Middle Tennessee Blvd, Murfreesboro, TN 37129 www.sec-civil.com • 615-890-7901 • fax 615-895-2567

October 23, 2023

Holly Smyth City of Murfreesboro 111 West Vine Street Murfreesboro, TN 37130

RE: Northfield Acres PRD/PCD Resubmittal for Planning Commission Public Hearing Meeting PRD/PCD Booklet Summary of Changes SEC Project No. 18116

Dear Holly,

We have reviewed your comments on the above referenced PCD/PCD rezoning and we have revised the plans accordingly. Revisions have been outlined below.

Cover Page –

• Updated Submittal information

Page 3 –

- Added text about the 0.04 Acres of ROW abandonment and updated overall acreage information.
- Revised Future Land Use Plan to Future Land Use Map.
- Swapped Major Thoroughfare Plan with Zoning Map on Page 4.

Page 4 –

- Revised language to include connection between PRD and PCD portions of the development.
- Added language regarding shared access easement between PRD & PCD
- Revised language to accurately represent proposed entrances and their lanes of travel.

Page 5 –

• Updated FEMA Panel Per 2023 Study

Page 8 –	
	 Added two entrance circles designating the right-in/right-out entrance to the site adjacent to gas canopy and wetlands on North Tennessee and East Northfield. Added entrance circle designating the half-porkchop right-out entrance on the east side of the PRD portion of the development. Added access easement to PCD for proposed connection to PRD. Removed direct connection from PRD to PCD off North Tennessee Boulevard. Reoriented 3 homes adjacent to the NW corner of the PCD Property.
Page 9 –	
-	 Added development standard for access easement between PRD and PCD Revised Privacy fence to show lattice top option. Replaced the "wood" privacy fence picture to show example of 3-Rail Fence Added "and be maintained by the H.O.A." to the end of private road bullet point.
Page 10 –	
	 Removed access easement from norther part of the PCD to the PRD. Added language regarding connection to PRD portion of development.
Page 11 –	
	 Revised Front setbacks of single-family detached units from 25' to 22' from back of sidewalk to garage front to facilitate plan revisions.
	• Revised Front setbacks of single-family detached units from 18' to 15' from back of sidewalk to front of house to facilitate plan revisions.
	 Removed one access easement from PCD to PRD.
	Revised language regarding privacy fences along patios.Cleaned up setback language to clearly state distance between buildings
Page 18 –	 Revised diagram to show all exterior surface parking spaces.
Page 26 –	
rage 20 -	• Added Entrance designation symbol to two newly proposed PRD entrance.
	 Revised language to accurately represent proposed entrances and their lanes of travel.
	• Removed northerly access easement to PCD for proposed connection to PRD.
	Added language for Access Easement maintenance.
	 Added text for ROW abandonment and highlighted said text in yellow. Added

callouts on diagram as well.

Page 31 –	
	 Added section of proposed landscape buffer where PCD connection was removed.
	Added open space areas to landscape diagram.
Page 32 –	
	 Revised charts for added drive/parking area and new acreage.
Page 33 –	
-	Revised exception requests to be consistent with updates to page 17
Page 34 –	
	 Added language regarding PCD responsibility for shared maintenance of access roadway.
Page 35 –	
	Added architectural foot note.
Page 36 –	
	 Removed one access easement to PCD for proposed connection to PRD.
	 Added ROW abandonment land area.
	 Updated build setback to adjacent – residential home
Page 37 –	
	Revised charts for added drive/parking area.
Page 38 –	
	 Revised exceptions page per staff comments.

Should you need any clarification concerning the plans or our revisions, please feel free to contact me at 615-890-7901.

Sincerely,

Moth Jaybor

Matt Taylor, P.E. SEC, Inc.



NORTHFIELD ACRES A REQUEST FOR REZONING FROM COMMERCIAL FRINGE (CF) TO PLANNED RESIDENTIAL DISTRICT (PRD) & PLANNED COMMERCIAL DISTRICT (PCD) Murfreesboro, Tennessee

Initial Submittal February 9, 2023

Resubmittal March 14, 2023 for the March 15, 2023 Planning Commission Workshop Meeting

<u>Resubmittal</u> March 27, 2023 for the April 5, 2023 Planning Commission Public Hearing Meeting

Resubmittal October 23, 2023 for the November 1, 2023 Planning Commission Public Hearing





SEC Project #18116

© Copyright 2023, Site Engineering Consultants, Inc.

SEC, Inc.

Company Name: SEC, Inc. Profession: Planning.Engineering.Landscape Architecture Matt Taylor and Rob Molchan Phone: (615) 890-7901 Email: mtaylor@sec-civil.com / rmolchan@sec-civil.com www.sec-civil.com

850 Middle Tennessee Blvd. Murfreesboro, Tennessee 37129

Attn:

Web:

Attn:

Phone:

Email:

Web:



Company Name: Haury & Smith Contractors, Inc. Profession: Developer and Builder Matt Smith (615) 330-4897 msmith@haurysmith.com www.haurysmith.com

7065 Moores Lane, Suite 300 Brentwood, Tennessee 37027

architecture

Purser White Company Name: Profession: Architecture Attn: John Purser Phone: (629) 943-8615 Email: dave@purserwhitearch.com Web: www.purserwhitearch.com

2819 Columbine Place, Suite 5 Nashville, Tennessee 37204

TABLE OF CONTENTS..... PROJECT SYNOPSIS, ZONING MAP, & FUTURE LAND USE SUBDIVISION MAP & MAJOR TRANSPORTATION PLAN ... UTILITY MAP & HYDROLOGY AND TOPOGRAPHY ON-SITE & OFF-SITE PHOTOGRAPHY CONCEPTUAL SITE AND LANDSCAPE PLAN RESIDENTIAL DEVELOPMENT STANDARDS CONCEPTUAL PHASING PLAN..... SINGLE-FAMILY DETACHED RESIDENTIAL ARCHITECTURA SINGLE-FAMILY ATTACHED RESIDENTIAL ARCHITECTURA RESIDENTIAL INGRESS AND EGRESS RESIDENTIAL AMENITIES RESIDENTIAL LANDSCAPE CHARACTERISTICS RESIDENTIAL ARTICLE 13 RESIDENTIAL EXCEPTIONS SUMMARY COMMERCIAL DEVELOPMENT STANDARDS..... COMMERCIAL ARCHITECTURAL CHARACTERISTICS...... COMMERCIAL LANDSCAPE CHARACTERISTICS..... COMMERCIAL ARTICLE 13 COMMERCIAL EXCEPTIONS SUMMARY.....

> © Copyright 2023, Site Engineering Consultants, Inc. (SEC, Inc.) This document shall not be reproduced, modified, published, or used in any way or form of media/print without the expressed written consent of Site Engineering Consultants, Inc.

	02
MAP	03
	04
	05
	06-07
	09
AL CHARACTERISTICS	11-16
L CHARACTERISTICS	17-25
	28-30
	35



AERIAL PHOTOGRAPH

North Tennessee Boulevard (Community Collector) East Northfield Boulevard (Major Arterial)

Alexander Boulevard (Community Collector)

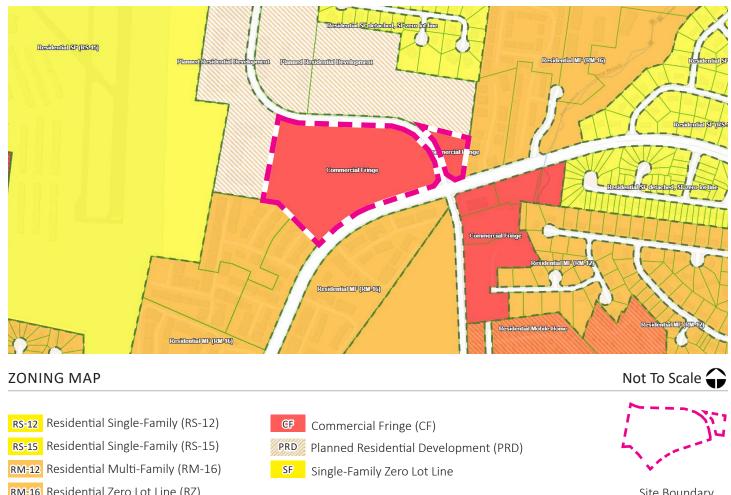
Lascassas Pike (Major Arterial)

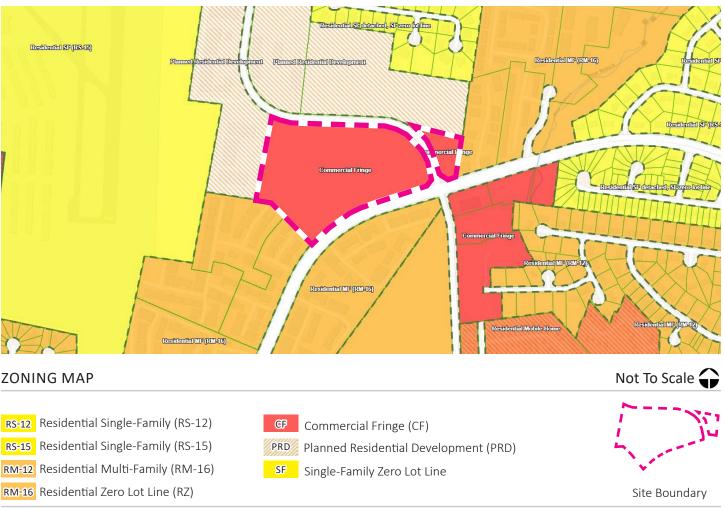


Haury & Smith Contractors, Inc. respectfully requests the rezoning of the Northfield-Smith, LLC property from Commercial Fringe (CF) to Planned Residential District (PRD) and Planned Commercial District (PCD)to create Northfield Acres. The property is located predominantly at the northwest corner of the intersection of East Northfield Boulevard and North Tennessee Boulevard. The site is identified as Parcel 115.02 of Tax Map 081, and is approximately 18.05 acres. An additional 0.04 acres of ROW along East Northfield Boulevard will be abandoned and added to the development for an overall area of 18.09 acres. Of the 18.09 acres, 3.24 acres along East Northfield Boulevard will be out-parceled to rezoned as Planned Commercial District (PCD). The remaining 14.85 acres will be rezoned to Planned Residential District for this development. Of this 14.85 acres, 1.45 acres of land to the east across North Tennessee Boulevard will be set aside as existing wetlands to remain within the PRD giving a developable acreage of 13.40 acres.

The request for rezoning to PRD is to create Northfield Acres. The development will consist of 77 dwelling units on 13.40 acres for a density of 5.75 dwelling units per acre. The project will consist of a mixture of 40 single-family attached townhomes and 37 single-family detached homes. The homes will be built as a Horizontal Property Regime (HPR), and all homes will be for purchase. The proposed single-family detached homes will be a minimum of 1,800 sf. All single-family detached homes will have a minimum of 3 to 4 bedrooms. The single-family detached homes will have a minimum two car front-entry garage and 2 surface spaces in front of each garage. The proposed single-family attached townhomes will be a minimum of 1,200 sf. All single-family attached homes will have 2 bedrooms. The single-family attached townhomes will have a minimum one car rear entry garage. The home elevations will be constructed of mixture masonry materials to add quality and character to the community. Each home will have foundation landscaping and sodded front yards when fronting onto any public or private street. Street lights will be provided along the roadways to add character and continuity to the neighborhood. The entrances onto North Tennessee Boulevard and East Northfield Boulevard will incorporate signage on one side of their intersections. The H.O.A. will maintain all common areas.

The commercial portion of the development will create neighborhood oriented retail opportunities for the proposed homes and surrounding area. The proposed commercial will further reinforce the North Tennessee and East Northfield intersection as a commercial node for the area.





The surrounding area consists of a mixture of zoning types and uses. The land to the north and west is zoned PRD. The land to the south is zoned RM-16. The land to the southeast and east are zoned CF. The majority of the land surrounding this development is zoned for residential classifications with a small portion of land set aside for commercial development to service the surrounding residential uses.

PROPOSED FUTURE LAND USE MAP (2035)





The existing and proposed Murfreesboro Future Land Use Map Amendment proposes this area as Suburban (Neighborhood) Commercial Character (NC). The character of this land use includes professional offices, convenience stores, dry cleaners, and other small-scale, low-intensity land uses, generally clustered at intersections of community collector thoroughfares. Generally compatible zoning districts include CF, OG, CM, and PCD/PUD.

While the residential portion of this development does not align with the Future Land Use Plan's classification for this lot, the commercial portion of the development does. The proposed residential development expands and complements the existing and growing residential character surrounding this property, while the commercial property will complement the commercial development catty corner to the development.

EXISTING CONDITIONS PROJECT SYNOPSIS. ZONING MAP. & FUTURE LAND USE MAP

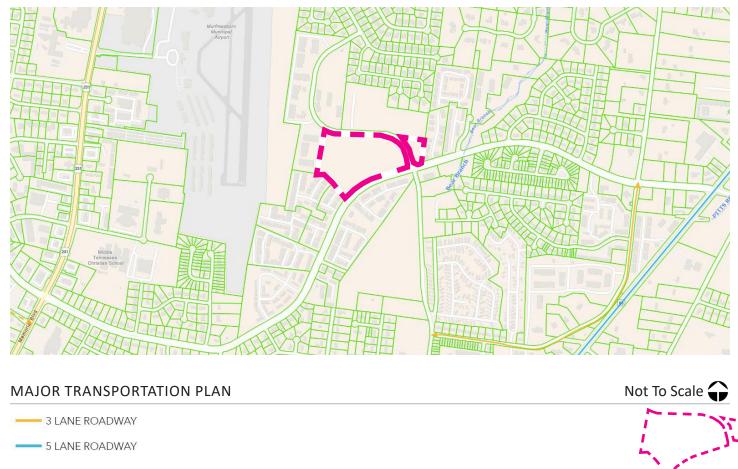








Northfield Acres is surrounded by a mixture of residential subdivisions with a variety of residential products. Brookwood Point is a residential development to the north consisting of two story single-family attached homes that include garages. The exterior elevations consist of primarily brick with masonry accents along all elevations. There is one primary point of ingress/egress to the development from North Tennessee Boulevard. College Suites is a residential development to the west consisting of three story apartments. The exterior elevations consist of primarily hardy board with brick accents along all elevations. There are two primary points of ingress/ egress to the development from North Tennessee Boulevard Forest Oaks is a residential development to the south consisting of one and two story single-family attached homes that include a detached covered parking bay at the rear of the units. The exterior elevations consist of primarily brick on the fronts of all homes as well as the sides on the first floor and deep front setbacks from East Northfield Boulevard. The side elevations on the second floor as well as the rear elevations consist primarily of hardy board. There are two primary points of ingress/egress to the development from East Northfield Boulevard which align with the proposed entrances to Northfield Acres. Wycliffe Court is a residential development to the east consisting of single story apartments. The exterior elevations consist of primarily wood paneling with brick accents on the sides. There is one point of ingress/egress to this development from East Northfield Boulevard.

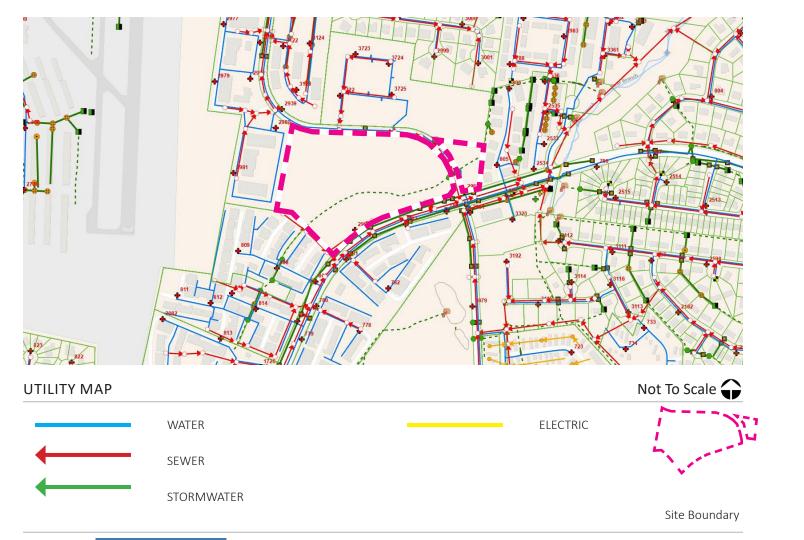


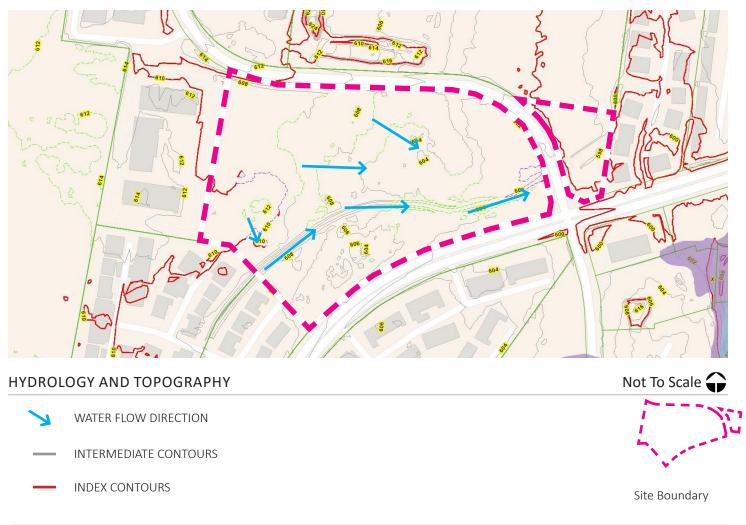
The PRD portion of the property has/will have access to existing public rights-of-ways along East Northfield Boulevard and North Tennessee Boulevard. The PRD will have an entrance in the southeast corner of the development to East Northfield Boulevard. This access point will incorporate 3-lanes of travel; one lane into the site and two lanes out of the site. The PRD portion of the development will also have two entrances to North Tennessee Boulevard along the northern boundary. The eastern entrance will incorporate one lane into the site, and one right-out only turn lane onto North Tennessee Boulevard. The western entrance along North Tennessee Boulevard will incorporate 3-lanes of travel; one lane into the site and two lanes out of the site. This entrance will align with the existing entrance for Brookwood Pointe PRD to the north.

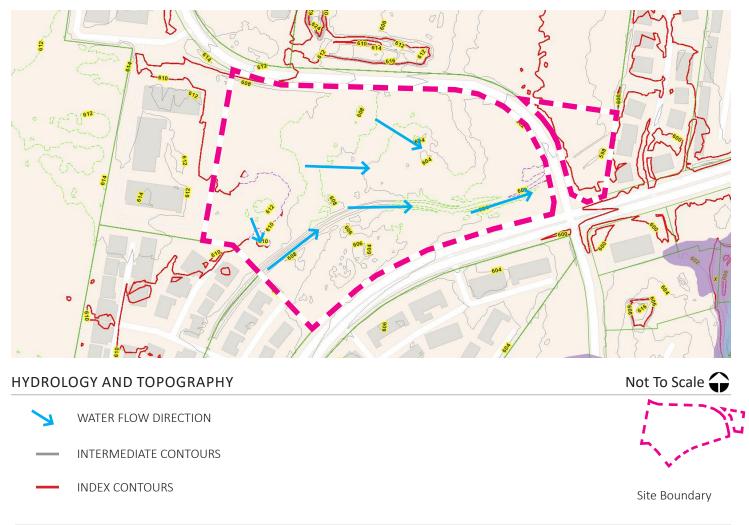
Site Boundary

The PCD portion of the property has/will have access to existing public rights-of-ways along East Northfield Boulevard and North Tennessee Boulevard. The western entrance along East Northfield Boulevard will incorporate 3-lanes of travel; one lane into the site and two lanes out of the site. The eastern access point to East Northfield Boulevard will have a right-in/right-out only configuration due to the divided median in the roadway, as well as proximity to the existing intersection. The PCD portion of the development will also have access to North Tennessee Boulevard via a right-in/right-out only configuration due to the proximity to the intersection and the large curve configuration of this roadway.

Internally, there will be a cross access easement between the PCD and PRD sections of the development.







The topographic map above shows the site's topographic high points generally at the northern and southern property lines of the property. From these high points, the property drains towards middle where a drainage ditch which drains to the east towards the wetland across North Tennessee Boulevard.

No portions of the property are within a recorded floodway or floodplain per FEMA Flood Panel 47149C0280J eff. 05/09/2023.



Water service will be provided by the Murfreesboro Water Resources Department. There is an existing 12 inch ductile iron water line stubbed to the property along East Northfield Boulevard for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.

Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 8" PVC gravity sewer line running along the southern property line along East Northfield Boulevard. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property. The proposed development will fall within its sewer allocation with the proposed zoning changes.



Electric service will be provided by Middle Tennessee Electric. Service will be extended from East Northfield Boulevard. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.

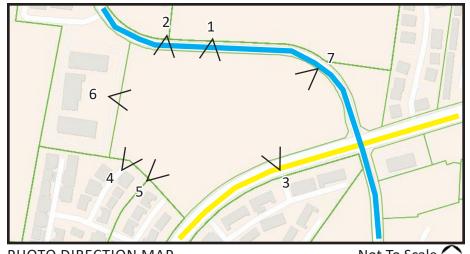
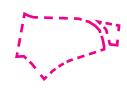


PHOTO DIRECTION MAP

Not To Scale 😱

North Tennessee Boulevard (Community Collector)

East Northfield Boulevard (Major Arterial)



Site Boundary



















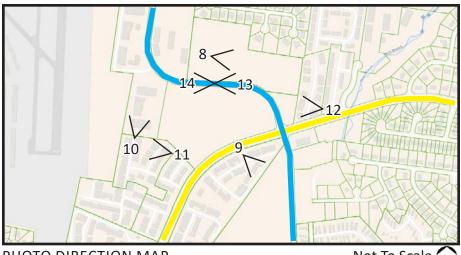


PHOTO DIRECTION MAP

Not To Scale 😱

North Tennessee Boulevard (Community Collector)

East Northfield Boulevard (Major Arterial)



Site Boundary













8





EXISTING CONDITIONS ON-SITE & OFF-SITE PHOTOGRAPHY 07

Land Use Data

08

Total Land Area:	±18.05 Acres	
R.O.W. Abandonment Land Area:	±0.04 Acres	
Total PCD Land Area:	±3.24 Acres	
Total PRD Land Area:	±14.85 Acres	
Existing Wetlands to Remain:	±1.45 Acres	
PRD Developable Land Area:	±13.40 Acres	
THE Developable Land Area.	±13.40 ACIC3	
Residential Land Use Da	ata	
Total Number of Townhome Units	s: 40 Units	
Total Number of Detached Units:	37 Units	
Total Number of Units:	77 Units	
Density: 77 Units/13.40 Acres =	±5.75 Units/Acre	
Required Min Open Space:±2.68 Acres (20%)Provided Open Space w/out Wetlands: ±2.94 Acres (2Provided Open Space w/ Wetlands: ±4.39 Acres (33%)Required Min Formal Open Space:±0.67 Acres (5%)Provided Formal Open Space:±0.67 Acres (5%)Stormwater (Detention):±0.80 Acres (6%)		
Length of New Interior Roadway:	±2,580 Linear Feet	
Required Parking:		
Townhome Units (2.2 Spaces/Unit	t): 88 Spaces	
Detached Units (4 Spaces/Unit):		
Total Required Parking Spaces:	236 Spaces	
iotal nequired r draing spaces.	200 004000	
Provided Parking:		
Garage Spaces	114 Spaces	
Driveway Spaces	146 Spaces	
Guest Spaces	<u>49 Spaces</u>	
Total Parking Provided:	309 Spaces (+73)	
Detention Open	n Space	
Roadway Side	walk	
Single-Family Detached Hor	mes	
Single-Family Detached Hon Single-Family Attached Tow		
	nhomes	
Single-Family Attached Tow	nhomes	
Single-Family Attached Tow Existing Wetlands to be Rez	nhomes	



PROPOSED PLANNED RESIDENTIAL DISTRICT CONCEPTUAL SITE AND LANDSCAPE PLAN

CONTINUOUS 3-RAIL FENCING 5-FT OFF PROPERTY LINE WITH LANDSCAPING TO MATCH BROOKWOOD POINT SUBDIVISION

> 3-FT TALL BERM WITH LANDSCAPING

> > EXISTING WETLANDS TO EMAIN AND BE **REZONED PRD** ±1.45 AC

PROPERTY LINE BETWEEN PRD & PCD

REGIONAL DETENTION ±0.80 AC

PCD COMMERCIAL LOT A ±2.01 AC

Fil

R.O.W. ABANDONMENT ±0.02 AC

EAST NORTHFIELD BOULEVARD (MAJOR ARTERIAL)

11

ACCESS EASEMENT

SHARED LANDSCAPE AGREEMENT YARD WITH 15-FT WIDE **TYPE 'D' LANDSCAPE** BUFFER





EXAMPLE OF ENTRANCE SIGNAGE



EXAMPLE OF DECORATIVE CLUSTER BOX UNITS (CBU)



EXAMPLE OF 6-FT VINYL PRIVACY FENCE WITH OPTIONAL 2-FT TOP OF LATTICE FOR SINGLE-FAMILY DETACHED PATIO AREAS



EXAMPLE OF 3-RAIL FENCE

Residential Development Standards:

- 77 dwelling units total, 40 single-family attached townhome units with 2 bedrooms, and 37 single-family detached homes with minimum 3 up to 4 bedrooms
- The proposed single-family detached homes will be a minimum of 1,800 sf., and the proposed single-family attached townhomes will be a minimum of 1,200 sf.
- Each unit will be created by a Horizontal Property Regime
- Home occupations, accessory to a principal residential use, shall be permitted in this planned development if they demonstrate that they will comply with the administrative home occupation standards in the Murfreesboro Zoning Ordinance, as they may be amended from time to time. Home occupations that do not comply with said administrative home occupation standards shall not be permitted in this planned development.
- All homes developed within the subdivision shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder(s) of all homes within the subdivision shall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity.
- Guest parking areas and driveways to homes shall be private and maintained by the H.O.A. Single-family attached homes will have a concrete driveway wide enough for 1 vehicle and shall have a minimum width of 10-ft. Single-family detached homes will have a concrete driveway wide enough for 2 vehicles and shall have a minimum width of 16-ft.

- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards. • HVAC units will be located at the side or rear of each residence.
- All mechanical equipment (i.e. HVAC and transformers) are to be screened with landscaping or fence.
- All on-site utilities will be underground.
- Entrances to the development will have new entrance signage constructed of masonry materials and anchored by landscaping.
- Builder shall install sod and landscaping in all front yards.
- A shared access easement will connect the PRD road going through the PCD to East Northfield Boulevard
- A shared landscape agreement easement shall be placed along the eastern and northern property line where this development abuts the existing commercial fringe zoning. A 15-ft wide type 'D' landscape buffer shall be installed within this landscape easement and shall be maintained by both the Commercial Property Owner Association and the residential H.O.A. • Public sidewalks will be provided on both sides of all streets throughout the development to
- create a pedestrian friendly community.
- All streets will be private and will have a 34-ft cross-section and be maintained by the H.O.A. • Solid waste shall be handled via a private hauler and carts shall be stored inside the garage of each home.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- Mail service will be provided via decorative cluster box units (CBU).
- All 77 home owners will be required to be members of the H.O.A.
- to pay membership dues as determined by an independent 3rd party management company.
- As members of the H.O.A., the residents will be subject to restrictive covenants and be required • H.O.A. will be manage by an independent 3rd party management company.
- H.O.A. will be responsible for the maintenance and upkeep of the existing wetland.
- H.O.A. will be responsible for the maintenance and upkeep of all landscape and lawn areas within the residential portion of the development.



PHASES	ATTACHED	DETACHED	ACRES
PHASE 1	35	21	9.92
PHASE 2	5	16	3.48
TOTAL	40	37	13.40

Phase 1 Phase 2

PCD

- The residential portion of this project is anticipated to be built in 2 phases.
- Construction of Phase 1 is anticipated to begin following their permitting. No building permits shall be issued until infrastructure is installed.
- The remaining phases will be market driven and dependent upon the absorption of the units in the previous phase.
- All amenities and open spaces shall be constructed within the phase they are shown and must be operational prior to the recording of the final section's plat.
- Centralize mail kiosk(s) for the development must be constructed and operational prior to the first home receiving their certificate of occupancy.

Phase 1 Package:

- Mail kiosk and its associated parking
- Community pet park
- Outdoor seating
- Community fire pit
- Community gazebos
- Cornhole boards
- Pickleball court
- Guest parking within phase (33 Spaces)
- Connections back to North Tennessee Blvd.
- Connection back to East Northfield Blvd.
- Detention pond north of commercial zoning

Phase 2 Package:

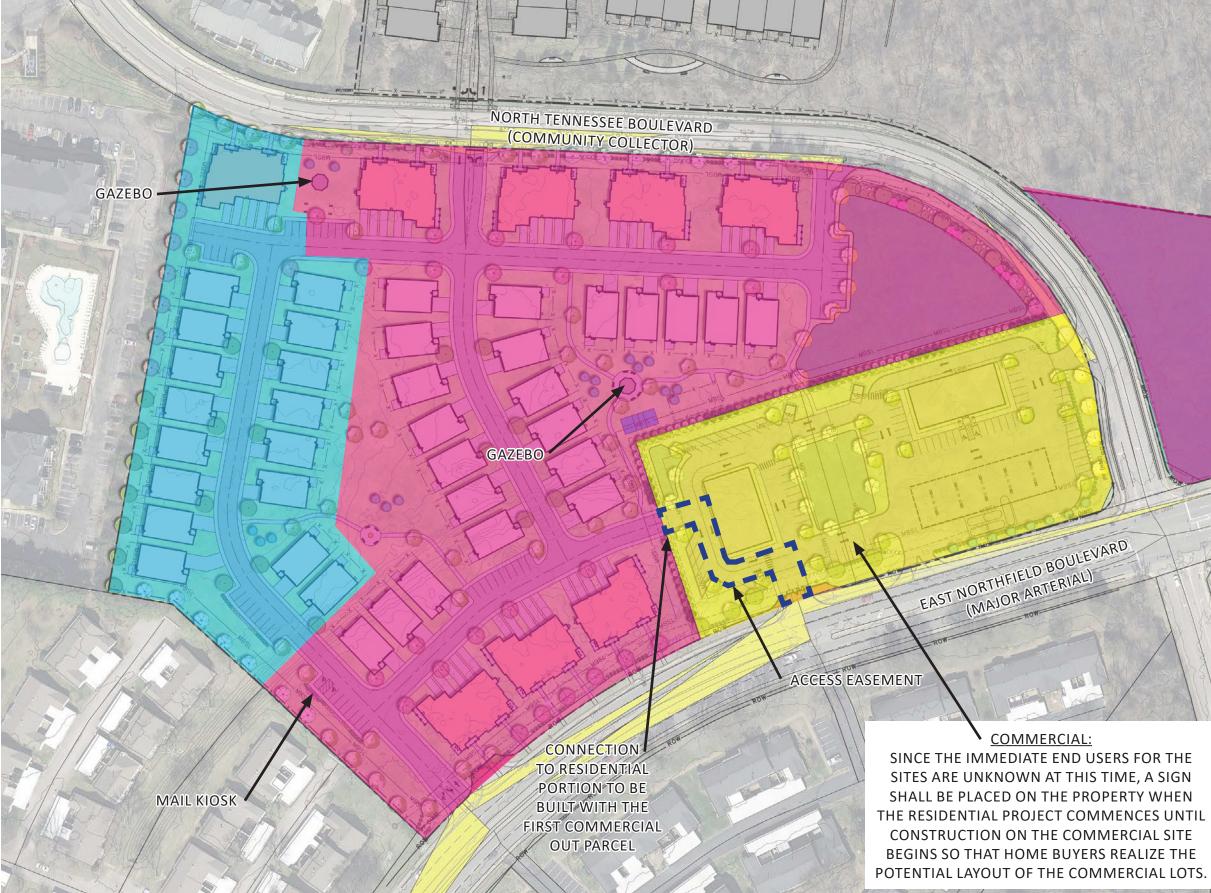
• Additional guest parking (16 Spaces)





Murfreesboro, Tennessee

PROPOSED PLANNED RESIDENTIAL DISTRICT 10 CONCEPTUAL PHASING PLAN



-120' 0′ 120' 240'

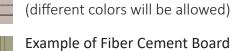
Single-Family Detached Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- All buildings will be 1 and 2-story
- All homes will have a minimum of 3 up to 4 bedrooms
- All the homes will have eaves
- Homes will have a patio area at the rear of the unit,
- Patios will have an optional 6-ft tall white vinyl privacy fence with an option to have top 2-feet of their privacy fence be open lattice.
- All single-family detached homes will have a 2-car front entry garage
- Garage doors shall be decorative and will range from white to neutral colors in order to match the trim and color palette of each home.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards and shall be clear of obstructions.
- All homes will be comprised of alternating unit style and unit colors



Example of Brick (Different colors will be allowed)





Board



and Batton (Different colors will be allowed)

Example of Fiber Cement Lap

Example of Stone Veneer (Different colors, cuts, patterns will be allowed)

Example of Standing Metal Seam Roof (For Accent Only) (Different colors will be allowed)

Example of Asphalt Shingle Roof (Different colors will be allowed)

Building Materials:

All Elevations:	Fiber Cement Lap Board, Fiber Cement Board
	and Batten, Brick, Stone, Standing Metal
	Seam Roof, Asphalt Shingle Roof,
	and/or Standing Seam Accent Roof
All Elevations:	Vinyl Only Permitted in Trim & Soffit Areas





Setbacks Proposed in PRD Compared to RS-A Type 2 Zoning Single-Family Detached Homes Minimum Building Setbacks (Internal):

Front of Garage to Back of Sidewalk: Front of House to Back of Sidewalk: Side to Back of Sidewalk (Corner): Side to Back of Sidewalk Alternative: Side to Side Between Buildings: Side to Rear Between Buildings: Rear to Rear Between Buildings:

Minimum Building Setbacks to External Development Boundaries:

PCD Property Lines: All Other Property Lines:

*Porch slab and fencing permitted within the setbacks as generally shown.

Red text denotes exceptions from the comparative zoning district.



TRASH CART

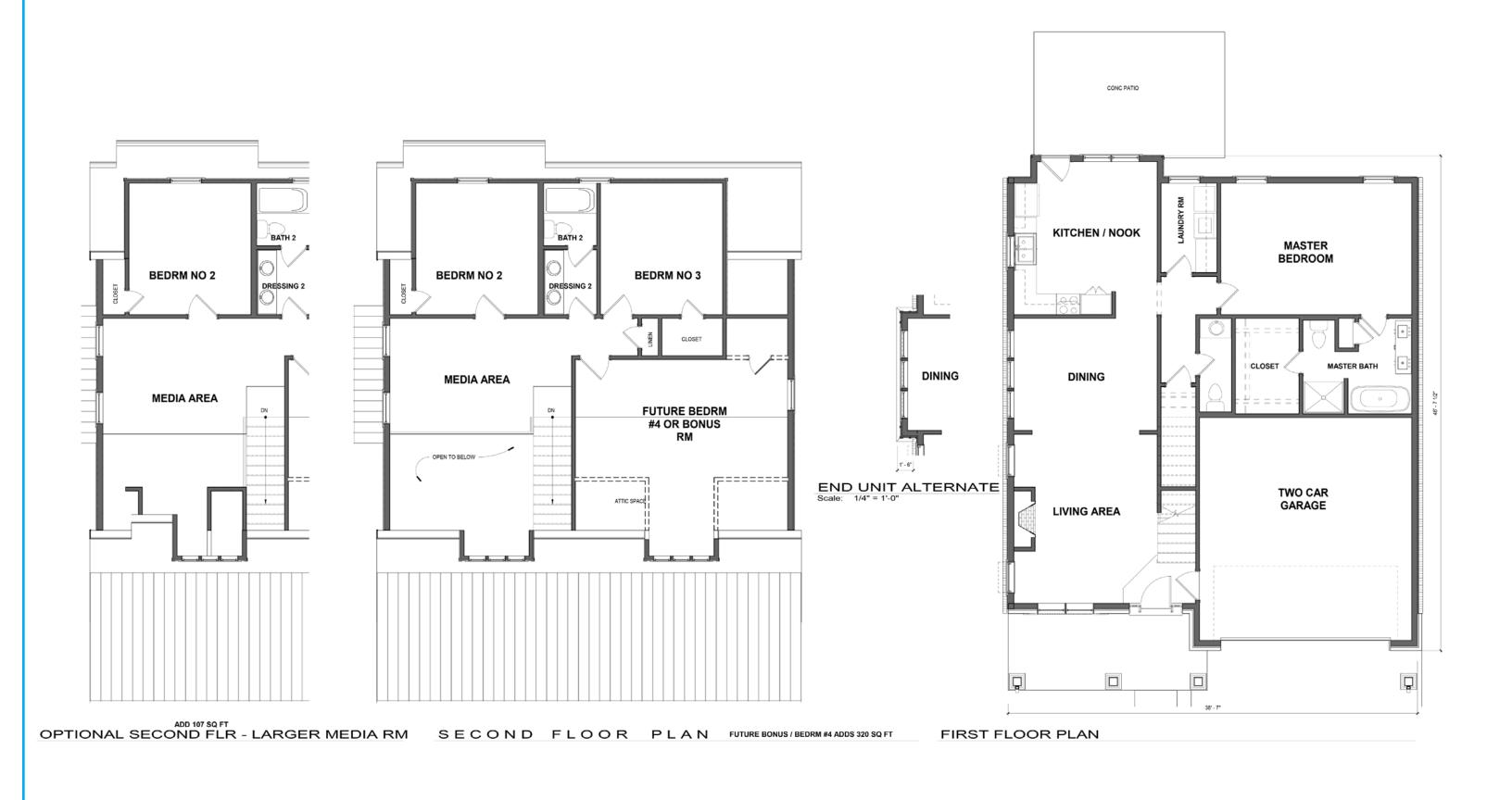
*Landscaping shown is illustrative and only meant to convey the general appearance and character of the development. Final landscaping shall be provided at the site plan level and will meet design guidelines.

22-ft vs. 35-ft 15-ft vs. 35-ft 10-ft vs. 35-ft 15-ft* vs. 35-ft 10-ft vs. 10-ft Between Buildings 25-ft vs. 25-ft Between Buildings 30-ft vs. 40-ft Between Buildings

ernal Development Boundaries: 20-ft vs. 5-ft & 20-ft to Property Line

25-ft vs. 20-ft to Property Line

SINGLE FAMILY DETACHED HOMES



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building.





*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

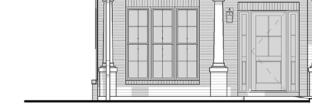
SINGLE FAMILY DETACHED HOMES

PROPOSED PLANNED RESIDENTIAL DISTRICT SINGLE-FAMILY DETACHED RESIDENTIAL ARCHITECTURAL CHARACTERISTICS 13

SINGLE FAMILY DETACHED HOMES







FRONT ELEVATION - OPTION B



FRONT ELEVATION - OPTION C



FRONT ELEVATION - OPTION D

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.









FRONT ELEVATION - OPTION E

3D View Right Side End Unit _ Alternate 001 Scale:





ELEVATION REAR

3D View Right Side End Unit _ Alternate 002 Scale:

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

SINGLE FAMILY DETACHED HOMES



PROPOSED PLANNED RESIDENTIAL DISTRICT SINGLE-FAMILY DETACHED RESIDENTIAL ARCHITECTURAL CHARACTERISTICS 15

SINGLE FAMILY DETACHED HOMES





LEFT SIDE ELEVATION - END UNIT ALTERNATE

LEFT SIDE ELEVATION





RIGHT SIDE ELEVATION - END UNIT ALTERNATE

RIGHT SIDE ELEVATION - Interior Unit Plain

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building.

Single-Family Attached Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- All buildings will be 1 and 2-story
- All homes will have at least 2 bedrooms
- All the homes will have eaves

Building Materials:

All Elevations:

All Elevations:

- All single-family attached townhomes will have a porch area at the front or side of the unit.
- Porches shall be allowed to encroach 3-ft into proposed setbacks.
- All single-family attached townhomes will have a 1-car rear entry garage.
- Garage doors will range from white to neutral colors in order to match the trim and color palette of each home.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards.
- All homes will be comprised of alternating unit style and unit colors

Fiber Cement Lap Board, Fiber Cement Board

and Batten, Brick, Stone, Standing Metal

Seam Roof, and Asphalt Shingle Roof Vinyl Only Permitted in Trim & Soffit Areas

Example of Brick (Different colors will be allowed)

Example of Fiber Cement Lap Board (Different colors will be allowed)

Example of Fiber Cement Board and Batton (different colors will be allowed)

Example of Stone Veneer (different colors, cuts, patterns will be allowed)

Example of Standing Metal Seam Roof (Different colors will be allowed)

Example of Asphalt Shingle Roof (Different colors will be allowed)



Single-Family Attached Homes Minimum Building Setbacks (Internal):

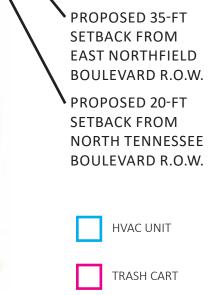
Garage to Back of Sidewalk:	24-ft to
"Rear" of House to Back of Sidewalk:	10-ft vs
Side to Back of Sidewalk (Corner):	15-ft vs
Side to Side Between Buildings:	10-ft vs

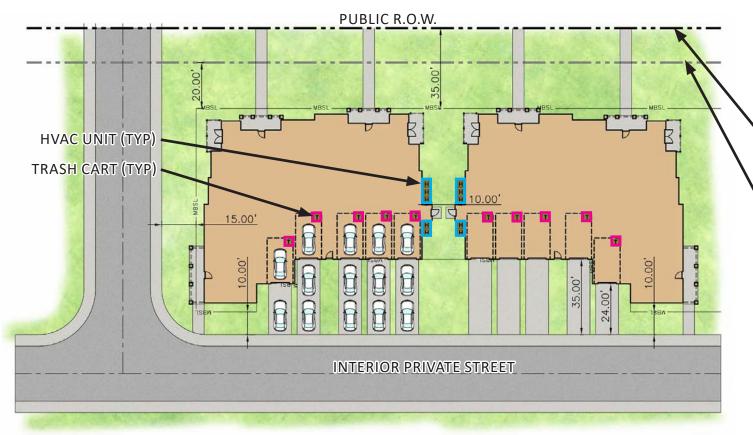
Minimum Building Setbacks to External Development Boundaries

East Northfield Boulevard:	35-ft vs
North Tennessee Boulevard:	20-ft vs
PCD Property Lines:	20-ft vs
All Other Property Lines:	25-ft vs

*End units may have garage setback of 24-feet minimum. **Porches shall be permitted to encroach a maximum of 3-ft into setbacks shown above

Red text denotes exceptions from the comparative zoning district.

