

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**JANUARY 10, 2024
6:00 PM**

**Kathy Jones
Chair**

- 1. Call to order**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the December 6, 2023, and December 13, 2023, Planning Commission meetings.**
- 5. Public Hearings and Recommendations to City Council:**
 - a. Mandatory Referral [2023-730] to consider the abandonment of a segment of Archer Avenue right-of-way, Huddleston-Steele Engineering, Inc. on behalf of Brightland Homes applicant. (Project Planner: Joel Aguilera)
 - b. Zoning application [2023-421] for approximately 31.3 acres located along Medical Center Parkway, Williams Drive and Tune Avenue to be rezoned from MU, GDO-3 and PSO to PUD (Fountains at Gateway), GDO-3 and PSO, Hearthstone Properties applicant. (Project Planner: Margaret Ann Green)
 - c. Annexation petition and plan of services [2023-507] for approximately 21.4 acres located along Blackman Road, including approximately 1,265 linear feet of Blackman Road right-of-way, Bob Parks applicant. (Project Planner: Marina Rush and Matthew Blomeley)
 - d. Zoning application [2023-420] for approximately 19.6 acres located along Blackman Road to be zoned PRD (The Village PRD - approx. 14.91 acres) and PCD (The Village PCD - approx. 4.71 acres) simultaneous with annexation, 360 Development applicant. (Project Planner: Marina Rush and Amelia Kerr)
 - e. Annexation petition and plan of services [2023-506] for approximately 112.5 acres located along Veterans Parkway, including approximately 1,475 linear feet of Veterans Parkway right-of-way, Kathy Davis, Howard Barley Yeargan, and Randall Robinson, Jr. applicants. (Project Planner: Marina Rush and Matthew Blomeley)

MURFREESBORO PLANNING COMMISSION AGENDA

PAGE 2

January 10, 2024

- f. Zoning application [2023-419] for approximately 106.4 acres located along Veterans Parkway to zoned PRD (Prater Farms PRD) simultaneous with annexation, Ole South Properties applicant. (Project Planner: Marina Rush and Amelia Kerr)

6. Staff Reports and Other Business:

- a. Mandatory referral [2023-731] to consider the abandonment of a portion of a sanitary sewer easement located east of Suzanne Landon Drive, Benjamin Beasley on behalf of Cypress Homes, LLC applicant. (Project Planner: Holly Smyth).
- b. Mandatory referral [2023-732] to consider the dedication of an electric easement on City-owned property along Franklin Road, Murfreesboro Legal Department and MTE applicants.

7. Adjourn.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
JANUARY 10, 2024
PROJECT PLANNER: JOEL AGUILERA**

5.a. Mandatory Referral [2023-730] to consider the abandonment of a segment of Archer Avenue right-of-way, Huddleston-Steele Engineering, Inc. on behalf of Brightland Homes applicant.

In this mandatory referral, the Planning Commission is being asked to consider the abandonment of a segment of Archer Avenue public right-of-way (ROW). The above-mentioned request for abandonment is depicted on the attached exhibits that are included in the agenda materials. The above-mentioned segment of Archer Avenue right-of-way was recorded with the Palmer Heights Subdivision Section 7 final plat in February 1973.

Earlier this year, in August, a rezoning application for a Planned Residential District (Northridge Park PRD) was heard before Murfreesboro City Council for a new single-family detached residential subdivision. This proposed subdivision was located north of the Palmer Heights Subdivision and had connecting stub streets at Amber Drive, Banner Drive, Tower Drive, an unnamed street, and Archer Avenue. Murfreesboro City Council voted to not have the proposed Northridge Park Subdivision connect via Amber Drive and Archer Avenue, and instead connect only via Banner Drive, Tower Drive, and the unnamed street.

As stated in the attached correspondence, because the permanent termination of Archer Avenue would no longer meet the International Fire Code's requirement to terminate roads greater than 150 feet in a turnaround, the applicant, Huddleston-Steele Engineering, on behalf of Brightland Homes, is requesting to abandon the segment of Archer Avenue right-of-way beginning at 150 feet from the intersection of Archer Avenue and Bluebell Avenue.

In further review of the requested abandonment, staff has determined that this abandonment will not affect the driveway access to the two existing adjacent lots to the east and west, Lots 133 154 in the Palmer Heights Subdivision. Additionally, this abandonment will also eliminate the possibility of any future street connection between the two neighborhoods at this location.

For the request, the Planning Department has reached out to utilities and other City departments for comment regarding the impact of abandoning the segment of Archer Avenue right-of-way. No objections were received. However, the Engineering Department and MWRD did provide additional conditions.

The City Engineering Department stated that the request to abandon the ROW should be subject to the recording of a 50' access easement, 10' drainage easement on both the east and west side, and a 10' public utility easement on the north side. As stated in the attached memo, MWRD has an 8" existing water main just south of the abandonment area. The Department will require a 20' water easement be retained for the water main and service. The easement must be centered over the water main.

The Planning Commission will need to conduct a public hearing, after which it will need to discuss this application and make a recommendation to the City Council. Staff recommends approval subject to the following conditions in order to facilitate the abandonment process:

1. The applicant must provide to the City Legal Department all the necessary documentation (including any needed legal descriptions and exhibits) required to prepare and record the legal instrument.
2. The abandonment shall be subject to the final approval of the legal instrument(s) by the City Attorney.
3. The applicant will be responsible for recording the document(s), including paying any recording fees.
4. Easements, including but potentially not limited to drainage, public utility, access, and drainage easement, shall be recorded as necessary to accommodate any existing or proposed access, utility, and/or drainage infrastructure.
5. If the abandoned ROW is to be transferred to the adjacent landowner(s) to the east and west, then a subdivision plat formally incorporating the abandoned ROW into the lot(s) shall be recorded.

Memorandum

To: Greg McKnight, Planning Director & Matthew Blomeley, Assistant Planning Director
From: Joel Aguilera, Planner
Date: January 3, 2024
Re: Mandatory Referral 2023-730: Abandonment of a portion of Archer Avenue public right-of-way in the Palmer Heights Subdivision

Following is a summary of the City department staff and utility provider comments regarding the requested partial right-of-way (ROW) abandonment.

Engineering & Streets Departments

The request to abandon ROW should be subject to submission and recording of a deed transferring the abandoned ROW. The deed should reserve a 50' access easement, 10' drainage easement on both the east and west side and a 10' public utility easement on the north side.

In order to facilitate the abandonment process, the applicant should provide a legal description and exhibits necessary for the City to draft the legal documents as well as any recording fees. In addition, the ROW abandonment should be subject to the final approval of the legal documents by the City Attorney.

Fire and Rescue Department

MFRD does not object to the abandonment.

Police Department

MPD does not object to the abandonment.

Solid Waste Department

The abandonment will have no effect on the Solid Waste Department.

Murfreesboro Water Resources Department (MWRD)

MWRD has an 8" existing water main just south of the abandonment area. There is an existing water service extending from this main to the south property line of the Patton Family property. The Department will require a 20' water easement be retained for the water main and service. At such time the Patton Family property develops, the developer will be required to connect to the existing water main along Archer Avenue. The easement must be centered over the water main.

The Department has an 8" existing sewer main, that ends just south of the abandonment area, that will not be affected by the abandonment. There is no need to retain easement as it is not deep enough to be utilized by the Patton Family property to the north.

Consolidated Utility District (CUD)

CUD does not have any facilities in the requested area and does not object to the abandonment.

Middle Tennessee Electric Members Cooperative (MTE)

MTE does not have any facilities in the requested area and does not object to the abandonment.