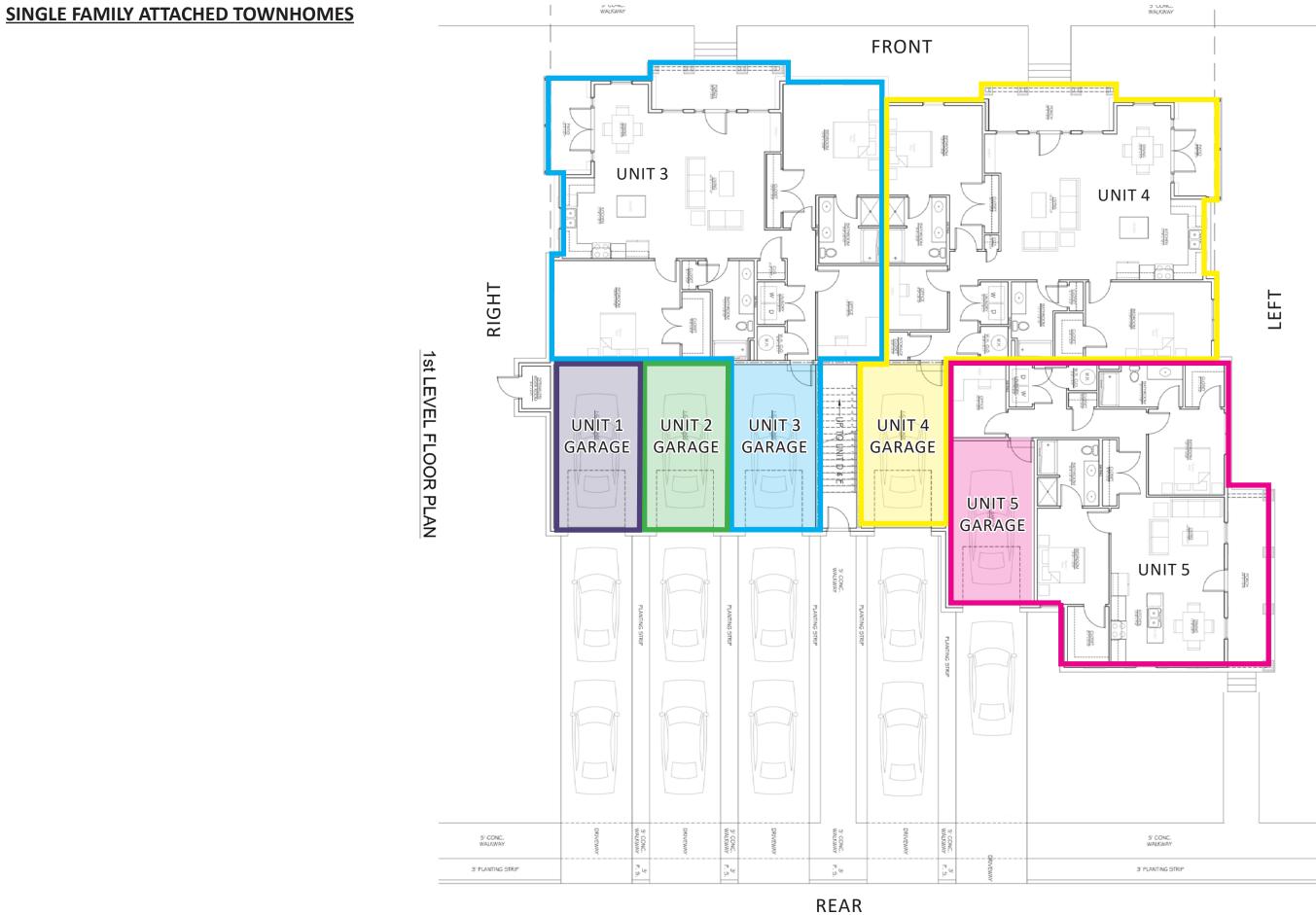




*Landscaping shown is illustrative and only meant to convey the general appearance and character of the development. Final landscaping shall be provided at the site plan level and will meet design guidelines.



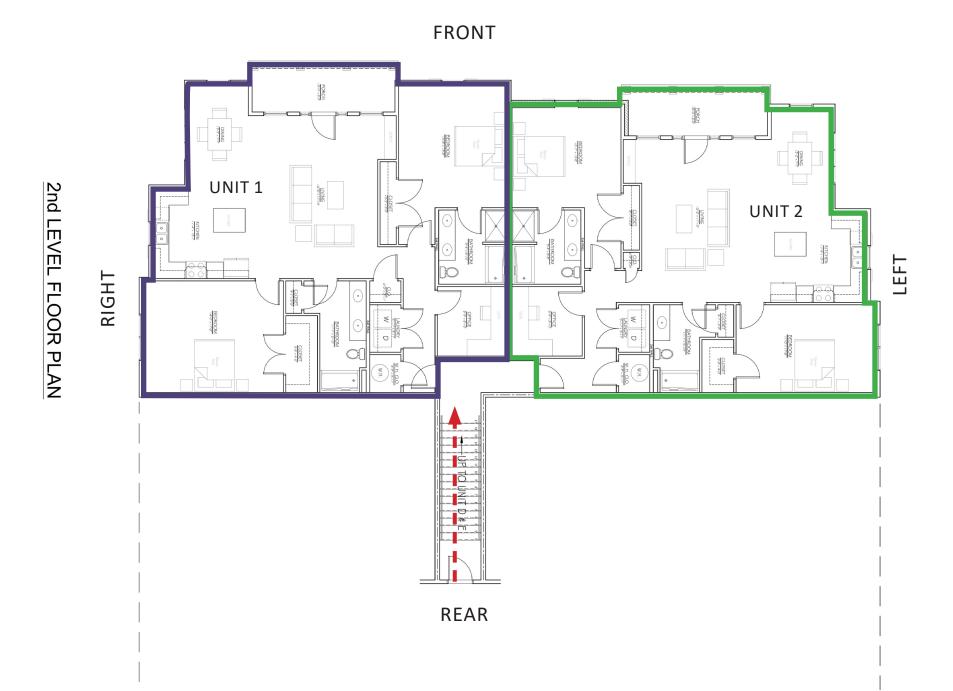
- o 35-ft vs. 35-ft Front Setback
- s. 35-ft Front Setback
- s. 35-ft Front Setback
- s. 5-ft to Property Line (10-ft Between Buildings)
- s. 45-ft Front Setback
- s. 35-ft Front Setback
- s. 10-ft Front Setback
- s. 5-ft to Property Line (10-ft Between Buildings)



PROPOSED PLANNED RESIDENTIAL DISTRICT SINGLE-FAMILY ATTACHED RESIDENTIAL ARCHITECTURAL CHARACTERISTICS 18



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

SINGLE FAMILY ATTACHED TOWNHOMES

SINGLE FAMILY ATTACHED TOWNHOMES



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.







*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

SINGLE FAMILY ATTACHED TOWNHOMES





SINGLE FAMILY ATTACHED TOWNHOMES



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building.

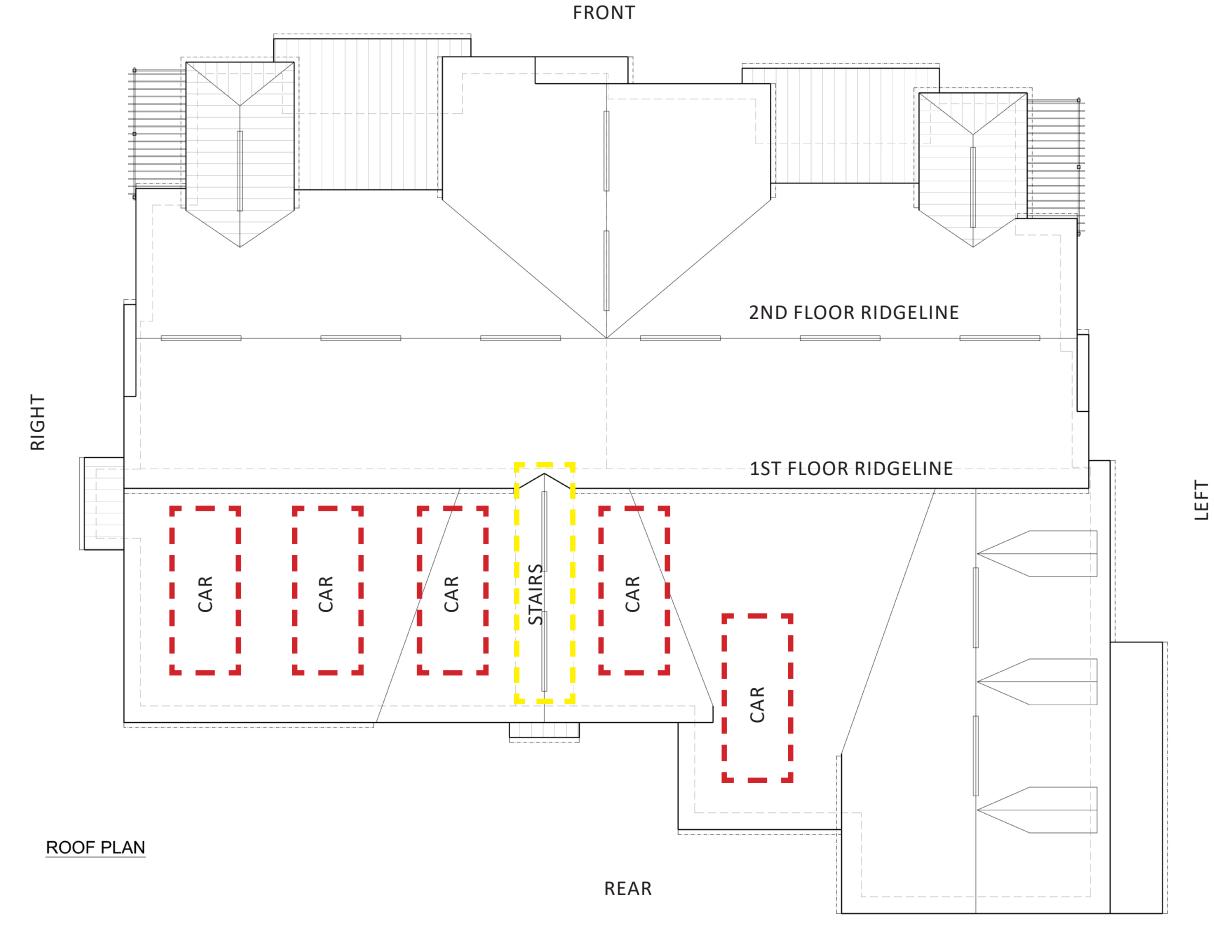


RIGHT-SIDE ELEVATION

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

SINGLE FAMILY ATTACHED TOWNHOMES

SINGLE FAMILY ATTACHED TOWNHOMES



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

SINGLE FAMILY ATTACHED TOWNHOMES

PROPOSED PLANNED RESIDENTIAL DISTRICT 25 SINGLE-FAMILY ATTACHED RESIDENTIAL ARCHITECTURAL CHARACTERISTICS 25

Pursuant to the City of Murfreesboro's Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for improvements. East Northfield Boulevard is a major arterial roadway where the majority of vehicular trips generated by this development will impact. It is currently built as a 5 lane cross-section with curb and gutter along with sidewalks on both sides of the roadway. North Tennessee Boulevard is a community collector that will also be affected by this development. The roadway frontage along North Tennessee Boulevard will be lined with a continuous 3-rail fence 5-ft off the property line with landscaping to match Brookwood Point Subdivision across the street to the north

The PRD portion of the property has/will have access to existing public rights-of-ways along East Northfield Boulevard and North Tennessee Boulevard. The PRD will have an entrance in the southeast corner of the development to East Northfield Boulevard. This access point will incorporate 3-lanes of travel; one lane into the site and two lanes out of the site. The PRD portion of the development will also have two entrances to North Tennessee Boulevard along the northern boundary. The eastern entrance will incorporate one lane into the site, and one right-out only turn lane onto North Tennessee Boulevard. The western entrance along North Tennessee Boulevard will incorporate 3-lanes of travel; one lane into the site and two lanes out of the site. This entrance will align with the existing entrance for Brookwood Pointe PRD to the north.

The PCD portion of the property has/will have access to existing public rights-ofways along East Northfield Boulevard and North Tennessee Boulevard. The western entrance along East Northfield Boulevard will incorporate 3-lanes of travel; one lane into the site and two lanes out of the site. The eastern access point to East Northfield Boulevard will have a right-in/right-out only configuration due to the divided median in the roadway, as well as proximity to the existing intersection. The PCD portion of the development will also have access to North Tennessee Boulevard via a right-in/rightout only configuration due to the proximity to the intersection and the large curve configuration of this roadway.

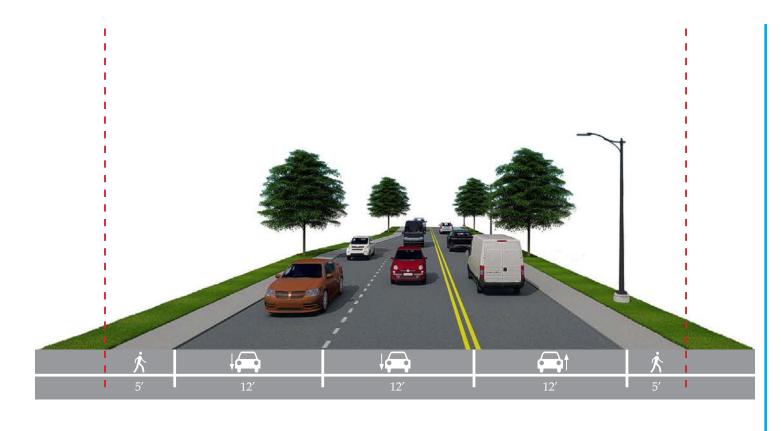
The illustration to the right shows the proposed entrances to the development as well as the proposed connection between the PRD and PCD portions of the development. Illustrations on Page 27 show examples of the proposed private road cross sections and a cross section showing building setbacks from North Tennessee Boulevard. A Traffic Impact Study shall be conducted at site plan review and adjustments or improvements to the site shall be made accordingly.

Two small City ROW areas containing .02 acres of land each, totaling .04 acres, at existing curb cut areas is anticipated to be abandoned through a later mandatory referral.

All streets within the development will be private streets with a typical 34-foot crosssection.

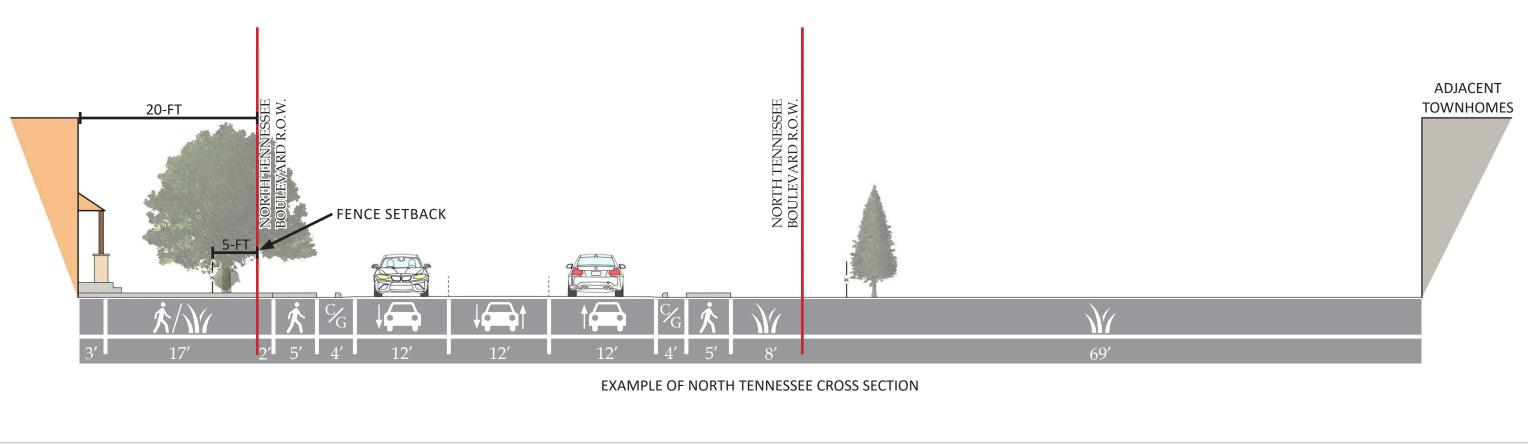






EXAMPLE OF 34-FT PRIVATE STREET CROSS SECTION

EXAMPLE OF 46-FT PRIVATE STREET 3-LANE ENTRANCE CROSS SECTION



PROPOSED PLANNED RESIDENTIAL DISTRICT INGRES//EGRESS 27





Example of Gazebo



Example of Outdoor Seating & Community Fire Pit



Example of Pickleball Court

With this request, Northfield Acres will be dedicating approximately 2.9 acres (approximately 22% of the site) to open space. With the addition of the existing wetlands to the east across East Northfield Boulevard, the site will be dedicating approximately 4.39 acres (approximately 30% of the site) to open space. The open space areas will be comprised of usable open space, detention areas, and existing wetlands. Usable open space areas around the development will offer such amenities as; a walking trail with outdoor seating, a dog park, a community fire pit, concrete cornhole boards, a pickle ball court, gazebos, and outdoor charcoal grilling stations. Sidewalks will line both sides of all streets to provide pedestrian circulation through the neighborhood for residents as well. Each amenity will be constructed with the phase it is designated in, after 50% of the homes are built out in each phase. The entrances to the site will incorporate masonry signage and will be anchored with landscaping.



Example of Dog Park



Example of Concrete Cornhole Boards



Example of Outdoor Charcoal Grilling Station(s)



LOCATION MAP - ACTIVE AMENITIES AREA

E Cornhole Boards

G Gazebo

Not To Scale 😱



LOCATION MAP - ACTIVE AMENITIES AREA



 C
 Outdoor Seating Plaza
 F
 Pickle Ba

 D
 Community Fire Pit
 G
 Gazebo

Pickle Ball Court H

H Outdoor Charcoal Grilling Station

Not To Scale 😱



3-FT TALL LANDSCAPED BERM

15-FT WIDE TYPE 'D' LANDSCAPE BUFFER WITH 8-FT TALL OPAQUE FENCE BETWEEN THE DOUBLE ROW OF TREES

6-FT TALL OPAQUE WOOD OR VINYL PRIVACY FENCE

3-RAIL FENCE WITH LANDSCAPING

PRIMARY OPEN SPACE AREAS. (2.9AC) *ADDITIONAL OPEN SPACE IS PROVIDED THROUGH OUT THE SITE ALONG HOMES, ROAD FRONTAGES, AND GUEST PARKING AREAS.







The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

Residential Landscaping Characteristics:

- A minimum 10 feet of landscape area between parking and all property lines.
- Public rights-of-way screened from parking by use of landscaping and/or berming.
- Trees along the private streets shall be placed at least every 100-ft as generally depicted on concept plan on Page 8.
- Owner Association and the residential H.O.A.
- shield adjacent residences from headlight glares.
- Low level screening shrubs shall be installed where commercial parking headlights interfere with R.O.W. or adjacent residential uses to help shield headlight glares.
- A 3-ft tall berm shall be constructed along North Tennessee Boulevard along the proposed detention pond and shall be attractively landscaped with a mixture of evergreen and deciduous plantings.
- The fronts and sides at the base of all buildings will have at least 3 foot wide landscape strip.
- The existing wetlands to the east across North Tennessee Boulevard are to remain undeveloped. The ٠ residential H.O.A. shall be responsible for the maintenance and upkeep of the existing wetlands.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance. ٠
- H.O.A. will be responsible for the maintenance and upkeep of all landscape and lawn areas within the • residential portion of the development.

• A shared landscape agreement easement shall be placed along the eastern and northern property line where this development abuts the proposed PCD zoning. A 15-ft wide type 'D' landscape buffer shall be installed within this landscape easement and shall be maintained by both the Commercial Property

• A 6-ft tall opaque wood or vinyl privacy fence shall be provided along the southeastern perimeter help

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: Exhibits shown on Pages 3-6 provide the requested materials.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits shown on Pages 3- 6 provide the requested materials.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits shown on Pages 3-6 provide the requested materials.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: Exhibits shown on Pages 7-9 provide the requested materials

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: Exhibits shown on Pages 7-9 provide the requested materials

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

PRD Overall Site Data:		
TOTAL SITE AREA	646,866 s.f.	14.85 AC (100.00%)
WETLANDS AREA TO REMAIN	62,984 s.f.	1.45 AC (9.76%)
DEVELOPABLE RESIDENTIAL SITE AREA	583,704 s.f.	13.40 AC (90.24%)
TOTAL MAXIMUM FLOOR AREA	125,800 s.f.	2.89 AC (19.45%)
TOTAL LOT AREA	646,866 s.f.	14.85 AC (100.00%
TOTAL BUILDING COVERAGE	138,725 s.f.	3.18 AC (21.45%
TOTAL DRIVE/ PARKING AREA	102,948 s.f.	2.36 AC (15.91%
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC (0.00%
TOTAL LIVABLE SPACE	547,753 s.f.	12.57 AC (84.65%
TOTAL OPEN SPACE	191,228 s.f.	4.39 AC (32.76%
FLOOR AREA RATIO (F.A.R.)	0.19	
LIVABILITY SPACE RATIO (L.S.R.)	0.63	
OPEN SPACE RATIO (O.S.R.)	0.79	

TOTAL OPEN SPACE	128,066 s.f.	2.94 AC (21.94%
TOTAL LIVABLE SPACE	480,756 s.f.	11.04 AC (82.36%
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC (0.00%
TOTAL DRIVE/ PARKING AREA	102,948 s.f.	2.36 AC (17.64%
TOTAL BUILDING COVERAGE	138,725 s.f.	3.18 AC (23.77%
TOTAL LOT AREA	583,704 s.f.	13.40 AC (100.00%
TOTAL MAXIMUM FLOOR AREA	125,800 s.f.	2.89 AC (21.55%
DEVELOPABLE RESIDENTIAL SITE AREA	583,704 s.f.	13.40 AC (100.00%

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned CF. The surrounding area has a mixture of residential and commercial properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating: (aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in two phases. Phasing information is described on Page 9.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Pages 8 and 28-31.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: See Requested Exceptions Page 33

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District, Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in a floodway or floodplain, according to the current FEMA Flood Panel 47149C0280H eff. 01/04/2007.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 3 & 26-27 discusses the Major Thoroughfare Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

contact info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Pages 8 and a description is on Pages 3 & 8.

Response: The primary representative is Matt Taylor of SEC, Inc. Developer/ applicant is Haury & Smith Contractors, Inc.

Response: Page 10-25 show the architectural character of the proposed residential buildings and building materials listed.

Single Family Detached (See Exhibit on Page 11)

Land Use Parameters and Building Setbacks - Single Family Detached			
Zoning (Existing vs Proposed)	RSA-2	Proposed PRD (SFD) Homes	Difference
Residential Density			
Maximum Dwelling Units Multi-Family	N/A	N/A	N/A
Vinimum Lot Area	N/A	N/A	N/A
Minimum Lot Width	N/A	N/A	N/A
Minimum Setback Requirements			
Vinimum Garage Front Setback to Back of Sidewalk	35'	22'	-13'
Vinimum Main Building Front Setback to Back of Sidewalk	35'	15'	-20'
Vinimum Main Building Side Setback to Back of Sidewalk (Corner Lot)	35'	10' (Except as Noted on Page 11)	-25'
Vinimum Side Setback to PCD Property Lines	5'	20'	+15'
Vinimum Side Setback to External Property Lines	5'	25'	+20'
Vinimum Rear Setback to External Property Lines	20'	25'	+5'
Vinimum Side Setback to Internal Units	5'	5' (10' Between Buildings)	0'
Minimum Rear Setback to Internal Units	20'	15' (30' Between Buildings)	-5' (-10')
and Use Intensity Ratios			
MAX F.A.R.	1.0	None	NA
Vinimum Livable Space Ratio	0.5	None	NA
Vinimum Open Space Requirement	20%	20%	0%
Vinimum Formal Open Space Requirement	5%	5%	0%
Max Height	35'	35'	0'

Single Family Attached (See Exhibit on Page 17)

Land Use Parameters and Building Setbacks - Single Family Attached			
Zoning (Existing vs Proposed)	RSA-2	Proposed PRD (SFA) Townhomes	Difference
Residential Density			
Maximum Dwelling Units Multi-Family	N/A	N/A	N/A
Minimum Lot Area	N/A	N/A	N/A
Minimum Lot Width	N/A	N/A	N/A
Minimum Setback Requirements			
Minimum Garage Rear Setback to Back of Sidewalk	35'	24' to 35'	-11'
Minimum Main Building Rear Setback to Back of Sidewalk	35'	10'	-25'
Minimum Main Building Side Setback to Back of Sidewalk	5'	15'	+10'
Minimum Front Setback to East Northfield Boulevard	45'	35'	-10'
Minimum Front Setback to North Tennessee Boulevard	35'	20'	-15'
Minimum Side Setback to PCD Property Lines	5'	20'	+15'
Minimum Side Setback to External Property Lines	5'	25'	+20'
Minimum Distance Between Buildings (Side to Side)	10'	10'	0'
Land Use Intensity Ratios			
MAX F.A.R.	1.0	None	NA
Minimum Livable Space Ratio	0.5	None	NA
Minimum Open Space Requirement	20%	20%	0%
Minimum Formal Open Space Requirement	5%	5%	0%
Max Height	35'	35'	0'

REQUESTED EXCEPTIONS:

- Requesting an exception to the 35-ft front setback to be reduced to 15-ft for main structures and to 22-ft for garages for single-family detached homes.
- Requesting an exception to the 35-ft 'side setback' on corner lots to be reduced to 10-ft for single-family detached homes.
- Requesting an exception to the 40-ft rear setback between buildings to be reduced to 30-ft for single-family detached homes.
- Requesting an exception to the 35-ft 'rear'/front setback to be reduced to 10-ft for main structures and 24-ft to 35-ft for garages for single-family attached homes.
- Requesting an exception to the 35-ft front setback along North Tennessee Boulevard to be reduced to 20-ft with the addition of landscaping and the continuous 3-rail fence.
- Requesting an exception to the 45-ft front setback along East Northfield Boulevard to be reduced to 35-ft.

*For the purposes of comparison, the 'Rear' acts as a front, as the single-family attached homes are double fronted with public R.O.W. and internal private streets.

RESIDENTIAL EXCEPTIONS SUMMARY

Commercial Development Standards:

- Signage advertising the commercial properties with concept plan layout shall be posted on-site before the first residential building permit is issued and will remain until commercial buildings are under construction.
- Any solid waste enclosures will be constructed of materials consistent with building architecture, be at least 8-ft tall with opaque gates, and accented with landscaping.
- Commercial buildings shall have pedestrian connections to East Northfield Boulevard.
- Buildings shall have a well defined architectural base by use of different materials, colors, change in pattern, or a combination of these techniques.
- Building elevations will have articulated or multiple building planes along all elevations.
- Main entrances to all buildings are to be well defined and easily recognizable by use of raised roof lines, canopies, glazing, change in materials, change in colors, change in pattern, or a combination of these techniques.
- A shared landscape agreement easement shall be placed along the eastern and northern property line where this development abuts the existing commercial fringe zoning. A 15-ft wide type 'D' landscape buffer shall be installed within this landscape easement and shall be maintained by both the Commercial Property Owner Association and the residential H.O.A.
- Monument signage located at entrances along roadways shall be constructed of materials consistent with building architecture and accented with landscaping.
- All mechanical equipment (i.e. HVAC and transformers) to be screened. If mechanical equipment is located on the roof, then they shall be screened from view.
- All on-site utilities will be underground.
- On-site lighting will comply with city standards to prevent light pollution.
- Parking will comply with Murfreesboro Zoning Ordinance for uses that comply with Commercial Fringe (CF) District and those outlined on this page.
- Construction on the commercial lots will begin once an end-user has chosen and the site and receives site plan approval from the Murfreesboro Planning Commission.
- All buildings on both commercial lots will have consistent materials & architecture to create an overall theme for the development with a neighborhood scale.
- Commercial lots will not be part of the residential H.O.A. and will instead form their own Commercial Owners Agreement for continued maintenance on-site and maintenance of their portion of the shared access roadway.

Allowable Uses:

The immediate end user for the commercial lots at this time, is currently unknown. The allowable uses outlined on this page, with their footnotes denoted in superscript, are reflected within the Commercial Fringe(CF) district as per the January 24, 2023 Murfreesboro Zoning Ordinance. Northfield Acres commercial properties will allow the following uses listed below.

LOTS 1 AND 2 PERMITTED USES	
INSTITUTIONS	
Adult Day-Care Center	Х
Adult Day-Care Home	Х
Church ¹³	Х
Day-Care Center	Х
Family Day-Care Home	Х
Group Day-Care Home	Х
Museum	Х
Nursing School	Х
Philanthropic Institution	Х
Public Building ¹³	Х
Senior Citizens Center	Х
School, Public or Private, Grades K - 1213	Х
AGRICULTURAL	
Farm Labor and Management Services	Х
COMMERCIAL	
Amusements, Commercial Indoor	Х
Animal Grooming Facility	Х
Antique Shop <3,000 sq.ft.	Х
Art or Photo Studio or Gallery	Х
Bakery, Retail	Х
Bank or Credit Union, Branch Office or Main Office	Х
Bank, Drive-Up Electronic Teller	Х
Barber or Beauty Shop	Х
Book or Card Shop	Х
Business School	Х
Business and Communication Service	Х
Catering Establishment	Х
Clothing Store	Х
Coffee, Food, or Beverage Kiosk	Х
Commercial Center	Х
Convenience Sale and Services, maximum 5,000 sq. ft. floor area	Х
Dry Cleaning	Х
Financial Services (No Check Advance Businesses)	Х
Flower or Plant Store	Х
Gas Station (6am-11pm Operating Hours)	Х
Glass-Stained and Leaded	Х
Group Assembly, <250 persons	Х
Health Club	Х
Ice Kiosk, Automated	х
Interior Decorator	х
Janitorial Service	х
Karate, Instruction	X
Keys, Locksmith	X
Laboratories, Medical	X
Laboratories, Testing	X

COMMERCIAL (CONT.)	
Music or Dancing Academy	Х
Offices	Х
Optical Dispensaries	Х
Personal Service Establishment	Х
Pet Shops	Х
Pharmacies, Apothecaries	Х
Reducing and Weight Control Services	Х
Restaurant and Carry-Out Restaurant*	Х
Restaurant , Specialty*	Х
Restaurant, Specialty - Limited*	Х
Retail Shop, other than enumerated elsewhere	Х
Specialty Shop	Х
Veterinary Office	Х
Veterinary Clinic	Х
TRANSPORTATION AND PUBLIC UTILITIES	
Post Office or Postal Facility	Х
Telephone or Communication Services	Х

*Drive-Thru uses must meet exceptions outlines in this program book on Page 38.

Prohibited Uses:

- Primary Pain Clinic
- Primary Drug & Alcohol Rehab Centers
- Vape/Cigarette Shop/Tobacco Shop
- Liquor Store



*EXAMPLE OF DEVELOPMENT SIGNAGE



*EXAMPLE OF DEVELOPMENT SIGNAGE



*EXAMPLE OF TRASH ENCLOSURE



EXAMPLE OF PEDESTRIAN SCALE LIGHTING

Commercial Architectural Characteristics:

- Building heights shall not exceed 42 feet in height
- All buildings shall be one-story
- Buildings shall have a well-defined architectural base via different materials, colors, changes in pattern, or a combination of these techniques.
- Main entrances are to be well defined and easily recognizable by the use of; raised roof lines, canopies, glazing, change in materials, change in color, and/or change in building planes.
- Masonry materials (brick, stone, cast stone, synthetic stone) will be the primary building materials with potential cementitious siding accents.
- *All buildings shall comply with Murfreesboro Design Guidelines standards.
- See permitted uses table on previous page and comparative commercial table on Page 38.



Front Elevations: Side Elevations: Rear Elevations: All Elevation: Masonry materials (i.e. Brick, Cast Stone, Synthetic Stone) Masonry materials (i.e. Brick, Cast Stone, Synthetic Stone) Masonry materials (i.e. Brick, Cast Stone, Synthetic Stone) Cementitious siding for potential accent material



Example of Brick (different colors will be allowed)



Example of Stone Veneer (different colors, cuts, patterns will be allowed)



Example of Hardy Board (different colors, cuts, patterns will be allowed)



EXAMPLE OF GAS STATION CANOPY



EXAMPLE OF ARCHITECTURE



Site Setbacks:

East Northfield Boulevard:42-feetNorth Tennessee Boulevard:42-feetSide Setback:25-feetRear Setback:30-feet

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



EXAMPLE OF ARCHITECTURE



EXAMPLE OF ARCHITECTURE

COMMERCIAL ARCHITECTURAL CHARACTERISTICS **35**



Commercial Landscaping Characteristics:

- A minimum 8-feet of landscape area between parking and all property lines.
- Public rights-of-way screened from parking by use of landscaping and/or berming.
- A shared landscape agreement easement shall be placed along the eastern and northern property line where this development abuts the proposed PRD zoning. A 15-ft wide type 'D' landscape buffer shall be installed within this landscape easement and shall be maintained by both the Commercial Property Owner Association and the residential H.O.A.
- Within the proposed type 'D' landscape buffer, an 8-ft tall opaque vinyl fence shall be provided along all boundaries which abut a residential land use with fence bisecting the 2 rows of trees.
- The base of buildings will have a minimum 3-ft wide landscape bed with foundation plantings. •
- Monument signage located at the entrances along roadways are to be constructed with materials consistent with building architecture and accented with landscaping.
- All mechanical equipment (i.e. HVAC and transformers) located on the ground to be screened with landscaping and/or fences. If mounted on the roof, • they shall be screened by a parapet wall or architectural screening.
- Landscaping will be in conformance with the City of Murfreesboro's Landscape Ordinance.

*Commercial property layouts shown are conceptual and meant to convey potential future commercial property design.

design guidelines.

-60

Land Use Data

Total Land Area:
R.O.W. Abandonment Land Area:
Total PCD Land Area:
Total PRD Land Area:
Existing Wetlands to Remain:
PRD Developable Land Area:

±18.05 Acres ±0.04 Acres

±3.24 Acres ±14.85 Acres ±1.45 Acres ±13.40 Acres

Commercial Lot A Land Use Data

Total Land Area: ±2.01 Acres Required Min Open Space: ±0.40 Acres (20%) ±0.40 Acres (20%) Provided Open Space: Required Min Formal Open Space: ±0.06 Acres (3%) Provided Formal Open Space: ±0.06 Acres (3%)

Commercial Lot B Land Use Data

Total Land Area: ±1.23 Acres Required Min Open Space: ±0.25 Acres (20%) Provided Open Space: ±0.25 Acres (20%) Required Min Formal Open Space: ±0.04 Acres (3%) Provided Formal Open Space: ±0.04 Acres (3%)

Shared Parking Agreement Data

Commercial Lot A Required Parking: Building Area = 6,048 SF (1 Space/300 sf) = 20 Spaces

Commercial Lot B Required Parking: Building Area = 5,760 SF (1 Space/100 sf) =

58 Spaces

Total Parking Required: Total Parking Provided:

78 Spaces 81 Spaces (+3)



RD

Open Space



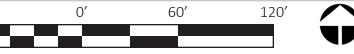
Detention



Sidewalk

Commercial Buildings

*Landscaping shown is illustrative and only meant to convey the general appearance and character of the development. Final landscaping shall be provided at the site plan level and will meet



1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: The exhibits given on Pages 3-6 meet this requirement.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: The exhibits given on Pages 3-6 meet this requirement.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: The exhibits given on Pages 3-6 meet this requirement.

4.) A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

Response: Pages 7-8 provide exhibits and standards that provides the required materials.

5.) A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.

Response: Pages 7, 26-27, & 36 provide exhibits and standards that provides the required materials.

6.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(AA): The approximate date when construction of the project can be expected to begin.

(BB): The order in which the phases of the project will be built.

(CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage

(DD): A breakdown by phase for subsections (5) and (6) above.

Response: The project is anticipated to be developed in one phase. Development is anticipated to begin within 180 days of rezoning approval, and will include all public infrastructure.

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned CF. The surrounding area has a mixture of residential and commercial properties. The concept plan and development standards combined with the architectural requirements of the commercial buildings shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property

Response: See Page 38 for requested exceptions and setbacks.

9.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio) and the O.S.R. (Open Space Ratio). These tabulations are for the PCD.

Response: This requirement has been addressed in the chart below.

TOTAL SITE AREA	140,952 s.f.	3.24 AC	100.00%
TOTAL MAXIMUM FLOOR AREA	11,808 s.f.	0.27 AC	8.33%
TOTAL LOT AREA	140,952 s.f.	3.24 AC	100.00%
TOTAL BUILDING COVERAGE	11,808 s.f.	0.27 AC	8.33%
TOTAL DRIVE/ PARKING AREA	73,828 s.f.	1.67 AC	51.54%
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC	0.00%
TOTAL LIVABLE SPACE	67,124 s.f.	1.56 AC	48.15%
TOTAL OPEN SPACE	28,190 s.f.	0.65 AC	20.00%
FLOOR AREA RATIO (F.A.R.)	0.08		
LIVABILITY SPACE RATIO (L.S.R.)	0.39		
OPEN SPACE RATIO (O.S.R.)	0.92		

10.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District, Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in a floodway or floodplain, according to the current FEMA Flood Panel 47149C0280H eff. 01/04/2007.

11.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 3 & 26-27 discusses the Major Thoroughfare Plan.

12.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

both is provided on cover.

13.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 34 shows the architectural character of the proposed building and building materials listed.

14.) If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 34.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Haury & Smith Contractors, Inc. contact info for

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	CF (Existing)	Proposed PCD	Difference
Residential Density			
Maximum Dwelling Units Multi-Family	N/A	N/A	N/A
Minimum Lot Area	N/A	N/A	N/A
Minimum Lot Width	N/A	N/A	N/A
Minimum Setback Requirements			
Minimum Front Setback	42'	42'	0'
Minimum Side Setback	25'	25'	0'
Minimum Rear Setback	20'	30'	+10'
Minimum Canopy Setback	3'	3'	0'
Minimum Canopy Support Setback	15'	15'	0'
Minimum Gasonline Sal Combaniercial (See Exhibit on Page 29)	200'	170'	-30'
Minimum Ordering System Setback	200'	100'	-100'
Land Use Intensity Ratios			
MAX F.A.R.	None	None	NA
Minimum Livable Space Ratio	None	None	NA
Vinimum Open Space Requirement	20%	20%	0%
Minimum Formal Open Space Requirement	3%	3%	0%
Max Height	42'	42'	0'

REQUESTED EXCEPTIONS:

- If zoned CF an exception to the required 200-ft setback for gasoline sale would have needed to be reduced to 170-ft as depicted on exhibit shown on Page 36, however due to the zone change to PCD this limitation would no longer apply.
- If zoned CF an exception to the required 200-ft setback for ordering systems would have needed to be reduced to 100-ft as depicted on exhibit shown on Page 36, however due to the zone change to PCD this limitation would no longer apply.

*The listed exceptions regarding Gasoline Sale setback and Ordering System setback shall be measured from nearest proposed residential unit instead of measured from nearest residential property line (See Exhibit on Page 36)

MURFREESBORO PLANNING COMMISSION STAFF COMMENTS, PAGE 1 NOVEMBER 1, 2023 PROJECT PLANNER: HOLLY SMYTH

5.b. Zoning application [2023-408] for approximately 1.18 acres located along North Maney Avenue and Lee Street to be rezoned from OG-R and CCO to PRD and CCO (Maney Estates PRD), BNA Homes applicant.

The initial public hearing was held on this item at the July 12, 2023 Planning Commission meeting to consider a PRD to allow for 4 single family detached homes on individuals lots of record fronting North Maney Avenue and 7 attached townhomes in a horizontal property regime (HPR) accessed from Lee Street. The entire site is proposed to be rezoned as Planned Residential District (Maney Estates PRD). The rezoning would not affect the existing CCO zoning designation for the subject property. The proposed density of the project equates to **6.67** dwelling units per acre for the four single family detached homes and **11.97** dwelling units per acre for the seven townhome units. The Commission directed the applicant to hold a neighborhood meeting to further discuss these items before coming back to the Commission. A neighborhood meeting was held on August 14, 2023 where about 20 persons were present.

At its October 11, 2023 regular meeting, the Planning Commission considered the PRD under Old Business and Commission had multiple questions about the following elements of the plan: required parking, provided parking, number of bedrooms, location of HVAC units, and remaining trees if any. Commission also clarified that there was not living space about the detached garages where you see an architectural dormer. The Commission asked the applicant's representative why no changes were made to the unit count on the townhomes. Because the applicant was not present, the item was deferred.