AT&T

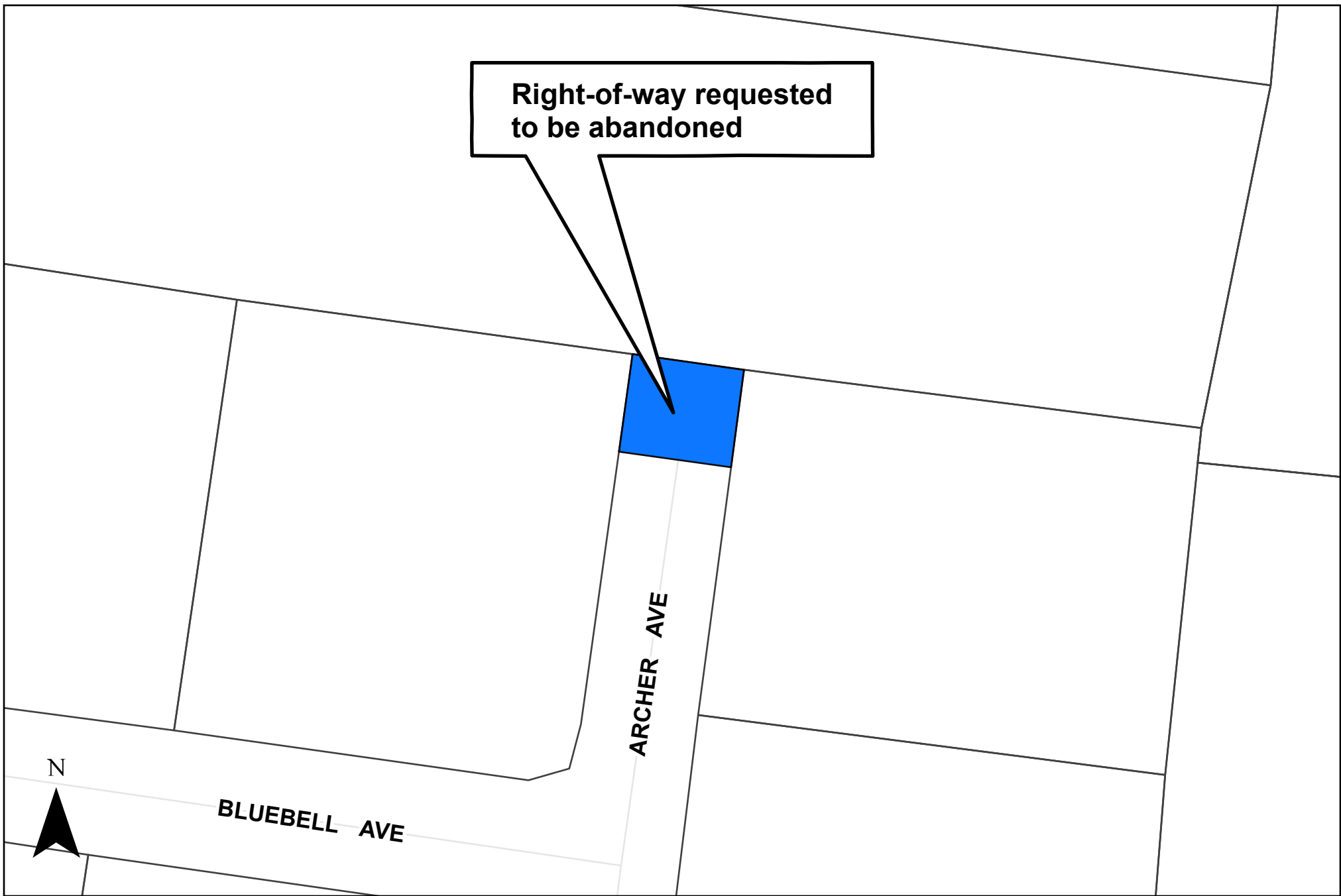
Efforts were made to contact AT&T to provide comment for this request but AT&T did not respond.

Atmos Energy

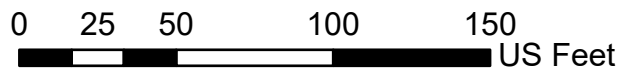
Atmos Energy does not object to the abandonment.

Comcast

Efforts were made to contact Comcast to provide comment for this request but Comcast did not respond.



Request to abandon a segment of Archer Avenue public right-of-way



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Request to abandon a segment of Archer Avenue public right-of-way

0 25 50 100 150
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

EXHIBIT
*Request for Right-of-Way
 Abandonment of
 Archer Avenue*
 November, 2023



50' 0 50'

Patton Family Real Estate Partnership, LP
 Tax Map 69, Parcel 42.00
 Record Book 346, Page 1993
 Zoned: PRD

**2,378.6± Sq. Ft. Area
 Requested to be
 Abandonment**

10' Public Utility &
 Drainage Easement
 (Plat Book 4, Page 73)

10' Public Utility &
 Drainage Easement
 (Plat Book 4, Page 73)

Lot 133, Section 7,
 Palmer Heights Subdivision
 Plat Book 4, Page 73
 Zoned: RS-15
 Donald E. Qualls, et ux Alice F.
 Tax Map 69-L, Group B, Parcel 9.00
 Deed Book 251, Page 161

Lot 154, Section 7,
 Palmer Heights Subdivision
 Plat Book 4, Page 73
 Zoned: RS-15
 Michael K. Macon, et ux Patsy A.
 Tax Map 69-L, Group B, Parcel 8.00
 Record Book 1643, Page 2607

Lot 153, Section 7,
 Palmer Heights Subdivision
 Plat Book 4, Page 73
 Zoned: RS-15
 Kathleen Dineen
 Tax Map 69-L, Group B, Parcel 7.00
 Deed Book 473, Page 392

Bluebell Avenue
 (Local Street; 50' Right-of-Way)

Archer Avenue
 (Local Street; 50' Right-of-Way)

NOTE: This Exhibit is provided for
 Planning Commission review only.

**HS HUDDLESTON-STEELE
 ENGINEERING, INC.**

2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 SURVEYING : 893 - 4084, FAX: 893 - 0080





**HUDDLESTON-STEELE
ENGINEERING, INC.**

2115 N.W. Broad Street • Murfreesboro, TN 37129 • Engineering 615-893-4084 • Surveying 615-890-0372 • FAX: 615-893-0080

November 11, 2023

Mr. Greg McKnight, Planning Director
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130

Re: Abandonment of Right-Of-Way
Northern termination of Archer Avenue
Murfreesboro, TN

Dear Mr. McKnight:

At the request of our client, Brightland Homes, we hereby make a request to abandon the right-of-way at the northern termination of Archer Avenue with a mandatory referral by the Planning Commission and City Council. This request is being made due to the requirement by City Council to not tie to Archer Avenue with the proposed development to the north. Consequently, the permanent termination of this road would no longer meet the International Fire Code's requirement to terminate roads greater than 150' in a turnaround. To solve this issue, we are proposing to terminate the right-of-way at 150' from the intersection of Archer Avenue and Bluebell Avenue.

Sincerely,

HUDDLESTON-STEELE ENGINEERING, INC.

Christopher Maguire, P.E.

Archer Avenue
Proposed Abandonment

Located in the 9th Civil District of Rutherford County, Tennessee. Bound on the north by Patton Family Real Estate Partnership, LP (Record Book 346, Page 1993); on the east by Lot 154, Section 7, Palmer Heights Subdivision (Plat Book 4, Page 73); on the south by the remainder of Archer Avenue; and on the west by Lot 133, Section 7, Palmer Heights Subdivision (Plat Book 4, Page 73).

Beginning at a point on the west right-of-way of Archer Avenue at it's north terminus, said point being the NE corner of Lot 133, Section 7, Palmer Heights Subdivision and the NW corner of this tract; thence with the south line of Patton Family Real Estates Partnership, LP S-81°34'25"-E, 50.00 feet to a point, being the NE corner of this tract; thence with the east right-of-way of Archer Avenue S-08°04'52"-W, 47.55 feet to a point, being the SE corner of this tract; thence passing across Archer Avenue N-81°37'19"-W, 50.00 feet to a point on the west right-of-way of Archer Avenue, being the SW corner of this tract; thence with the west right-of-way of Archer Avenue N-08°04'52"E, 47.59 feet to the point at the beginning; containing 2,378.6 square feet, more or less.

This tract is subject to all easements and/or restrictions either recorded or by prescription that a complete title search may reveal.

Prepared by:
Huddleston-Steele Engineering, Inc.
2115 Northwest Broad Street
Murfreesboro, TN 37129



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
JANUARY 10, 2024**

PRINICIPAL PLANNER: MARGARET ANN GREEN

- 5.b. Zoning application [2023-421] for approximately 31.3 acres located along Medical Center Parkway, Williams Drive and Tune Avenue to be rezoned from MU, GDO-3 and PSO to PUD (Fountains at Gateway), GDO-3 and PSO, Hearthstone Properties applicant.**

Introduction

The subject property is located along the north side of Medical Center Parkway, west of Tune Avenue and east of Carl Adams Drive and Williams Drive. The property is bounded by Medical Cetner Parkway to the south and the CSX railroad to the north, adjacent to the Gateway Island Pond. The properties consist of four parcels (Tax Map 091 Parcels 002.00, 002.03, 002.04, 002.05) currently owned by Hearthstone Properties and the City of Murfreesboro. Parcel 2.03 is developed with the Fountains at the Gateway Phase 1 commercial and office development. The remaining properties are undeveloped and are either owned by Hearthstone Properties or have contractual interest with Hearthstone. The properties consist of 31.3 acres and are zoned MU (Mixed Use District), GDO-3 (Gateway Design Overlay District) and PSO (Planned Signage Overlay). The application is to rezone the properties to PUD (Planned Unit District) and to remain within the GDO-3 and PSO Districts. The subject properties, the parcels to the east are a part of the Waterstone Office and Parkway Office commercial subdivisions. The properties to the east are a part of the Stones River residential subdivision. The proposed Sunset on the Stones venue is to the south, across Medical Center Parkway.

Background

In 2015, a master plan was approved with a mixture of restaurant, retail and office uses on a large commercial tract surrounded by the Murfreesboro Greenway system. Because the land was owned by the City of Murfreesboro, the City Council approved the sale of the land with conditions placed upon it regarding the creation of jobs. The City Council transferred more property to the applicant in 2022 with the potential for additional land.

In 2013, the Planning Department created a MU district and initiated a study to rezone properties to the newly created MU district. A few years after the creation of the MU district, the Murfreesboro City Council became aware that MU zoned properties were becoming consumed by multi-family uses. City Council asked staff to draft a Zoning Ordinance amendment that protected the mixed-use vision for this area and required properties to develop with primarily commercial, office and institutional uses. The current MU zone would permit 782 multi-family dwelling units.

FOUNTAINS AT GATEWAY PUD:

Overview

The rezoning application consists of two parts in three phases. The first part is the existing Fountains development, and the second part is for future development. This rezoning request will allow the development to continue the existing development pattern while giving flexibility and relief to proposed property lines with noted exceptions. It may also allow the reduction of parking with a shared parking agreement. Future property lines should maintain a minimum distance of 10-feet from structures. If not, the walls closest to the property lines will be required to be fire rated.

PUD (residential): The PUD proposes a maximum of 316 multi-family dwelling units. According to the applicant, condos will be sold to end users with a stipulation that any units needing to be rented for a period of time must be managed by Fountains and that there be minimum one-year rental periods, thus prohibiting any STR or AirBNB usage. Apartments will be owned and managed by Fountains.

Fountains PUD	Phase 2	Phase 3	Total #
studios	33	0	33
1-bedroom	56	61	117
2-bedroom	43	89	132
3-bedroom	31	3	34
	163	153	316

PUD (commercial): The zoning change also includes commercial development consisting of proposed office, retail, restaurant, and hotel space. Phase 2 is well developed, however phase 3 is still malleable and may require a PUD amendment in the future as development progresses.

Fountains PUD	Phase 1	Phase 2A	Phase 2B	Phase 2C	Phase 3
Office sq.ft.	87,000	57,460	-	23,517	
Retail sq.ft.	22,800	7,653	18,860	4,780	
Restaurant sq.ft.	13,000	3,400	8,200	-	
Hotel sq.ft.	-	-	72,940	-	
	122,800	68,513	100,000	28,297	232,800

Transportation, Circulation and Access:

The subject property has access to Medical Center Parkway, a major arterial. Currently the Public Infrastructure department is designing an additional lane along Medical Center Parkway in each direction. Engineering staff requested that the needed right-of-way be dedication with this project. Additionally, they have requested a Traffic Impact Study.

Purposes of Planned Develop District:

According to the Zoning Ordinance, the purposes of planned development district

regulations are as follows:

1. to promote flexibility in development design and to permit planned diversification in the location of structures;
2. to promote the efficient use of land by permitting a planned arrangement of buildings, circulation systems, land uses, and utilities;
3. to preserve existing landscape features and amenities and to utilize such features in a harmonious fashion;
4. to encourage the total planning of land tracts consistent with adopted long-range plans;
5. to permit the use of new and innovative land development techniques while assuring protection of existing adjacent development;
6. to encourage the functional and beneficial use of open spaces and to preserve natural features of a development site;
7. to promote the creation of a safe and desirable living environment for residential areas characterized by a unified site and development program;
8. to permit the creation of a variety of housing types compatible with surrounding development to provide a greater choice of types of environment and living units;
9. to promote the provision of attractive and appropriate locations for business and manufacturing uses in well-designed developments and the provision of opportunities for employment closer to residences with a reduction in travel time from home to work;
10. to encourage the revitalization of established commercial centers;
11. to promote the diversification in the uses permitted and variation in the relationship of uses, structures, open space, and height of structures in developments intended as cohesive, unified projects;
12. to encourage design in the development of land that is of a higher quality than is possible under the regulations otherwise applicable to the property; and,
13. to promote the significance of architectural and aesthetic improvements and details in atypical developments.

Exceptions

Exceptions must be specifically identified and requested in the application for a planned development. The Zoning Ordinance states the following regarding exceptions within planned developments:

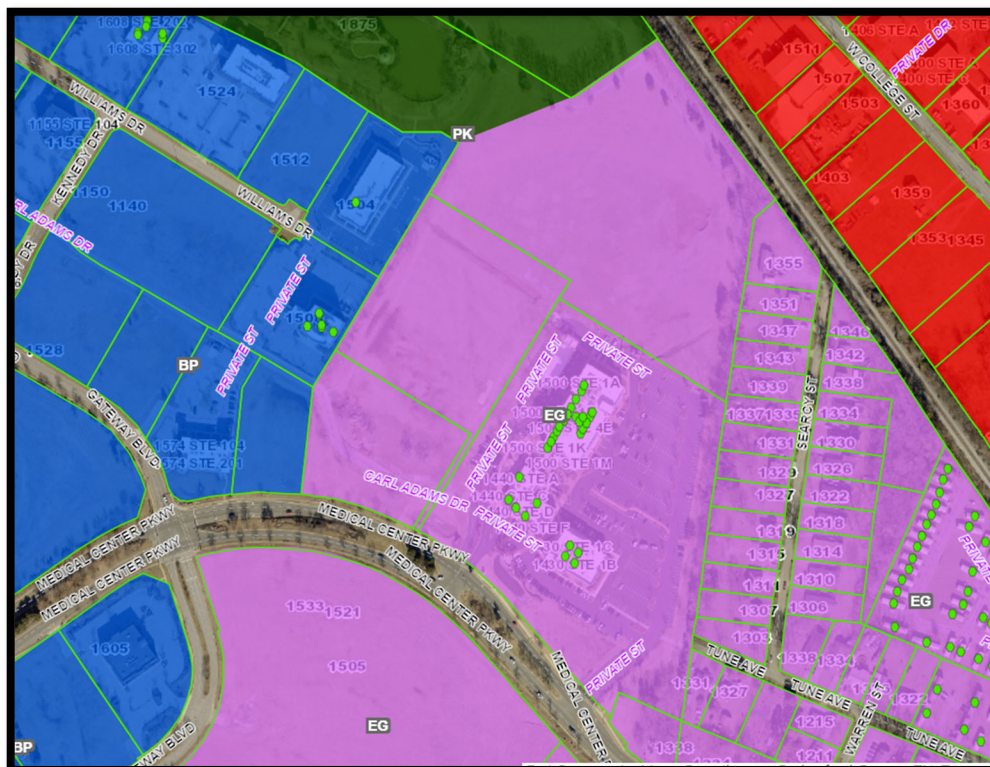
The planned development approval may provide for such exceptions from the Subdivision Regulations, Design Guidelines, and from district and overlay district zoning regulations governing use, density area, bulk, parking, architecture, landscaping, and open space as may be necessary or desirable to achieve the objectives of the proposed planned development, provided such exceptions are consistent with the standards and criteria contained in this section and have been specifically identified and requested in the application for a planned development.

Unless the application for a planned development contains a clear statement of exceptions to them, the standards and criteria of the Subdivision Regulations, Design Guidelines, and district and overlay district zoning regulations will apply to all planned developments. The specific zone district used as a comparison for the planned development shall be the most like zone district to the planned development, as determined by the Planning Director.