An updated program book has been provided that shows the proposed locations of HVAC units, trash cans, parked cars, and identifies surplus parking for clarification. Throughout the document the number of bedrooms has been clarified to a potential 3-5 bedrooms for the detached homes and 3 bedrooms for the townhomes. Most of the changes are contained on pages 13, 14, 15, and 16 of the program book. Additionally, page 20 provides a draft layout of the proposed resubdivision plat with the setback lines and proposed easements depicted. There had been some other questions comparing the proposed development with the 7-unit Lee Street Townhome project to the north. Therefore, staff is providing this quick snapshot.

	Lee Street Townhomes (7 units)	Maney Estates Townhomes (7
		<u>units)</u>
Site Acreage	.66 acres (28,750 sq ft)	.59 acres (25,498)
Density	10.6 units per acre	11.97 units per acre
Parking provided	7 garages/10 surface/2 guest=19	7 garages/14 surface/2 guest=23
Building Coverage	27%	29%
Regular Open space	Not listed	28%
Formal Open space	5.7% (1,628 sf)	Not required (350 sf porches min.)
Front Setback	9'	15'
Rear Setback	18'	10'

2023-408 Maney Estates PRD_PC 3rd night mtg_Final

Department Recommendation

Staff is supportive of this rezoning request for single family detached residential along North Maney Avenue, with the two (2) requested exceptions stated on page 28 of the program book for the following reasons:

- 1) It is consistent with the comprehensive plan and future land use map.
- 2) The Craftsman style architecture is consistent with the character of the existing neighborhood and does not exceed 2¹/₂ stories in height as encouraged by the North Highland Avenue planning study's "Residential Single Family" land use type.
- 3) The architecture, front setbacks of 19.5' for the porch and house structures, and the single family detached development type are consistent with the "Neighborhood Compatible Overlay" of the new General Plan land use map that looks to ensure that the existing neighborhood character and integrity of older, intact neighborhoods are protected through no significant change in the development type or pattern by reinforcing the existing physical conditions such as lot sizes, building setbacks, etc. and avoiding excessive nonconformities and variance requests to ensure compatibility.

Staff is generally supportive of this rezoning request for single family attached residential townhomes along Lee Street, with the three (3) requested exceptions stated on page 28 of the program book, for the following reasons:

- 1) The proposed use is consistent with the comprehensive plan and future land use map.
- 2) The number of units per building does not exceed four, does not exceed 2½ stories in height, parking is located behind the front building, and front porches are incorporated as outlined in the policies within the North Highland Avenue planning study "Mixed Residential Neighborhood" land use designation.

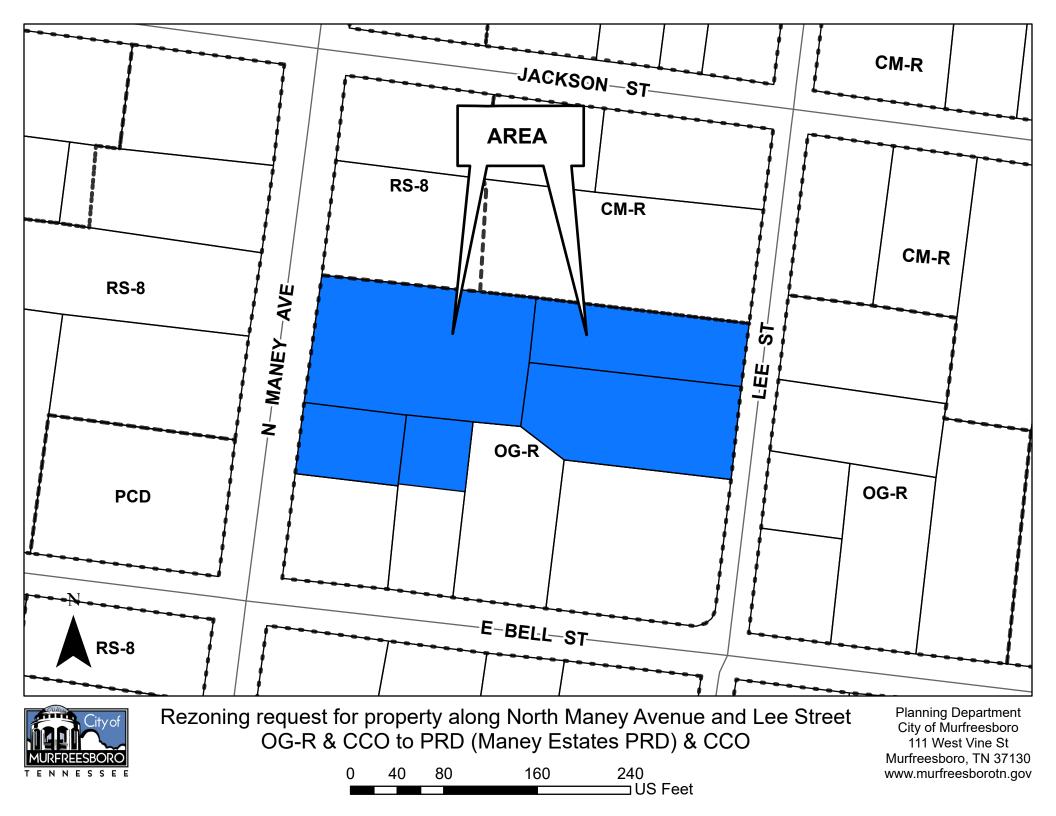
However, the Commission may still have outstanding questions related to density / coverage which has not been modified since the Commission's last meeting.

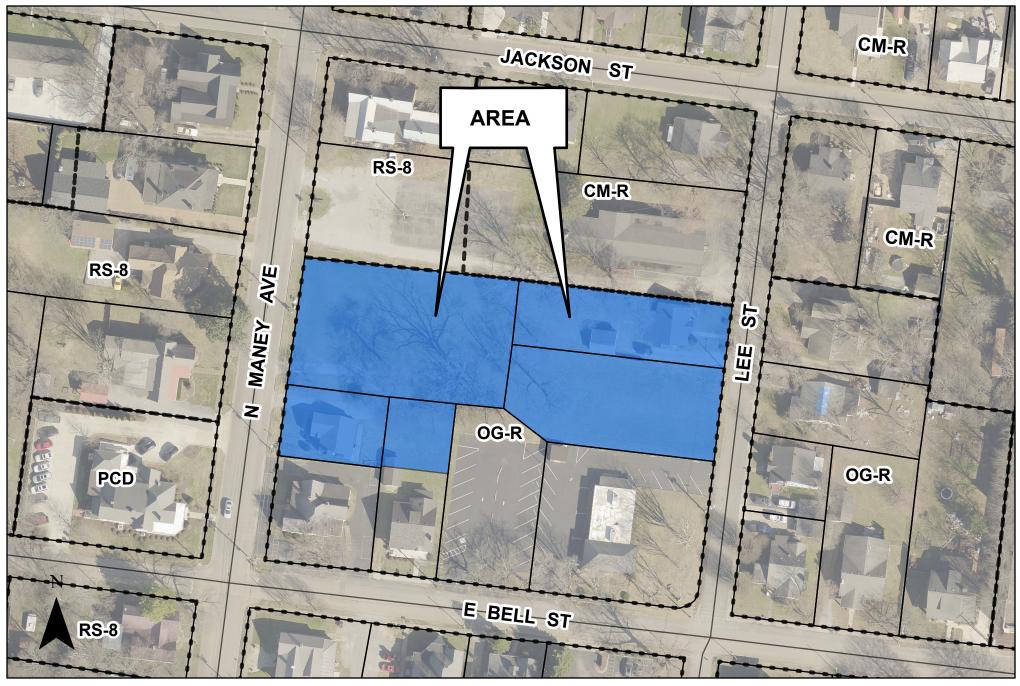
Action Needed

The land-owner and his land planner will all be in attendance at the meeting to make a presentation and to answer outstanding questions of the Commission. The Planning Commission should discuss the merits of the proposal and then formulate a recommendation to City Council.

Attachments:

-NoOrtho Map--Ortho Map -October 11, 2023 Staff Report -Updated Program Book







Rezoning request for property along North Maney Avenue and Lee Street OG-R & CCO to PRD (Maney Estates PRD) & CCO Planning Department City of Murfreesboro 111 West Vine St Murfreesboro, TN 37130 www.murfreesborotn.gov

0 40 80 160 240

MURFREESBORO PLANNING COMMISSION STAFF COMMENTS, PAGE 1 OCTOBER 11, 2023 PROJECT PLANNER: HOLLY SMYTH

Zoning application [2023-408] for approximately 1.18 acres located along North Maney Avenue and Lee Street to be rezoned from OG-R and CCO to PRD and CCO (Maney Estates PRD), BNA Homes applicant.

The subject property is located north of East Bell Street along the easterly side of North Maney Avenue and along the westerly side of Lee Street. The project involves 4 existing full parcels identified as Tax Map 091L, Group K, Parcels 024.00, 030.00, 029.00 (aka 510 North Maney Avenue), and 021.00 (aka 509 Lee Street), and 1 partial parcel known as Tax Map 091L, Group K, Parcel 027.00 (aka 405 East Bell Street). The development will have 4 single family detached homes on individuals lots of record fronting North Maney Avenue and 7 single-family attached townhomes accessed from Lee Street in a horizontal property regime (HPR). The entire site is proposed to be rezoned as Planned Residential District (Maney Estates PRD). The rezoning will not affect the existing CCO zoning designation for the subject property. The density of the 4 single family detached lots would equate to **6.67** dwelling units per acre, while the 7 townhome units equate to a density of **11.97** dwelling units to the acre. The overall density of the development is **9.24** units per acre.

The Planning Commission held a public hearing at its July 12, 2023 meeting. At that time, the Commission potentially wanted to have the applicant modify the front townhome building to look more like a single family home and consider losing 1 townhome unit, especially as the proposed density was over 12 units per acre. The Commission also wanted the applicant to consider losing 1 single family detached home. The Commission also asked about formal open space and guest parking. Lastly, they directed the applicant to hold a neighborhood meeting to further discuss these items before coming back to the Commission.

A neighborhood meeting was held on August 14, 2023 where about 20 persons in all were present. The neighborhood expressed their desire for only 3 single family detached homes along North Maney Avenue given the larger scale lots on the western side of the roadway. Neighbors also expressed wanting to keep many of the large mature trees on the property. Neighbors did not comment on the townhome portion of the PRD proposal as to design or number of units.

Adjacent Zoning and Land Uses

The surrounding zone districts are all within the City Core Overlay (CCO) with underlying zoning primarily containing OG-R (General Office District Residential) to the south, as well as RS-8 (Single Family Residential) to the north and west, CM-R (Medical District Residential) to the north, and PCD (Planned Commercial District) to the west, as more particularly shown on page 3 of the program book. The surrounding land uses are predominantly single family homes, a church, duplex and triplex style apartments, and two individual commercial businesses.

2023-408_Maney Estates PRD_PC 2nd night mtg_Final

Page 1 October 11, 2023

Proposed PRD

The PRD overall layout and comparative basic site data are best seen on **pages 13 and 20** of the program book. There are 2 proposed points of access on North Maney Avenue and 1 point of access from Lee Street. A Type A landscape buffer is proposed along most of the 3-sides for the townhome portion of the development with a 6' opaque fence (see page 18 of the program book). No formal open space is required for either use type nor is any proposed. The PRD comparative table on page 20 breaks down the single family detached along North Maney Avenue separately from the townhomes adjacent to Lee Street. The proposed single family detached units are most similar to what would be allowed in an RS-4 zone district while the townhomes are most similar to a RS-A, Type 3 comparative zone district.

UPDATES TO THE PRD BOOK: Page 20 showing the comparative land requirement table was updated to match the surveyed final plat and engineered site layout drawing. Using the engineered information, the townhome density slightly changed from 12.07 to 11.97 units per acre. As a side note, the existing OG-R zoning allows a density between 14.5 to 17.4 units per acre. This modification allowed the removal of one of the exceptions relating to density when compared with the RS-A, Type 3 zone on page 22. The townhome building design directly adjacent to Lee Street was slightly modified to use a more unified color palette for the center unit so that it looks more like a unified single building, and therefore the exception related to this was removed. The updates to the engineered drawings slightly changed the single family residential detached density from 6.55 units to the acre to 6.67 units per acre which is still less than the comparative RS-4 zone district. As a side note, the existing OG-R zoning allows a density of 8.7 units per acre for the single family detached housing type.

The four (4) proposed detached single-family homes will each be a minimum of 2,200 square feet with at least 3-bedrooms. One home will have a rear-entry garage while the other three homes will have detached garages toward the backs of each lot plus additional surface parking spaces adjacent to all garages. There are 3 different house plans for the 4 lots with houses ranging from 24' to 30' in width. Architectural details of the homes favor the craftsman style with front porches and varying roof heights on each plan. There will be two 12'-wide driveways from North Maney Avenue that will each be shared by two households each via a shared access easement. The proposed setbacks are as follows:

- 19.5' front building setback along North Maney Avenue (CCO would require 19.5')
- No longer using any of the 5' porch encroachment into the front setback (which the normal code would allow for 5' encroachment), to better blend with the neighborhood.
- 5' side yard setbacks (comparative district requires 5').
- 20' rear yard setback for the primary structure (comparative district requires 20').
- 5' rear yard setback for the accessory structures (code allows 5')
- Accessory structures allowed to occupy up to 60% of the "required 20' rear yard" (Zoning ordinance allows < 25% of the "required rear yard")

The seven (7) attached single-family townhomes will each be a minimum of 1,600 square feet with 3-bedrooms. Each unit will have a 1-car rear-entry or front-entry garage with a decorative window-panel at the top plus two surface parking spaces each. An additional 2 guest parking spaces will serve the development. A total of 14 parking stalls are required for the project with 16 being provided on site. The front building contains 3 units with 5' deep porches while the back building contains 4 units with rear porches for the required 50 square feet of private open space. Formal open space is no longer a requirement for townhome developments that are less than 8 units and therefore was not proposed. Each unit has a building envelope of approximately 20' wide by 50' deep. The architectural elevation of the units is generally taken from the Lee Street Townhome project located at 609 Lee Street with 5' deep porches added to the flat front façade. As requested by staff, the applicant has modified the front elevation at the center section, converting the dark upper floor to the lighter horizontal cementitious siding across the front and the addition of shutters to provide a more unified color palette and details.

One 22' wide driveway from Lee Street will provide access into the development. The proposed setbacks are as follows:

- 15' front setback along Lee Street including porch (CCO would require 25')
- 10' side yard setback (RS-A, Type 3 would only require 5' side setback)
- 10' rear yard setback (Comparable District would require 20' rear setback)

Exception(s) Requested: Pages 20 and 22 of the Program Book show the comparison for this development to the RS-4 zone for the single family detached homes and the RS-A, Type 3 zone for the townhomes with the requested exceptions shown in red text.

The single family detached residential area is requesting 2 exceptions from the comparative RS-4 and City Core Overlay zone districts to allow for:

- a) Increased amount of accessory structure allowed to be located within the "required 20' rear yard" from <25% to <60% for detached garages (for a 35% exception).
- b) The minimum lot width to be 38' instead of 40' (for a 2' exception).

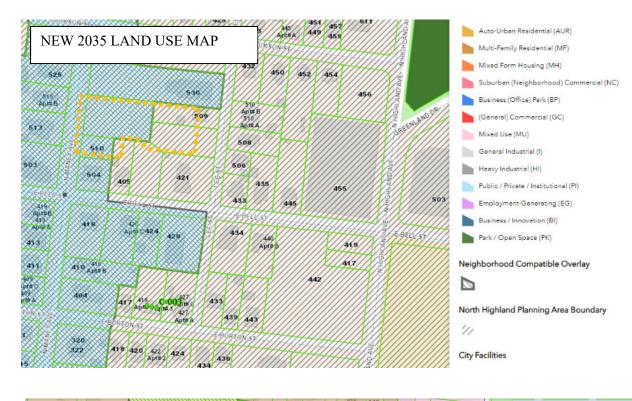
The single family attached townhome area is now only requesting 2 exceptions from the comparative RS-A, Type 3 and City Core Overlay zone districts to allow for:

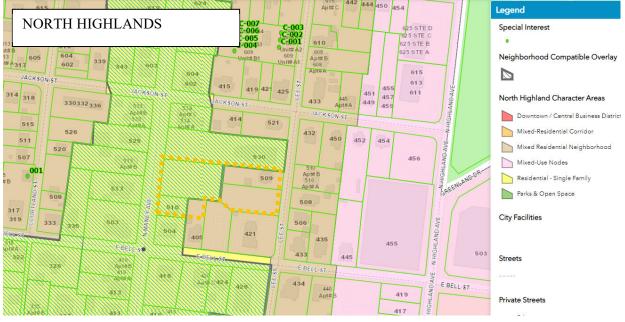
- a) Front setback to be 15' (including the front porch) instead of 25' (for a 10' exception)
- b) Rear setback to be 10' instead of 20' (for a 10' exception)

Future Land Use Map

Adjacent to North Maney Avenue: The newly adopted future land use map, that is now part of the <u>Murfreesboro 2035 Comprehensive Plan</u> designates this area as" North Highland Overlay" with a "Neighborhood Compatible Overlay" land use character (see excerpt map below). The North Highland Avenue Planning Study (see excerpt map below) more specifically designates the area fronting North Maney Avenue as "Residential Single Family" which calls for single family detached residential uses with architecture consistent with the character of the existing neighborhood not exceeding 2½ stories in height. The "Neighborhood Compatible Overlay" looks to ensure that the existing neighborhood character and integrity of older, intact neighborhoods are protected through no significant change in the development type or pattern by reinforcing the existing physical conditions such as lot sizes, building setbacks, etc. and avoiding excessive nonconformities and variance requests to ensure compatibility.

2023-408_Maney Estates PRD_PC 2nd night mtg_Final





The number of exceptions being requested for the single family detached product is still just two (2) items showing that no "significant change" in the development pattern along this street is proposed. They have increased the front yard setback to be consistent with the underlying CCO of 19.5'. They have updated the comparative use table comparative district to use the RS-4 zone, as recommended by staff (instead of RS-8) on page 20 of the program book. This updated comparative district requires a minimum lot size of 4,000 square feet whereas the project proposes a minimum of 6,178 square feet and therefore no longer requires an exception. The maximum density in RS-4 is 10.8 dwelling units per acre whereas the project only proposes 6.67 dwelling units per acre therefore no longer requiring an exception. It appears that this portion of the project is consistent with the General Plan and the North Highland Avenue Planning Study.

2023-408_Maney Estates PRD_PC 2nd night mtg_Final

Page 4 October 11, 2023

Adjacent to Lee Street: The newly adopted future land use map, that is now part of the Murfreesboro 2035 Comprehensive Plan designates this area as "North Highland Overlay" land use character (see excerpt map below). The Zoning Ordinance Section 24 Article VI., City Core Overlay District subsection (A)(3) states that "to the extent possible, developments within the CCO also located within the study areas of the North Highland and Historic Bottoms planning studies shall attempt to honor the recommendations of those plans." The North Highland Avenue Planning Study (see excerpt map above) shows this area fronting Lee Street as "Mixed Residential Neighborhood" which permits a mixture of housing options that include both detached single family and attached two-, three-, and four-unit residential buildings. Housing design in these areas should encourage details that relate to the street and keep a pedestrian scale to the neighborhood. Elements like front porches, fences, hedges, roof awnings, and window and door detailing should be encouraged. Building heights should not exceed a 2¹/₂ story maximum and "multi-unit buildings designed to resemble a single family detached house". It appears the project is consistent with the General Plan and the North Highland Avenue Planning Study.

Department Recommendation

Staff is supportive of this rezoning request for single family detached residential along North Maney Street, with the two (2) requested exceptions stated above, when using the RS-4 and CCO zone comparatives, for the following reasons:

- 1) It is consistent with the comprehensive plan and future land use map.
- 2) The Craftsman style architecture is consistent with the character of existing neighborhood and does not exceed 2½ stories in height as encouraged by the North Highland Avenue Planning Study's "Residential Single Family" land use type.
- 3) The architecture, front setbacks, and single family detached development type appear to be consistent with the "Neighborhood Compatible Overlay" of the new General Plan land use map that looks to ensure that the existing neighborhood character and integrity of older, intact neighborhoods are protected through no significant change in the development type or pattern by reinforcing the existing physical conditions such as lot sizes, building setbacks, etc. and avoiding excessive nonconformities and variance requests to ensure compatibility.

Staff is supportive of this rezoning request for single family attached residential townhomes along Lee Street, with the two (2) requested exceptions stated above when using the RSA-3 and CCO zone comparatives, for the following reasons:

- 1) The proposed use is consistent with the comprehensive plan and future land use map.
- 2) The number of units per building does not exceed four, does not exceed 2½ stories in height, parking is located behind the front building, and incorporates front porches as outlined by the North Highland Avenue Planning Study "Mixed Residential Neighborhood" land use designation.

Action Needed

The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should then discuss and formulate a recommendation to City Council.

Attachments:

-NoOrtho Map -Ortho Map -Program Book

MANEY ESTATES

Request for Rezoning to Planned Residential District (PRD)

SUBMITTED FOR THE NOVEMBER 1, 2023 PLANNING COMMISSION MEETING



Table of Contents	PAGE
PROJECT SUMMARY & DEVELOPMENT TEAM	2
> ZONING MAP	3
> GENERAL PLAN MAP	4
> UTILITY MAP - WATER	5
> UTILITY MAP – SEWER	6
> ROADWAY MAP	7
> TOPOGRAPHY & SOILS	8
> EASEMENTS & STORM WATER	9
> AERIAL MAP	10
EXISTING CONDITION PHOTOS	11-12
> SITE PLAN	13
> ARCHITECTURAL PLANS	14-18
> CONCEPTUAL LANDSCAPE PLAN	19
> PROPOSED PARCEL LAYOUT	20
DEVELOPMENT STANDARDS & EXCEPTIONS	21-23
> SURVEY OF EXISTING CONDITIONS	24





Project Summary

Embedded within an existing neighborhood, Maney Estates will continue the urban renewal occurring in downtown Murfreesboro. The development will have four single family detached homes fronting North Maney Avenue. These homes will be all masonry siding w/ brick water table. The single-family homes will have a minimum size of 2200 sq.ft. with 3-5 bedrooms and 2-car rear entry garages. Each home will have 2 spaces minimum of surface parking.

In addition to the single-family homes, 7 attached townhomes will be built, with 3 townhomes directly adjacent to the street and 4 townhomes fronting the interior. These townhomes will be 1600 sq.ft. with 3 bedrooms and have 1-car rear and front entry garages. Each townhome will have 2 additional surface parking spaces. There will also be 2 guest parking spaces servicing all townhomes. Each townhome will have a minimum of 50 sq.ft. patio serving as the required private open space.

The homes will have architectural detailing favoring the craftsman style.

Development Team

Company Name: BNA Homes, LLC **Profession:** Owner/Developer Attn: Brian Burns Address: 6 N Public Square, Murfreesboro, TN, 37130 Phone: 615.405.5647 Email: brian@bsky.email

Company Name: Huddleston – Steele Engineering Inc. **Profession:** Planning & Engineering Attn: Clyde Rountree, RLA Address: 2155 N.W. Broad Street, Murfreesboro, TN, 37129 **Phone:** 615.509.5930 Email: Rountree.associates@yahoo.com

PROJECT SUMMARY AND DEVELOPMENT TEAM





- The Site and surrounding properties are in the city core overlay and the North Highland Planning Area.
- Properties north of the subject property are zoned CM-R and RS-8.
- Properties east of the subject property are zoned OG-R .
- Properties south of the subject property is zoned OG-R.
- Properties west of the subject property are zoned PCD and RS-8.
- The 5 involved subject properties are zoned OG-R.
- The Owner is requesting the project site be rezoned as a Planned Residential District (PRD).

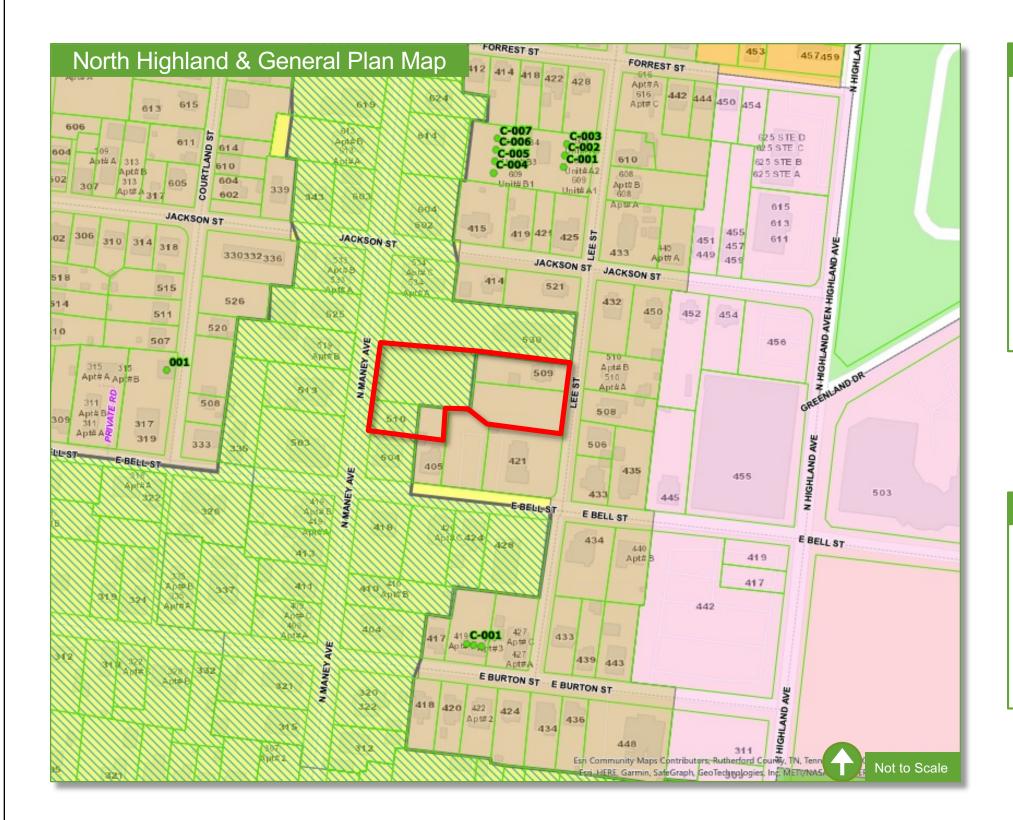
Le	gend
RS-8	Residential Single F
RM	Residential Multi Far
OG-R	Residential General
PCD	Planned Commercia
CM-R	Commercial Medical
PUD	Planned Unit Develo

ZONING MAP

PAGE 3





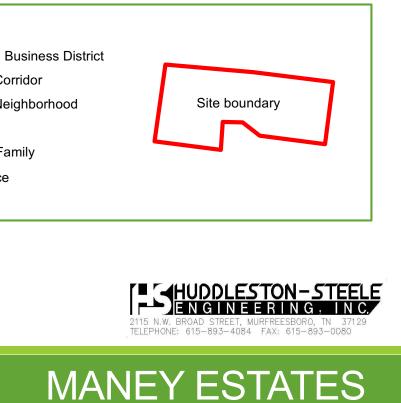


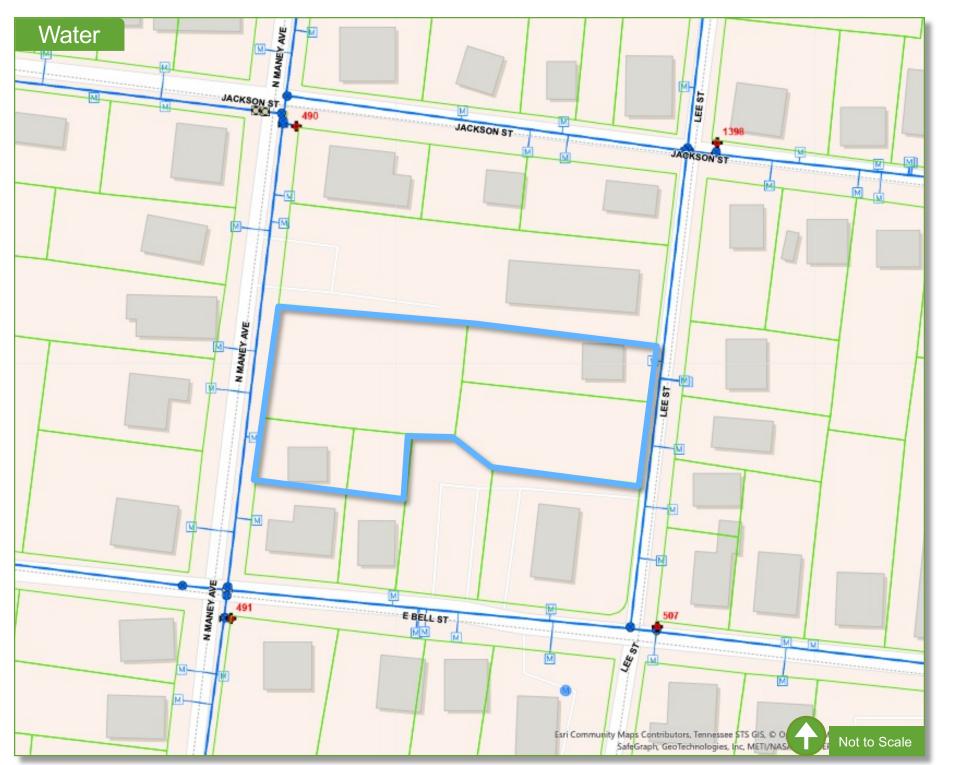
Le	gend
	Downtown / Central
	Mixed-Residential C
	Mixed Residential N
	Mixed Use Nodes
	Residential-Single F
	Parks & Open Space

GERNERAL PLAN MAP

PAGE 4

• General plan land use map designates project within the north highland overlay, neighborhood compatible overlay and city core overlay. • North highlands study designated the area fronting onto N. Maney Street as "Residential Single Family" and the area fronting Lee Street as "Mixed Residential Neighborhood"





- and Lee St.
- Resources.
- meters.



UTILITY MAP - WATER

PAGE 5

• 12" Ductile iron water line running along N Maney Avenue

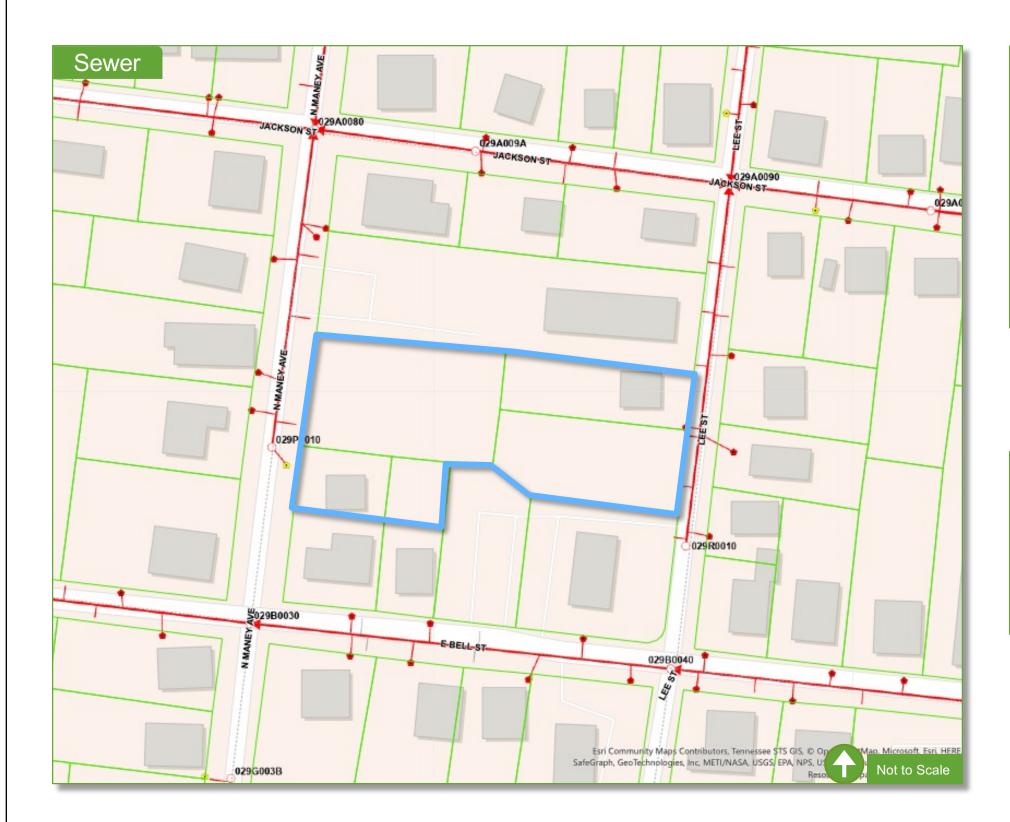
• Water Lines are managed by Murfreesboro Water

• Single family detached homes will each need separate water

• Townhomes will need 2 5'x7' gang vaults with 5' clearance on all sides with easements recorded.







- Lee St.
- Resources.

Legend

Existing Gravity Line: Private Gravity Line: Existing Manhole: Private Manhole

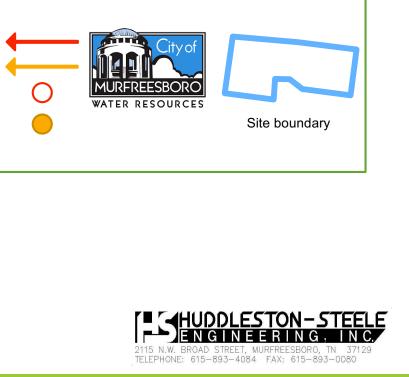
UTILITY MAP - SEWER

PAGE 6

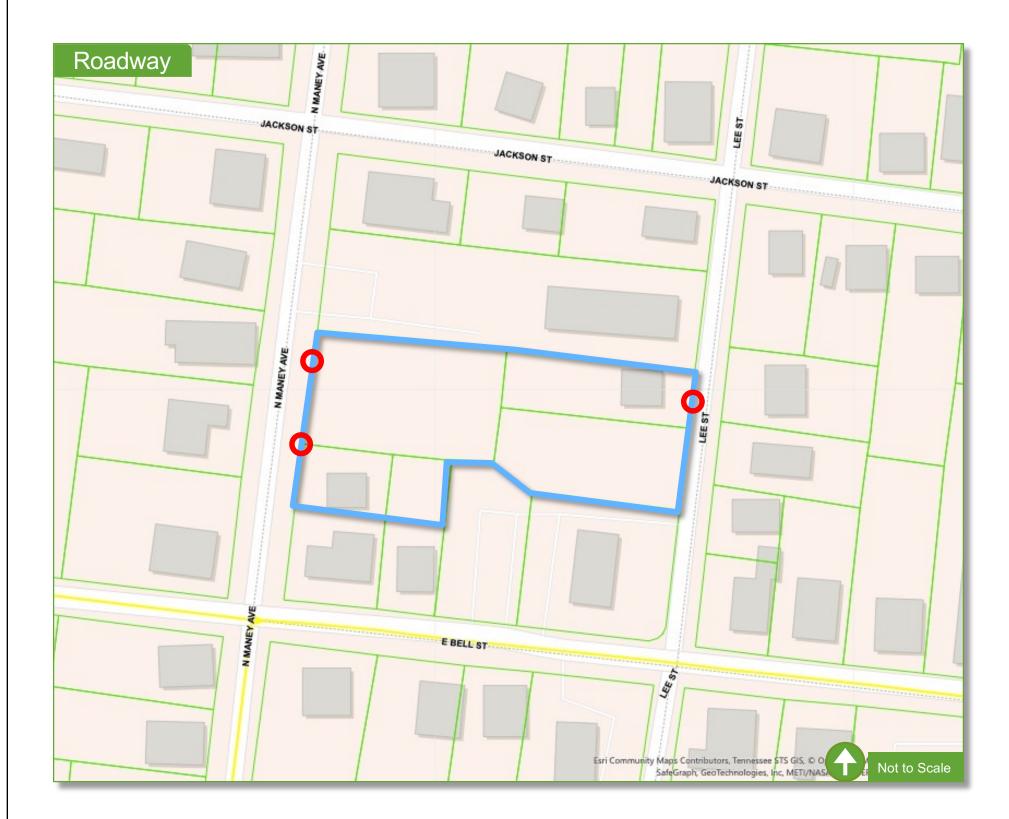
• The subject property has sewer access via N Maney Ave and

• Sewer system is managed by Murfreesboro Water

• Single family detached homes will need separate sewer taps. • Townhomes will need 30' sewer easement when >150' in length coming off main line.







- Street).
- 7 townhome units.

Legend

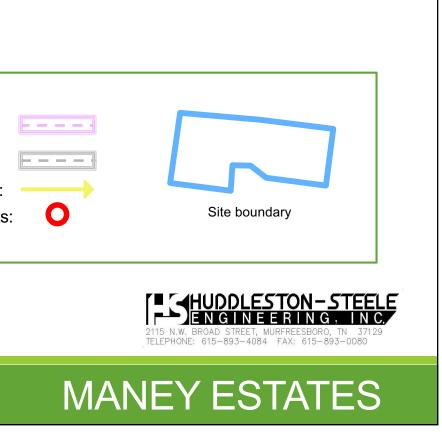
Private Roadway: Public Street: **Residential Collector:** Shared Access Points:

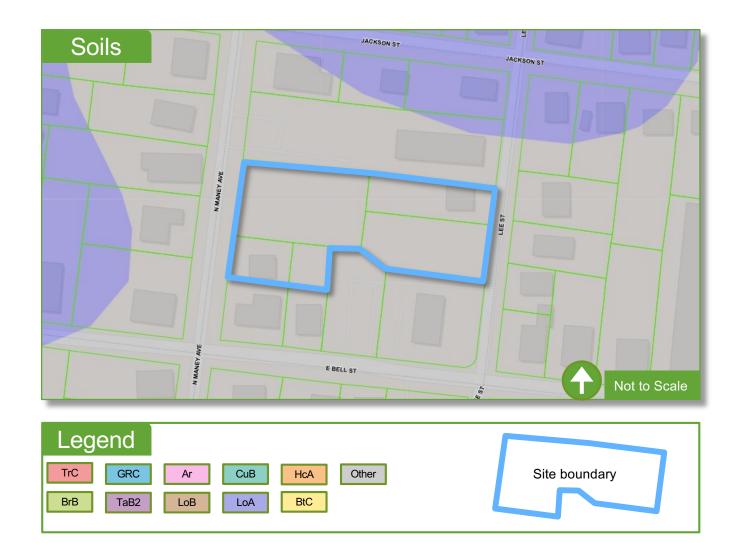
ROADWAY MAP

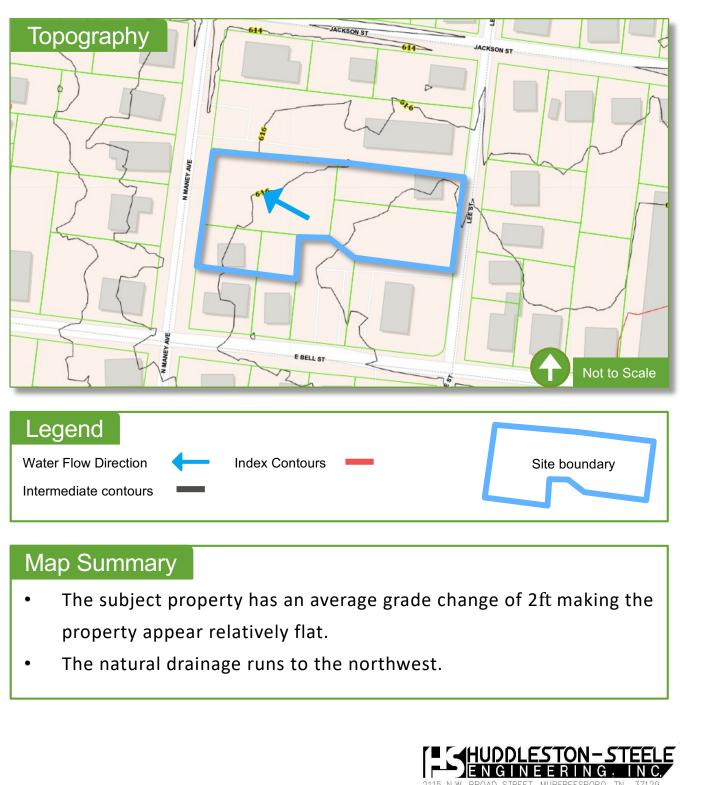
PAGE 7

• The subject sites are served by North Maney Avenue (designated as a 'residential collector' in the North Highland Avenue study) and Lee Street (a 'local' designated street). • Nearby is East Bell Street (which is a designated 'residential collector' street) and Jackson Street (designated as a 'local'

• 2 Shared access driveways are being provided along N. Maney Avenue to serve the 4 single family detached homes and 1 shared access driveway from Lee Street to access the





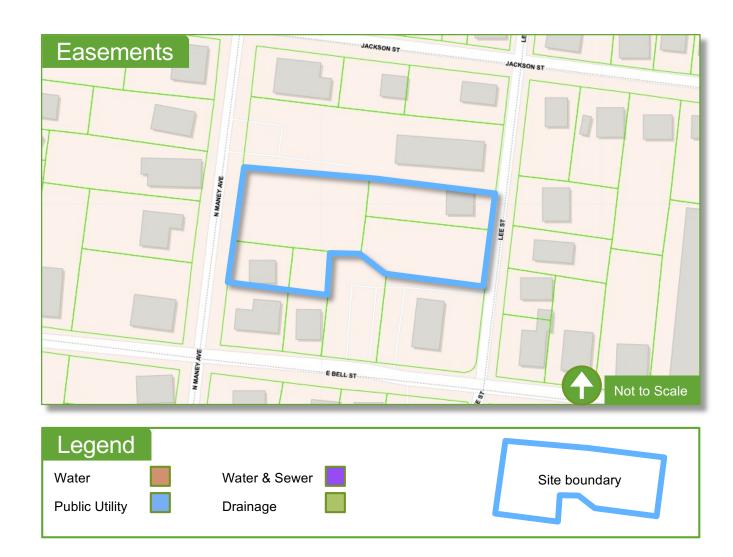


SOILS AND TOPOGRAPHY

PAGE 8

2115 N.W. BROAD STREET, MURFREESBORO, TN 37129 TELEPHONE: 615-893-4084 FAX: 615-893-0080





Map Summary

- No easements are currently affecting the site. ٠
- 10' public utility easements (PUFs) will need to be provided along ٠ North Maney Avenue and Lee Street.