The PUD book identify four exceptions on page 13 of the program book. They are as follows:

1. Requesting exception to the Multi-family residential height requirement of 75' to allow for 150' consistent with Office & Hotel uses in GDO-3.
2. Exception to allow for zero setbacks between internal phase lines and between buildings within phases.
3. Exception to allow for reduced landscape areas between buildings & parking.
4. Exception to allow for reduced landscape yard between internal lot lines.
5. Exception to allow for ability to reduce parking requirements based on future parking study. This would be subject to the review and approval of the Planning Commission.
6. An exception to allow outdoor sales and the sale of food and beverage in park space and public open space for temporary special events.

Future Land Use Map



Employment-Generating Mixed-Use (EG)

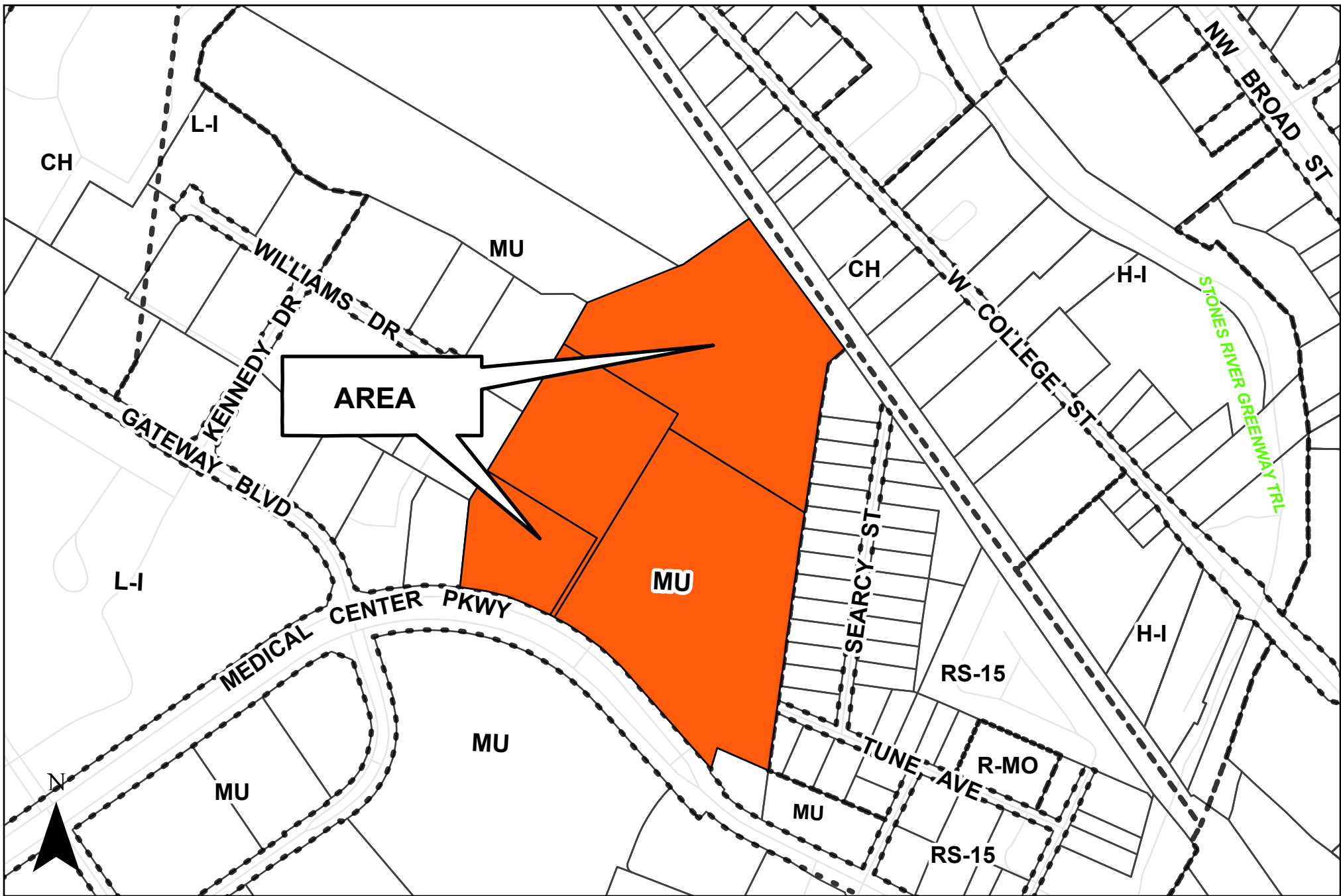
The Future Land Use Map amendment recommends Employment-Generating Mixed-Use land use characteristics. The overall purpose of the Employment-Generating Mixed-Use land use (EG) is to allow and encourage flexibility and creativity in the design and development of comprehensively planned, higher-density, high amenity mixed-use centers with a priority to create and foster employment generating uses. The proposed master plan for the Fountains is consistent with the Future Long Range Land Use Map and its associated objectives, particularly as an Employment-Generating area.

Recommendation:

Staff requests the Planning Commission to consider the following items in its review of this request:

1. The proposed development type and characteristics are consistent with the *Murfreesboro 2035 Comprehensive Plan*.
2. The proposed development type and characteristics are consistent with the *Murfreesboro 2035 Future Land Use Map*.
3. The Planning Commission should consider the appropriateness of the exceptions that are a part of the PUD.

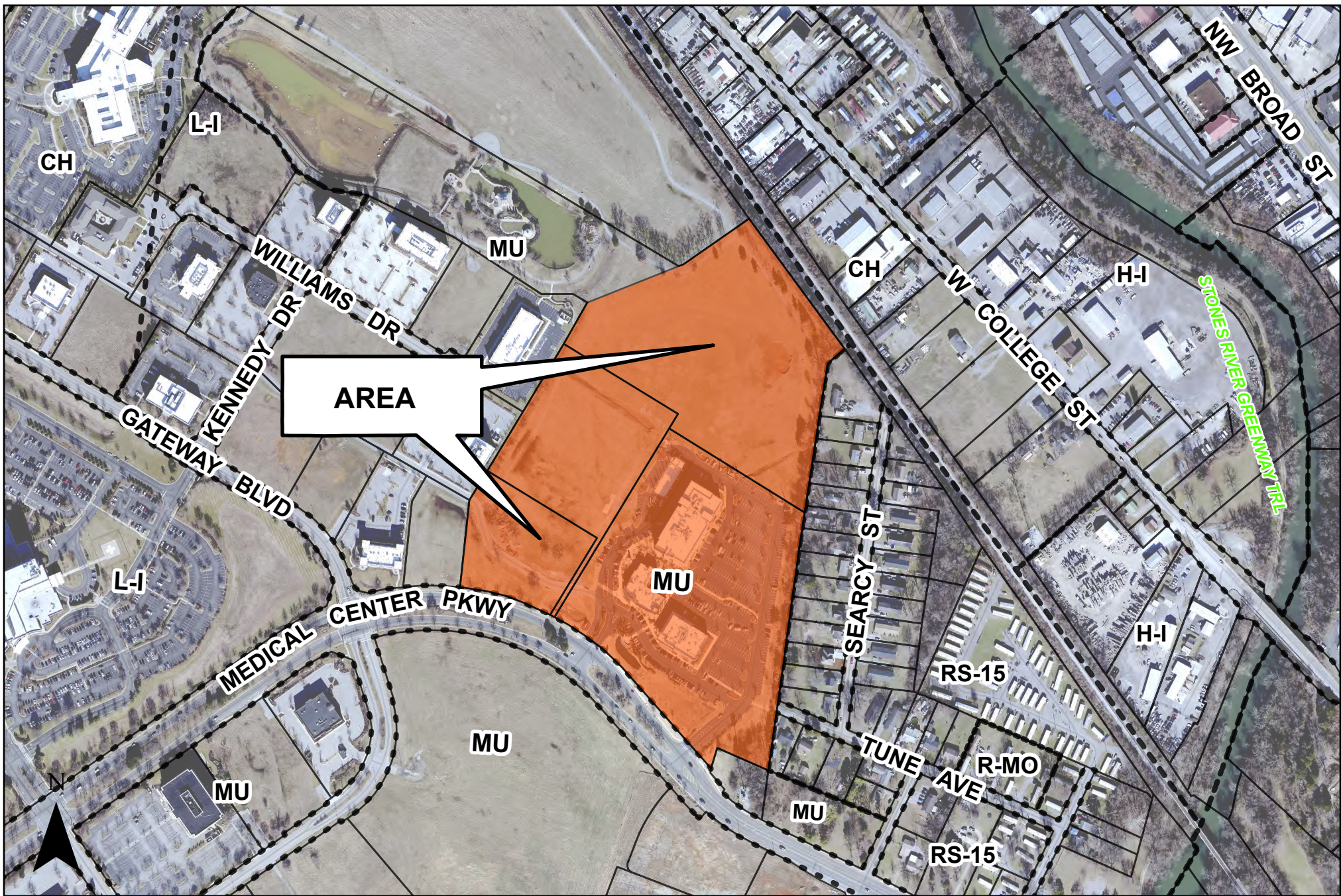
The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning request. A copy of the PUD program book is included with the agenda materials. The Planning Commission will need to conduct a public hearing and then discuss the matter, after which it will need to formulate a recommendation for the City Council.



Rezoning request for property along Medical Center Parkway
MU & GDO-3 to PUD (The Fountains PUD) & GDO-3

0 270 540 1,080 1,620
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Rezoning request for property along Medical Center Parkway
MU & GDO-3 to PUD (The Fountains PUD) & GDO-3

0 270 540 1,080 1,620
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

Creating a better quality of life

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Matt Hamilton

Address: 1500 Medical Center Pkwy, Suite 2J City/State/Zip: Murfreesboro, TN 37129

Phone: (615)546-6050 E-mail address: mhamilton@gmail.com

PROPERTY OWNER: Scott Graby, Hearthstone Properties

Street Address or
property description: 1500 Medical Center Pkwy

and/or Tax map #: 91 Group: _____ Parcel (s): 002.00, 002.03,
002.04, 002.05

Existing zoning classification: MU

Proposed zoning classification: PUD Acreage: ±31.28 ac

Contact name & phone number for publication and notifications to the public (if different from the applicant): _____

E-mail: _____

APPLICANT'S SIGNATURE (required): _____

DATE: 11.08.2023

*****For Office Use Only*****

Date received: _____ MPC YR.: _____ MPC #: _____

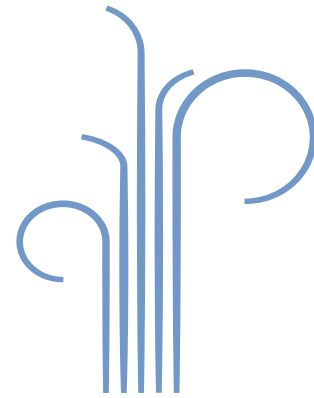
Amount paid: _____ Receipt #: _____

Revised 7/20/2018

THE FOUNTAINS

MURFREESBORO

A Planned Unit Development / Master Plan
Planning Commission Application



FOUNTAINS
AT GATEWAY

APPLICANT

Hearthstone Properties
Scott Graby
4925 Veterans Parkway
Murfreesboro, TN 37128
(615) 890-4651



RaganSmith

Paradym.
STUDIO

ARCHITECT

Paradym Studio
Tyler Thayer
761 Old Hickory Boulevard, Suite 301
Brentwood, TN 37027
(615) 258-5562

PLANNING

RaganSmith
Kevin Guenther
1500 Medical Center Parkway, Suite 2J
Murfreesboro, TN 37130
(615) 546-6050



SWS ENGINEERING, INC. MS DR.
San Diego ~ Phoenix ~ Nashville ~ Orlando

ENGINEERING

SWS Engineering
504 Autumn Springs Court, Suite A-6
Franklin TN 37067
(615) 716-0683



TABLE OF CONTENTS

a

PROJECT INTRODUCTION

- Introduction

b

EXISTING CONDITIONS

- Location Map
- Existing Site Conditions
- Natural Resources
- Existing Utilities
- Existing Zoning
- Existing Future Land Use

c

THE MASTER PLAN

- Master Plan
- Master Plan Site Data
- Land Use Table
- Land Use Parameters & Requested Exceptions
- Phasing Plan
- Community Management & Operations
- Vehicular Transportation Network
- Pedestrian Circulation Plan

d

ARCHITECTURE

- Phase 1 Building 1A (Mixed-Use)
- Phase 1 Amenities
- Phase 1 Building 1B (Retail)
- Phase 1 Building 1C (Medical Office)
- Phase 2 Massing Study
- Phase 2 Building 2A
- Materials Across Campus
- Phase 2 Building 2B (Boutique Hotel)
- Phase 2 Building 2B Amenities
- Phase 2 Building 2C (Mixed-Use)
- Phase 2 Building 2C Amenities ("The District")
- Phase 3 Buildings 3C & 3D (Residential Towers)
- Phase 3 Buildings 3C & 3D Amenities
- Phase 3 Buildings 3A (Mixed-Use)
- Phase 3 Buildings 3A Amenities
- Phase 3 Buildings 3B (Mixed-Use Office)
- Phase 3 Buildings 3E (Signature Restaurant)
- Phases 2 & 3 Pocket Parks
- Planned Development Regulations



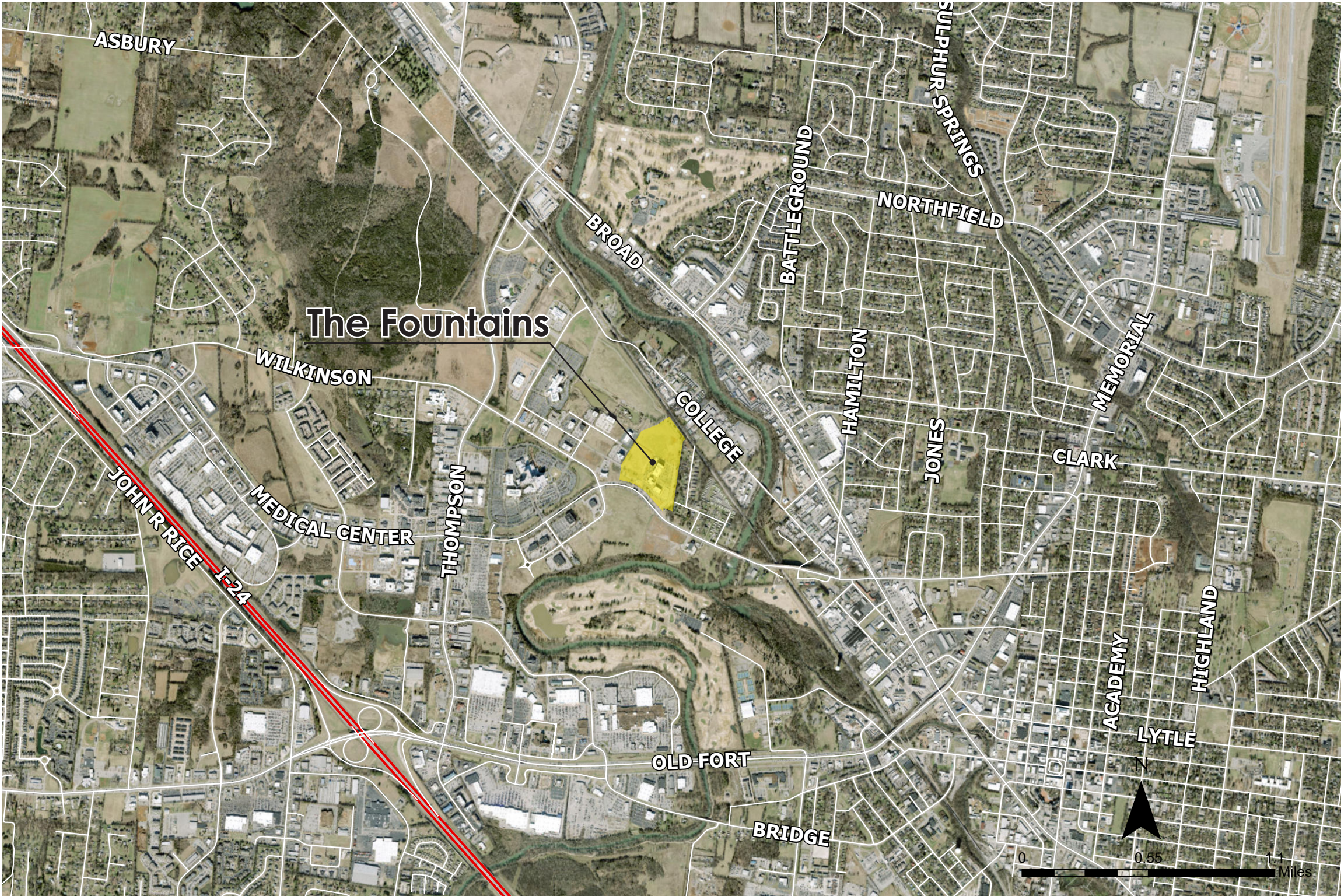
Hearthstone Properties, in collaboration with Ragan Smith, Paradym Studio, and SWS Engineering, shares a collective vision of creating a vibrant community that leaves a lasting impression on both visitors and residents. This vision places a strong emphasis on exciting architecture, pocket parks and green spaces, as well as a deep sense of belonging fostered through social programs that weave the fabric of a close-knit community. The Fountains project is poised to bring this vision to life.