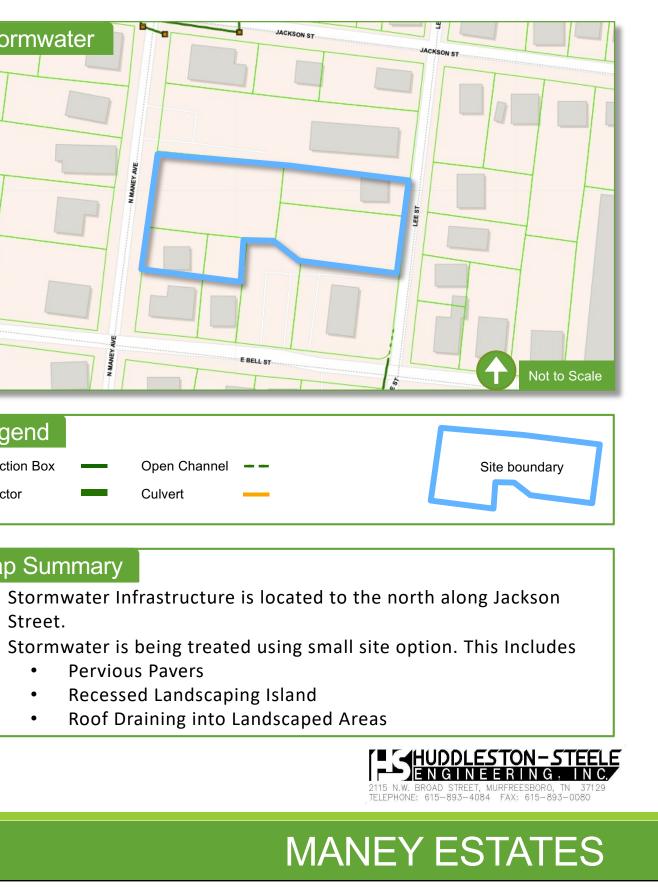
Stormwa			e
Legend Collection Box Collector	=	Open Channel Culvert	

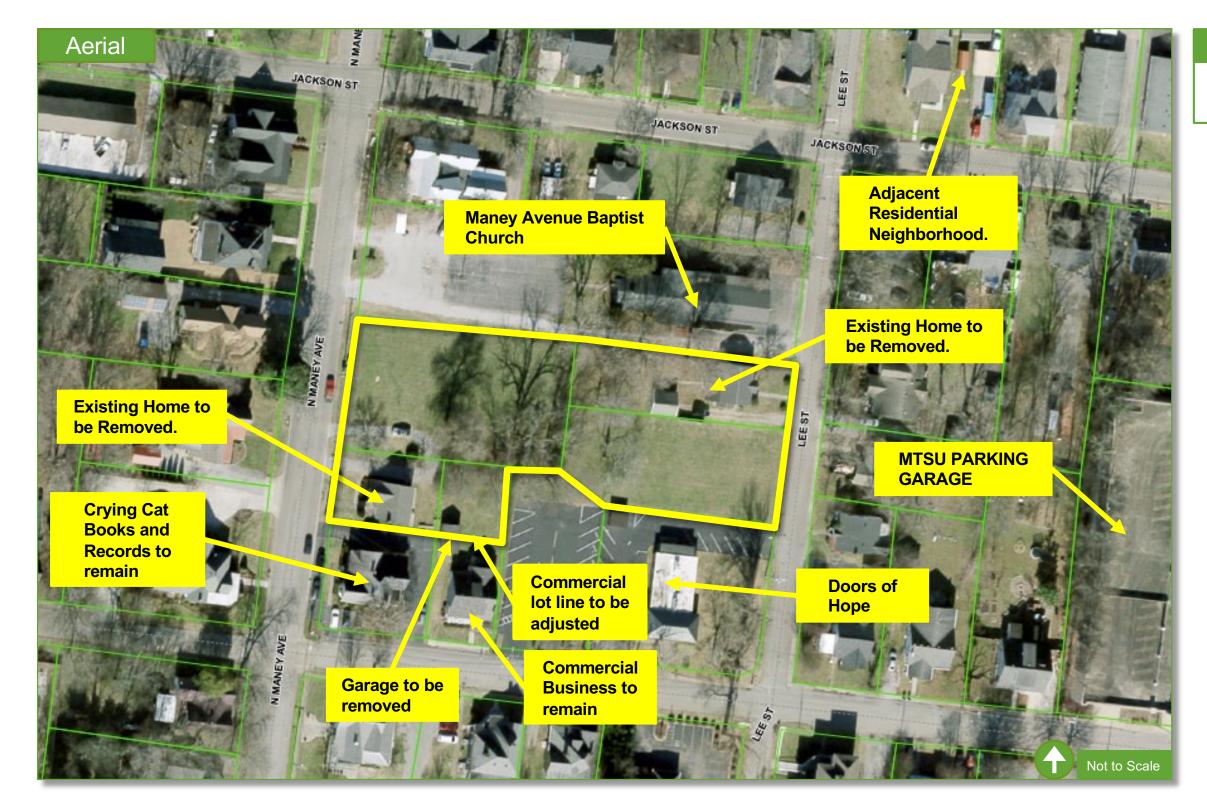
Map Summary

•

- ٠ Street.
- - **Pervious Pavers** •
 - Recessed Landscaping Island ٠
 - Roof Draining into Landscaped Areas •

EASEMENTS & STORMWATER INFRASTRUCTURE





AERIAL MAP

PAGE 10

Map Summary

See labelling



2115 N.W. BROAD STREET, MURFREESBORO, TN 37129 TELEPHONE: 615-893-4084 FAX: 615-893-0080





EXISTING CONDITIONS PHOTOS





















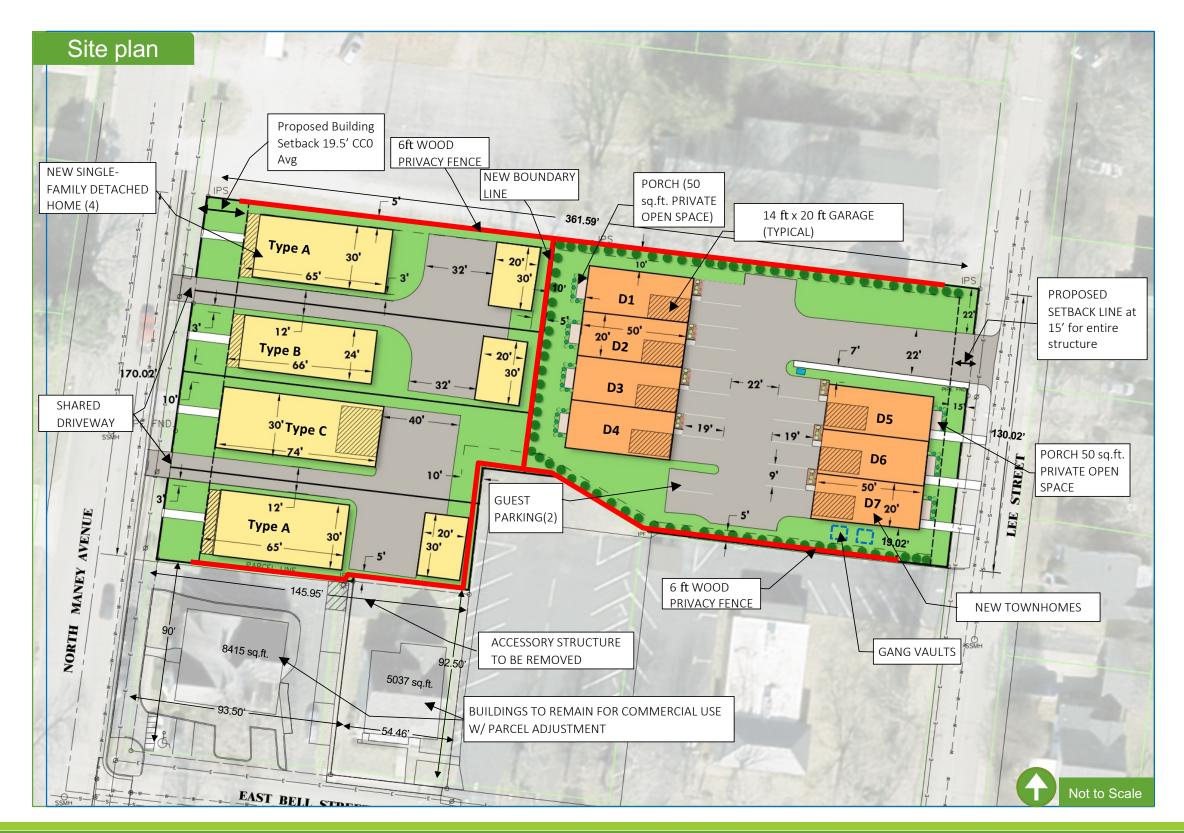
EXISTING CONDITIONS PHOTOS











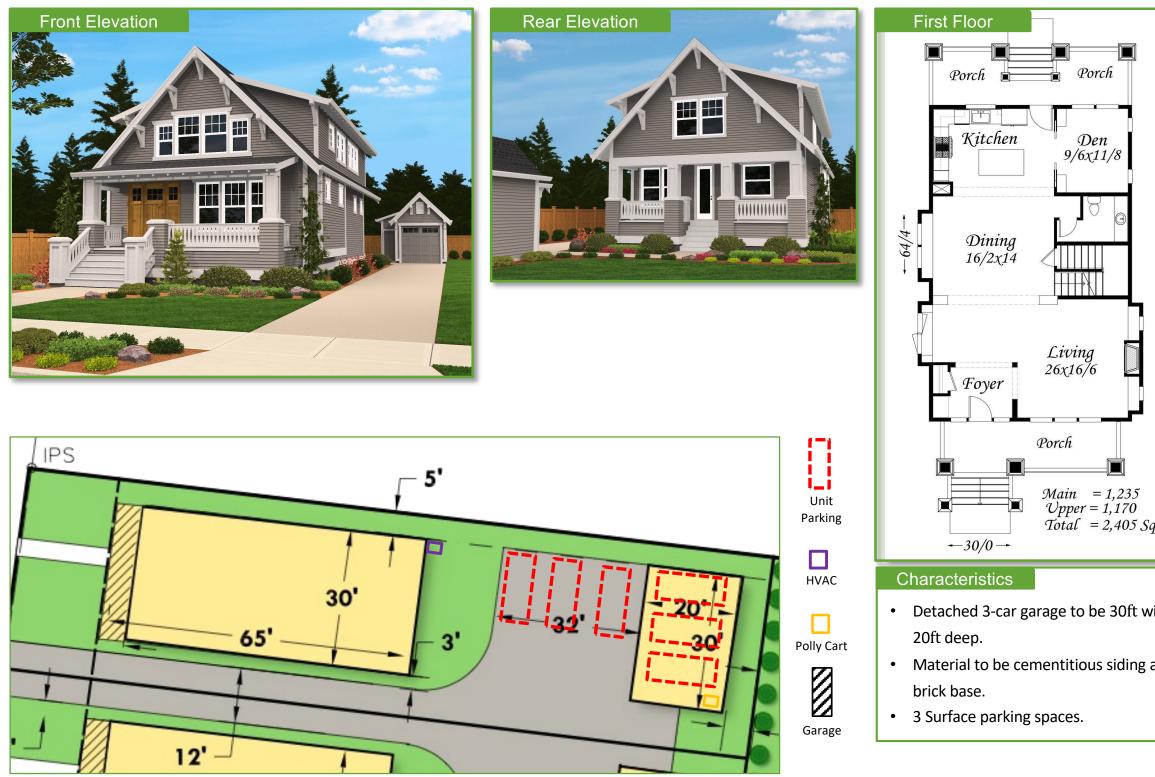
SITE PLAN

Site Data	Single Family	Townhome
Total Area	31,263 sq.ft.	25,498 sq.ft.
Lot size	6178 sq.ft. (min)	N/A
Density	6.25	12.28
Detached homes	4 (2200 sq.ft. minimum)	
Attached homes		7 (1600 sq.ft. minimum)
Bedrooms	3-5	3
Parking required	8 Spaces	21 Spaces
Parking provided (Garage)	11	7
Parking provided (Surface)	13	16
Surplus Parking	16	2
Private Open Space (Porches)	Front Porches	350 sq.ft. & Backyard
Setbacks	-	-
Front	19.5 ft	15 ft
Rear	20 ft	10 ft
Side	5 ft	10 ft

2 gang vaults to be provided for townhomes.

• Detached garages allowed to occupy 60% of normal required rear yard as accesory structures.





ARCHITECTURE - TYPE A SINGLE FAMILY HOUSE

Second Floor <i>M.S. Suite</i> <i>W.I.</i> <i>M.B.</i> <i>M.B.</i> <i>Loft</i> <i>10x14/2</i> <i>Bed #2</i> <i>12x12/4</i> <i>Bath</i> <i>Util.</i> <i>Bed #3</i> <i>16x10/8</i>	
vide and • Shared driveway access with house on individual lot of record.	
and • 3 to 4 bedrooms	

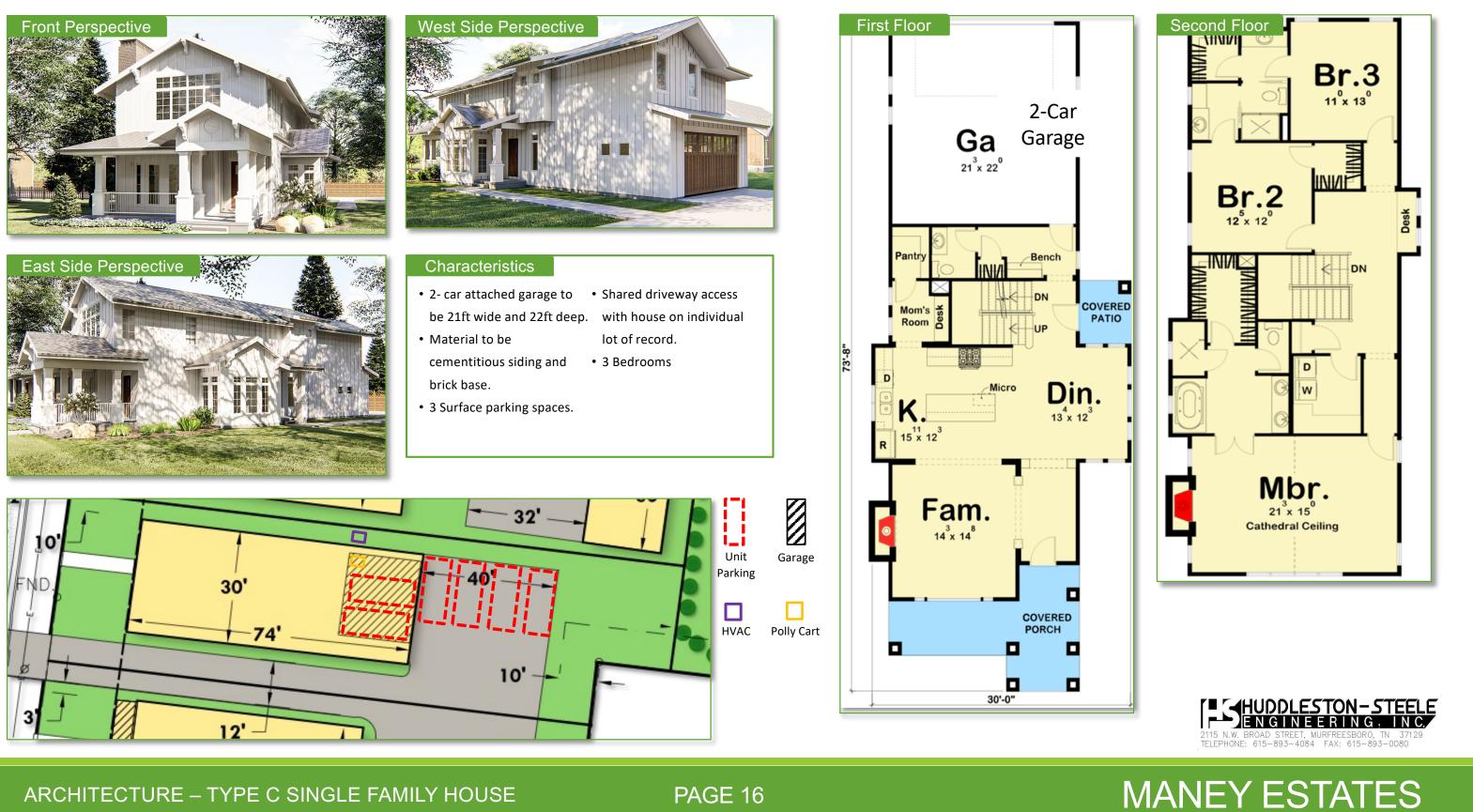






ARCHITECTURE - TYPE B SINGLE FAMILY HOUSE









Characteristics

- 1- car garage to be 13'-5" wide and 23' deep. 3 Bedrooms.
- Material to be cementitious siding and brick base.
- 2 Surface parking spaces



ARCHITECTURE – TOWNHOME EXAMPLES





ARCHITECTURE – TOWNHOME EXAMPLES CONT'D

PAGE 18



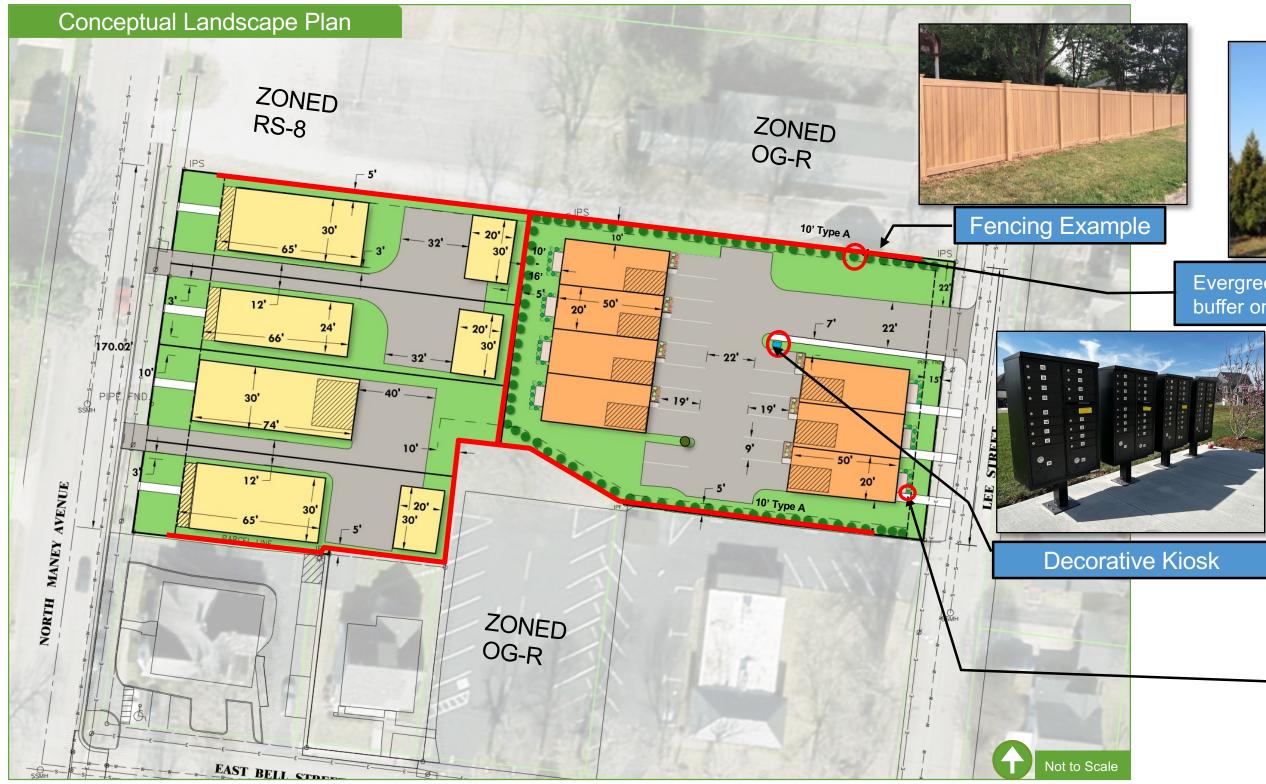






Garage





CONCEPTUAL LANDSCAPE PLAN

PAGE 19



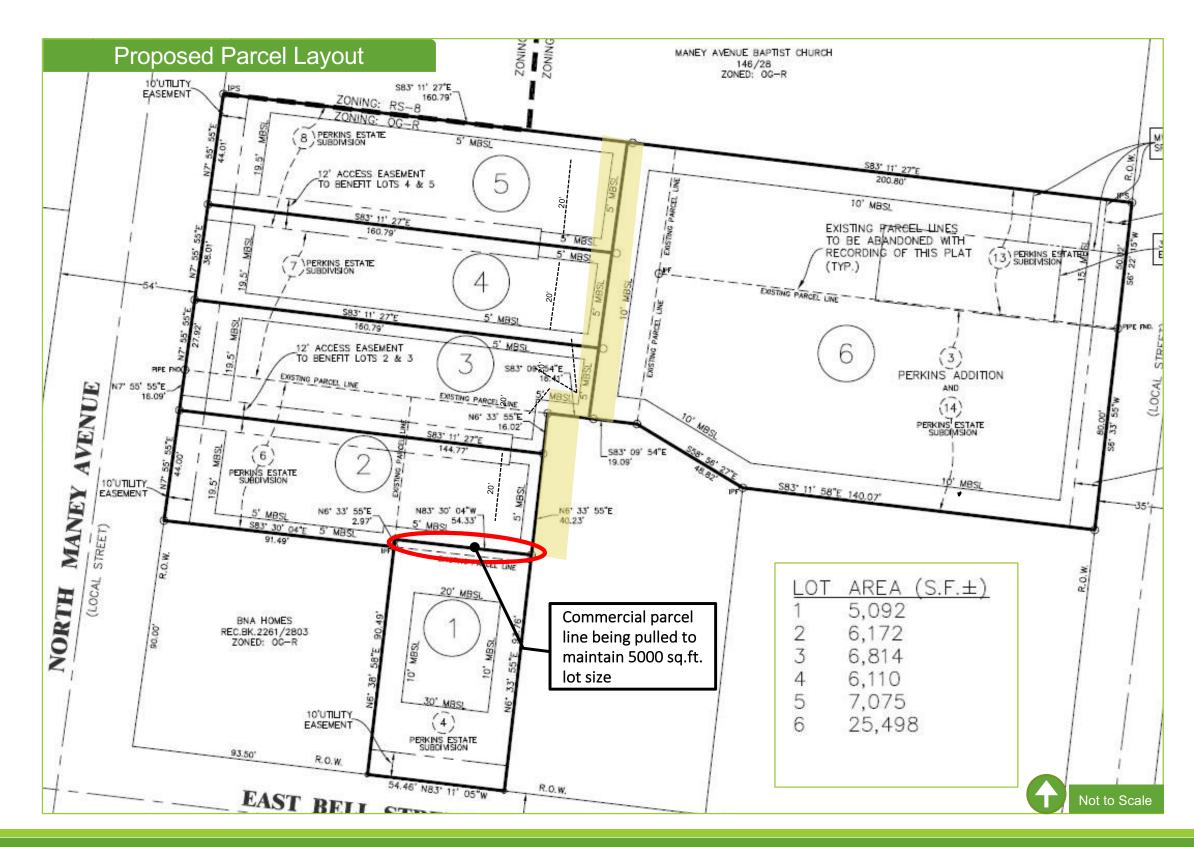


Evergreen Trees in type A buffer on 3 sides



Foundation Plants



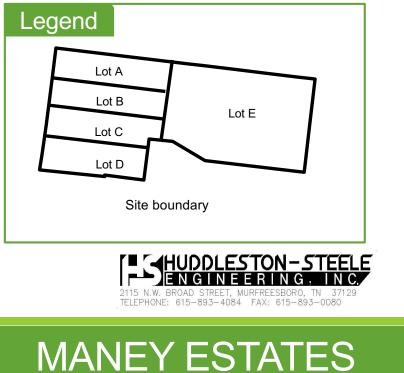


PROPOSED PARCEL LAYOUT

PAGE 20

Map Summary

- 405 E. Bell property to be adjusted to 5000 sq.ft. prior to building permit issuance through final plot generally following the layout of this exhibit.
- 10' Public utility easement shall be provided along North Maney Avenue and Lee Street.
- 30' sewer easement will be provided to meet Murfreesboro Water Resources Department requirements.



SETBACKS	RS-4	ссо	Proposed PRD single family Detached (4)	Difference	RS-A3	ссо	Proposed PRD Townhomes (7) HPR	Difference
FRONT SETBACK	35 ft	19.5 ft	19.5 ft		20 ft	25 ft	15 ft	10 ft
SIDE SETBACK	5 ft		5 ft		5 ft		10 ft	
REAR SETBACK	20 ft		20 ft		20 ft		10ft	10 ft
ACCESSORY STRUCTURE SETBACK	5 ft with < 25% in 'required rear yard'.	N/A	5 ft with up to 60% within 'required rear yard'	35%				
TOTAL LOT AREA	4,000 sq.ft.		6,172 sq.ft. (min)	2172 sq.ft.	2000 sq.ft.		3597 sq.ft.	
MIN. LOT WIDTH	40 ft		38 ft	2 ft	20 ft		N/A	N/A
MAX. HEIGHT	35 ft		35 ft		45 ft		28 ft	
MAX. GROSS DENSITY	10.8		+/- 6.67**	+/- 4.13	12		+/- 11.97**	+/- 0.3 (UNDER
MAX. F.A.R.	NONE		NONE		1		N/A	
MAX. L.S.R.	NONE		NONE		NONE		NONE	
MAX. O.S.R.	NONE		NONE		NONE		NONE	
MAX LOT COVERAGE	40%	50%	37%		NONE	50%	28%	22% (UNDER)
LANDSCAPE BUFFER	NONE	1			TYPE A		10' TYPE A	

-κ (current zoning) allows δ./ units/acre for single family detached and 14.5 - 1/.4 units/acre for townhomes.

SITE DATA	Single Family (sq.ft.)	Single Family Percentage	Town Homes (sq.ft.)	Townhome Percentage	Entire Parcel (sq.ft.)	Entire Parcel Percentage	
TOTAL LAND AREA	+/- 26,171 (.60 AC)	51%	+/- 25,498 (.59 AC)	49%	+/-51,669 (1.19 AC)	100%	
PRIVATE OPEN SPACE	N/A	0%	350	1.4%	350	1.4%	
TOTAL IMPERVIOUS	11,895	46%	9,589	38%	21,484	42%	
TOTAL PERVIOUS (OPEN SPACE)	7,017	27%	7,176	28%	14,193	27%	
TOTAL BUILDING COVERAGE	9,400	36%	7,297	29%	16,697	32%	
TOTAL PARKING LOT COVERAGE	7,259	28%	8,733	34%	15,992	31%	2115 N.W. BROAD STREET, MUR TELEPHONE: 615-893-4084 F

DEVELOPMENTAL STANDARDS

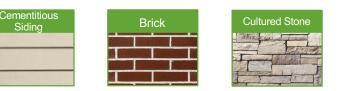
PAGE 21

Developmental Standards

- Development will include (4) 2-Story Detached homes on their own lots of record and (7) Attached Town homes on horizontal property regime lots.
- The maximum building height is 35'-0"
- Parking will be a combination of surface parking and parking in garages.
- Solid waste will be disposed using poly carts stored in garages (clear of required dimensions) and private hauler.
- Sidewalks will need to be constructed within this project along North Maney Avenue and may be subject to in lieu fees along Lee Street.
- Mail delivery will be accommodated via a mail kiosk.
- The garages are to meet standard city requirements of 11'4" x 20' for one-car garages and 19'4" x 20' for two-car garages clear of interior trash storage.
- Telecommunication and television equipment shall be located on the rear of the proposed buildings.
- AC units will be located on the rear and side of the homes.
- Building Elevation Materials: Brick and Hardie Board Siding.

Building Elevations Materials

Front Elevation:	All Masonry Materials (Brick, Stone, Fiber Cement Board, etc)
Side Elevations:	All Masonry Materials (Brick, Stone, Fiber Cement Board, etc)
Rear Elevations:	All Masonry Materials (Brick, Stone, Fiber Cement Board, etc)
All Elevations	Enhanced trim Package



*Different colors, cuts and patterns will be allowed

General Applicability Section 13b for Planned Development

- Ownership and division of land: The site is owned by the R.
- Waiver of BZA action: No BZA action is required.
- Common space and common elements: Town homes will have 50 square feet of private open space per home.
- Accessibility of site: Site will be accessed from Lee St., as a residential collector street.
- Off-street parking: See Sheet 13 for parking calculations.
- New sidewalks shall be constructed along North Maney Street.
- **Privacy:** 6 ft privacy fence will be provided alongside and rear property lines, as depicted on Sheet 13.
- Relationship to zoning regulations and other zoning **regulations:** A PRD is being requested for the subject property.
- in one phase.
- Annexation: No Annexation is required for this site.
- Landscaping: Landscaping will be the responsibility of the new homeowners for the single-family detached homes. Perimeter trees and foundation planting will be provided for the town homes.

DEVELOPMENTAL STANDARDS

PAGE 22

developer identified on Sheet 2 and the lot is currently zoned, OG-

designated as a local street, and North Maney Avenue, designated

Pedestrian circulation: There are no existing sidewalks currently. However, property may be subject to in lieu fees along Lee Street.

Development Period; Phasing: The project shall be completed

General Applicability Section 13b for Planned Development

- 1. Identification of existing utilities, easement, roadways, rail lines and public right-of-way crossings and adjacent to the subject property: Shown in pattern book on Sheets 3-7.
- 2. A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; Shown in pattern book Sheets 8-9.
- 3. A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structure on-site and within two hundred feet of the subject property and the identification of the use thereof; Shown in pattern book Sheets 10-12.
- 4. A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; Shown in pattern book Sheet 13.
- 5. A tabulation of the maximum number of dwelling units proposed including the number of units with two or less bedrooms and the number of units with more than two bedrooms; Shown in pattern book Sheet 13.
- 6. A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (floor area ratio), the L.S.R. (livability space ratio), and the O.S.R. (open space ratio); Not applicable in this situation.
- 7. A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the City and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article; See sheet 2.
- 8. If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating: (aa) the approximate date when construction of the project can be expected to begin; (bb) the order in which the phases of the project will be built; (cc) the minimum area and the approximate location of common space and public improvements that will be required at each stage; and, (dd) a breakdown by phase for subsections [5] and [6] above; The PRD will be constructed in one phase.
- 9. Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or

covenants shall be submitted: The townhomes will have an HOA.

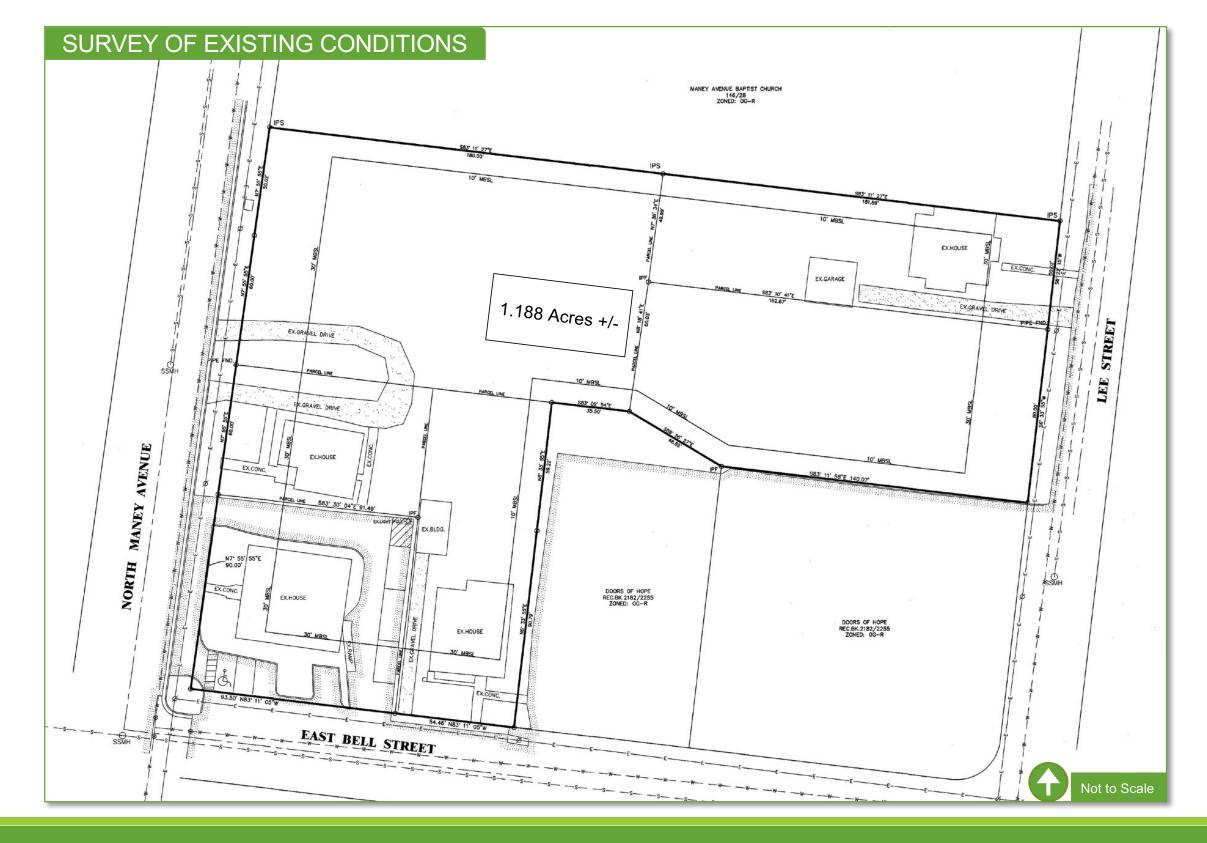
- 10. A statement setting forth in detail either (1) the exceptions which are required from the zoning and Subdivision Regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed;
 - EXCEPTION 1 A reduction in front setback to be 15 ft for single family attached town homes.
 - EXCEPTION 2 A reduction in rear setback to 10 ft for single family attached town homes.
 - EXCEPTION 3 Increase the amount of accessory structure located within the 'required rear yard' from < 25% to 60%
 - EXCEPTION 4 A reduction in total lot width from 40' to 38' for single family detached homes, which is a 2 ft reduction from comparative.
- 11. The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article; Not applicable in this situation.
- 12. The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time; The subject property is not influenced by the Major Thoroughfare Plan.
- 13. The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated; See Sheet 2.
- 14. Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. See Sheet 14-18.
- 15. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign: Not applicable in this situation.

DEVELOPMENTAL STANDARDS

PAGE 23

SURVEY OF EXISTING CONDITIONS

PAGE 24





2115 N.W. BROAD STREET, MURFREESBORO, TN 37129 TELEPHONE: 615-893-4084 FAX: 615-893-0080



MURFREESBORO PLANNING COMMISSION STAFF COMMENTS, PAGE 1 NOVEMBER 1, 2023 PROJECT PLANNER: AMELIA KERR

6.a. Mandatory Referral/ROW Abandonment [2023-728] to consider the abandonment of a right-of-way on property at 1935 Northwest Broad Street, Huddleston-Steele Engineering, Inc. on behalf of 84 Lumber Company applicant.

The subject right-of-way (ROW) consists of an area located on 84 Properties, LLC property west of Northwest Broad Street and east of the CSX railroad ROW. More specifically, the ROW in question is located on the parcel addressed as 1935 Northwest Broad Street. It was recorded in 1949 on the Thos. Henry White Farm subdivision plat (Deed Book 104, Page 137). The area surrounding the subject ROW is zoned Heavy Industrial (HI).

The business located on the property, 84 Lumber, has plans to expand its facilities onto the property to the north of the subject ROW. One of the conditions of the approval of the site plan was to record a resubdivision plat, combining all of the 84 Properties lots into one lot. Because this ROW appears to be excess and no longer needed for its original intended public purpose, 84 Properties, LLC, has requested that it be abandoned. Staff urged the property owner to move forward with the ROW abandonment request as the public function of this segment of ROW appears to be minimal because it is currently beneath the subject property's existing storage building. If abandoned, the subject ROW will be quitclaimed to the adjacent property owner and the plat will be updated before it is recorded to show this ROW as having been abandoned.

Included in the agenda materials is the ROW abandonment study prepared by Staff. The Engineering Department requires that the request to abandon the ROW be subject to submission and recording of a subdivision plat that will provide a Public Access easement for the benefit of the City and of the users of the Greenway trailhead. This easement should coincide with the driveway that leads to the Greenway trailhead parking area. Also, a Public Parking easement should be recorded for the benefit of the City and of the users of the Greenway trailhead parking area. Also, a Public Parking easement should be recorded for the benefit of the City and of the users of the Greenway trail and should coincide with the existing parking spaces for the trailhead. The ROW abandonment and final plat recording should be done simultaneously.

Staff recommends that any approval of the ROW abandonment request be made subject to the following comments:

- The applicant shall be required to submit the necessary documents to the City Legal Department required to draft the quitclaim deed. The quitclaim deed will be subject to the final review and approval of the City Legal Department.
- 2) The applicant shall be responsible for recording the quitclaim deed, including the payment of any recording fees.
- 3) The abandoned ROW shall be incorporated into the existing parcel(s) via a subdivision plat recorded at the Register of Deeds Office.
- 4) Public Access and Parking easements shall be recorded to accommodate the existing Greenway Trail access and parking.

The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



City of Murfreesboro Mandatory Referral Application 111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

	Mandatory Referral Fees:
	nment of right-of-way \$350.00 andonment of right-of-way \$150.00
Property Information:	A second se
Tax Map/Group/Parcel: 080-004.00	Address (if applicable): 1945 & 1935 NW BROAD ST
Street Name (if abandonment of ROW):	
Type of Mandatory Referral: abandonmen	it of right of way
Applicant Information: Name of Applicant: Guy A. Flament, Jr.	
Company Name (if applicable): 84 Lumber	Company
Street Address or PO Box: 1019 Route 519,	
City: Eighty Four	
State: PA	Zip Code: 15330
Email Address: Guy.Flament@84Lumber.	com
Phone Number: 412-287-4347	
Required Attachments:	
I Letter from applicant detailing the reque	act .
 Exhibit of requested area, drawn to scale 	
Legal description (if applicable)	
guy A. Flament, Or.	9/12/2023
Applicant Signature	Date

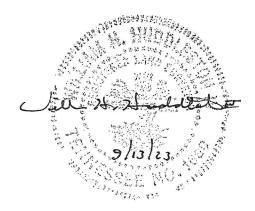
Property Description 84 Properties, LLC Tax Map 80, Part of Parcel 4.00

Mandatory Referral to Remove 20' Right-of-Way

Located in the 13th Civil District of Rutherford County, Tennessee. Bound on the north by Northwest Broad Street & US Highway 41 & State Route 1; on the east and west by the remaining property of 84 Properties, LLC (Tax Map 80, Parcel 4.00); and on the south by the centerline of CSX Railroad (Plat Book 25, Page 107).

Beginning at a point in the west line of City of Murfreesboro Greenway Project that is a southeast corner of this property; thence N39°15'01"E, 20.90 feet to a point; thence along a southwest line of the remaining property of 84 Properties, LLC N33°51'35"W, 503.18 feet to a point; thence along a west line of said remaining property N46°12'33"E, 626.13 feet to a point in the southwest right-of-way of Northwest Broad Street; thence N45°37'33'W, 20.01 feet to a point; thence leaving said right-of-way along an east line of the remaining property of 84 Properties, LLC S46°12'33"W, 642.29 feet to a point; thence along the centerline of CSX Railroad S33°51'35"E, 526.05 feet to **The Point of Beginning** containing, 22,975.47 SF FT, more or less.