Sitting on approximately 32 acres, The Fountains stands as a distinctive property within the Gateway District, unlike any other. It represents a significant development opportunity, occupying a prime position along the north side of Medical Center Parkway. The meticulously crafted master plan has been designed to seamlessly integrate with and respect the existing land uses and transportation networks that surround it.

The creation of an overarching Master Plan for these parcels allows for the thoughtful consideration of a diverse mix of uses that complement one another, as well as harmonize with the broader surrounding land uses.

Central to the Master Plan is a focus on pedestrian-friendly circulation, with pocket parks and atriums enhancing connectivity and promoting a walkable lifestyle. The overarching goal of The Fountains is to enrich the lives of Murfreesboro's residents and visitors by offering a high-quality living, shopping, working, and leisure experience, all conveniently accessible in one walkable location. With these exceptional attributes, the project is poised to attract a wide spectrum of residents, business owners, office occupants, and apartment tenants, including young urban professionals, couples embarking on family life, and mature couples alike.

The Fountains is situated within the Gateway Design Overlay-3, adjacent to the Medical Center Parkway and in close proximity to Gateway Island Park. The Fountains is surrounded by a diverse and dynamic blend of existing land uses, including the presence of St. Thomas Rutherford Hospital and medical facilities to the west, with single-family residences to the east.





The Fountains site is situated along Medical Center Parkway and Phase 1 is currently owned by Scott Graby and the Hearthstone Group LLC. Their address is 4925 Veterans Parkway, Murfreesboro, TN 37128. The City of Murfreesboro currently owns the parcels for Phases 2 & 3, with Hearthstone having contractual interest. The existing Fountains Phase 1 property spans approximately 12.7 acres, and an additional 18.6 acres will be incorporated in phases 2 and 3, expanding the overall site to approximately 31.3 acres. Phases 2 and 3 primarily consist of flat, undeveloped land. This location is conveniently located about 2.8 miles from the I-24 interchange and 2.1 miles from Downtown Murfreesboro. The Fountains site is adjacent to Gateway Island Park and connects to the existing greenway.

THE FOUNTAINS

Flood zone information taken from FIRM maps as provided by FEMA.

FIRM Panel: 47149C0260J Effective Date: 5/9/2023





Water (City of Murfreesboro Water Resources Department)

City of Murfreesboro Water Resources Department (MWRD) maintains the water lines for this area of the city. MWRD has an existing 12-inch water main along Medical Center Boulevard.

Sanitary Sewer (City of Murfreesboro Water Resources Department)

The City of Murfreesboro Water Resources Department (MWRD) maintains the sanitary sewer in this area. The Cities allocation ordinance does not limit density in the Gateway Design Overlay District. Currently, the MWRD anticipates the capacity to handle the proposed development.

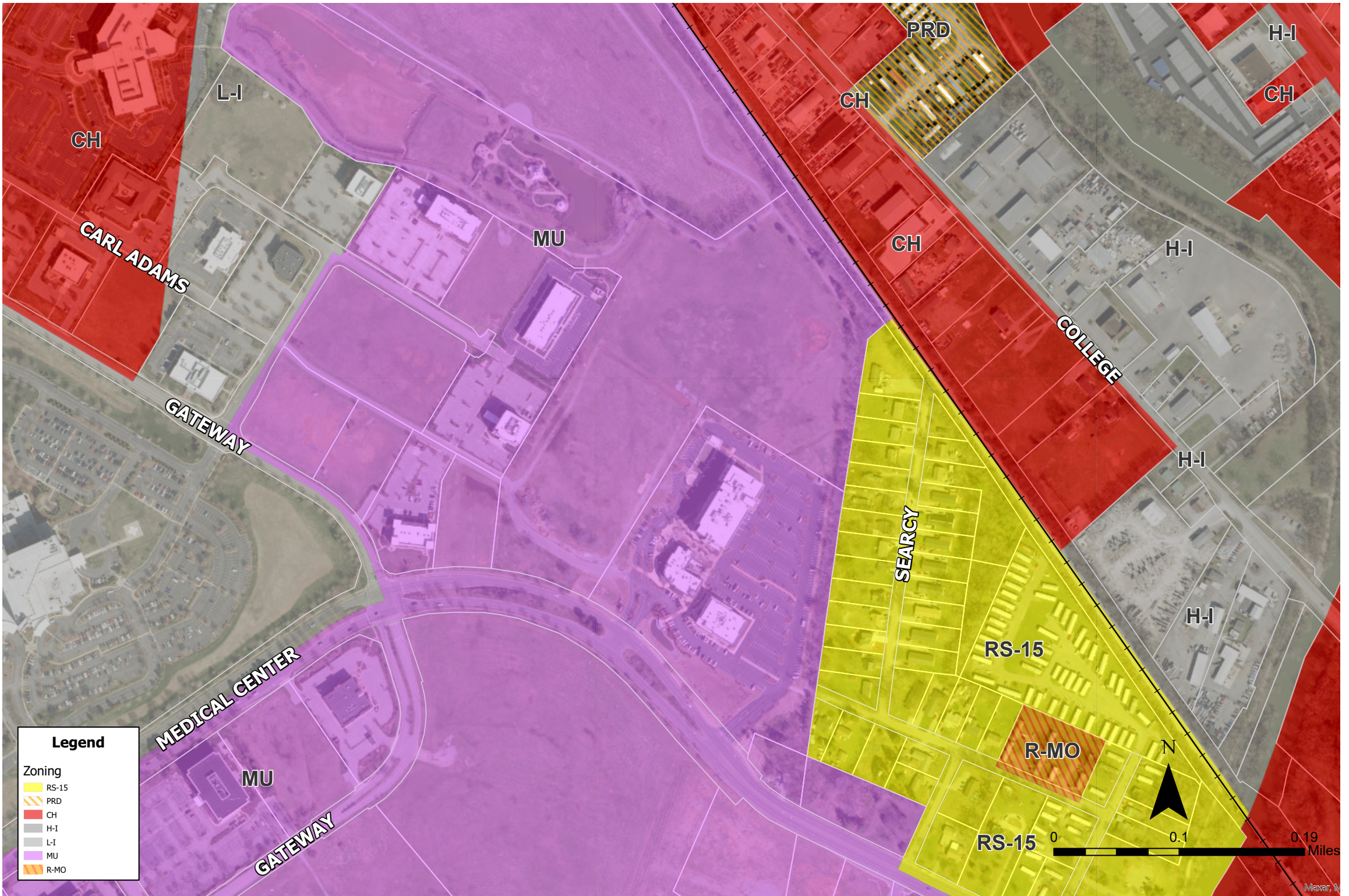
Repurified Water (City of Murfreesboro Water Resources Department)

The City of Murfreesboro Water Resources Department (MWRD) maintains the Repurified water in this area. An existing 12-inch line is located along Medical Center Parkway.

Electric (Middle Tennessee Electric)

Middle Tennessee Electric (MTE) maintains the electric lines for this area of the city. MTE has existing underground electrical lines running along Medical Center Boulevard.

The current zoning designation for the Fountains is Mixed Use (MU), with Mixed Use (MU) zoning surrounding it to the north, south, and west, while the eastern side is zoned as RS-15.





The Future Land Use Map designates the area of The Fountains as Employment-Generating.

Employment-Generating defined:

The overall purpose of the Employment-Generating Mixed-Use land use (EG) is to allow and encourage flexibility and creativity in the design and development of comprehensively planned, higher-density, high-amenity mixed-use centers with a priority to create and foster employment generating uses.

The proposed master plan for the Fountains aligns seamlessly with the Future Long Range Land Use Map and its associated objectives, particularly as an Employment-Generating area. It underscores the significant investments made in infrastructure and design quality within the Murfreesboro Gateway. This location is exceptionally well-suited for a diverse range of high-density uses and residential options, contributing to the thriving growth and commerce of the Gateway.