Prepared by: Huddleston-Steele Engineering, Inc. 2115 Northwest Broad Street Murfreesboro, TN 37129





August 31, 2023

Mr. Greg McKnight, Planning Director City of Murfreesboro 111 West Vine Street Murfreesboro, Tennessee 37130

Re: Abandonment of a 20' Right-Of-Way 84 Lumber 1935 N.W. Broad St. Murfreesboro, TN

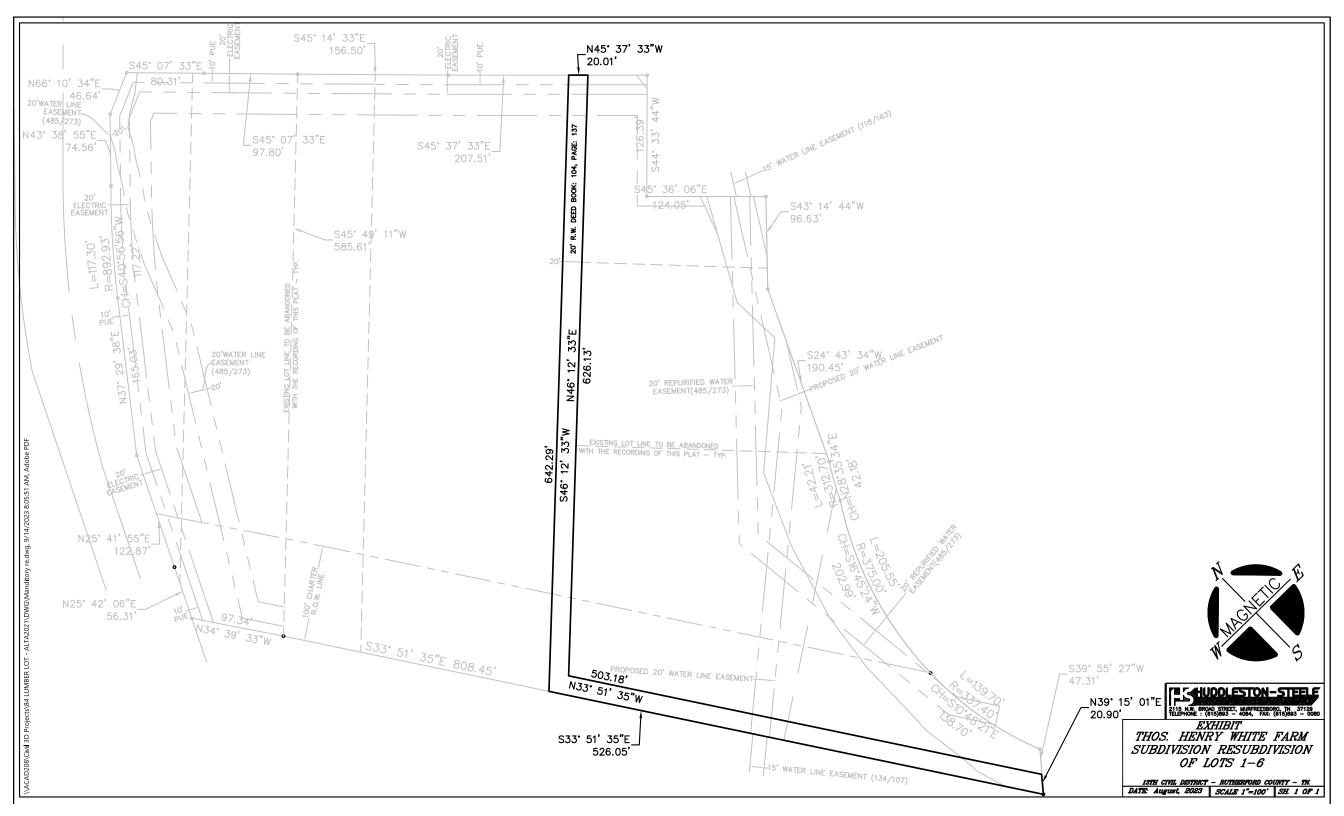
Dear Mr. McKnight:

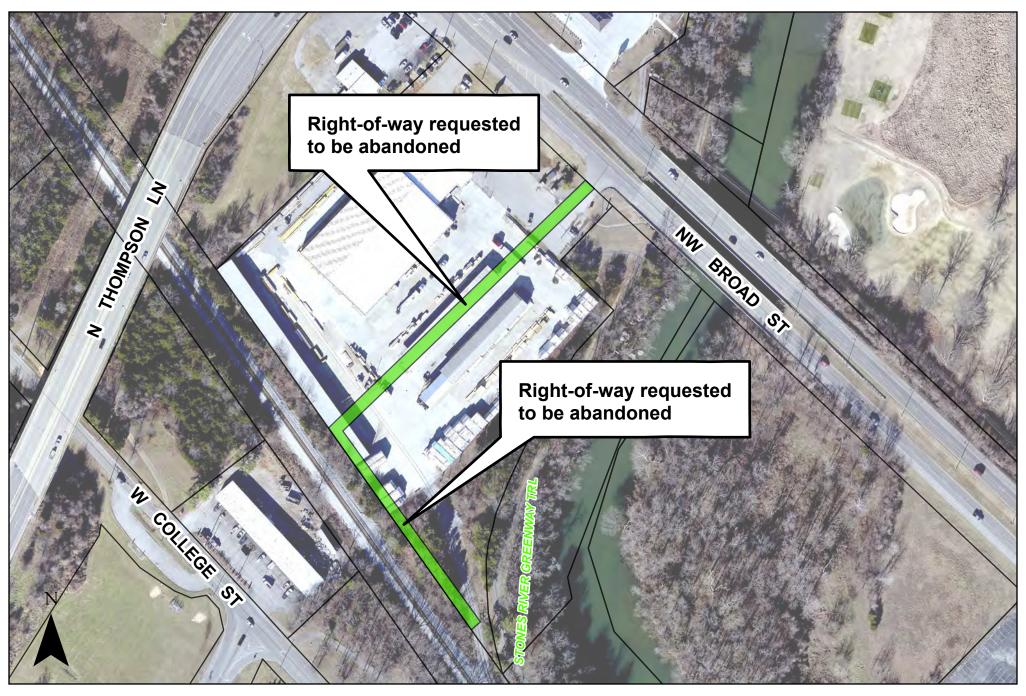
At the request of our client, 84 Lumber, we hereby make a request to abandon a 20' Right-Of-Way at 1935 N.W. Broad St. with a mandatory referral by Planning Commission and City Council. Property description and an exhibit are attached.

Sincerely,

HUDDLESTON-STEELE ENGINEERING, INC.

William H. Huddleston IV, P.E., R.L.S.







Request to abandon public right-of-way southwest of Northwest Broad Street

600

900

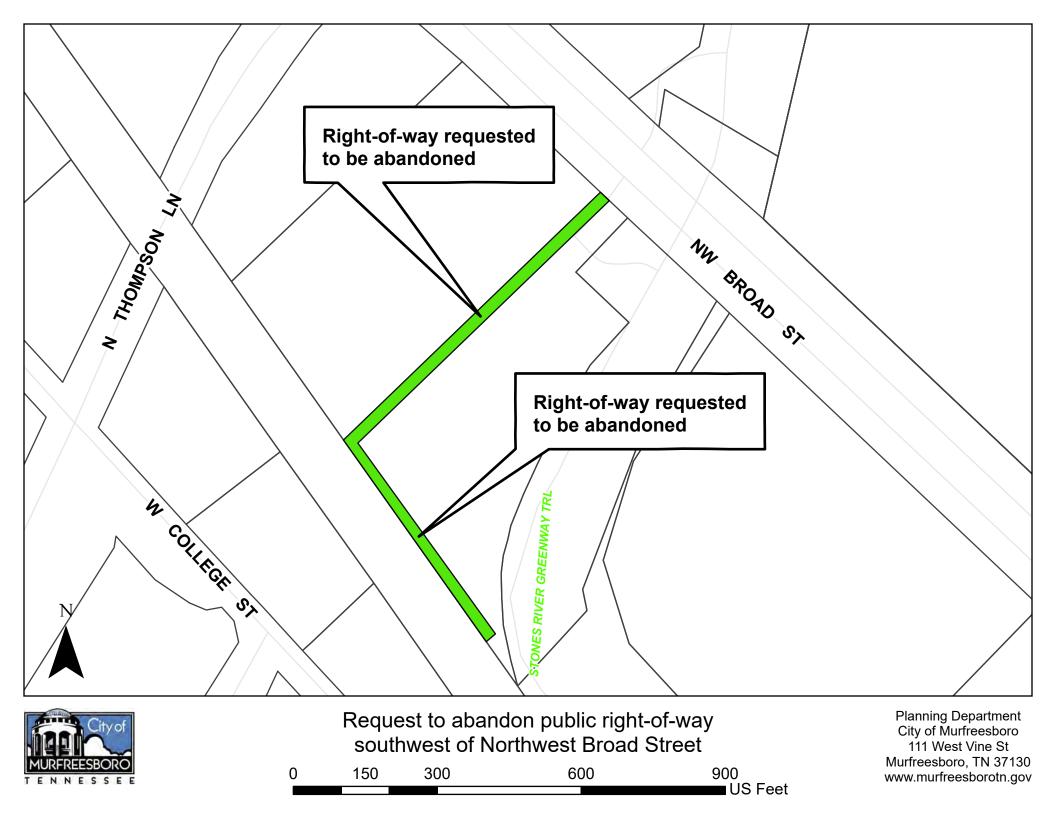
US Feet

150

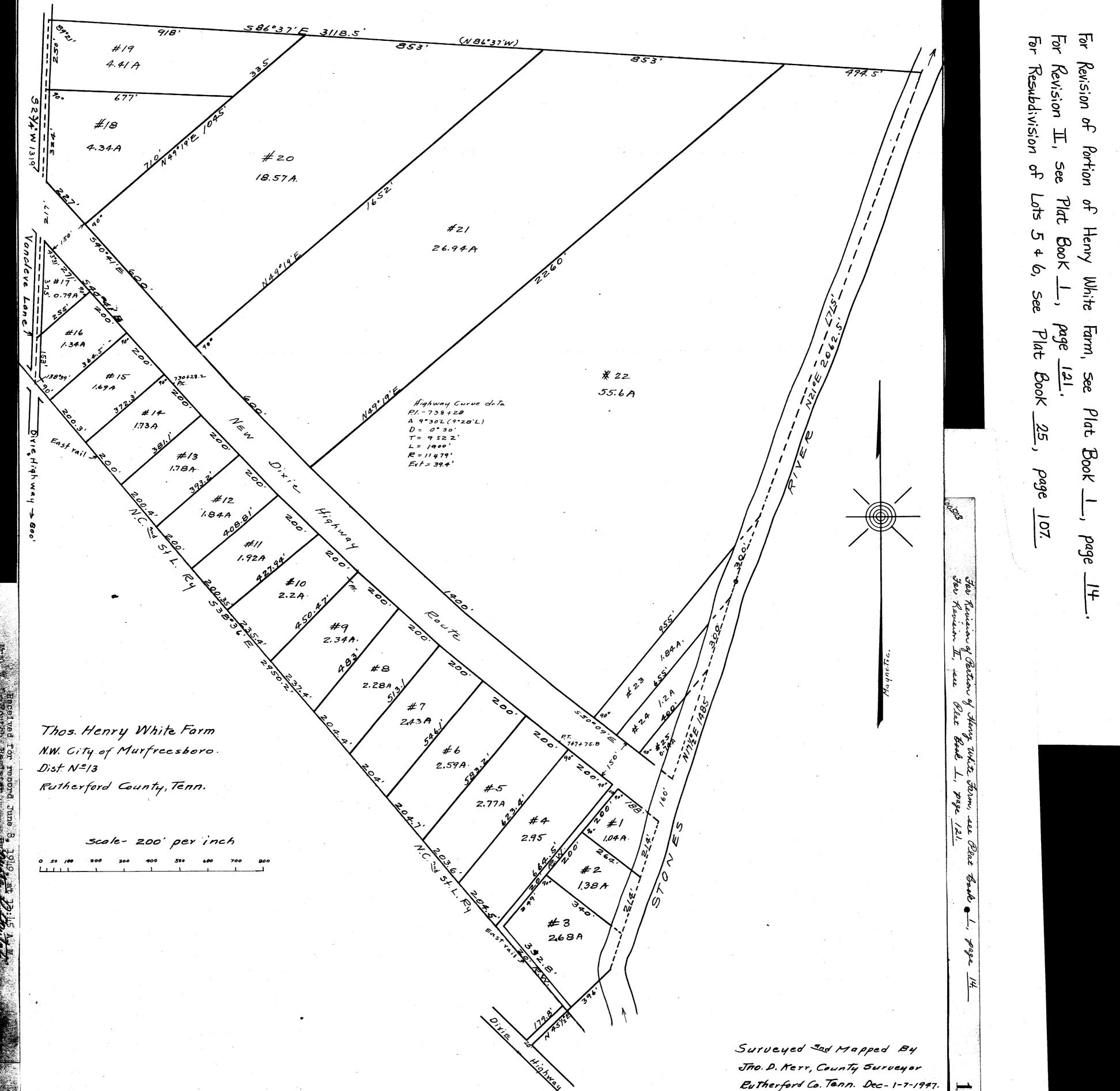
0

300

Planning Department City of Murfreesboro 111 West Vine St Murfreesboro, TN 37130 www.murfreesborotn.gov



THOS. HENRY WHITE FARM Deed Book 104, Page 137 Filed June 8, 1949, at 11:45 A.M., Notebook 9, Page 272





Memorandum

To:	Greg McKnight, Planning Director & Matthew Blomeley, Assistant Planning Director
From:	Amelia Kerr, Planner
Date:	October 1, 2023
Re:	Mandatory Referral 2023-728: Abandonment of a public right-of-way at 84 Lumber property
	located at 1935 & 1945 NW Broad Street

Following is a summary of the City department staff and utility provider comments regarding the requested right-of-way (ROW) abandonment.

Engineering & Streets Departments

The request to abandon ROW should be subject to submission and recording of a subdivision plat that will provide a Public Access easement for the benefit of the City and of the users of the greenway. This easement should coincide with the driveway that leads to the greenway parking area. Also, a Public Parking easement should be recorded for the benefit of the City and of the users of the greenway. This easement should coincide with the existing parking spaces for the trailhead. The ROW abandonment and final plat recording should be done simultaneously.

Fire and Rescue Department

MFRD does not object to the abandonment.

Police Department

MPD does not object to the abandonment.

Solid Waste Department

The ROW abandonment at 84 Lumber will not impact the Solid Waste Department.

Murfreesboro Water Resources Department (MWRD)

MWRD has no objection to the abandonment of the ROW.

Consolidated Utility District (CUD)

CUD does not have any utilities in this area. It is in the MWRD service area. The proposed ROW abandonment will have no impact on CUD.

Middle Tennessee Electric Members Cooperative (MTE)

MTE has no facilities within the shown area and no comments regarding the ROW abandonment.

AT&T

AT&T has no issues with the ROW abandonment, there is an existing service line that is not affected by the ROW abandonment.

Atmos Energy

Atmos does not have any facilities in the area of the ROW abandonment.

Comcast

Multiple attempts have been made by email and phone to reach this entity with no response.



. . creating a better quality of life.

MEMORANDUM

DATE: October 6, 2023

TO: Amelia Kerr

FROM: Michele Emerson

RE: ROW Abandonment 84 Lumber

In response to your September 20th memo, we have reviewed the ROW abandonment request for 84 Lumber and offer the following comments on behalf of both the Engineering Department and Street Division.

The request to abandoned ROW should be subject to submission and recording of a subdivision plat that will provide a Public Access easement for the benefit of the City and of the users of the greenway. This easement should coincide with the driveway that leads to the greenway parking area. Also a Public Parking easement for the benefit of the City and of the users of the greenway. This easement should coincide with the existing parking spaces for the trailhead. The ROW abandonment and final plat recording should be done simultaneously.

In order to facilitate the abandonment process, the applicant should be prepared to provide legal descriptions and exhibits necessary for the City to draft the necessary legal documents as well as any recording fees. In addition, the ROW abandonment should be subject to the final approval of the legal documents by the City Attorney.

C: Chris Griffith Raymond Hillis Tracy Brown David Ives

From:	Anita Heck
То:	Amelia E Kerr
Cc:	Valerie Smith; Marshall Fall
Subject:	RE: 84 Lumber Mandatory Referral
Date:	Wednesday, September 20, 2023 11:26:07 AM
Attachments:	image002.png image003.ipg

Amelia,

Our department has no comments.

Thanks,

Anita Heck, EI

Murfreesboro Water Resources Department – Engineering



220 NW Broad StreetMurfreesboro, TN 371300 (615) 848-3200aheck@murfreesborotn.gov

From: Amelia E Kerr <aekerr@murfreesborotn.gov> Sent: Wednesday, September 20, 2023 10:48 AM To: Anita Heck <aheck@murfreesborotn.gov>; bhunter@cudrc.com; Brad Barbee <bbarbee@murfreesborotn.gov>; Brian Lowe <blowe@murfreesborotn.gov>; Cey Chase-Aguzzi <cchaseaguzzi@murfreesborotn.gov>; charles_Keyjr@comcast.net; Chris Barns (ChrisBarns@mte.com) <ChrisBarns@mte.com>; Chris Griffith <cgriffith@murfreesborotn.gov>; Clayton Williams <0417@murfreesborotn.gov>; Cory Edmonds <cory.edmonds@mtemc.com>; cp8211@att.com; Dan Dement <ddement@mtemc.com>; Darren Gore <dgore@murfreesborotn.gov>; ja2030@att.com; Jim Kerr <jkerr@murfreesborotn.gov>; jseng@mtemc.com; Joey Smith <jsmith@murfreesborotn.gov>; Katie Noel <knoel@murfreesborotn.gov>; LaFonda Rudd <0082@murfreesborotn.gov>; Matt Fasig <mfasig@murfreesborotn.gov>; Matthew Blomeley <mblomeley@murfreesborotn.gov>;

From:	Barns, Chris
To:	Amelia E Kerr
Subject:	[EXTERNAL]- RE: 84 Lumber Mandatory Referral
Date:	Wednesday, September 20, 2023 11:52:47 AM
Attachments:	image002.png
	image003.jpg

Amelia,

MTE has no facilities within the shown area and no comments regarding the ROW abandonment.

Chris Barns, P.E.

Development Engineer

Middle Tennessee Electric 810 Commercial Ct., Murfreesboro, TN 37129 **Office:** 615.494.0428



Energy. Service. Life.

From: Amelia E Kerr <aekerr@murfreesborotn.gov>

Sent: Wednesday, September 20, 2023 10:48 AM

To: Anita Heck <aheck@murfreesborotn.gov>; bhunter@cudrc.com; Brad Barbee <bbs/>
<bs/>
<bs/> <cchaseaguzzi@murfreesborotn.gov>; charles_Keyjr@comcast.net; Barns, Chris <ChrisBarns@mte.com>; Chris Griffith <cgriffith@murfreesborotn.gov>; Clayton Williams <0417@murfreesborotn.gov>; Edmonds, Cory <cory.edmonds@mtemc.com>; cp8211@att.com; Dement, Dan <ddement@mtemc.com>; Darren Gore <dgore@murfreesborotn.gov>; David Ives <dives@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>; ja2030@att.com; Jim Kerr < jkerr@murfreesborotn.gov>; Seng, Josh < jseng@mtemc.com>; Joey Smith <jsmith@murfreesborotn.gov>; Katie Noel <knoel@murfreesborotn.gov>; LaFonda Rudd <0082@murfreesborotn.gov>; Matt Fasig <mfasig@murfreesborotn.gov>; Matthew Blomeley <mblomeley@murfreesborotn.gov>; matthew moore2@comcast.com; Michael Bowen <0216@murfreesborotn.gov>; Michele Emerson <memerson@murfreesborotn.gov>; Ram Balachandran <rbalachandran@murfreesborotn.gov>; Shandreah Womack <swomack@murfreesborotn.gov>; Sam Huddleston <shuddleston@murfreesborotn.gov>; Susan Carmouche <scarmouche@murfreesborotn.gov>; taylor.sanders@atmosenergy.com; Tim Jackson <tjackson@murfreesborotn.gov>; Valerie Smith <vsmith@murfreesborotn.gov> Subject: 84 Lumber Mandatory Referral

Hey Amelia,

I apologize for missing this. The police department has no issues with the ROW abandonment as proposed.

Get Outlook for iOS

From: Amelia E Kerr <aekerr@murfreesborotn.gov>
Sent: Wednesday, October 11, 2023 8:39:39 AM
To: Clayton Williams <0417@murfreesborotn.gov>
Subject: FW: mandatory referral

Good morning Lt Williams,

Can you please give me feedback for the ROW abandonment below? I need to have a report completed this week.

Thanks,

Amelia Kerr

City of Murfreesboro Planner 615-893-6441 ext. 1613

From: Amelia E Kerr
Sent: Monday, October 9, 2023 11:37 AM
To: Clayton Williams <0417@murfreesborotn.gov>; ja2030@att.com; keyjr@comcast.net
Subject: mandatory referral
Importance: High



Memorandum

From:	Jamie Sain
То:	Amelia E Kerr
Subject:	[EXTERNAL]- RE: 84 Lumber Mandatory Referral
Date:	Thursday, September 21, 2023 9:42:52 AM
Attachments:	image002.jpg
	image006.jpg
	image001.jpg
	image003.jpg

You don't often get email from jsain@cudrc.com. Learn why this is important

Amelia,

CUD does not have any utilities in this area. It is in the MWRD service area. The proposed right of way abandonment will have no impact on CUD.

Thanks,

Jamie Sain, P.E. Project Manager Consolidated Utility District 709 New Salem Hwy., P.O. Box 249 Murfreesboro, TN 37133-0249 PH: 615-225-3338 | Fax: 615-225-3314 Email: jsain@cudrc.com Visit Our Web at: www.cudrc.com

"55 Years Serving Rutherford County"

#1 Through Excellence & Innovation

This e-mail and any files transmitted with it are CUDRC property, are confidential, and are intended solely for the use of the individual or entity to whom this e-mail is addressed. Any other use, retention, dissemination, forwarding, printing, or copying of this e-mail is strictly prohibited. In addition, all maps, flows, elevations, pipe sizes or any other hydraulic information is provided as a courtesy by CUDRC to the recipient and is for information use only. Since it may be inaccurate or incomplete, it should never be relied upon for design purposes or financial commitments without investigation and due diligence by the recipient.

From: Jamie Sain
Sent: Wednesday, September 20, 2023 2:03 PM
To: Amelia E Kerr <aekerr@murfreesborotn.gov>
Cc: Brandon Hunter <bhunter@cudrc.com>
Subject: RE: 84 Lumber Mandatory Referral

Amelia,

I will be the CUD contact for ROW abandonment going forward. I will investigate this area and send you a response.

Thanks,

The right- away abandonment at 84 lumber will not impact the Solid Waste department.

Thanks Joey

From: Amelia E Kerr <aekerr@murfreesborotn.gov> Sent: Wednesday, September 20, 2023 10:48 AM **To:** Anita Heck <aheck@murfreesborotn.gov>; bhunter@cudrc.com; Brad Barbee <bbs/>

 <cchaseaguzzi@murfreesborotn.gov>; charles_Keyjr@comcast.net; Chris Barns (ChrisBarns@mte.com) <ChrisBarns@mte.com>; Chris Griffith <cgriffith@murfreesborotn.gov>; Clayton Williams <0417@murfreesborotn.gov>; Cory Edmonds <cory.edmonds@mtemc.com>; cp8211@att.com; Dan Dement <ddement@mtemc.com>; Darren Gore <dgore@murfreesborotn.gov>; David lves <dives@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>; ja2030@att.com; Jim Kerr <jkerr@murfreesborotn.gov>; jseng@mtemc.com; Joey Smith <jsmith@murfreesborotn.gov>; Katie Noel <knoel@murfreesborotn.gov>; LaFonda Rudd <0082@murfreesborotn.gov>; Matt Fasig <mfasig@murfreesborotn.gov>; Matthew Blomeley <mblomeley@murfreesborotn.gov>; matthew moore2@comcast.com; Michael Bowen <0216@murfreesborotn.gov>; Michele Emerson <memerson@murfreesborotn.gov>; Ram Balachandran <rbalachandran@murfreesborotn.gov>; Shandreah Womack <swomack@murfreesborotn.gov>; Sam Huddleston <shuddleston@murfreesborotn.gov>; Susan Carmouche <scarmouche@murfreesborotn.gov>; taylor.sanders@atmosenergy.com; Tim Jackson <tjackson@murfreesborotn.gov>; Valerie Smith <vsmith@murfreesborotn.gov>

Subject: 84 Lumber Mandatory Referral



Memorandum

All Department Heads

To:

No comments

Shandreah Womack

Assistant Fire Marshal Murfreesboro Fire Rescue Department (Office) 615-893-1422 (Mobile) 615-801-4495 swomack@murfreesborotn.gov

From: Amelia E Kerr <aekerr@murfreesborotn.gov>

Sent: Wednesday, September 20, 2023 10:48 AM

To: Anita Heck <aheck@murfreesborotn.gov>; bhunter@cudrc.com; Brad Barbee <bbarbee@murfreesborotn.gov>; Brian Lowe <blowe@murfreesborotn.gov>; Cey Chase-Aguzzi <cchaseaguzzi@murfreesborotn.gov>; charles_Keyjr@comcast.net; Chris Barns (ChrisBarns@mte.com) <ChrisBarns@mte.com>; Chris Griffith <cgriffith@murfreesborotn.gov>; Clayton Williams <0417@murfreesborotn.gov>; Cory Edmonds <cory.edmonds@mtemc.com>; cp8211@att.com; Dan Dement <ddement@mtemc.com>; Darren Gore <dgore@murfreesborotn.gov>; David Ives <dives@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>; ja2030@att.com; Jim Kerr <jkerr@murfreesborotn.gov>; jseng@mtemc.com; Joey Smith <jsmith@murfreesborotn.gov>; Katie Noel <knoel@murfreesborotn.gov>; LaFonda Rudd <0082@murfreesborotn.gov>; Matt Fasig <mfasig@murfreesborotn.gov>; Matthew Blomeley <mblomeley@murfreesborotn.gov>; matthew_moore2@comcast.com; Michael Bowen <0216@murfreesborotn.gov>; Michele Emerson <memerson@murfreesborotn.gov>; Ram Balachandran <rbalachandran@murfreesborotn.gov>; Shandreah Womack <swomack@murfreesborotn.gov>; Sam Huddleston <shuddleston@murfreesborotn.gov>; Susan Carmouche <scarmouche@murfreesborotn.gov>; taylor.sanders@atmosenergy.com; Tim Jackson <tjackson@murfreesborotn.gov>; Valerie Smith <vsmith@murfreesborotn.gov>

Subject: 84 Lumber Mandatory Referral



To: Amelia E Kerr <<u>aekerr@murfreesborotn.gov</u>> Subject: [EXTERNAL]- FW: mandatory referral Importance: High

Amelia, Please see attachment for ATT facility marked in red.

Thanks,

Jamal Abed MGR-OSP PLNG & ENGRG DESIGN Access Construction & Engineering Tennessee/Kentucky District

AT&T – Bellsouth Telecommunications, LLC

116 S. Cannon Ave, Murfreesboro TN 37129 o 615.867.1697 |m 615.556.5825| <u>ja2030@att.com</u>

AT&T Proprietary (Internal Use Only)

Not for use or disclosure outside the AT&T companies except under written agreement

This message and any attachments to it contain confidential business information intended solely for the recipients. If you have received this email in error please do not forward or distribute it to anyone else, but telephone 615-867-1697 to report the error, and then delete this message from your system. Any other use, retention, dissemination, forwarding, printing, or copying of this e-mail is strictly prohibited.

From: Amelia E Kerr
Sent: Wednesday, October 11, 2023 8:35 AM
To: ABED, JAMAL Y <ja2030@att.com
Subject: FW: mandatory referral
Importance: High

Good morning Jamal,

Can you please give me feedback for the ROW abandonment below? I need to have a report completed this week.

Thanks,

Amelia Kerr City of Murfreesboro Planner 615-893-6441 ext. 1613

From: Amelia E Kerr

MURFREESBORO PLANNING COMMISSION STAFF COMMENTS, PAGE 1 NOVEMBER 1, 2023

PRINICIPAL PLANNER: MARGARET ANN GREEN

6.b. Zoning application [2023-414] for approximately 0.35 acres located along Van Cleve Lane to be rezoned from RS-15 to L-I, Norman Brown applicant.

Introduction

The subject property is located along Van Cleve Lane, south of Wilkinson Pike (Tax Map 092 Parcels 014.00). The property is a total of 2.74 acres; however, the rezone application is to for a 0.35-acre portion of the property from RS-15 (Single-Family, Residential District) to Light Industrial District (L-I). The applicant is the property owner, who also owns the adjacent Rosco Brown plumbing company. The Rosco Brown property located at 959 North Thompson Lane is zoned L-I and GDO-1 (Gateway Design Overlay District). The subject property is unplatted, undeveloped property that is a remnant of a residential subdivision. The properties to the east are zoned L-I and GDO-1. The properties to the north are zoned CM (Medical Commercial District) and GDO-1 and is the location of the Trustpoint medical facility, formally known as Polaris). The properties to the west and south are zoned RS-15 and mostly consist of estate size single-family, residential lots.

The subject property was zoned GDO after it was developed. The Rosco Brown property was resubdivided in November of 2003 to add 0.45 acres from the adjacent property. With this resubdivision, the minimum required buffer was shifted to the west, as is shown on the plat exhibit included with the staff report.

Land Use and Zoning

L-I, LIGHT INDUSTRIAL DISTRICT

This industrial district is intended to provide areas in which the principal uses permitted are warehousing, wholesaling and light assembly plants which have little impact on the surrounding neighborhood other than truck traffic, and which are accessible to major transportation routes. The regulations of this district are designed to minimize the adverse impact such uses may have on nearby districts. Heavy industrial uses, such as steel mill and manufacturing facilities, likely to create noise, odor, vibration or smoke that can affect surrounding areas will not be permitted in the light industrial district.

The applicant is requesting a bulk zoning of L-I for the subject property. The L-I district permits the manufacturing, storage and distribution of a variety of industrial uses, as well as most institutional, agricultural and commercial uses. A copy of Chart 1 is included and highlights the uses permitted in L-I.

The GDO prohibits several Industrial and Commercial uses otherwise permitted within the L-I district. However, this property is not requested to be zoned GDO.

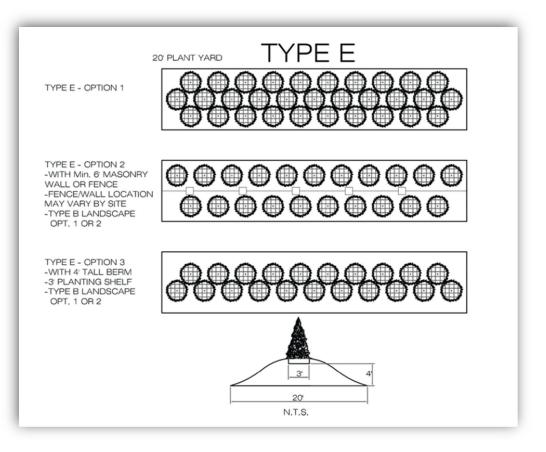
The RS-15 district has a maximum height of 35 feet for structures and 20-feet for light poles while the L-I district has a maximum height of structures and light fixtures is 75-feet. The maximum building height for accessory structures in the L-I district is 100 feet, however it must be a minimum distance of 600-feet from any contiguous residential district.

Public Rights-of-way/ Transportation network

The properties have access to Van Cleve Lane, a substandard residential street. The applicant indicated this property will be combined with the adjacent property at 959 North Thompson Lane, also giving it access to North Thompson Lane (major arterial). Wilkinson Pike is a committed project on the Major Transportation Plan – MTI #6.

Landscaping and Buffer yards

Industrial uses are exempt from foundation plantings and formal open space requirements. However, a "Type E" buffer is required between L-I and RS-15.



Future Land Use Map



SUBURBAN RESIDENTIAL CHARACTER (SR)

This designation pertains to commercial development as well as outparcels located on arterial and collector transportation routes. The primary difference in Urban and Auto-Urban character categories is the role of the automobile in its site design. Rather than buildings oriented to the street, as in an urban setting, such as what is found in downtown, auto-urban environments are characterized by large parking lots surrounding the buildings. Auto-Urban commercial uses include high intensity commercial businesses that have a trade area outside of Murfreesboro and/or require a large amount of land for their operations. Uses like regional shopping center, grocery, hotels, gas stations, restaurants, and "big box" retailers. Due to the potential for these uses to generate high traffic volumes, their location should be on or with adequate access to arterial roadways.

The Suburban Residential Character (SR) community character type includes small acreages, large lot estate development or may also be smaller lots clustered around common open space. Amenities may be passive recreation integrated into the master plan with an emphasis on bicycle, pedestrian, and greenway facilities. The suggested City Zoning Districts are RS-15, RS-12, RS-10 and PRD.

The Future Land Use Map uses property parcel boundaries, as established by the City of Murfreesboro GIS, to apply land use categories. A transition policy will be established to give flexibility within or between property lines to allow land use policy to be shaped relative to a site's context as well as its designated property boundary. These same considerations could be used to support site specific changes to the Future Land Use Map. Some examples of where transitions or changes might occur include:

- Land use boundaries at collector and arterial street intersections may support multiple land use options across street rights of way.
- More than one type of land use category may be suggested to occur within property boundaries, especially on large parcels.
- More than one property has been consolidated into a proposed land development.
- Unique geographical, environmental or infrastructure conditions shape development opportunities differently than property line configurations
- Current land development patterns support the expansion or contraction of a specific land use boundary or a land use change.
- Benefits the City by providing an opportunity to improve upon existing public services or general infrastructure needs.
- Adjustments to the Future Land Use Map should generally consider possible improvements to quality-of-life issues, unique development opportunities and or job creations that can improve economic opportunities in the city.

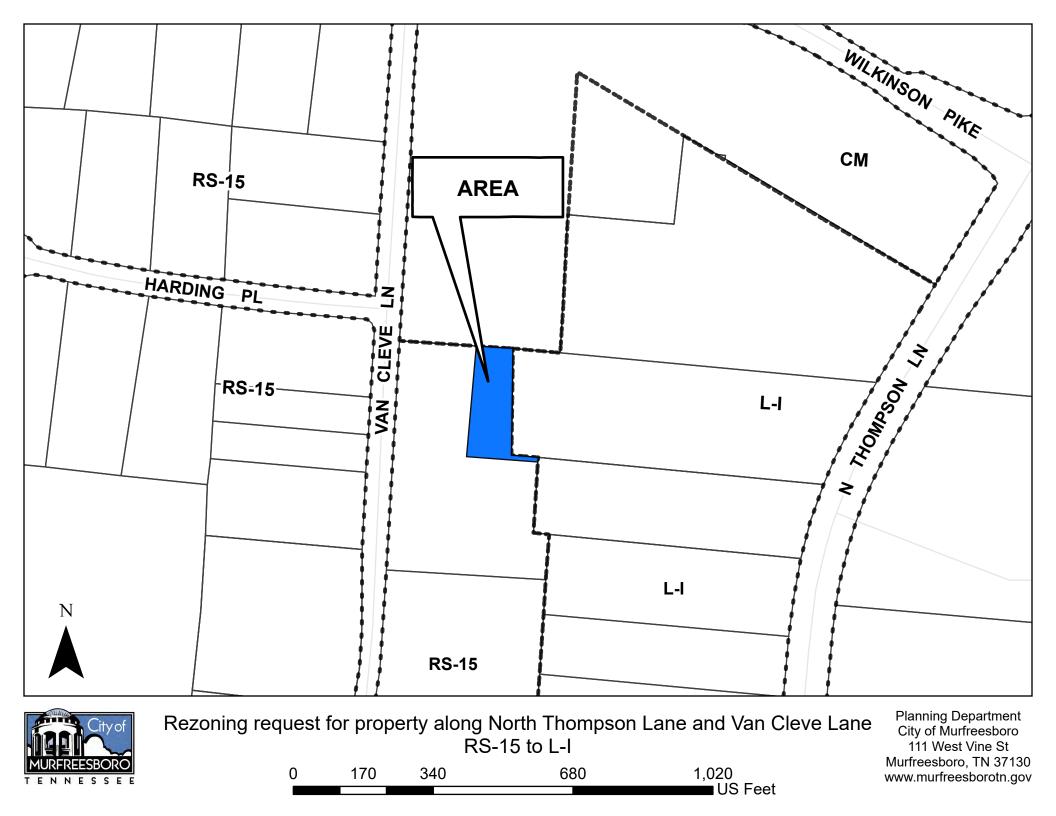
Reasons to allow for transition flexibility between land use or changes to the Future Land Use Map are not limited to these examples. Each proposed transition or change should be evaluated based on a sites specific surrounding context and the current goals of City leadership. The property owner met with the Development Services Director, Greg McKnight, to discuss the potential rezoning and was recommended to make an application for rezoning to L-I.

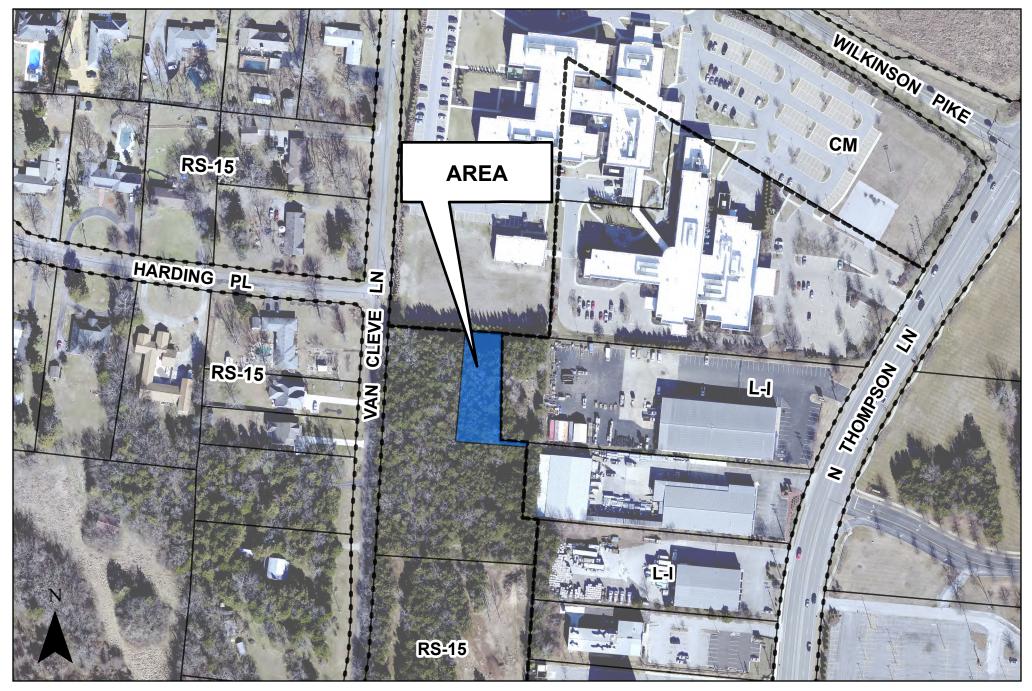
Recommendation:

Staff requests the Planning Commission to consider the following items in its review of this request:

- 1. The proposed development type and characteristics are inconsistent with the approved *Murfreesboro 2035 Comprehensive Plan* and the *Future Land Use Map*.
- 2. The potential applicability of the transition policy from the *Future Land Use Map and Chapter 4 Update.*

The Planning Commission will need to conduct a public hearing and then discuss the matter, after which it will need to formulate a recommendation for the City Council. The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning request.