Major Transportation Plan (MTP)

As part of the MTP, the City plans to add an additional lane along Medical Center Parkway.

THE FOUNTAINS



OWNER/DEVELOPER:	HEARTHSTONE GROUP, LLC 4925 VETERANS PKWY. MURFREESBORO, TN 37128 ATTN: SCOTT GRABY
OWNER:	CITY OF MURFREESBORO
TAX MAP:	91, 2.00, 2.03 2.04 & 2.05
AREA:	31.28 AC
EXISTING ZONE:	MU (MIXED USE)
PROPOSED ZONE:	PUD GATEWAY DISTRICT OVERLAY 3
DENSITY PERMITTED UNDER CURRENT MU ZONE:	25 UNITS PER ACRE 25 X 31.28 = 782 UNITS
PROPOSED DENSITY:	10.10 UNITS PER ACRE 316 UNITS, ALL 3 PHASES
MINIMUM BUILDING SETBACKS FOR PERIMETER PUD LOT LINE:	FRONT: 50' SIDE: 10' REAR: 20'
MAXIMUM BUILDING HEIGHT:	150'
FEMA FLOOD MAP:	47149C0260J ZONE X, DATED, 5-9-2023
LIGHTING:	PROPOSED LIGHTING TO MATCH EXISTING PHASE 1 LIGHTING STYLE & COMPLY WITH THE MURFREESBORO ZONING ORDINANCE & DESIGN GUIDELINES

- NOTES:
- CONDOS WILL BE SOLD TO END USERS WITH A STIPULATION THAT ANY UNITS NEEDING TO BE RENTED FOR A PERIOD OF TIME MUST BE MANAGED BY FOUNTAINS AND THAT THERE BE MINIMUM ONE-YEAR RENTAL PERIODS, THUS PROHIBITING ANY SHORT TERM RENTAL USAGE. APARTMENTS WILL BE OWNED AND MANAGED BY FOUNTAINS.
 - AS A PART OF FINAL SITE PLAN APPROVAL FOR PHASE 2 & PHASE 3 A REVISED PLAT SHALL BE PROVIDED SHOWING ASSOCIATED LOT LINE CHANGES RELATIVE TO THE PROPOSED DEVELOPMENT.
 - ZERO SETBACKS ARE BEING REQUESTED AS AN EXCEPTION BETWEEN INTERNAL PHASE LINES AND BETWEEN BUILDINGS WITHIN PHASES.

PHASE 1 (EXISTING)

LAND AREA	12.7 AC
OFFICE BUILDING 1A: 4 STORIES/100,000 SF (INCLUDES 13,000 SF RESTAURANT)	
RETAIL BUILDING 1B: 1 STORY/11,100 SF	
RETAIL BUILDING 1C: 1 STORY/11,700 SF	
TOTAL BUILDING AREA	122,800 SF
PARKING REQUIRED:	
OFFICE 87,000 SF / 300 SF = 290 SPACES	
RETAIL 20,800 SF / 300 SF = 70 SPACES	
RESTAURANT 15,000 SF / 100 SF = 150 SPACES	
TOTAL PH 1. REQUIRED	510 SPACES
OPEN SPACE REQUIRED: 20%	
FORMAL OPEN SPACE REQUIRED: 3%	
OPEN SPACE PROVIDED: 29.7% (164,524 SF)	
FORMAL OPEN SPACE PROVIDED: 4.4% (24,178 SF)	

PHASE 2:

LAND AREA	8.11 AC
BUILDING 2A	5 STORIES/124,800 SF (RESIDENTIAL,OFFICE,RETAIL,RESTAURANT)
	21 - 1 BEDROOM UNITS
	29 - 2 BEDROOM UNITS
	3 - 3 BEDROOM UNITS
	57,460 SF OFFICE
	7,653 SF RETAIL
	3,400 SF RESTAURANT
RESIDENTIAL	21 X 1.5 SPACES/UNIT = 31.5 = 32 SPACES
	29 X 2BR X 1.1 SPACES/BR = 63.8 = 64 SPACES
	3 X 3BR X 1.1 SPACES/BR = 9.9 = 10 SPACES
OFFICE	57,460 SF / 300 SF = 191.5 = 192 SPACES
RETAIL	7,653 SF / 300 SF = 26 SPACES
RESTAURANT	3,400 SF / 100 SF = 34 SPACES
PARKING REQUIRED:	358 SPACES
PHASE 2A OPEN SPACE	
OPEN SPACE REQUIRED: 20%	
FORMAL OPEN SPACE REQUIRED: 3%	
OPEN SPACE PROVIDED: 32.7% (253,969 SF)	
FORMAL OPEN SPACE PROVIDED: 4.8% (36,995 SF)	
PHASE 2B:	
BUILDING 2B	100,000 SF (HOTEL,RETAIL,RESTAURANT, OTHER)
HOTEL	136 ROOMS X 1 SPACE/RM = 136 SPACES
RESTAURANT	8,200 Sf / 100 Sf = 100 X 0. 75 = 62 SPACES
RETAIL	18,860 SF/ 300 Sf= 62.9 = 69 X 0.75 = 48 SPACES
PARKING REQUIRED:	246 SPACES
BUILDING 2C	135,953 SF (RETAIL, OFFICE, MULTI-FAMILY)
RETAIL	4,780 SF/ 300 Sf= 15.9 = 16 SPACES
OFFICE	23,517 Sf/ 300 Sf= 78.4 = 79 SPACES
MULTI-FAMILY	21 - STUDIO UNITS X 1.5 = 31.5 SPACE
	23 - 1 BEDROOM UNITS X 1.5 = 34.5 SPACES
	2 - 2 BEDROOM UNITS X 1. 1/BED = 3 SPACES
	4 - 3 BEDROOM UNITS X 1.1/BED = 5 SPACES
PARKING REQUIRED	169 SPACES
TOTAL PH. 2 REQUIRED	773 SPACES
TOTAL RESIDENTIAL UNITS PH. 2	103 UNITS
PHASE 2B OPEN SPACE	
OPEN SPACE REQUIRED: 20%	
FORMAL OPEN SPACE REQUIRED: 3%	
OPEN SPACE PROVIDED: 35.2% (318,706 SF)	
FORMAL OPEN SPACE PROVIDED: 4.1% (36,995 SF)	

PHASE 3 (FUTURE):

LAND AREA	10.47 AC
BUILDING 3A	5 STORIES/124,800 SF (RESIDENTIAL,OFFICE,RETAIL,RESTAURANT)
	21 - 1 BEDROOM UNITS
	29 - 2 BEDROOM UNITS
	3 - 3 BEDROOM UNITS
	57,460 SF OFFICE
	7,653 SF RETAIL
	3,400 SF RESTAURANT
PARKING REQUIRED:	358 SPACES
BUILDING 3B	
OFFICE /RETAIL	100,000 SF / 300 SF = 333 SPACES
PARKING REQUIRED	333 SPACES
BUILDING 3C	10 STORY RESIDENTIAL TOWER - 80 UNITS
	35 - 1 BEDROOM UNITS
	45 - 2 BEDROOM UNITS
RESIDENTIAL	35 X 1.5 SPACES/UNIT = 53 SPACES
	45 X 2BR X 1.1 SPACES/BR = 50 SPACES
PARKING REQUIRED:	103 SPACES
BUILDING 3D	10 STORY RESIDENTIAL TOWER - 80 UNITS
	35 - 1 BEDROOM UNITS
	45 - 2 BEDROOM UNITS
RESIDENTIAL	35 X 1.5 SPACES/UNIT = 53 SPACES
	45 X 2BR X 1.1 SPACES/BR = 50 SPACES
PARKING REQUIRED:	103 SPACES
BUILDING 3E	8,000 SF RESTAURANT
RESTAURANT	8,000 SF / 100 SF = 80 SPACES
PARKING REQUIRED:	80 SPACES
TOTAL PH. 3 REQUIRED:	977 SPACES
TOTAL RESIDENTIAL UNITS PH. 3	213 UNITS
PHASE 3 OPEN SPACE	
OPEN SPACE REQUIRED: 20%	
FORMAL OPEN SPACE REQUIRED: 3%	
OPEN SPACE PROVIDED: 32.6% (443,664 SF)	
FORMAL OPEN SPACE PROVIDED: 4.5% (61,499 SF)	