Rezoning re	equest	for prop		•	Lane and Van Cleve L	ane
			RS-	15 to L-I		
	0	170	340	680	1,020 US Feet	N W
					US Feel	

Planning Department City of Murfreesboro 111 West Vine St Murfreesboro, TN 37130 www.murfreesborotn.gov

<u>Chart 1</u> Page 1 of 8

USES PERMITTED ³						ZC	NIN	G DI	STR	ICTS	6															
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	r Mo	OG R	OG	CL	CF ¹⁴	СН	MU	CBD	H	GI	ГІ	CM-RS-8	CM-R	CM	cu	٩.
DWELLINGS																									Щ	
Single-Family detached	Х	Х	Х	Х	Х	Х	Х	Х	Х	X ²⁷		Х		Х								Х	Х		Х	
Single-Family attached or detached, zero-lot line (max. 2 units attached) ²³							x	x	x	X ²⁴		x		х									x		x	
Single-Family attached, townhouse ^{25, 26, 28}								Х	Х	Х													Х		Х	
Two-Family							Х	Х	Х			Х		Х									Х		Х	
Three-Family								Х	Х			Х		Х									Х		Х	
Four-Family								Х	Х			Х		Х									Х		Х	
Multiple-Family								X ²¹	X ²¹								X ²¹	X ²¹							x	
OTHER HOUSING																										
Accessory Apartment	S ⁸				S ⁸																					
Accessory Dwelling Unit												X ¹	Х	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹						
Assisted-Care Living Facility ¹⁵							S	Х	Х	Х		Х	Х	Х	Х	Х	Х	Х				Х	Х	Х	S	
Bed-and-Breakfast Homestay	S	S	S	S	S		S	S	Х	S		S		Х	Х	Х		Х				S	S	S	Х	
Bed-and-Breakfast Inn	S	S	S	S	S		S	S	S	S		S		S	Х	Х		Х				S	S	S	S	
Boarding House ¹⁵							S	S	Х	Х		S		Х	Х	Х		Х					S	S	Х	
Emergency Shelter	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х
Extended Stay Hotel/Motel																Х	Х									
Family Crisis Shelter												S		S	S	S			s	S	S		S			
Family Violence Shelter								S	S			S	S	S	Х	Х			Х	Х	X		Х	S	S	
Fraternity/Sorority												S		S	S	S							S	S	S	
Group Shelter								S	S			S	S	S	S	S			S	S						
Class I Home for the Aged ¹⁵	S	S	S	S	S	S	S	Х	Х	Х		Х		Х	Х	Х		Х				S	S	S	S	
Class II Home for the Aged ¹⁵	S	S	S	S	S		S	S	S	S		S		Х	Х	Х		Х				S	S	S	S	
Class III Home for the Aged ¹⁵								S	S			S		S	Х	Х	Х	Х				S	S	S	S	
Hotel																Х	Х	Х	Х	Х	X					
Mission ¹⁰																			s	S	S					
Mobile Homes											Х															
Motel																Х	Х		Х	Х	X					
Rooming House							S	S	S									Х					S	S	Х	
Student Dormitory									S																Х	
Transitional Home							S	S	S			S	S										S	S		
INSTITUTIONS																										
Adult Day Care Center	S	S	S	S	S	S	S	S	S	S		Х	Х	Х	Х	Х	Х		Х	Х	X	S	Х	Х		
Adult Day Care Home	S	S	S	S	S	S	S	S	S	S	S	Х	S	Х	Х	Х		Х	Х	Х	X	Х	Х	Х		

<u>Chart 1</u> Page 2 of 8

USES PERMITTED ³						ZC	NIN	G DI	STR	ICTS	3															П
	; 15	12	; 10	8	9	4		RM 12	RM 16	RS-A	R MO	R			14	-	-	Q				CM-RS-8	CM-R	-		
	RS	RS	RS	RS	RS	RS	RD	RN	RN	RS	RI	90	90	СГ	CF ¹⁴	СН	MU	CBD	Ī	Ū		CM	S	CM		٩
Airport, Heliport	S	S	S	S	S	S	S	S		S						S			S	S	S	S	S	S	S	S
Cemetery, Mausoleum	S	S	S	S	S	S	S	S	S	S	S	S	S			S			S	S	S					
Church ¹³	S	S	S	S	S	S	S	Х	Х	S	S	S	Х	Х	Х	Х	Х	Х	Х	Х	Х	S	S	Х	Х	
College, University												Х	Х			Х	Х						Х		Х	
Day-Care Center							S	S	s		S	S	S	Х	Х	Х	Х	Х	Х	Х	Х	S	S	S		
Family Day-Care Home	S	S	S	S	S	S	S	S	S	S	S	S		Х	Х	Х		Х	Х	Х	X	S	S	S	Х	
Group Day-Care Home	S	S	S	S	S	S	S	S	S	S	S	S		Х	Х	Х		Х	Х	Х	Х	S	S	S	Х	
Hospital												Х	Х			Х	Х		Х	Х	Х	Х	Х	Х		
Lodge, Club, Country Club ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	S	Х	Х	Х	Х	Х	Х	Х	S	S	S		
Mental Health Facility												Х	Х	Х		Х	Х		Х	Х	X		Х	Х		
Morgue																Х	Х		Х	Х	Х		Х	Х		
Museum							S	S	S			S	S	S	Х	Х	Х	Х	Х	Х	Х	S	S	S	Х	S
Nursing Home									-			Х	Х	S	S	S	Х		Х	Х	Х	Х	Х	Х		
Nursery School							S	S	S		S	S	S	S	S	S	Х		S	S	S	S	S	S	Х	
Park	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	X	Х	Х	Х		Х
Philanthropic Institution	_	_					S	S	S			Х	Х	Х	Х	Х	Х	Х	X	Х	X	Х	Х	Х	Х	
Pet Cemetery	S	S	S												S	S			S	S	S			\parallel	┍──┼	
Public Building ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	Х	Х	Х	Х	Х	Х	Х	Х	S	S	S	Х	
Recreation Field ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	Х	Х	Х	Х		Х	Х	Х	S	S	S	Х	Х
Senior Citizens Center	S	S	S	S	S	S	S	Х	Х	S		Х	Х	Х	Х	Х	Х		Х	Х	X	S	Х	Х		
School, Public or Private, Grades K - 12 ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	Х	Х	Х	Х	Х	Х	Х	Х	S	S	S	Х	
Student Center								S	S			S	S	S	S	S	Х						S	S	Х	
AGRICULTURAL USES																										
Customary General Farming	X ⁶	X ₆	X ⁶	X ₆	X ⁶	X ⁶	Х	Х	Х	X ⁶	Х	Х	Х	Х	Х	Х	Х	Х	Х		Х					
Crop, Soil Preparation Agricultural Services	S	S	S	S	S	S	S	S	S	S	S				Х	Х			Х	Х	X				Х	Х
Farm Labor and Management Services												Х	Х	Х	Х	Х		Х	Х	Х	Х				Х	
Fish Hatcheries and Preserves																			Х	Х	X					
Grain, Fruit, Field Crop and Vegetable																								_7	ιT	
Cultivation and Storage	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х								Х	Х	Х				Х	
Livestock, Horse, Dairy, Poultry, and Egg																								7	, T	
Products	S	S	S	S	S	S	S	S	S	S									Х	Х	Х			↓ '	Х	
Timber Tracts, Forest Nursery, Gathering of Forest Products	s	s	s	s	s	s	s	s	s	s	s								x	х	х					
COMMERCIAL																								† †	T	_
Adult Cabaret																			X ⁹						Ī	_
Adult Entertainment Center																			X ⁹		1					_
Adult Motel	1		1	1	1	1													X ⁹	1			1			
	1		1	1	I	I	I	I	I	I	I		I	I		1			1	I	I	1	I			

Revised: August 18, 2022

<u>Chart 1</u> Page 3 of 8

USES PERMITTED ³						ZC	NIN	G DI	STR	ICTS	5															
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	СН	MU	CBD	H	Ū	LI	CM-RS-8	CM-R	CM	cu	д.
Adults-Only Bookstore																			X9							
Adults-Only Motion Picture Theater																			X ⁹							
Amusements, Commercial Indoor															Х	Х	Х	Х	Х	Х	Х				S	
Amusements, Commercial Outdoor excluding Motorized																х	х		х	х	х				s	s
Amusements, Commercial Outdoor Motorized except Carnivals																			S	s	S					
Animal Grooming Facility															Х	Х	Х		Х	Х	Х					
Antique Mall															Х	Х	Х	Х	Х	Х	Х					
Antique Shop <3,000 sq. ft.												Х	Х		Х	Х	Х	Х	Х	Х	Х		Х			
Art or Photo Studio or Gallery												Х	Х	Х	Х	Х	Х	Х	Х	Х	Х		Х		Х	
Automotive Repair ¹²																Х	Х		Х	Х	Х					
Bakery, Retail														Х	Х	Х	Х	Х	Х	Х	Х					1
Bank or Credit Union, Branch Office or Main Office												х	х	х	х	х	х	х	х	х	х					
Bank, Drive-Up Electronic Teller												Х	Х	Х	Х	Х	Х	Х	Х	Х	Х					1
Barber or Beauty Shop												Х	Х			Х	Х	Х	Х	Х	Х		Х			
Beer, Packaged														Х	Х	Х		Х	Х	Х	Х					
Boat Rental, Sales, or Repair																			Х	Х	Х					
Book or Card Shop												Х	Х	Х	Х	Х	Х	Х	Х	Х	Х		Х			1
Brewery, Artisan ²⁹														Х	Х	Х		Х	Х	Х	Х					
Brewery, Micro ²⁹																Х		Х	Х	Х	Х					
Brewpub ³⁰														Х	Х	Х	Х	Х	Х	Х	Х					
Business School												Х	Х		Х	Х	Х	Х	Х	Х	Х					
Business and Communication Service												Х	Х	Х	Х	Х	Х	Х	Х	Х	Х					
Campground, Travel-Trailer Park																S			S	S	S					
Carnivals																S			s	S	S					S
Catering Establishment												Х	Х	Х	Х	Х	Х	Х	Х	Х	Х		Х			
Clothing Store														Х	Х	Х	Х	Х	Х	Х	Х					
Coffee, Food, or Beverage Kiosk														Х	Х	Х	Х		Х	Х	Х					
Commercial Center														Х	Х	Х	Х		Х	Х	Х					
Convenience Sales and Service, maximum					1																					
5,000 sq. ft. floor area					<u> </u>		L						L	Х	Х	Х	Х	Х	X	X	X					
Crematory				<u> </u>				I	<u> </u>	<u> </u>									S	S	S					

Revised: August 18, 2022

<u>Chart 1</u> Page 4 of 8

USES PERMITTED ³						ZC	DNIN	G DI	STR	ICTS	S															7
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	сн	MU	CBD	Ŧ	Ū		CM-RS-8	CM-R	CM	cu	
Department or Discount Store						ĽĽ.			LL.					0	X	X	X	X	X	X		0				-
Distillery, Artisan ²⁹																Х		Х	X	X	X					
Drive-In Theater																X		~	X	X	X					\neg
Dry Cleaning														Х	Х	X	Х	Х	X	X	X	-		+		\neg
Financial Service												Х	Х	X	X	Х	Х	X	X	X	X					\neg
Fireworks Public Display																										Х
Fireworks Retailer																S			S	S	S					-
Fireworks Seasonal Retailer														S	S	S			S	S	S					\neg
Flower or Plant Store	1	1	1	1	1	1	1	1	1	1	1	Х	Х	X	X	X	Х	Х	X	X	X		Х	t – I	-+	\neg
Funeral Home	1	1		l	1		1	1	1	1		l	l	S		Х	Х		X	X	X		1			
Garage, Parking		1			1			1								Х	Х	Х	Х	Х	Х					\neg
Garden and Lawn Supplies															S	Х	Х	Х	Х	Х	Х			-		
GasLiquified Petroleum, Bottled and Bulk																Х			Х	Х	Х					
Gas Station														Х	Х	Х	Х	Х	Х	Х	Х					
General Service and Repair Shop																Х	Х	Х	Х	Х	Х				1	
GlassAuto, Plate, and Window																Х	Х		Х	Х	Х				i	
GlassStained and Leaded														Х	Х	Х	Х	Х	Х	Х	Х				1	
Greenhouse or Nursery																Х	Х		Х	Х	Х				i	
Group Assembly, <250 persons												S	S		Х	Х	Х	Х	Х	Х	Х	S	S	S	i	
Group Assembly, >250 persons												S	S		S	S	Х	S	S	S	S	S	S	S		
Health Club												Х	Х	Х	Х	Х	Х	Х	Х	Х	Х		Х		1	
Ice Kiosk, Automated															Х	Х		Х	Х	Х	Х					
Interior Decorator												Х	Х	Х	Х	Х	Х	Х	Х	Х	Х		Х		1	
Iron Work																Х			Х	Х	Х				1	
Janitorial Service															Х	Х	Х	Х	Х	Х	Х					
Karate, Instruction															Х	Х	Х	Х	Х	Х	Х					
Kennels																Х			Х	Х	Х					
Keys, Locksmith															Х	Х	Х	Х	Х	Х	Х					
Laboratories, Medical												Х	Х		Х	Х	Х		Х	Х	Х	Х	Х	Х		
Laboratories, Testing															Х	Х	Х		Х	Х	Х					
Laundries, Self-Service														Х	Х	Х			Х	Х	Х					
Lawn, Tree, and Garden Service																Х			Х	Х	Х					
Liquor Store															Х	Х	Х	Х	Х	Х	Х					
Livestock, Auction																			Х	Х	Х					
Lumber, Building Material																			Х	Х	Х					
Manufactured Home Sales																			Х	Х					\square	
Massage Parlor																			X ⁹							

<u>Chart 1</u> Page 5 of 8

USES PERMITTED ³						ZC	DNIN	IG DI	STR	ICTS	3															
	15	12	10					12	9	/		~										8-8	۲			
	RS 1	RS 1	RS 1	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	90	СГ	CF ¹⁴	СН	ΠM	CBD	Ξ	Ū		CM-RS-8	CM-R	CM	C	д.
Motor Vehicle Sales, Rental (Automobiles)																S	S		X ³	X ³	X ³					
Motor Vehicle Sales, Rental (Other Than								1	l				l l													
Automobiles)																S	S		Х	Х	Х					
Motor Vehicle Service ¹²																Х	Х		Х	Х	Х					
Movie Theater															Х	Х	Х	Х	Х	Х	Х					
Music or Dancing Academy															Х	Х	Х		Х	Х	Х					
Offices												Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	X ⁵	X ⁵	X ⁵		
Optical Dispensaries												Х	Х		Х	Х	Х	Х	Х	Х	Х	Х	Х	Х		_
Pawn Shop		1	1		1			1	l				l			Х		X	X	X	X					
Payday Loan, Title Loan, or Check-Cashing		1	1		1	1		1		1		1						1								
Service																Х			Х	Х	Х					
Personal Service Establishment														Х	Х	Х	Х	Х	Х	Х	Х					
Pet Crematory		1			1			1											S	S	S					
Pet Funeral Home		1			1			1							Х	Х			Х	Х	Х					
Pet Shops		1			1			1							Х	Х	Х	Х	Х	Х	Х					
Pharmacies, Apothecaries												Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х		
Plasma Donation Center																			Х	Х	Х			Х		
Radio, TV, or Recording Studio																Х	Х	Х	Х	Х	Х					
Radio and Television Transmission Towers															S	S		S	S	S	S				S	
Rap Parlor																			X ⁹							
Reducing and Weight Control Service												Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х		
Restaurant and Carry-Out Restaurant		1			1			1						Х	Х	Х	Х	Х	Х	Х	Х					
Restaurant, Drive-In																Х			Х	Х	Х					
Restaurant, Specialty														Х	Х	Х	Х	Х	Х	Х	Х					
Restaurant, Specialty -Limited												S	S	Х	Х	Х	Х	Х	Х	Х	Х	S	S	S		
Retail Shop, other than enumerated elsewhere															х	х	х	х	х	х	х					
Salvage and Surplus Merchandise															~	X	~	~	X	X	X					
Sauna																			X ⁹							
Sheet Metal Shop		+			+		-	+	-				-			Х			X	Х	Х				┢──┼	
Shopping Center, Community		+			+		-	+	-				-			X	Х		X	X	X				┢──┼	
Shopping Center, Neighborhood															Х	X	X		X	X	X				┢──┼	
Shopping Center, Regional		1			1			+							~	X	X		X	X	X			┝──┤		
Specialty Shop		1			1			1				Х	Х	Х	Х	X	X	Х	X	X	X		Х			
Tavern		-			-			-								X		X	X	X	X					
Taxidermy Studio		1			1			1								S			S	S	S					
Veterinary Office		-			-			-				Х	Х	Х	Х	X	Х		X	X	X		Х			
Veterinary Clinic		1	1		1	1	1	1			1				Х	Х	Х		Х	Х	Х				\square	

<u>Chart 1</u> Page 6 of 8

USES PERMITTED ³						ZC	NIN	G DI	STR	ICTS	3															
	15	12	10	8	9	4		RM 12	RM 16	Ą.	õ	К			4			0				CM-RS-8	ц			
	RS	RS	RS	RS	RS	RS	RD	RM	RM	RS-A	R MO	OG R	00	CL	CF1	СН	MU	CBD	Ξ	Ū	П	CM-I	CM-R	CM	сU	٩
Veterinary Hospital																Х	Х		Х	Х	Х					
Vehicle Sales, Rental (Non-Motorized)																Х	Х		Х	Х	Х					
Vehicle Wash														Х		Х			Х	Х	Х					
Wholesaling, Wholesale Establishments																Х		Х	Х	Х	Х					
Winery, Artisan ²⁹														Х	Х	Х		Х	Х	Х	Х					
Wireless Telecommunications Towers,																										
Antennas ¹⁷	s	s	s	s	s	S	s	s	s	s	s	s	s	s	S	s	S	s	S	S	S	s	s	S	s	S
Wrecker/Towing Service, Wrecker Storage																										
Yard ¹²																			Х	Х	Х					ı
INDUSTRIAL																										
Manufacture, Storage, Distribution of:																										
Abrasive Products																			Х	Х						
Asbestos Products																			S							
Automobile Dismantlers and Recyclers ⁷					1														S ⁷							
Automobile Manufacture																			X	Х						
Automobile Parts and Components																										
Manufacture																			Х	Х						ı.
Automobile Seats Manufacture																			Х	Х						
Bakery Goods, Candy					1														Х	Х	Х					
Boat Manufacture																			Х	Х						
Bottling Works																			Х	Х	Х					
Brewery ²⁰																			Х	Х	Х					
Canned Goods																			Х	Х						
Chemicals																			Х							
Composting Facility																			S						S	
Contractor's Storage, Indoor																Х		Х	Х	Х	Х					
Contractor's Yard or Storage, Outdoor																			Х	Х	Х					
Cosmetics																			Х	Х	Х					
Custom Wood Products																		Х	Х	Х	Х					
Distillery ²⁰																			Х	Х	Х					
Electrical or Electronic Equipment,		1	1	1	1		İ	1			l															
Appliances, and Instruments			1	1	1			1											Х	Х	Х			'		
Fabricated Metal Products and Machinery																			Х	Х	Х					
Fertilizer																			Х							
Food and Beverage Products except animal					1																					
slaughter, stockyards, rendering, and brewery			<u> </u>	<u> </u>	<u> </u>						ļ								Х	Х	Х					
Furniture and Fixtures																			Х	Х						

Revised: August 18, 2022

<u>Chart 1</u> Page 7 of 8

USES PERMITTED ³						ZC	DNIN	G DI	STR	ICTS	3															
			_					~	6													œ				\square
	15	12	RS 10	ω	9	4		RM 12	RM 16	4	R MO	Ř	90		4		_	Ω				CM-RS-8	CM-R	_		
	RS	RS	RS	RS	RS	RS	RD	RΝ	ΝN	RS-A	2	8	8	Ч	Ъ	ъ	MU	CBD	Ξ	Ū	П	Ϋ́	S	CM	сU	٩
Jewelry					1														X	X	X					
Leather and Leather Products except tanning													1													
and finishing																			Х	Х	Х					
Leather and Leather Products, Tanning and																										
Finishing																			Х							
Lumber and Wood Products																			Х	Х						
Mobile Home Construction																			Х							
Musical Instruments																			Х	Х	Х					
Office/Art Supplies		1		1	1			1	l	İ			1	İ	l				Х	Х	Х			l		
Paints		1		1	1			1	l	İ			1	İ	l				Х	Х				l		
Paper Mills	1	1		1	1	1		1	l				1		l				S					l		
		1		1	1			1	l	İ			1	İ	l									l		\square
Paper Products excluding paper and pulp mills					1														Х	Х						
Petroleum, Liquified Petroleum Gas and Coal																										
Products except refining																			S							
Pharmaceuticals																			Х	Х	Х					
Photographic Film Manufacture																			Х	Х						
Pottery, Figurines, and Ceramic Products																			Х	Х	Х					
Primary Metal Distribution and Storage																			Х	Х						
Primary Metal Manufacturing																			Х	Х						
Printing and Publishing																Х	Х	Х	Х	Х	Х					
Rubber and Plastic Products except rubber or																										
plastic manufacture																			Х	Х						
Rubber and Plastic Products, Rubber and																										
Plastic Manufacture																			Х	Х						ł
Saw Mills																			Х							
Scrap Processing Yard																			S							
Scrap Metal Processors																			S							
Scrap Metal Distribution and Storage																			S							
Secondary Material Dealers		1	1	1	1	1	1	1	l	l	1	1	1	l	l				S					l		1
Silverware and Cutlery		1		1	1			1	l	İ			1	İ	l				Х	Х	Х			l		
Small Moulded Metal Products																			Х	Х		1				
Sporting Goods																			Х	Х	Х					
Stone, Clay, Glass, and Concrete Products																			Х	Х		1				
Textile, Apparel Products, CottonFactoring,																										
Grading				1	1			1											Х	Х	Х					
Textile, Apparel Products, Cotton Gin	1	1	1	1	1	1	1	1	l	l	1	1	1	l	l				Х	Х				l		1
Tire Manufacture																			Х	Х						
Tobacco Products																			Х	Х						

Revised: August 18, 2022

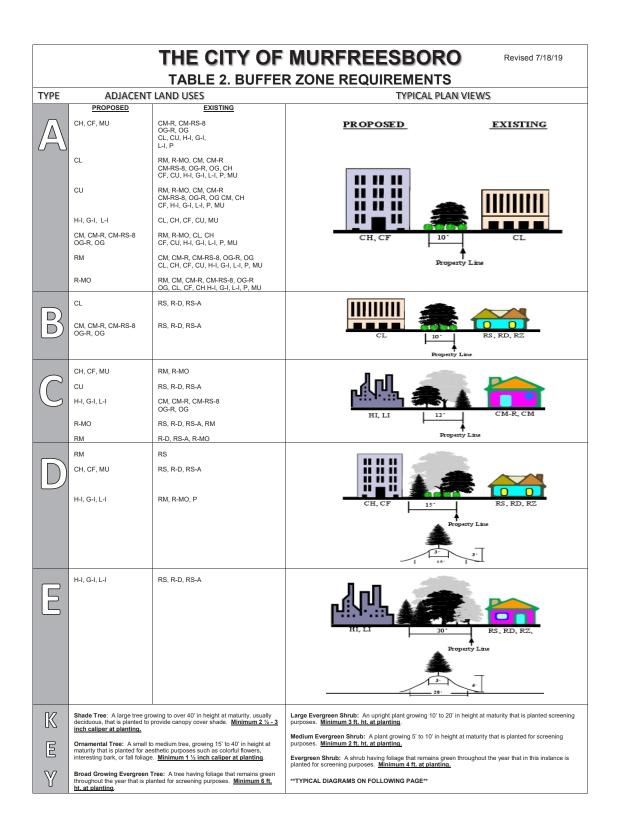
<u>Chart 1</u> Page 8 of 8

USES PERMITTED ³						ZC	NIN	G DI	STR	ICTS	6															
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	00	CL	CF ¹⁴	СН	MU	CBD	Ŧ	G		CM-RS-8	CM-R	CM	cu	Ь
Toiletries																			Х	Х	X					
Transportation Equipment																			Х	Х	X					
Warehousing, Transporting/Distributing ¹⁸																			Х	Х	Х					
Winery ²⁰																			Х	Х	Х					
TRANSPORTATION AND PUBLIC UTILITIES																										
Bus Terminal or Service Facility																Х			Х	Х	Х			Ī		
Garbage or Refuse Collection Service																			Х	Х						
Refuse Processing, Treatment, and Storage																			S							
Gas, Electric (Including Solar Farms), Water,																										
Sewerage Production and/or Treatment																										
Facility,																			Х	Х	S					
Landfill ¹⁹																			S							
Post Office or Postal Facility														Х	Х	Х	Х	Х	Х	Х	Х					
Telephone or Communication Services															Х	Х	Х	Х	Х	Х	X					
Electric Transmission, Gas Piping,																										
Water/Sanitary Sewer Pumping Station	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х		Х	Х	Х	Х	X	Х	Х	Х	Х	Х
Taxicab Dispatch Station																Х			Х	Х	X					
Freight Terminal, Service Facility																Х			Х	Х	X					
OTHER																										
Advertising Sign																Х			Х	Х	X					
																										1
Home Occupations	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹		х			Х					S ¹¹	S ¹¹	S ¹¹	!	1
Junkyard			l			l	l	l	l		l		1						S					1		
Recycling center													1			S			Х	Х	Х			1		
Self-Service Storage Facility ¹⁶			l			l	l	l	l		l		1	S	S	Х	S		Х	Х	Х			1		
Temporary Mobile Recycling Center															S	S	-		S	S	S	<u> </u>			S	<u> </u>

APPENDIX A - ZONING

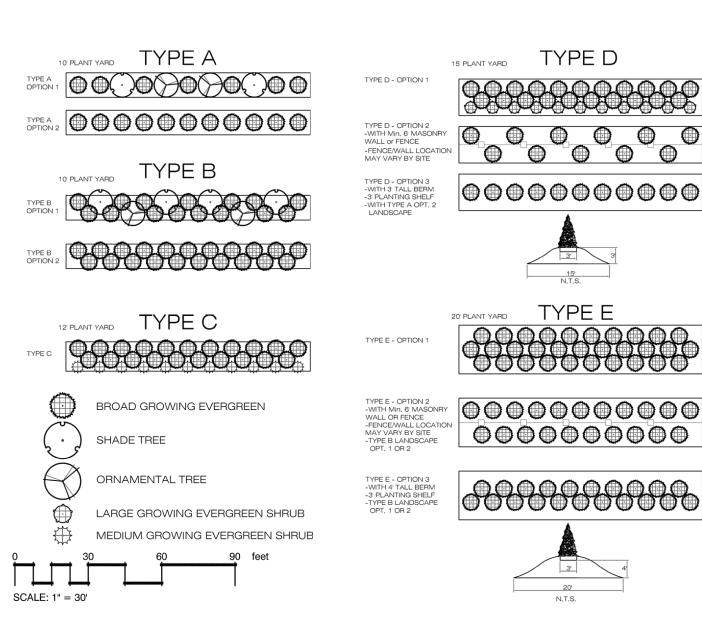


BUFFER ZONE REQUIREMENTS.



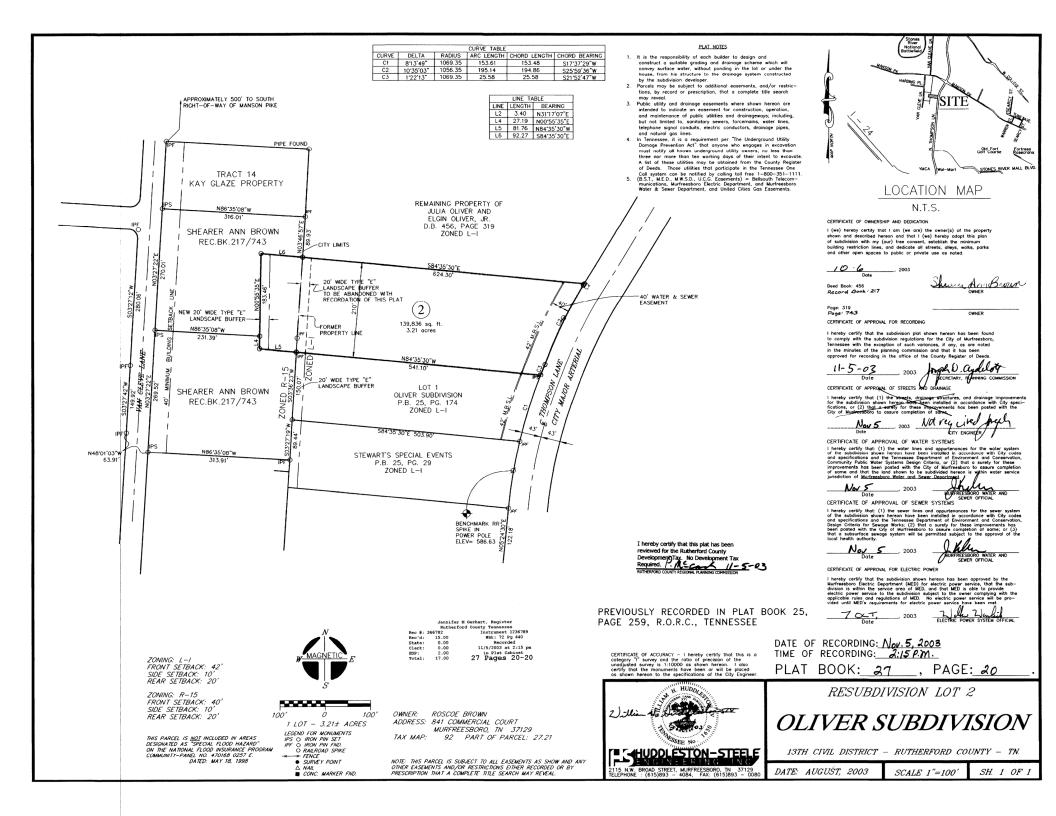


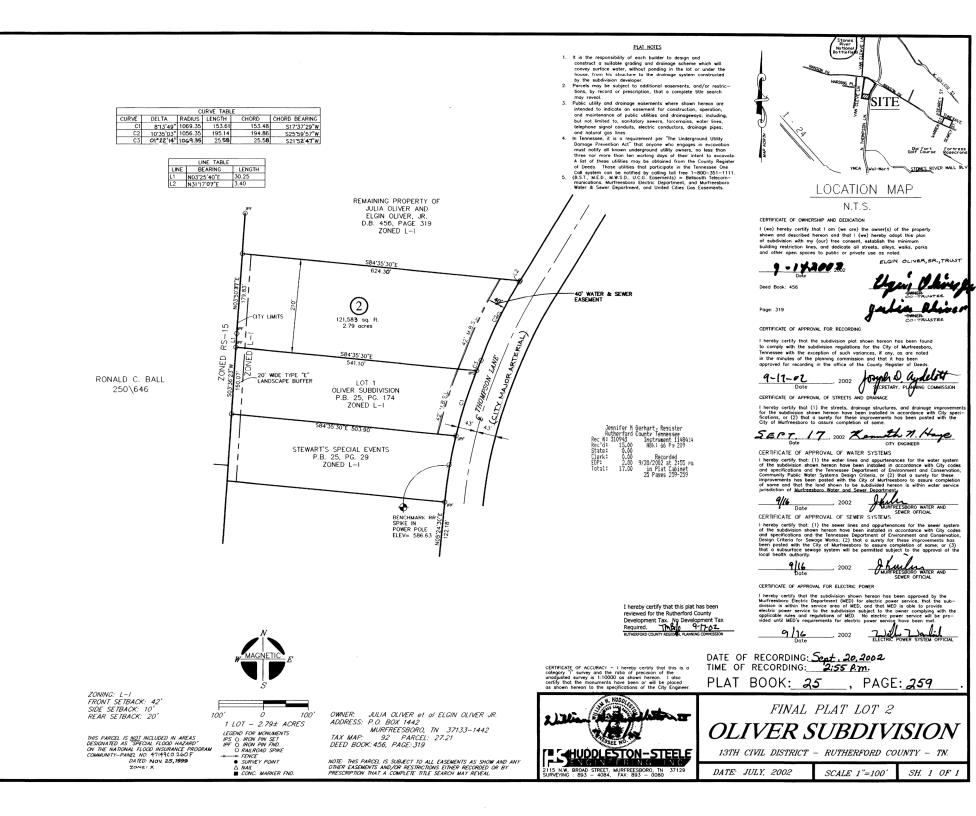
[Ord. No. 17-O-14 §8, 06-08-17; Ord. No. 17-O-25 §17, 08-17-17; Ord. No. 17-O-36 §8, 08-31-17; Ord. No. 19-O-14, 07-18-19]



 \bigcirc

 \bigcirc







Creating a better quality of life

City of Murfreesboro Planning and Engineering Department 111 W. Vine Street, P.O. Box 1139 Murfreesboro, TN 37133-1139 (615) 893-6441 Fax (615) 849-2606 www.murfreesborotn.gov

Zoning & Rezoning Applications – other than rezoning to plann	ned unit
development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development,	
initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

- 1. A completed rezoning application (below).
- 2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
- 3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by ap	plicant:
-----------------------	----------

APPLICANT: Clyde Rountree/ Huddl	eston-Steele Engineering	
Address: Tax map #092-01400	City/Sta	te/Zip:
Phone:615.893.4084	E-mail address:	rountree.associates@yahoo.com
PROPERTY OWNER: Norman Bro	own	
Street Address or property description:	1400, Murfreesboro, TN	
and/or Tax map #:92		Parcel (s): 01400
Existing zoning classification: RS-15	5	_
Proposed zoning classification:	Acreage:	+/- 0.35 AC
Contact name & phone number for pub applicant): E-mail:	· · · · · · · · · · · · · · · · · · ·	-
APPLICANT'S SIGNATURE (require DATE:9.14.23	d):	
******For Office Use Only********	*****	**********
Date received: MI	PC YR.:	MPC #:
Amount paid:	Receipt #:	

Revised 7/20/2018



9.13.2023

Greg McKnight, Planning Director 111 W. Vine Street, P.O. Box 1139 Murfreesboro, TN 37133-1139

Re: Rezoning Request

Described as Tax Map 092, Parcel 01400 consisting of .35 +/- ac. to be rezoned from RS-15 to L-1.

Dear Mr. Greg,

On behalf of our client, Roscoe Brown, we hereby request the rezoning of the property identified by tax map 092 and parcel 01400, consisting of approximately .35+/- acres from RS-15 to L-1. The purpose for this rezoning is to increase the area zoned L-1 for additional parking area.

Please let me know if you need any additional information and thank you for your assistance with this request.

Sincerely,

Clipte Kent

Clyde Rountree, RLA

MURFREESBORO PLANNING COMMISSION STAFF COMMENTS, PAGE 1 NOVEMBER 1, 2023 PROJECT PLANNER: HOLLY SMYTH

6.c. Zoning application [2023-411] for approximately 0.15 acres located along East Castle Street to be rezoned from RD and CCO to PRD and CCO (East Castle Manor PRD), BA Homes, LLC applicant.

The subject property is located on the north side of East Castle Street west of South University Street and involves one parcel. The site is identified as Tax Map 102D, Group D, Parcel 015.00 (also known as 529 East Castle Street) and contains approximately 6,500 square feet of lot area. This single parcel is proposed to be rezoned from Duplex Residential (R-D) district and City Core Overlay District (CCO) to Planned Residential District (East Castle Manor PRD) and CCO. The proposed PRD would accommodate 2 single-family attached dwelling units, equating to **13.33** dwelling units to the acre.

Adjacent Zoning and Land Uses

The surrounding zone districts are primarily R-D (Duplex Residential District) with RM-16 (Multi-Family Residential District) and PUD (Planned Unit District) zoning to the south, as more particularly shown on page 3 of the program book. The surrounding land uses are predominantly single-family detached, followed by the Housing Authority's apartment complex that is approved for redevelopment, and Patterson Park Community Center.

Proposed PRD

The overall layout is best seen on pages 8 &10 of the program book, which also includes basic site data. The PRD is being requested to allow for 2 single-family attached dwelling units as part of a horizontal property regime (HPR) to allow separate home ownership. The residential units are most similar to what would be allowed in a R—D zone district.

Both dwellings will be available for sale via the HPR. The developer proposes that "all single-family attached homes developedshall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The buildershall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity."

Design: The two single-family attached dwelling units will be a minimum of 1,500 square feet and will both contain three bedrooms. The architecture is craftsman bungalow style with front-entry garages (which are 62.5% of the front façade) and small front porches. Each unit will have a 1-car garage with decorative window-panel at the top and 2 surface parking stalls in front of the garage, as shown on page 10 of the program book. A total of 6 parking stalls are required for the project with 6 being provided on site.

Greenspace: Given the existing adjacent R-D zoning and R-D comparative district, no formal landscape, perimeter plantings, or landscape buffers are required. However, the CCO still requires that 15% of the site be open space and 50 square feet of private open space per unit be provided. Page 14 of the program book depicts the location of some on-site landscape beds, landscaping separating the driveways, and proposed private open space areas. Private open space is shown on the front and rear porches. The builder will install sod in all front yards and seed and straw the side and rear yards. There is some rear yard separation fencing as shown in the program book between the units.

Proposed setbacks and layout are depicted on page 10 of program book and summarized as follows:

- 22' front "build-to" setback line along East Castle Street (CCO would require 21' "buildto" line)
- 5' side yard setbacks
- 25' rear yard setback

Exception(s) Requested: Page 16 of the Program Book shows the comparison for this development to the R-D district with the requested exceptions shown in red text. The following seven exceptions are being requested:

- 1) Increase density from 10.9 to 13.33 units per acre (+2.43 more density)
- 2) Decrease minimum lot size for a two-family dwelling from 8,000 sf to 6,500 sf (-1,500 sf)
- 3) Decrease minimum lot width for a two-family dwelling from 55 feet to 50 feet (5' reduction)
- 4) Reduce one car garage interior clear space from 11'4" x 20' to 11'x 19' with an additional bumpout area for water heater and trash-bin storage
- 5) Increase width of garage façade from 50% up to 62.5% of the overall front façade width
- 6) Allow four surface parking spaces to be located in front of the 2 homes (CCO regs require parking to be located to the side or rear of a building, and no more than 1 parked in the front setback)
- 7) Increase the "build-to" line of 21' based on the CCO average to 22' (1' increase) to allow parking

Future Land Use Map

The newly adopted future land use map contained in the *Murfreesboro 2035 Comprehensive Plan*, recommends that the subject property develop primarily with a *Mixed Form Housing* land use character (see excerpt map below). Mixed Form Housing is residential in character with a mixture of single-family detached and single family attached two-, three- and four-unit residential buildings that keep in character with the surrounding neighborhood. Development in these areas should focus on forms that relate to the public street, provide architectural details, front porches, windows and awning treatments, and transition well with adjacent properties. Infill development should be designed so that two-family, three-family, and four-family residential buildings resemble traditional single-family buildings. The comprehensive plan calls out RS-10, RS-8, RS-6, RS-A1, RS-A2, RS-A3, RD, PRD, and PUD zoning districts as being compatible with this designation.



Based on the elevations provided in the PRD, the proposed PRD appears to be consistent with the *Mixed Form Housing* designation of the Future Land Use Map of the Comprehensive Plan. *However, to better relate to adjacent properties, the lower portion of the building should incorporate a brick water table around the base*

Department Recommendation

Staff is supportive of this rezoning request, with the minor modification to the architecture materials discussed above, for the following reasons:

- 1) Redevelopment of the subject property is appropriate in this instance, as it is located in an area of the CCO where existing two-family type buildings are more appropriate given the Patterson Complex and large scale apartment on the southside of the road;
- 2) The two-family unit is compatible with the existing and surrounding RD zone district uses.
- 3) It meets the CCO purpose of "promoting reinvestment in Downtown Murfreesboro and surrounding neighborhoods" which will contribute to the vitality and quality of life of the downtown, continuing the positive trend toward reinvestment in the area; and
- 4) Compact, dense development is desirable in and around downtown and promotes walkability.

Action Needed

The applicant will be in attendance at the meeting to make a presentation. The Planning Commission will need to conduct a public hearing on this matter, after which it will need to discuss and then formulate a recommendation to City Council.

Attachments:

-NoOrtho Map--Ortho Map -Zoning Ordinance Chart 2 related to R-D District -Neighborhood Context -Program Book

L L
-
_
-
-
-
-
-
_
-
0
-
0
C _1
and the second s
-
N 3
-
N 3
6.3

	Minimum Lot Requirements		Minimum Yard Requirements ^{[5][17][25]}				Land Use				
							Intensity Ratios				
DISTRICT AND USE	Area (Sq. Ft.)	Width (Ft.)	Front ^[38] (Ft.)	Side (Ft.)	Rear (Ft.)	Maximum Height ^{[16][39][40]} (Ft.)	Maximum Gross Density ^[2] (D.U./Acre)	Maximum F.A.R.	Minimum L.S.R.	Minimum O.S.R.	Maximum Lot Coverage (percent)
RS-15 DISTRICT 1. Dwellings and other uses permitted	15,000	75 ^[12]	40	12.5	30	35	2.9	none	none	none	25
RS-12 DISTRICT 1. Dwellings and other uses permitted	12,000	70 ^[12]	35	10	25	35	3.63	none	none	none	25
RS-10 DISTRICT 1. Dwellings and other uses permitted	10,000	65 ^[12]	35	10	25	35	4.4	none	none	none	25
RS-8 DISTRICT 1. Dwellings and other uses permitted ^[28]	8,000	55 ^[12]	35 ^{[1][29]}	5	20	35	5.4	none	none	none	30
RS-6 DISTRICT 1. Dwellings and other uses permitted ^[28]	6,000	50 ^[12]	35 ^{[1][29]}	5	20	35	7.2	none	none	none	50
RS-4 DISTRICT 1. Dwellings and other uses permitted ^[28]	4,000	40 ^[12]	35 ^{[1][29]}	5	20	35	10.8	none	none	none	40
 R-D DISTRICT 1. Single-family detached dwellings and other uses permitted except^[28] 2. Two-family dwellings 3. Single-family attached or detached with 	8,000 8,000	55 ^[12] 55 ^[12]	35 ^{[1][29]} 30 ^[1]	5 5	25 25	35 35	5.4 10.9	none none	none none	none none	30 30
zero lot line (max. 2 units attached) ^{[7][31]}	4,000	27 ^[12]	35 ^[1]	10 ^[7]	25	35	10.9	none	none	none	none

Chart 2 Page 1 of 5 Revised August 31, 2023

APPENDIX A - ZONING

CHART 2.

NEIGHBORHOOD CONTEXT OF EAST CASTLE MANOR

-Much of the neighborhood on the northside of the street is single family detached with single story heights

-Typical building materials are predominantly horizontal siding with some accents

-None of the housing on the northside along this entire block has front loaded garages, but many park their cars in the front yard or on a gravel driveway



2023-411_East Castle Manor PRD_PC_PH final

Page 5 November 1, 2023

NEIGHBORHOOD CONTEXT OF EAST CASTLE MANOR

-The existing Housing Authority Apartments are 2-story with 8-units facing the street in one building

-New project will be predominantly brick with 1/3 of the façade in vertical cementitious siding

--The approved new redeveloped site will have two 8-plex buildings with 4 entrys facing Castle on each building with 2-story height.

-The remaining 4 buildings on the interior of the site will be 3-story heights

-New project will remove the existing 46 units and replace with 46 units on 2.78 acres (16.55 units per acre density)



2023-411_East Castle Manor PRD_PC_PH final

Page 6 November 1, 2023

NEIGHBORHOOD CONTEXT OF EAST CASTLE MANOR



2023-411_East Castle Manor PRD_PC_PH final

Page 7 November 1, 2023

NEIGHBORHOOD CONTEXT OF EAST CASTLE MANOR

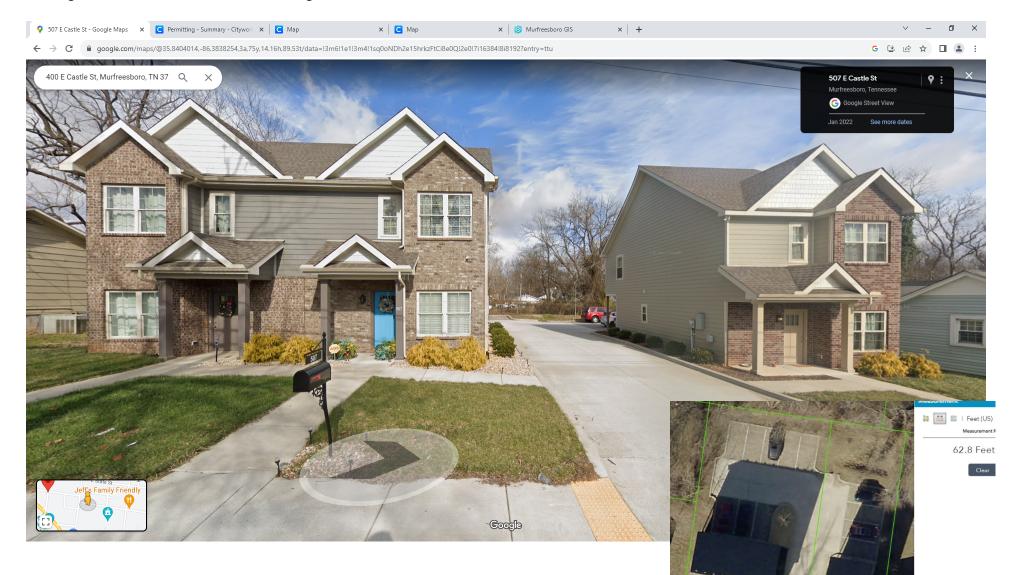


2023-411_East Castle Manor PRD_PC_PH final

Page 8 November 1, 2023

NEIGHBORHOOD CONTEXT OF EAST CASTLE MANOR

-Newest duplex on the block is 2-story with brick and horizontal siding and meets the RD lot standards -Parking is located in the rear of these 3 housing units

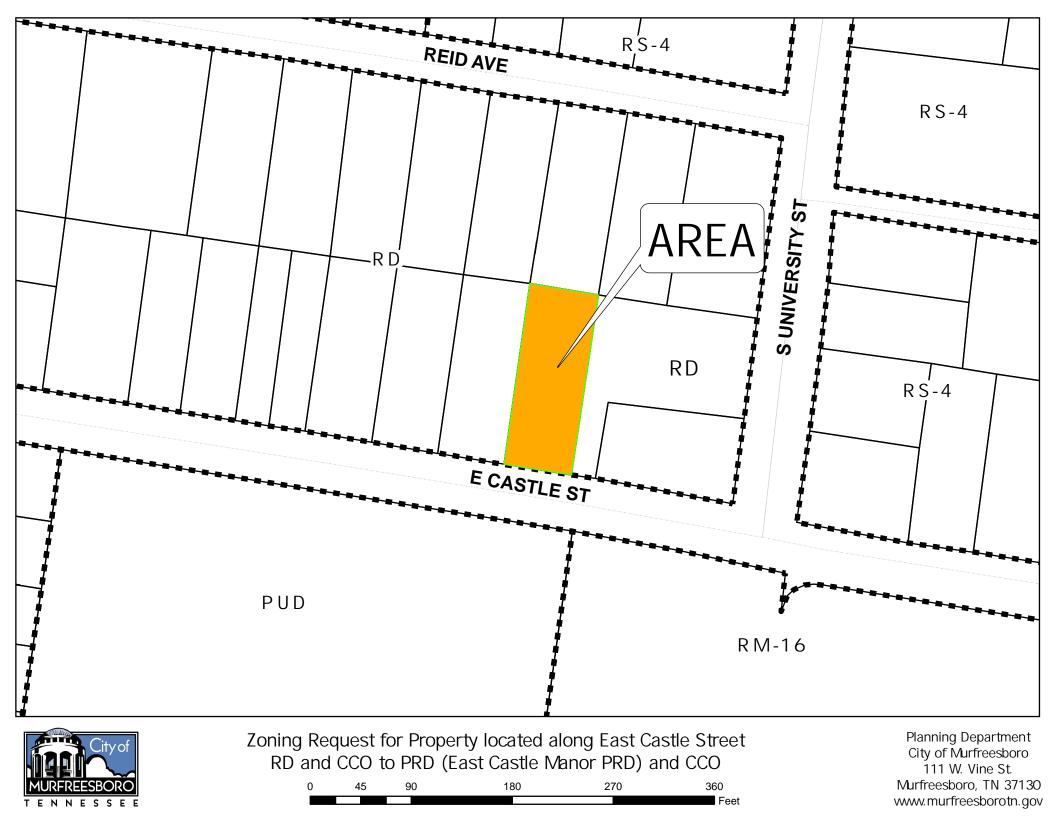


Page 9 November 1, 2023



EXISTING SIDEWALK

2023-411_East Castle Manor PRD_PC_PH final







Zoning Request for Property located along East Castle Street RD and CCO to PRD (East Castle Manor PRD) and CCO 270 360

180

Planning Department City of Murfreesboro 111 W. Vine St. Murfreesboro, TN 37130 www.murfreesborotn.gov

90

45

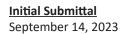
Feet

EAST CASTLE MANOR

A REQUEST FOR REZONING FROM RESIDENTIAL DUPLEX (RD)/CITY CORE OVERLAY (CCO) TO PLANNED RESIDENTIAL DISTRICT (PRD)/(CCO)

529 East Castle, Murfreesboro, Tennessee





Resubmitted October 4th, 2023 for the October 18th, 2023 Planning Commisson Workshop

Resubmitted

October 13th, 2023 for the October 18th, 2023 Planning Commisson Workshop





Resubmitted October 19th, 2023 for the November 1st, 2023 Planning Commisson Public Hearing

© Copyright 2023, Site Engineering Consultants, Inc.

SEC, Inc.

Company Name: SEC, Inc. Profession: Planning.Engineering.Landscape Architecture Rob Molchan / Matt Taylor Attn: Phone: (615) 890-7901 Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com Web: www.sec-civil.com

850 Middle Tennessee Blvd. Murfreesboro, Tennessee 37129

Attn:

Email:

Web:



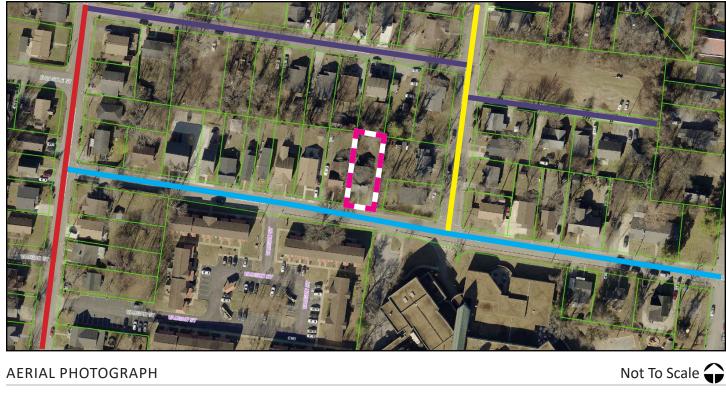
Company Name: BA Homes, LLC Profession: Developer Brian Burns (615) 405-5647 Phone: brian@bsky.email www.bahomes.info

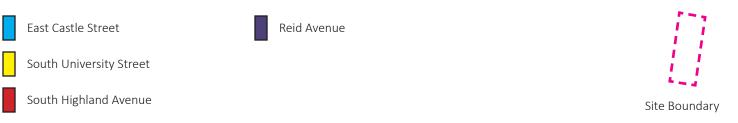
6 Public Square South Murfreesboro, Tennessee 37130

TABLE OF CONTENTS PROJECT SYNOPSIS, ZONING MAP, & FUTURE LAND USE SUBDIVISION MAP & 2040 MAJOR TRANSPORTATION PL UTILITY MAP & HYDROLOGY AND TOPOGRAPHY ON-SITE, ROADWAY, & OFF-SITE PHOTOGRAPHY CONCEPTUAL SITE AND LANDSCAPE PLAN DEVELOPMENT STANDARDS..... ARCHITECTURAL CHARACTERISTICS..... INGRESS/EGRESS & LANDSCAPE CHARACTERISTICS ARTICLE 13 INFORMATION SUMMARY REQUESTED EXCEPTIONS SUMMARY

> © Copyright 2023, Site Engineering Consultants, Inc. (SEC, Inc.) This document shall not be reproduced, modified, published, or used in any way or form of media/print without the expressed written consent of Site Engineering Consultants, Inc.

	02
MAP	03
AN	04
	05
	10-13





BA Homes, LLC respectfully requests rezoning of the cacant Nashville Comfort LLC property at 529 East Castle Street from Residential Duplex (RD) to Planned Residential District (PRD) to create East Castle Manor. The property is located along the northern side of East Castle Street, directly northwest of Patterson Park, and due North of the Housing Authority's Parkside Apartments being redeveloped. The site is identified as Parcel 15.00 of Tax Map 102D, and is approximately 0.15 acres.

The request for rezoning to PRD is to create East Castle Manor. The development proposes a single-family attached duplex consisting of two homes on 0.15 acres, for a density of 13.33 dwelling units per acre. Both homes will be for purchase. Homes will be a minimum of 1,500 square feet and provide a maximum of three bedrooms. Each unit will provide a one-car front-entry garage with a decorative door and accented with windows. The home elevations will be constructed of masonry materials to add quality and character to the community. The homes will include porches and back patios to emulate the surrounding architectural characteristics of the neighborhood. Foundation landscaping will be provided along the East Castle Street elevations. There are no roadways proposed within this development. The H.O.A. will maintain the common areas and driveways.





The surrounding area consists of a mixture of zoning types and uses. Currently, all adjacent properties to the proposed development are zoned Residential Duplex (RD). Further to the east and west are areas zoned Residential Single-Family (RS-4). The land zoned RM-16 to the south is Patterson Park and is a public land use open to the community. This development is within the City Core Overlay District.

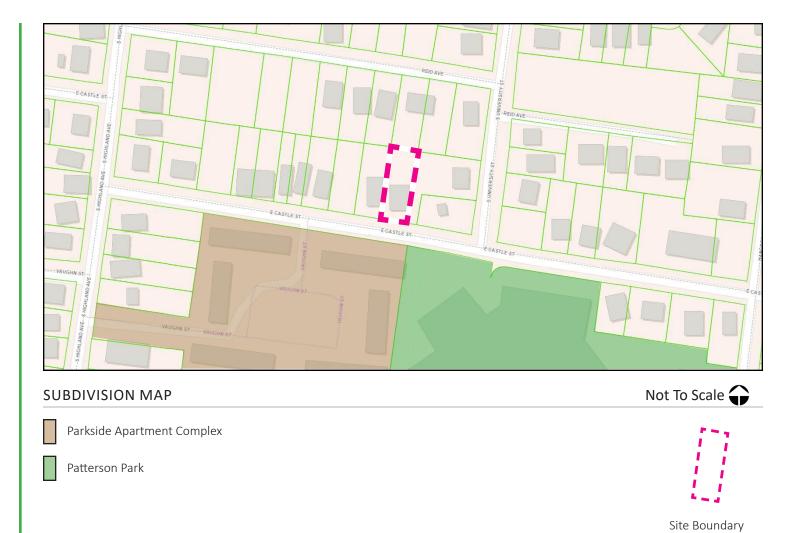


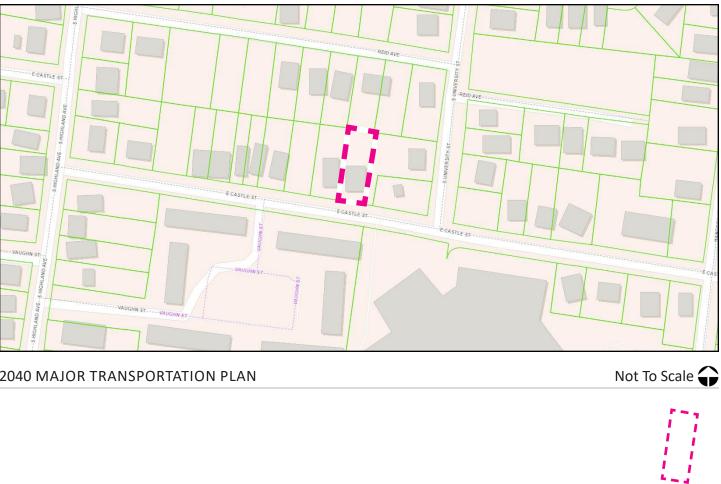
The Murfreesboro Future Land Use Map Amendment proposes this area as Mixed Form Housing (MH). The character of this land use includes a mixture of single-family detached and attached housing with traditional residential character, and an emphasis on street facing facades and the pedestrian network. Generally compatible zoning districts include RS-10, RS-8, RS-6, RS-A1, RS-A2, RS-A3, RD, PRD, and PUD.

The proposed development aligns closely with the Murfreesboro Future Land Use Map in terms of architectural characteristic and emphasis on street facing facades. As per the future land-use plan guidelines, the architecture is designed in such a way to mimic the style of a single-family home.



Site Boundary





2040 MAJOR TRANSPORTATION PLAN

East Castle Manor is surrounded by a mixture of residential dwelling types. Few parcels in the surrounding area are within subdivisions of record. The illustration above shows the Parkside Apartment Complex and Patterson Park to the south.

Most of the dwellings surrounding this development are one to two-story single-family detached homes. These homes consist of a mixture of masonry materials and vinyl soffits on all elevations.

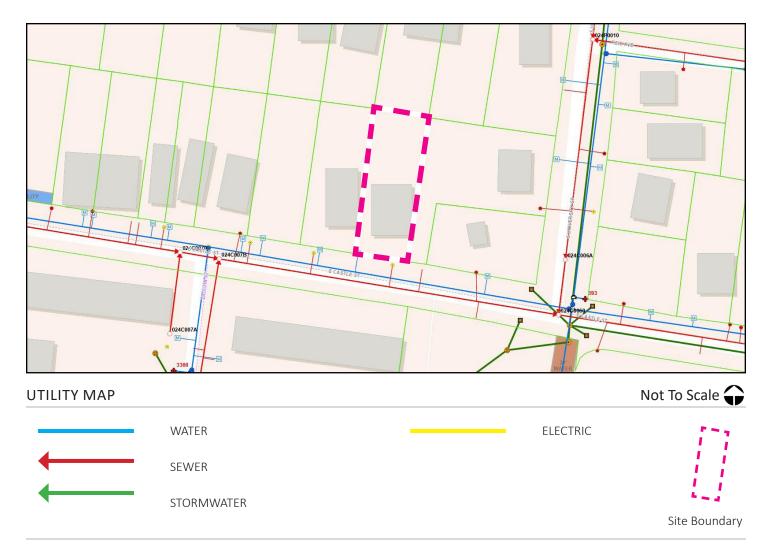
Parkside Apartment Complex is located directly south of this development across East Castle Street. The approved Housing Authority project across the street will consist a total of six 4-plex buildings. Two of the buildings will front East Castle Street with a 22' setback and a new central pocket park will be provided. The buildings will consist of board and batten siding and brick materials. This development has access to East Castle Street via a two-lane entrance and access to South Highland Avenue via a two-lane entrance. This devleopment is to be redeveloped beginning at the start of next year. The redevelopment consists of townhome style apartments along East Castle Street and apartments at the rear of the development.

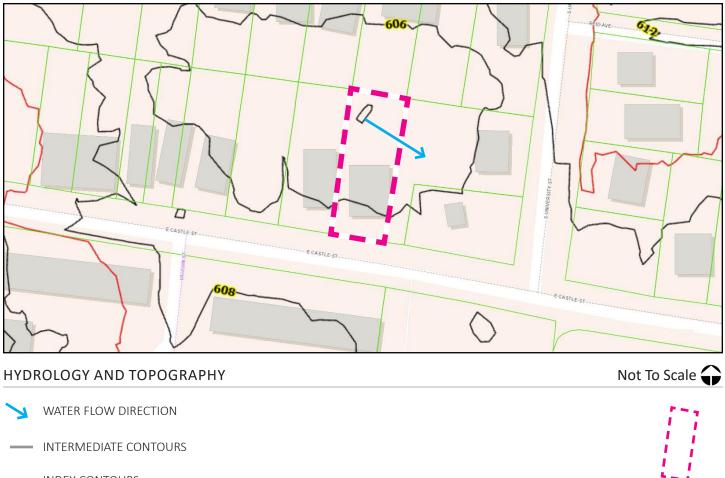
Patterson Park is a park with a community center open to the public and houses multiple amenities including; Wee Care Day Care Center, the Patterson Park Community Center, the Living Water Worship Center, and a number of athletic/sport amenities.

04

Parkside Apartment Complex Redevelopment Sample Photo The property has/will have access to the existing public right-of-way of East Castle Street through two driveways, one for each residential home. East Castle Street is a local designated street and is not on the City of Murfreesboro's 2040 Major Transportation Plan for any modifications. East Castle Street is currently built as a two-lane roadway with curb and gutter on both sides of the road, and a sidewalk along both sides of the road.

Site Boundary







The topographic map above shows the site is relatively flat with little grade change. Stormwater from this site either percolates into the ground or exits the site and enters the stormwater system along East Castle Street before ultimately draining into Lytle Creek.

This site lies within Zone X and is not within a 100-year floodplain or a floodway per FEMA Flood Panel 47149C0260J dated May 9, 2023.



Water service will be provided by the Murfreesboro Water Resources Department. There is an existing 8" cast iron water line along East Castle Street for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.

Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 8" vitrified clay gravity sewer line within the R.O.W. of East Castle Street. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property.



Electric service will be provided by Middle Tennessee Electric. Service will be extended from East Castle Street. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.

Site Boundary

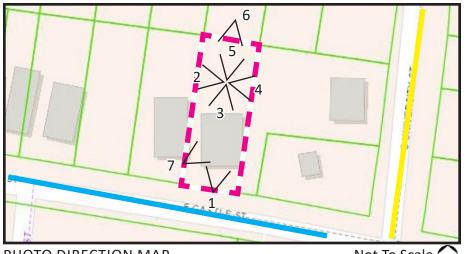


PHOTO DIRECTION MAP

Not To Scale 😱



VIEW FROM MIDDLE OF SITE LOOKING WEST



VIEW FROM MIDDLE OF SITE LOOKING NORTH

East Castle Street

South University Street













VIEW FROM MIDDLE OF SITE LOOKING SOUTH



VIEW FROM NORTHERN PROPERTY LINE LOOKING SOUTH





VIEW FROM CORNER OF ON-SITE PIT LOOKING NORTHEAST

VIEW FROM MIDDLE OF SITE LOOKING EAST

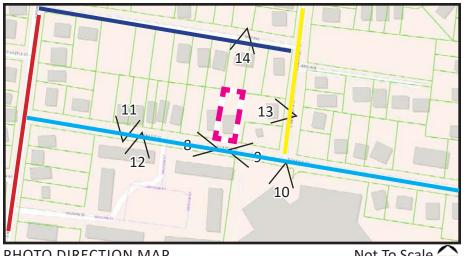
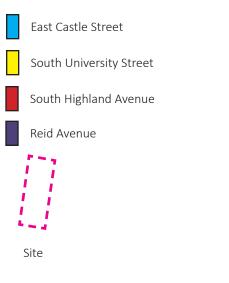


PHOTO DIRECTION MAP

Not To Scale 😱







VIEW FROM PROPOSED DRIVEWAY LOOKING EAST



VIEW OF PROPOSED HOUSING AUTHORITY PROJECT LOOKING SOUTH



VIEW OF COMMUNITY CENTER LOOKING SOUTH



VIEW OF NEIGHBORING HOME LOOKING WEST



VIEW OF DUPLEX ALONG EAST CASTLE STREET LOOKING NORTH

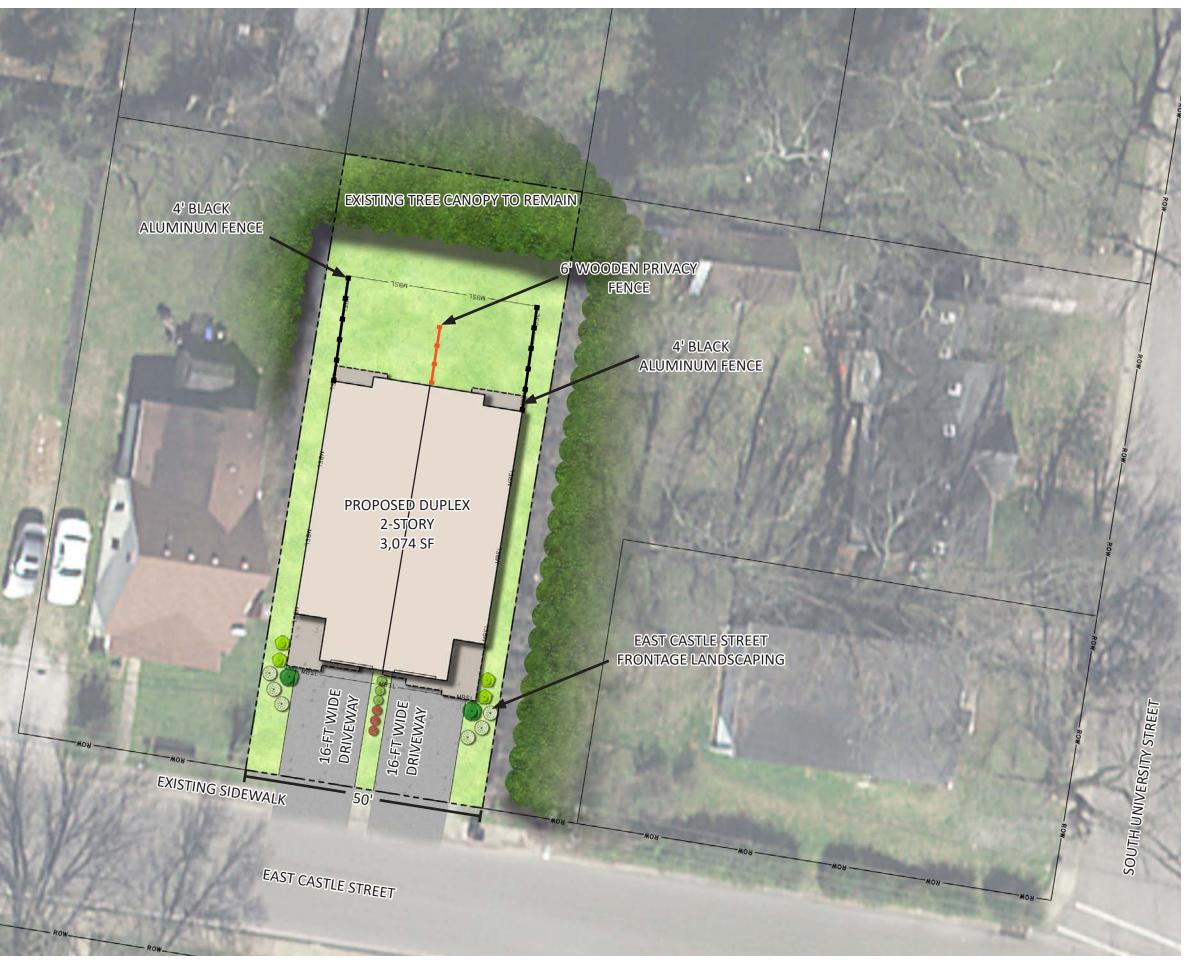


VIEW OF NEIGHBORING HOME LOOKING SOUTH

VIEW FROM PROPOSED DRIVEWAY LOOKING WEST

EXISTING CONDITIONS ROADWAY & OFF-SITE PHOTOGRAPHY 07

Land Use Data Total Land Area: Total Number of Homes: Density: 2 Homes/0.15 Acres = Maximum Lot Coverage Allowed: Lot Coverage Provided:		Acres 1
Required Private Open Space: Provided Private Open Space:	100 SF (50 per Unit) 100 SF (50 per Unit)	- the second
Parking Requirements Number of Bedrooms per Unit= (3 Spaces/ Units) =	3 Bedrooms 6 Spaces	
Parking Provided: Driveway Spaces: Garage Spaces: Total Parking Provided:	4 Spaces <u>2 Spaces</u> 6 Spaces	
Proposed Building		
Open Space		1210
Existing Tree Canopy		2184
Driveway		



SEC Project #23322 Murfreesboro, Tennessee **08** PROPOSED PLANNED RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS

SEC, Inc.





EXAMPLE OF DECORATIVE MAILBOX



EXAMPLE OF POSSIBLE DECORATIVE WOODEN FENCING



EXAMPLE OF PRIVATE OPEN SPACE



EXAMPLE OF BLACK ALUMINUM FENCE

Development Standards:

- 2 Single-Family Attached homes with 3 bedrooms.
- Single-family attached homes developed within the subdivision shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder of the single-family attached homes within the subdivision shall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity.
- Home occupations, accessory to a principal residential use, shall be permitted in this planned development if they demonstrate that they will comply with the administrative home occupation standards in the Murfreesboro Zoning Ordinance, as they may be amended from time to time. Home occupations that do not comply with said administrative home occupation standards shall not be permitted in this planned development.
- The homes will be a minimum of 1,500 feet of living area.
- Garages will be strictly for parking and not for household storage. This will be implemented through restrictive covenants and enforced by the HOA.
- Homes will have a minimum 1-car front entry garage with decorative garage doors. Driveways shall be a minimum of 16-ft in width.
- Homes shall be recorded and sold as a Horizontal Property Regime (HPR)
- There shall be a minimum 3-ft wide landscape bed located along the front elevation facing East Castle Street, excluding areas for pedestrian and vehicular ingress/egress.
- All mechanical equipment (i.e. HVAC and transformers) to be screened via shrubs or fencing.
- HVAC units will be located at the rear of each residence.
- All on-site utilities will be underground.
- Solid waste shall be handled via individual trash cans stored into notched garages. Cans shall be rolled out to the street on the day of trash pick-up and rolled back after pick-up.
- Mail service will be provided via decorative black mailboxes along East Castle Street to match the surrounding neighborhood character.
- Fencing separating the rear patios shall be a 6-ft tall, decorative, wooden fence.
- Fencing at rear along the side of homes shall be 4-ft tall powdercoated black aluminum.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- All home owners will be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by a 3rd party management company.
- HOA will be managed by independent 3rd party management company.
- The driveways will be owned and maintained by an H.O.A.



Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- All buildings will be 2-story
- All units will have a maximum of 3 bedrooms
- All the units will have eaves
- Units along East Castle Street will have frontentry garages with a minimum 16-ft wide driveway.
- Garages will have decorative doors with windows that will complement the building architecture.

Building Materials:

All Elevations: All Elevations:

Example of Brick (Different colors, cuts, patterns will be allowed)



Example of Stone Veneer (Different colors, cuts, patterns will be allowed)



Vinyl Only Permitted in Trim & Soffit Areas

Example of Fiber Cement Board (Different colors will be allowed)



Example of Asphalt Shingles (Different colors will be allowed)

Unit Parking

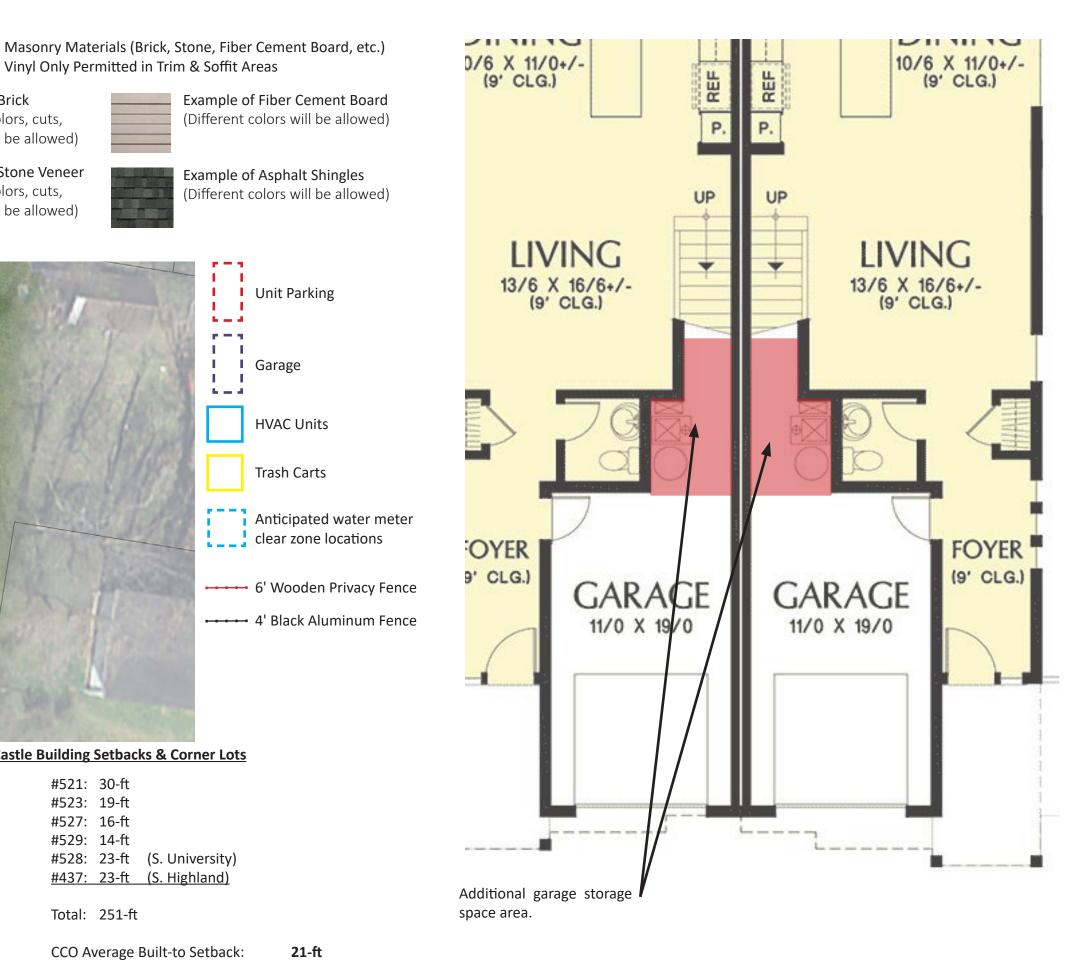
HVAC Units

Trash Carts

clear zone locations

Garage





5-feet 25-feet

22-feet

*Requesting increased setbakck by 1-ft. *Requesting an exception to the required garage interior clear space standard be reduced to 11'x19'. The proposed garage layouts include an additional bumpout area for water heater and trash-bin storage.

Site Setbacks

Side Setback:

Rear Setback:

*Build-To Line (East Castle Street):

Existing East Castle Building Setbacks & Corner Lots

#503: 21-ft

#505: 20-ft

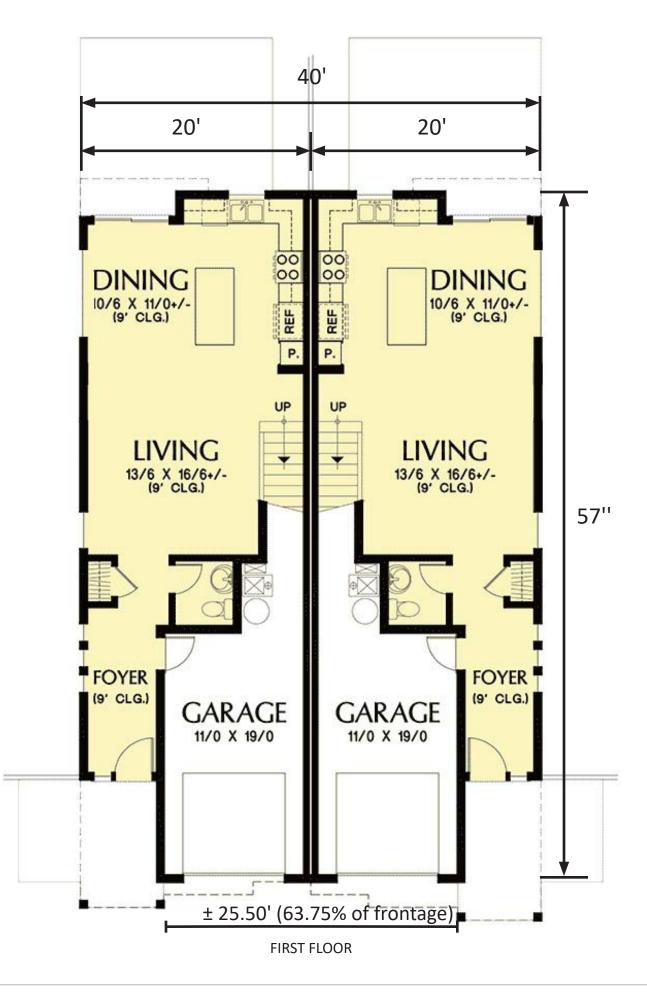
#509: 18-ft

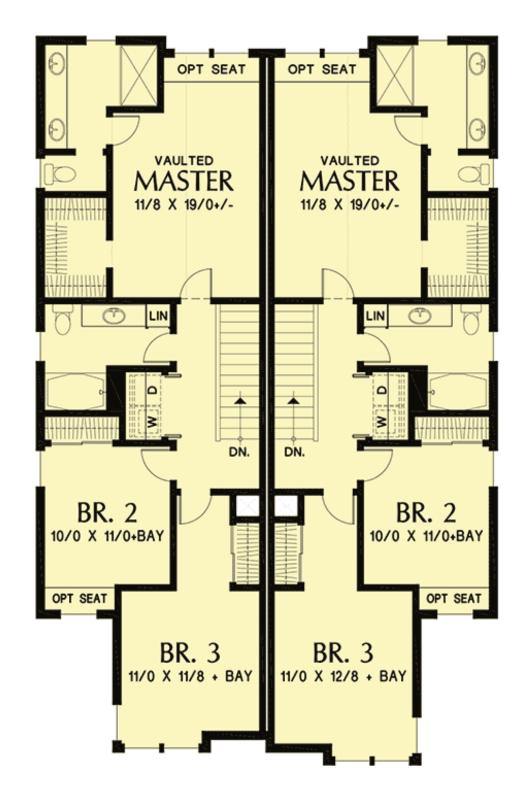
#513: 12-ft

#517: 25-ft

#519: 30-ft

#521: 30-ft #523: 19-ft #527: 16-ft #529: 14-ft #528: 23-ft (S. University) #437: 23-ft (S. Highland) Total: 251-ft CCO Average Built-to Setback:





*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level, will meet design guidelines, and CCO regulations unless called out in the PRD exceptions herein.

SECOND FLOOR



FRONT ELEVATION







WEST SIDE ELEVATION

REAR ELEVATION

EAST SIDE ELEVATION





PERSPECTIVE LOOKING NORTHEAST FROM EAST CASTLE STREET

PERSPECTIVE LOOKING NORTHWEST FROM EAST CASTLE STREET

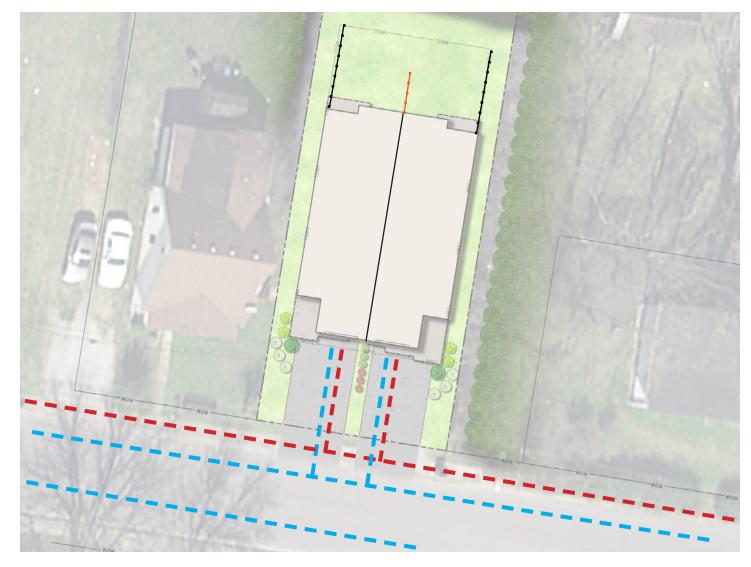


PERSPECTIVE LOOKING SOUTHEAST FROM REAR OF PROPERTY



PERSPECTIVE LOOKING SOUTHWEST FROM REAR OF PROPERTY

PROPOSED PLANNED RESIDENTIAL DISTRICT ARCHITECTURAL CHARACTERISTICS **13**



- VEHICULAR CIRCULATION
- PEDESTRIAN CIRCULATION

Pursuant to the City of Murfreesboro's 2040 Major Transportation Plan (MTP), none of the roadways around this development are slated for improvements. East Castle Street is the only public ROW directly impacted by this development. It is currently built as a 2-lane cross-section with curb, gutter, and sidewalks on both sides of the road and designated as a local street.

As stated above, the primary means of ingress/egress from this site will be onto East Castle Street. Driveways shall be a minimum 16-ft wide and shall be at least 22-ft deep to provide two spaces outside each of the garages. Driveways shall also serve as the pedestrian connection back to East Castle Street. The illustration above shows the proposed driveways within the development and the proposed vehicular and pedestrian circulation paths into and out of the development.

The driveways within the development will be private, and built in accordance with Murfreesboro standards.



PROPOSED LANDSCAPE BEDS PROPOSED PRIVATE OPEN SPACE

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided. Landscaping Characteristics:

- All above ground utilities and mechanical equipment screened with landscaping and/or fences.
- Solid waste shall be handled via individual trash cans stored in notched garages. Cans shall be rolled out to the street on the day of trash pick-up.
- Builder shall install sod in all front yards. Seed and straw will be installed in all side and rear yards.
- There shall be a minimum 3-ft wide landscape bed located along the front elevation corners facing East Castle Street. Foundation plantings shall not be required along any other foundation.
- Landscaping will be in conformance with the City of Murfreesboro's CCO district's landscaping requirements
- A minimum of 15% open space shall be provided. ٠
- A minimum of 50 square feet of private open space shall be provided for each unit in the form of front or rear porches per the City Core Overlay (CCO) standards.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: The exhibits shown on Pages 3-7 provide the required materials.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: The exhibits shown on Pages 3-7 provide the required materials.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: The exhibits shown on Pages 3-7 provide the required materials.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: The exhibits shown on pages 8-9 provide the required materials.

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: The exhibits shown on pages 8-9 provide the required materials.

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

TOTAL SITE AREA	6,500 s.f.	0.15 AC	100.00%
TOTAL MAXIMUM FLOOR AREA	3,074 s.f.	0.07 AC	NA
TOTAL LOT AREA	6,500s.f.	0.15 AC	100.00%
TOTAL BUILDING COVERAGE	2,280 s.f.	0.05 AC	37.5%
TOTAL DRIVE/ PARKING AREA	704 s.f.	0.02 AC	10.83%
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC	0.00%
TOTAL LIVABLE SPACE	5,796 s.f.	0.13 AC	89.17%
TOTAL OPEN SPACE	100 s.f.	0.002 AC	1.54%
FLOOR AREA RATIO (F.A.R.)	NOT REQUIRED		
LIVABILITY SPACE RATIO (L.S.R.)	NOT REQUIRED		
OPEN SPACE RATIO (O.S.R.)	NOT REQUIRED		

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned R-D. The surrounding area has a mixture of residential properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating: (aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in one phase.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Page 9.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: See Page 16 for requested exceptions and setbacks.

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District, Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). This property is within the City Core Overlay District (CCO). No portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0260J Eff. Date 05/09/2023.

12.) The location and proposed improvements of any street depicted on the Murfreesboro 2040 Major Transportation Plan as adopted and as it may be amended from time to time.

Response: Pages 5 & 14 discuss the 2040 Major Transportation Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/applicant is BA Homes, LLC. contact info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 13-15 show the architectural character of the proposed building and building materials listed.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: No signage is being proposed with this development.

Land Use Parameters and Building Setbacks				
Zoning (Existing vs Proposed)	Comparative R-D Type 2	City Core Overlay District (CCO)	Proposed PRD (SFA) Duplex	Comparative, or CCO District Difference
Residential Density				
Maximum Dwelling Units Multi-Family	10.9 Units / Acre	N/A	13.33 Units / Acre	2.43 Units/Acre
Minimum Lot Area	8,000 sqft per duplex	N/A	6,500 sqft	1,500 sqft
Minimum Lot Width	55'	N/A	50'	-5'
Minimum Setback Requirements				
Minimum Front Setback to East Castle Street	30'	21' Build to	22'	+1
Front Proch Encroachment	5'	N/A	5'	0'
Minimum Side Setback	5'	N/A	5'	0'
Minimum Rear Setback to Southern Property Line	25'	N/A	25'	0'
Land Use Intensity Ratios				
MAX F.A.R.	N/A	Not Required	N/A	N/A
Minimum Livable Space Ratio	N/A	Not Required	N/A	N/A
Minimum Open Space Ratio	N/A	Not Required	N/A	N/A
Minimum Open Space Requirement	20%	15%	35%	+20%
Minimum Private Open Space Requirement	N/A	100 SF (1.54%)	100 SF	N/A
Max Height	35'	35'	35'	0'
Lot Coverage	None	Maximum of 50%	40%	-10%

REQUESTED EXCEPTIONS:

1. Increase density from 10.9 to 13.33 units per acre (+2.43)

2. Allow minimum lot size to be decreased from 8,000 sf to 6,500 sq. ft. (1,500 sq. ft. reduction)

3. Requesting an exception that the minimum lot width to be reduced from 55 feet to 50 feet, a 5 foot reduction.

- 4. Requesting an exception to the required one car garage interior clear space be reduced from 11'4" x 20' to 11 feet x 19 feet. The proposed garage layouts include an additional bump-out area for water heater and trash-bin storage.
- 5. Requesting an exception to increase the allowable garage face percentage from 50% to 63.75%.
- 6. Requesting an exception to allow 4-car surface parking in the front of homes.
- 7. Requesting an exception to the CCO District's Build-To line of 21' to 22 feet (1' increase) to accommodate parking along the front of the homes.

MURFREESBORO PLANNING COMMISSION STAFF COMMENTS, PAGE 1 NOVEMBER 1, 2023 PROJECT PLANNER: MARINA RUSH

8.d. Annexation petition and plan of services [2023-503] for approximately 5.24 acres located west of Sanctuary Place, W. Andrew Adams applicant.

The property owner, W. Andrew Adams, submitted a petition requesting a portion of his property be annexed into the City of Murfreesboro. The subject area is 5.24 acres located west of Sanctuary Place. The study area is vacant. The owners of Lots 187, 188, and 190 of the Marymont Springs Subdivision, which are located along Sanctuary Place in the City limits, are in negotiations to each purchase 200' of the subject property to add to the rear of their lots. The purpose of the annexation request is for the area being added to these lots to be in the City of Murfreesboro. Simultaneous with this application is a request to zone the property to PUD (Planned Unit District – Marymont Springs) to allow each lot to be expanded for approximately 200 linear feet to the west.

The annexation study area is located within the City of Murfreesboro's Urban Growth Boundary and is contiguous to the City limits along the east property line. Attached to this staff report are maps illustrating the annexation study area for the following property:

• Portion of Tax Map 100, Parcel 027.01 (5.24 acres)

The Murfreesboro 2035 Comprehensive Plan, Chapter 4 Future Land Use Map identifies a "Service Infill Line'; this line is to help facilitate growth and development in the City in an orderly, planned, and sustainable manner and to help plan for future City services. This annexation study area is located within the Service Infill area.

A subdivision plat to combine the subject property with the three adjacent lots was recently approved by the Planning Commission. Staff expects the three property owners to acquire the subject property from Mr. Adams and record the plat prior to the Planning Commission public hearing. They will also be providing a new annexation petition bearing their signatures instead of the current property owner's. As such, after the public hearing, the Planning Commission will be acting on annexing the rear portion of three lots that are substantially already in the City limits, as opposed to annexing the rear portion of large parcel that is entirely in the unincorporated County.

Staff has prepared a plan of services (POS) for the proposed annexation, which provides detailed information regarding each of the City services. It is attached to this staff report for reference. The plan of services demonstrates that City services can be provided to the subject property.

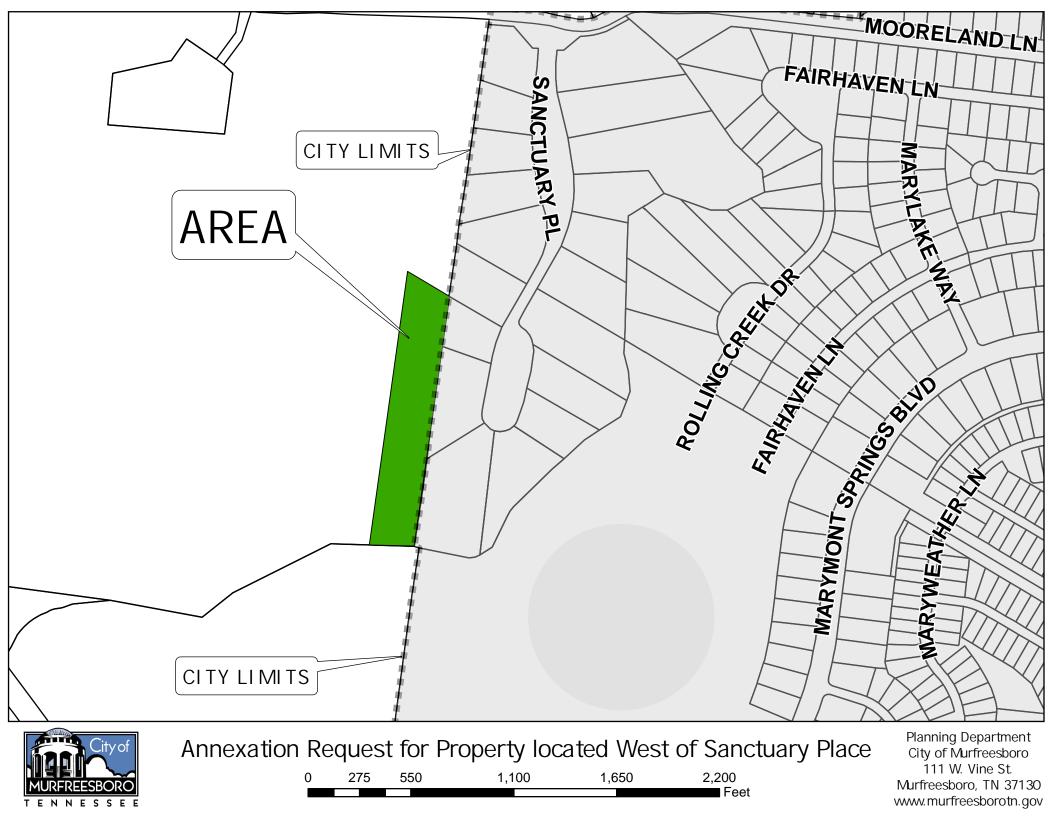
Staff Recommendations:

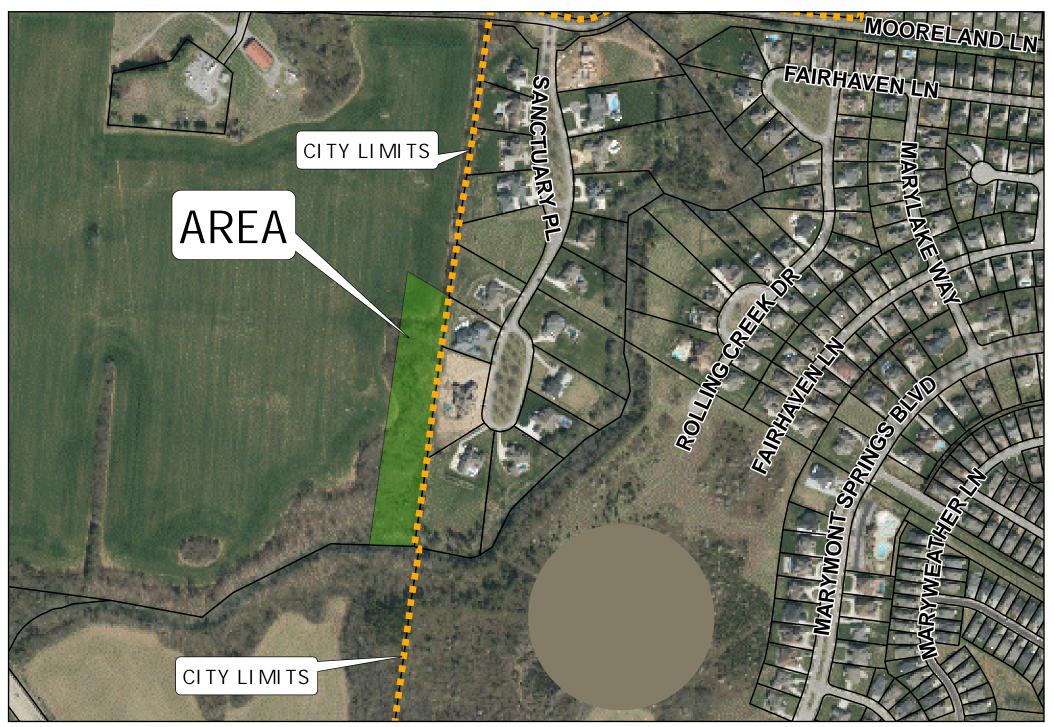
Staff recommends approval of the annexation based on the following reasons:

- a. Study area is contiguous with the existing City limits and is within the Murfreesboro Urban Growth Boundary.
- b. Study area is in the Service Infill area of the adopted 2035 Comprehensive Plan Future Land Use Map.
- c. City services can easily be provided to the subject property upon annexation, as the study area includes the rear portions of three lots, the front portions of which are already in the City limits.

Action Needed:

The Planning Commission will need to conduct a public hearing and then discuss the matter, after which it will need to formulate a recommendation for the City Council. The applicant's representative will be present to answer questions. As an aside, while the respective property transfers are expected to occur prior to the November 1st Planning Commission meeting, they have not yet taken place as of the writing of the plan of services and this staff report. If the Planning Commission votes to recommend approval of this item, Staff recommends that approval be made subject to the preparation of an updated plan of services prior to the City Council's consideration of the matter. The plan of services will need to be updated to reflect the updated ownership and lot configurations.







Annexation Request for Property located West of Sanctuary Place

Feet

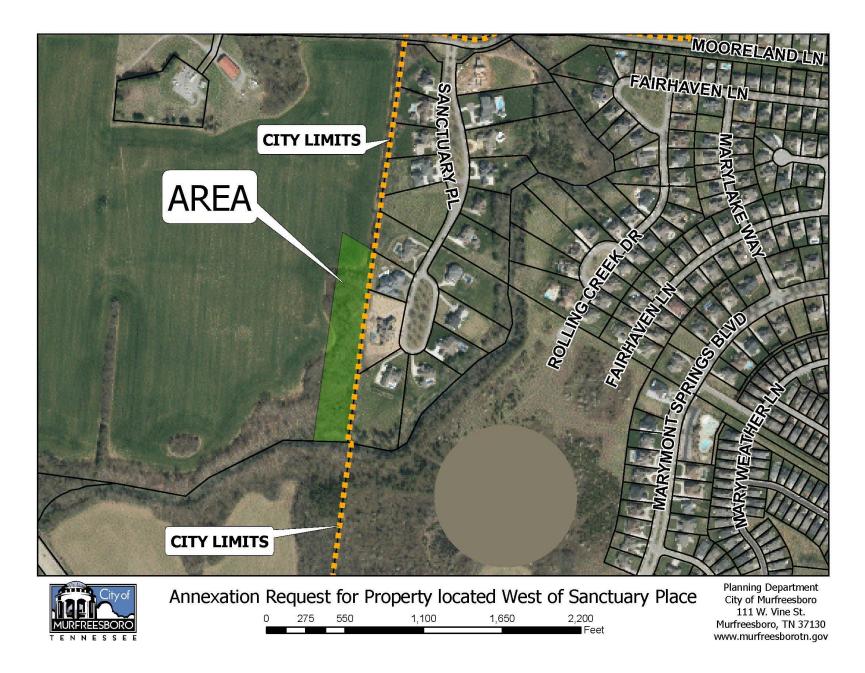
Planning Department City of Murfreesboro 111 W. Vine St. Murfreesboro, TN 37130 www.murfreesborotn.gov

ANNEXATION REPORT FOR W. ANDREW ADAMS PROPERTY LOCATED WEST OF SANCTUARY PLACE INCLUDING PLAN OF SERVICES (FILE 2023-503)



PREPARED FOR THE MURFREESBORO PLANNING COMMISSION NOVEMBER 1, 2023

1



INTRODUCTION

OVERVIEW

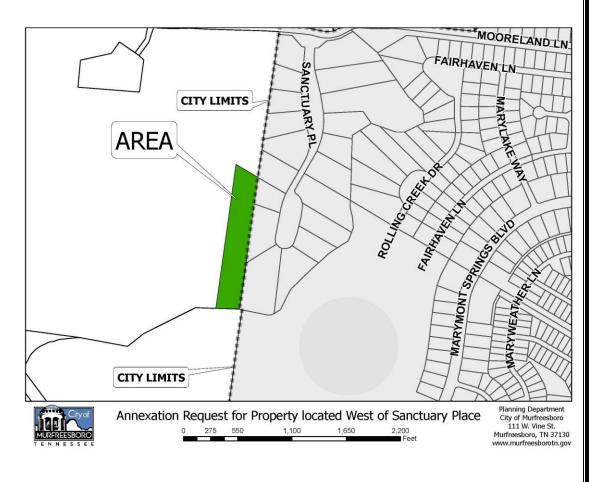
The property owner, W. Andrew Adams, submitted a petition requesting a portion of his property be annexed into the City of Murfreesboro. The subject area is 5.24 acres located west of Sanctuary Place. The study area is vacant. The owners of Lots 187, 188, and 190 of the Marymont Springs Subdivision, which are located along Sanctuary Place in the City limits, are in negotiations to each purchase 200' of the subject property to add to the rear of their lots. The purpose of the annexation request is for the area being added to these lots to be in the City of Murfreesboro. Currently, the study area is vacant land.

Simultaneous with this application is a request to zone the property to PUD (Planned Unit District – Marymont Springs) to allow the zoning of the rear of these lots to be consistent with the existing PUD zoning. The total study area is 5.24 acres and includes the following:

- Portion of Tax Map 100, Parcel 0027.01

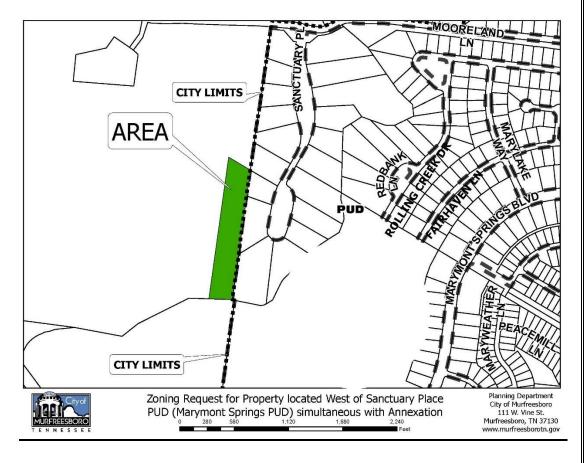
The study area is located within the City of Murfreesboro's Urban Growth Boundary

and is contiguous to the City limits along the west property line. The property is currently zoned Single Family Residential – Medium Density (RM) in the unincorporated County.



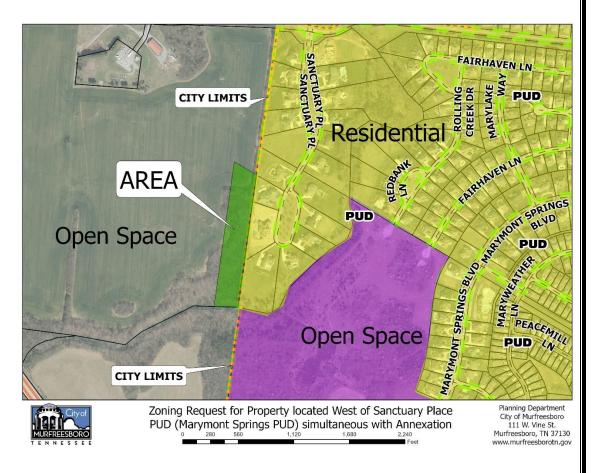
SURROUNDING ZONING

The subject property is currently zoned RM (Residential Medium Density) in Rutherford County. The surrounding properties to the north, south, and west are within unincorporated Rutherford County and zoned RM. The properties to the east, along Sanctuary Place, are within the City and zoned Planned Unit District (Marymont Springs PUD).



PRESENT AND SURROUNDING

The study area is vacant. The property to the north, west, and south is one parcel and is developed with a single-family residence and used primarily for agriculture. The properties to the east are developed with single-family residences. The property to the southeast is open space.



PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE, and other community crime prevention programs to the study area immediately upon the effective date of annexation. If the property is zoned PUD, it will have little impact upon police services.

ELECTRIC SERVICE

The study area is vacant. The study area is proposed to be added to the rear of Lots 187, 188, and 190 of the Marymont Springs Subdivision, which are currently served by Middle Tennessee Electric (MTE). The annexation of the study area would have no impact on providing electric service.

STREET LIGHTING

No new street lighting is anticipated with this annexation. The study area is vacant. The study area will be added to the rear of Lots 187, 188, and 190 of the Marymont Springs Subdivision, which are currently served by MTE.

SOLID WASTE COLLECTION

The study area is currently vacant. The study area will be added to the rear of Lots 187, 188, and 190 of the Marymont Springs Subdivision, which are currently served by City solid waste collection. The day of collection service is Thursday, the cost of the cart is \$73.40. Because this area is already served by Solid Waste Collection, the annexation of the study area would not have an impact on Solid Waste Collection services.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees. Since the study area is proposed to be added to the rear of three residential lots that are already in the City, this annexation would have minimal impact to the Recreation Department.

CITY SCHOOLS

The Murfreesboro City School (MCS) system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. The study area is vacant. If annexed, the study area will be added to the rear of Lots 187, 188 and 190 of the Marymont Springs Subdivision, which are currently developed with single-family residences and served by MCS. The annexation of the study area would become part of the Salem Elementary School zone. With no new homes, the annexation would have no impact on MCS.

BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation.

PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. Any new construction would be subject to the Marymont Springs PUD zoning requirements and the City's permit review. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction and drainage

structures for compliance with the City's development regulations.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

STREETS AND ACCESS

The annexation study area is currently vacant. The study area will be added to the rear of Lots 187, 188, and 190 of the Marymont Springs Subdivision. These lots are located along Sanctuary Place, a private street within the Marymont Springs subdivision. As such, the annexation study area does not include any additional public roadway systems. Access to public roadway systems is available through existing Mooreland Lane to the north.

REGIONAL TRAFFIC & TRANSPORTION

The annexation study area is currently vacant. The study area will be added to the rear of Lots 187, 188, and 190 of the Marymont Springs Subdivision. These lots are currently developed with single family residences. As such, the annexation of the study area would not impact the regional traffic and transportation system in the City.

PROPERTY AND DEVELOPMENT

There is no new development proposed with this annexation. New development, if any, must comply with the City's Stormwater Quality regulations.

SANITARY SEWER SERVICE

The study area will be added to the rear of Lots 187, 188, and 190 of the Marymont Springs Subdivision. These lots are currently served by the Murfreesboro Water Resources Department (MWRD) for sanitary sewer service. This annexation does not affect MWRD or the sanitary sewer service currently provided.

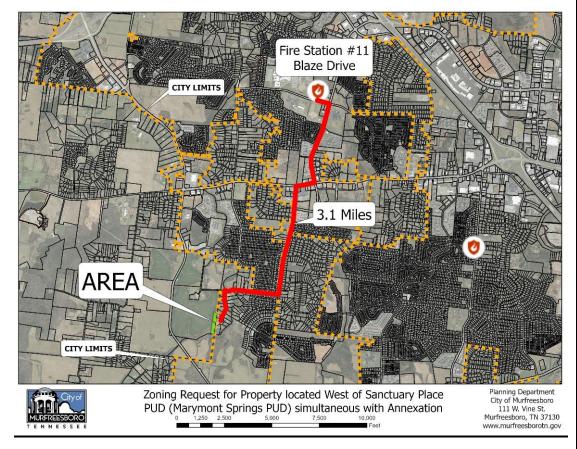
WATER SERVICE

The annexation study area is currently vacant. The study area will be added to the rear of Lots 187, 188, and 190 of the Marymont Springs Subdivision. These lots are currently developed with single family residences. The study area is located within Consolidated Utility District of Rutherford County's (CUDRC) service area. CUDRC has an existing eight (8) -inch ductile iron water main (DIP) located along Sanctuary Place currently serving these properties.

There are two green-top fire hydrants (one located at the property line of Lots 186-187 and one in front of Lot 188). These water lines can continue to serve the annexation study area.

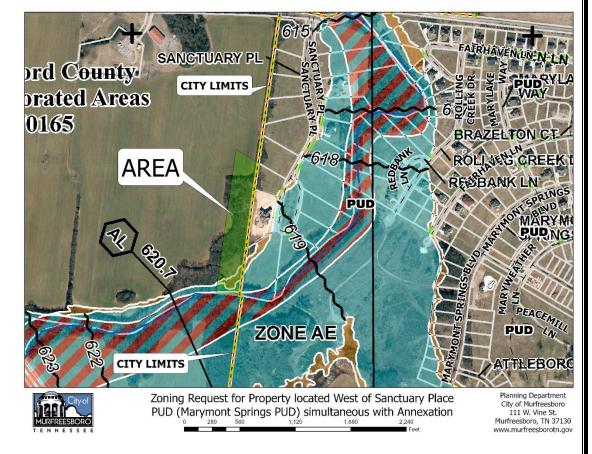
FIRE AND EMERGENCY SERVICE

The study area is currently vacant. The Murfreesboro Fire and Rescue Department (MFRD) can provide emergency services to the study area immediately upon the effective date of annexation at no additional expense. Currently the study area is located 3.1 miles from Fire Station #11 (3942 Blaze Drive). The red line on the adjacent map represents the linear distance range from the nearest fire station.



FLOODWAY

The study area is partially located within the 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA). The adjacent map shows the 100-year floodplain to the east and south of the subject property in blue. The regulatory floodway is identified with the red striping.



DRAINAGE

Public Drainage System

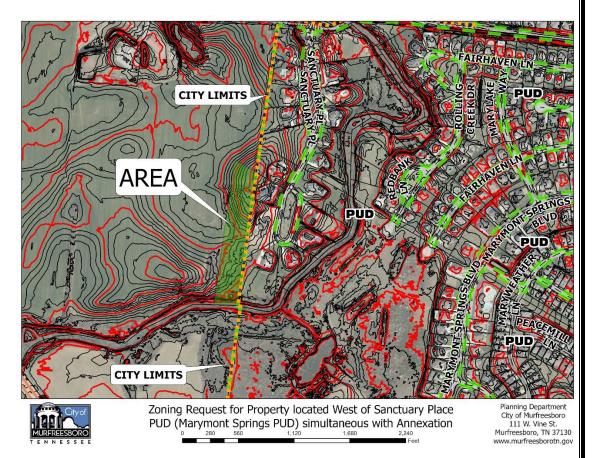
No public drainage facilities are included in the study area. Any new public drainage facilities proposed to serve the study area in the future must meet City standards.

Regional Drainage Conditions

Regional drainage flows north to Overall Creek.

Stormwater Management and Utility Fees

The annexation study area is currently vacant. The property has no new development plans and will not generate annual revenue for the Stormwater Utility Fee. The red lines on the adjacent map represent ten-foot contours. The grey lines represent two-foot intervals.



ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

MURFREESBORO PLANNING COMMISSION STAFF COMMENTS, PAGE 1 NOVEMBER 1, 2023 PROJECT PLANNER: MARINA RUSH

6.e. Zoning application [2023-416] for 5.24 acres located west of Sanctuary Place to be zoned PUD (Marymont Springs PUD) simultaneous with annexation, W. Andrew Adams applicant.

The applicant, W. Andrew Adams, represented by Clyde Rountree, is requesting to zone 5.24 acres located west of Sanctuary Place to Marymont Springs PUD simultaneous with annexation. The owners of Lots 187, 188, and 190 of the Marymont Springs Subdivision, which are located along Sanctuary Place in the City limits, are in negotiations to each purchase 200' of the subject property to add to the rear of their lots. For the sake of consistency, staff recommended to the applicants that the area they are adding to their lots be zoned PUD -- the same as the existing lots. The property tax number for the subject property is:



• Portion of Tax Map 100, Parcel 027.01 (5.24 acres)

A subdivision plat to combine the subject property with the three Marymont Springs lots was recently approved by the Planning Commission. Staff expects the three property owners to acquire the subject property from Mr. Adams and record the plat prior to the Planning Commission public hearing. In addition, they will be providing an updated rezoning application form bearing their signatures, instead of the current owner. As such, after the public hearing, the Planning Commission will be acting on zoning to PUD the rear portion of three existing lots that are substantially in the City limits and already zoned PUD. However, as of the time of the writing of this staff report, the property transfer has not yet taken place.

Adjacent Zoning and Land Uses

The subject property is currently zoned RM (Residential Medium Density) in the unincorporated County. The properties to the east are zoned PUD (Marymont Springs PUD) and the properties to the north, west, and south are zoned RM in the County. The land uses are single family residences to the east and vacant and agricultural land to the west, north, and south. The subject property would be added into the Marymont Springs PUD.

Future Land Use Map

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan indicates "Suburban Residential" is the land use character most appropriate for the project site. The "Suburban Residential" characteristics are large lot residential developments with detached residences, lower densities, and is intended to provide a transition from rural areas to urban areas. The typical zoning suggested is RS-15, RS-12, and RS-10. The proposed PRD is consistent with the SR characteristics.



Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)

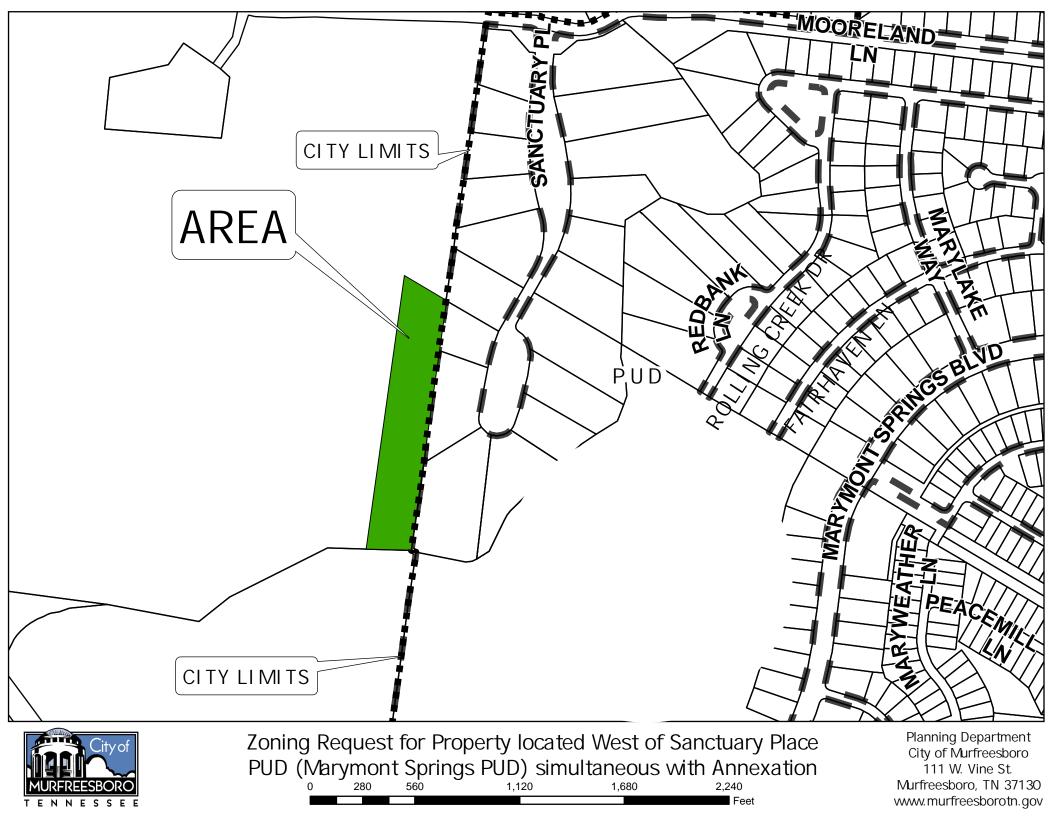
Recommendation:

Staff is supportive of this zoning request for the following reasons:

- 1) Marymont Springs PUD zoning is consistent with the FLUM because it allows single-family residential development. The rezoned property will comply with the Marymont Springs PUD for the intended use.
- 2) The proposed use of the property is compatible with the adjacent land uses.

Action Needed:

The Planning Commission will need to conduct a public hearing and then discuss the matter, after which it will need to formulate a recommendation for the City Council. The applicant's representative will be present to to answer any questions or provide clarifications regarding the proposed zoning.



6:00 P.M.

CITY HALL

MEMBERS PRESENT

Kathy Jones, Chair Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright

STAFF PRESENT

Greg McKnight, Exec. Director Dev. Services Matthew Blomeley, Assistant Planning Director Marina Rush, Principal Planner Holly Smyth, Principal Planner Brad Barbee, Planner Joel Aguilera, Planner Carolyn Jaco, Recording Assistant Roman Hankins, Assistant City Attorney

1. Call to order.

Chair Kathy Jones called the meeting to order at 6:00 p.m.

2. Determination of a quorum.

Chair Kathy Jones determined that a quorum was present.

3. Public Comments.

Chair Kathy Jones announced that no one signed up to speak during the Public Comments portion of the agenda.

4. Approve minutes of the September 20, 2023, Planning Commission meeting.

Mr. Shawn Wright made a motion to approve the minutes of the September 20, 2023 Planning Commission meeting; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones Jami Averwater Reggie Harris Bryan Prince

Chase Salas Shawn Wright Nay: None

5. Old Business:

Zoning application [2023-408] for approximately 1.2 acres located along North Maney Avenue and Lee Street to be rezoned from OG-R and CCO to PRD and CCO (Maney Estates PRD), BNA Homes applicant. Ms. Holly Smyth presented the Staff Comments regarding this, item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Clyde Rountree (landscape architect), Mr. Manly Thweatt (design engineer), Mr. Drew Alderson and Sonia Thomas (developer's representatives) were in attendance representing the application. Mr. Clyde Rountree gave a PowerPoint presentation of the Pattern Book, which Pattern Book is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reverence.

The Planning Commissioners discussed the density of the proposed development, as well as parking, lack of green space, and no commitment to preserve as many mature trees as possible.

Mr. Clyde Rountree requested for a deferral, so his client could address the townhome density count. In addition, Mr. Clyde Rountree stated he would suggest changing the overall footprint by changing the room counts.

There being no further discussion, Mr. Shawn Wright moved to defer the zoning application; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones

Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright Nay: None

6. Public Hearings and Recommendations to City Council:

Annexation petition and plan of services [2023-504] for approximately 32.4 acres located along New Salem Highway and Barfield Road, including 520 linear feet of Barfield Road right-of-way, World Outreach Church of Murfreesboro Tennessee, Inc. applicant. Ms. Marina Rush presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Rob Molchan of SEC, Inc. was in attendance representing the application.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the annexation petition; therefore, Chair Kathy Jones closed the public hearing.

There being no further discussion, Ms. Jami Averwater moved to approve the annexation petition and plan of services subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

- Aye: Kathy Jones
 - Jami Averwater Reggie Harris Brian Prince

Chase Salas

Shawn Wright

Nay: None

Zoning application [2023-412] to amend the existing PUD zoning (Hidden River Estates PUD) on 121 acres located along Cason Trail and Racquet Club Drive, Hidden River Holding Company, LLC developer. Ms. Marina Rush presented the Staff Comments regarding this, item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Clyde Rountree (landscape architect), Mr. Manly Thweatt (design engineer), Mr. Drew Alderson and Ms. Sonia Thomas (developer's representatives) were in attendance representing the application. Mr. Clyde Rountree gave a PowerPoint presentation of the Pattern Book, which Pattern Book is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Chair Kathy Jones opened the public hearing.

 Mr. Mike Green, 2107 Gaston Court – opposes this development due to the density and expressed other concerns regarding blasting, speeding, lack of buffer, and destruction of the existing natural green space.

2. <u>Ms. Mariah Phillips, 511 East Clark Boulevard</u> – opposes this development.

Chair Kathy Jones closed the public hearing.

The Planning Commission discussed the required buffering with Staff and the applicants.

There being no further discussion, Ms. Jami Averwater moved to approve the zoning amendment subject to all staff comments; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones

Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright Nay: None

ivay. ivone

Zoning application [2023-413] to amend the existing Vintage Apartments and TDK office PUD (11.3 acres) and to rezone approximately 2.5 acres from CH to PUD located along Medical Center Parkway, Robert Rose Drive and Maplegrove Drive, TDK Construction applicant. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Rob Molchan (landscape architect), Mr. Ross Bradley (developer), and Mr. John Blankenship (developer) were in attendance for the meeting. Mr. Rob Molchan gave a PowerPoint presentation of the Pattern Book, which Pattern Book is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the zoning application; therefore, Chair Kathy Jones closed the public hearing.

There being no further discussion, Mr. Shawn Wright moved to approve the zoning application subject to all staff comments; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

Aye: Kathy Jones

Jami Averwater

Reggie Harris Bryan Prince Chase Salas Shawn Wright

Nay: None

<u>Street renaming [2023-901] to rename a segment of Blackman Road (south of</u> <u>Pendleton Boulevard) to Blackman Beesley Court, City of Murfreesboro</u> <u>Planning Department applicant</u>. Mr. Matthew Blomeley presented the Staff Comments regarding this, item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the street renaming; therefore, Chair Kathy Jones closed the public hearing.

There being no further discussion, Mr. Chase Salas moved to approve the Street Renaming request subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

- Aye: Kathy Jones
 - Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright

Nay: None

7. Staff Reports and Other Business:

Mandatory Referral [2023-729] to consider the abandonment of a portion of a drainage easement on property located along Herring Crossing, Huddleston-Steele Engineering, Inc. on behalf of Kathy Nobles, applicant. Mr. Brad Barbee presented the Staff Comments regarding this, item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Ms. Jami Averwater moved to approve the Mandatory Referral subject to all staff comments, include the recommended conditions of approval in the Staff Report; the motion was seconded Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright

Nay: None

Mr. Matthew Blomeley reminded the Planning Commissioners of upcoming continuing education opportunities. On October 27, Fair Housing training at 9:00 a.m. – 12 pm at Murfreesboro Municipal Airport and TAPA training on November 17, 2023.

8. Adjourn.

There being no further business the meeting adjourned at 7:45 p.m.

Chair

Secretary

GM: cj

CITY HALL

1:00 PM

MEMBERS PRESENT

Kathy Jones, Chair Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright

STAFF PRESENT

Matthew Blomeley, Assistant Planning Director Margaret Ann Green, Principal Planner Marina Rush, Principal Planner Holly Smyth, Principal Planner Amelia Kerr, Planner Joel Aguilera, Planner Brad Barbee, Planner Katie Noel, Project Engineer Gabriel Moore, Project Engineer Jennifer Knauf, Project Engineer Carolyn Jaco, Recording Assistant Roman Hankins, Assistant City Attorney Greg McKnight, Exec. Director of Dev't Serv.

1. Call to order.

Chair Kathy Jones called the meeting to order at 1:00 p.m.

2. Determination of a quorum.

Chair Kathy Jones determined that a quorum was present.

3. Public Comments.

Chair Kathy Jones announced no one signed up to speak during the Public Comments portion of the agenda.

4. Consent Agenda:

<u>Northstar Industrial Park, Resubdivision of Lots 1, 7, and 8 [2023-2077]</u> final plat for 1 lot on 18.8 acres zoned L-I located along Northwest Broad Street and Northstar Drive, Metro Trailer Leasing, Inc. developer.

Emerald Place, Resubdivision of Lot 4 and 3rd Resubdivision of Lot 3 [2023-2080]

final plat for 1 lot on 19.8 areas zoned PUD located along Lascassas Pike and Herring Crossing, Equity Programmers, Inc. developer.

Rockbridge Cove Townhomes (Annex) [2023-2081] horizontal property regime plat for 17 units on 19.8 acres zoned PUD located along Lascassas Pike and Herring Crossing, Equity Programmers, Inc. developer.

Waites Creek Crossing, Resubdivision of Lots 43 and 44 [2023-2082] final plat for 4 lots on 0.38 acres zoned RS-A, Type 1 located along Barringer Lane, O'Brien Loyd Venture developer.

Hastings Property, Lots 2-5 [2023-2085] final plat for 4 lots and a common area on 5.4 acres zoned CH located along Joe B Jackson Parkway and Manchester Pike, Shane Hastings developer.

<u>Varsity Fieldhouse [2023-3138]</u> site plan for a 18,284 ft2 athletic training facility on 2.21 acres zoned CH located along Rideout Lane, Mt. Oread Properties, LLC developer.

Cason Square, Lot 27 (Varsity Fieldhouse) [2023-1023] preliminary plat for 1 lot on 2.2 acres zoned CH located along Rideout Lane, Mt. Oread Properties, LLC developer.

<u>Westwind Reserve, Section 4 [2023-2078]</u> final plat for 26 lots on 17.6 acres zoned RS-6 located along Hallanday Drive and Drysdale Drive, Cornerstone Development, LLC developer.

Knight Condominium, Amendment to Lot 52A [2023-2079] amended horizontal property regime plat for 2 units on 4 acres zoned CH located along Memorial Boulevard and MTCS Road, Tom J. Glenn developer.

Hidden River Estates, Phase 1A [2023-2083] amended horizontal property regime plat for 91 units on 12.2 acres zoned PUD located along Cason Trail, Hidden River Development Company, LLC developer.

Barney Gump, Lots 1 & 3 [2023-2084] easement plat for 2 lots on 7.8 acres zoned RM-16 and PUD located along Old Lascassas Road, Greenland Drive, and Brown Drive, College Pointe Partnership developer.

Brady Estates, Section 2, Phase 2 [2023-2086] final plat for 31 lots on 10.8 acres zoned RS-10 located along Pathfinder Drive, Imer Development, LLC developer.

Kingdom Ridge, Parcel B [2023-2087] final plat for 3 lots on 14.1 acres zoned PUD located along Franklin Road, Covenant Boulevard, and Conquest Road, Swanson Developments, LP developer.

W.J. Thurston Farm, Lot A (5430 NW Broad St) [2023-3140] site plan review of an 8,718 ft2 commercial center with pick-up window located on 1.1 acres zoned CH located at 5430 Northwest Broad Street, Sanjaykumar Patel developer.

There being no further discussion, Ms. Jami Averwater moved to approve the Consent Agenda subject to all staff comments; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright Nay: None

5. Old Business:

Racquet Club Subdivision, Lot 1 – Commercial Center [2023-3123] site plan for two multi- tenant commercial buildings totaling 12,840 ft2 on 8.03 acres zoned CH located at 605 River Rock Boulevard, Eric Dill developer. Ms. Marina Rush presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference. Ms. Marina Rush stated that the plans were in much better order but that any outstanding comments would need to be addressed prior to the issuance of permits.

Mr. Bill Huddleston (design engineer) was in attendance to represent the application.

There being no further discussion, Mr. Chase Salas made a motion to approve the site plan application subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Kathy Jones Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright

Nay: None

6. GDO:

On Motion

Clari Park, Lot 7 (P.F. Chang's) [2023-6010 & 2023-3100] final design & site plan review of a 6,611 ft2 restaurant located on 1.7 acres zoned CH and GDO-1 located along Medical Center Parkway, Honeylocust Lane, and Roby Corlew Lane, P.F.

Murfreesboro (Medical), LLC developer. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance to represent the application.

The Planning Commission discussed the artwork proposed to be added onto the building. Ms. Green stated that this could be brought back to the Planning Commission for review once the applicant provides details. Ms. Jami Averwater voiced her concerns regarding the proposed horse being in front of the building facing Medical Center Parkway. Mr. Matt Taylor stated the horse was part of their branding and would be approximately 70 feet away from Medical Center Parkway.

There being no further discussion, Mr. Shawn Wright made a motion to approve the final design and site plan review subject to all staff comments and to the condition that the architectural feature would be brought back to Planning Commission for review and approval; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

- Aye: Kathy Jones
 - Reggie Harris Bryan Prince Chase Salas Shawn Wright

Nay: Jami Averwater

Clari Park, Lot 10 (Raising Canes) [2023-6011 & 2023-3122] final design & site plan review of a 2,899 ft2 carry-out restaurant on 1.4 acres zoned CH and GDO-1 located along Medical Center Parkway and Roby Corlew Lane, Raising Cane's Restaurants, L.L.C. developer. Ms. Margaret Ann Green presented the Staff Comments regarding this

item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Ms. Emma Donnelly-Bullington (design engineer) was in attendance to represent the application.

There being no further discussion, Ms. Jami Averwater made a motion to approve the final design and site plan review subject to all staff comments; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones

Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright Nay: None

7. Plats and Plans:

On Motion

Hooper One Lot, Lots 2-9 and the 2nd Resubdivision of Lot 1 [2023-2076] final plat for 9 lots on 34.5 acres zoned RS-15 located along Siegel Road, W. Bruce Hooper <u>developer.</u> WITHDRAWN BY APPLICANT

<u>The Arbors at Compton, Sections 2 & 3 [2023-1022] preliminary plat for 88 lots on</u> <u>28.5 acres zoned PRD located along Compton Road and Emery Court, Lennar Homes</u> <u>of Tennessee, LLC developer</u>. Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance to represent the application. Mr. Matt Taylor agreed to continue working with staff regarding the impact the drainage plan on the functionality of the lots.

There being no further discussion, Mr. Chase Salas made a motion to approve the preliminary plat subject to all staff comments; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

Aye: Kathy Jones

Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright Nay: None

8. New Business:

Mandatory Referral/ROW Abandonment [2023-728] to consider the abandonment of a right-of-way on property at 1935 Northwest Broad Street, Huddleston-Steele Engineering, Inc. on behalf of 84 Lumber Company applicant. Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Bill Huddleston (design engineer) was in attendance to represent the application.

There being no further discussion, Mr. Chase Salas made a motion to schedule a public hearing on November 1, 2023; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

Aye: Kathy Jones Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright

Nay: None

Zoning application [2023-414] for approximately 0.35 acres located along Van Cleve Lane to be rezoned from RS-15 to L-I, Norman Brown applicant. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Bill Huddleston (design engineer) and Mr. Clyde Rountree were in attendance to represent the application.

There being no further discussion, Ms. Jami Averwater made a motion to schedule a public hearing on November 1, 2023; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright Nay: None

Zoning application [2023-411] for approximately 0.15 acres located along East Castle Street to be rezoned from RD and CCO to PRD and CCO (East Castle Manor PRD), BA Homes, LLC applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) and Mr. Brian Burns (developer) were in attendance to represent the application.

There being no further discussion, Ms. Jami Averwater made a motion to schedule a public hearing on November 1, 2023; seconded by Mr. Shawn Wright, the motion carried by the following vote:

Aye: Kathy Jones Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright

Nay: None

Annexation petition and plan of services [2023-503] for approximately 5.2 acres located west of Sanctuary Place, W. Andrew Adams applicant. Ms. Marina Rush presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Bricke Murfree (attorney) and Mr. Bill Huddleston (design engineer) were in attendance to represent the application.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on November 1, 2023; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Kathy Jones Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright

Nay: None

Zoning application [2023-416] for 5.2 acres located west of Sanctuary Place to be zoned PUD (Marymont Springs PUD) simultaneous with annexation, W. Andrew

<u>Adams applicant</u>. Ms. Marina Rush presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Bricke Murfree (attorney) and Mr. Bill Huddleston (design engineer) were in attendance to represent the application.

There being no further discussion, Mr. Bryan Prince made a motion to schedule a public hearing on November 1, 2023; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones Jami Averwater Reggie Harris Bryan Prince Chase Salas

Shawn Wright

Nay: None

9. Staff Reports and Other Business:

Consideration of 2024 Planning Commission meeting calendar. Mr. Matthew Blomeley presented the 2024 Planning Commission meeting calendar, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to approve the 2024 Planning Commission calendar; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright

Nay: None

Consideration of 2024 Plans Review calendar. Mr. Matthew Blomeley presented the 2024 Plans Review calendar, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to approve the 2024 Plans Review calendar; seconded by Mr. Bryan Prince, the motion carried by the following vote:

Aye: Kathy Jones Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright Nay: None

Amendment to 2023 Planning Commission calendar. Mr. Matthew Blomeley presented the amended 2023 amendment Planning Commission calendar, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference. The proposed amendment was to change the time of the December 13th meeting from 2:30 PM to 1:00 PM.

There being no further discussion, Mr. Bryan Prince made a motion to approve the amendment to 2023 Planning Commission calendar; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones Jami Averwater Reggie Harris Bryan Prince Chase Salas Shawn Wright Nay: None

Lastly, Mr. Matthew Blomeley stated that Staff is trying to schedule a special workshop meeting for the Planning Commission. The meeting would be to discuss amendments to the Zoning Ordinance. The Planning Commission discussed various dates in November.

There being no further business the meeting adjourned at 2:15 p.m.

Chair

Secretary

GM: cj