TOTAL PARKING

PARKING SPACES REQUIRED: 510 + 773 + 1006 = 2,289 SPACES	
PHASE 1, 2 AND 3	
PARKING SPACES PROVIDED:	PHASE 1 - 519 EXISTING SPACES
	PHASE 2 - 166 SURFACE
	PHASE 2 - 131 UPPER LEVEL PARKING GARAGE
	PHASE 2 - 298 LOWER LEVEL PARKING GARAGE
	PHASE 3 - 358 SURFACE
	PHASE 3 - 837 GARAGE
	2,309 TOTAL SPACES PROVIDED

USES PERMITTED	ZONING DISTRICTS			
	Phase 1	Phase 2A PUD	Phase 2B PUD	Phase 3 PUD
DWELLINGS (RESIDENTIAL)				
Single-Family attached		X	X	X
Multiple-Family		x	x	x
OTHER HOUSING				
Accessory Dwelling Unit				
Assisted-Care Living Facility				
Emergency Shelter				
Extended Stay Hotel/Motel				
Class III Home for the Aged				
Hotel			x	x
Motel				
INSTITUTIONS				
Adult Day Care Center				
Church		x	x	x
College, University				
Day-Care Center	x	x	x	x
Family Day-Care Home				
Hospital		x	x	x
Lodge, Club, Country Club				
Mental Health Facility				
Morgue				
Museum	x	x	x	x
Nursing Home				
Nursery School	x	x	x	x
Park	x	x	x	x
Philanthropic Institution	x	x	x	x
Public Building	x	x	x	x
Recreation Field	x	x	x	x
Senior Citizens Center				
School, Public or Private, Grades K - 12	x	x	x	x
Student Center	x	x	x	x
COMMERCIAL				
Amusements, Commercial Indoor				
Amusements, Commercial Outdoor excluding Motorized				
Animal Grooming Facility	x	x	x	x
Antique Mall				

- Notes**
1. The Fountains zoning is generally based off Mixed-Use Zoning designation from 2023 Zoning Ordinance with minor modifications. Uses listed and left blank are permitted uses under the Mixed-Use zoning, but are proposed not to be included within the PUD.
 2. Permitted uses highlighted with a green **X** are uses not currently permitted in the Mixed-Use district, but are being proposed to be included within the PUD.
 3. Restaurants that primarily promote food consumption within motor vehicles on the premises will not be permitted.
 4. Financial services permitted include banks, financial advisors, investment management services, tax-preparation services and other similar type financial services. "Pay-day loan" services and cash advance facilities will not be permitted.
 5. Garden and lawn supply operations shall display merchandise indoors. No outdoor storage shall be permitted.
 6. Kiosk use will be restricted to "walk-up" style kiosk operations in open space or park settings. Vehicular drive-up use is prohibited.

USES PERMITTED	ZONING DISTRICTS			
	Phase 1	Phase 2A PUD	Phase 2B PUD	Phase 3 PUD
Antique Shop <3,000 sq. ft	x	x	x	x
Art or Photo Studio or Gallery	x	x	x	x
Automotive Repair				
Bakery, Retail	x	x	x	x
Bank, Branch Office	x	x	x	x
Bank, Drive-Up Electronic Teller	x	x	x	x
Bank, Main Office	x	x	x	x
Barber or Beauty Shop	x	x	x	x
Book or Card Shop	x	x	x	x
Brewpub	x	x	x	x
Business School	x	x	x	x
Business and Communication Service	x	x	x	x
Catering Establishment	x	x	x	x
Clothing Store	x	x	x	x
Coffee, Food, or Beverage Kiosk ³	x	x	x	x
Commercial Center	x	x	x	x
Convenience Sales and Service, maximum 5,000 sq. ft. floor area	x	x	x	x
Department or Discount Store				
Dry Cleaning				
Financial Service Pay-day loan businesses are not permitted	x	x	x	x
Flower or Plant Store	x	x	x	x
Funeral Home				
Garage, Parking		x	x	x
Garden and Lawn Supplies				
Gas Station				
General Service and Repair Shop				
Glass--Auto, Plate, & Window				
Glass--Stained and Leaded				
Greenhouse or Nursery				
Group Assembly, <250 Persons	x	x	x	x
Group Assembly, >250 Persons	x	x	x	x
Health Club		x	x	x
Interior Decorator	x	x	x	x
Janitorial Service				
Karate, Instruction				
Keys, Locksmith				

Notes

1. The Fountains zoning is generally based off Mixed-Use Zoning designation from 2023 Zoning Ordinance with minor modifications. Uses listed and left blank are permitted uses under the Mixed-Use zoning, but are proposed not to be included within the PUD.
2. Permitted uses highlighted with a green **X** are uses not currently permitted in the Mixed-Use district, but are being proposed to be included within the PUD.
3. Restaurants that primarily promote food consumption within motor vehicles on the premises will not be permitted.
4. Financial services permitted include banks, financial advisors, investment management services, tax-preparation services and other similar type financial services. "Pay-day loan" services and cash advance facilities will not be permitted.
5. Garden and lawn supply operations shall display merchandise indoors. No outdoor storage shall be permitted.
6. Kiosk use will be restricted to "walk-up" style kiosk operations in open space or park settings. Vehicular drive-up use is prohibited.

USES PERMITTED	ZONING DISTRICTS			
	Phase 1	Phase 2A PUD	Phase 2B PUD	Phase 3 PUD
Laboratories, Medical	x	x	x	x
Laboratories, Testing	x	x	x	x
Liquor Store	x	x	x	x
Motor Vehicle Service				
Movie Theater		x	x	x
Music or Dancing Academy	x	x	x	x
Offices	x	x	x	x
Optical Dispensaries				
Personal Service Establishment				
Pet Shops	x	x	x	x
Pharmacies	x	x	x	x
Radio, TV, or Recording Studio	x	x	x	x
Reducing and Weight Control Service	x	x	x	x
Restaurant and Carry-Out Restaurant	x	x	x	x
Restaurant, Specialty	x	x	x	x
Restaurant, Specialty -Limited	x	x	x	x
Retail Shop, other than enumerated elsewhere	x	x	x	x
Shopping Center, Community	x	x	x	x
Shopping Center, Neighborhood	x	x	x	x
Shopping Center, Regional	x	x	x	x
Specialty Shop	x	x	x	x
Veterinary Office	x	x	x	x
Veterinary Clinic	x	x	x	x
Veterinary Hospital	x	x	x	x
Vehicle Sales, Rental (Non-Motorized)				
INDUSTRIAL				
Printing and Publishing	x	x	x	x
TRANSPORTATION AND PUBLIC UTILITIES				
Post Office or Postal Facility				
Telephone or Communication Services				
Electric Transmission, Gas Piping, Water/Sanitary Sewer Pumping Station				
OTHER				
Home Occupations		x	x	x

- Notes
1. The Fountains zoning is generally based off Mixed-Use Zoning designation from 2023 Zoning Ordinance with minor modifications. Uses listed and left blank are permitted uses under the Mixed-Use zoning, but are proposed not to be included within the PUD.
 2. Permitted uses highlighted with a green **X** are uses not currently permitted in the Mixed-Use district, but are being proposed to be included within the PUD.
 3. Restaurants that primarily promote food consumption within motor vehicles on the premises will not be permitted.
 4. Financial services permitted include banks, financial advisors, investment management services, tax-preparation services and other similar type financial services. "Pay-day loan" services and cash advance facilities will not be permitted.
 5. Garden and lawn supply operations shall display merchandise indoors. No outdoor storage shall be permitted.
 6. Kiosk use will be restricted to "walk-up" style kiosk operations in open space or park settings. Vehicular drive-up use is prohibited.

MU & GDO-3 Land-Use Parameters				
	Phase 1	Phase 2A	Phase 2B	Phase 3
RESIDENTIAL DENSITY				
Maximum Dwelling Units Multiple-Family	-	-	-	-
Maximum Dwelling Units Single-Family attached	-	-	-	-
Minimum Lot Area	None	5 acres for multiple-family N/A for all other uses	5 acres for multiple-family N/A for all other uses	5 acres for multiple-family N/A for all other uses
Minimum Lot Width	100'	100'	100'	100'

MINIMUM YARD REQUIREMENTS				
Minimum Front Yard	50'	50'	50'	50'
Minimum Side Yard	10'	10'	10'	10'
Minimum Rear Yard	20'	20'	20'	20'

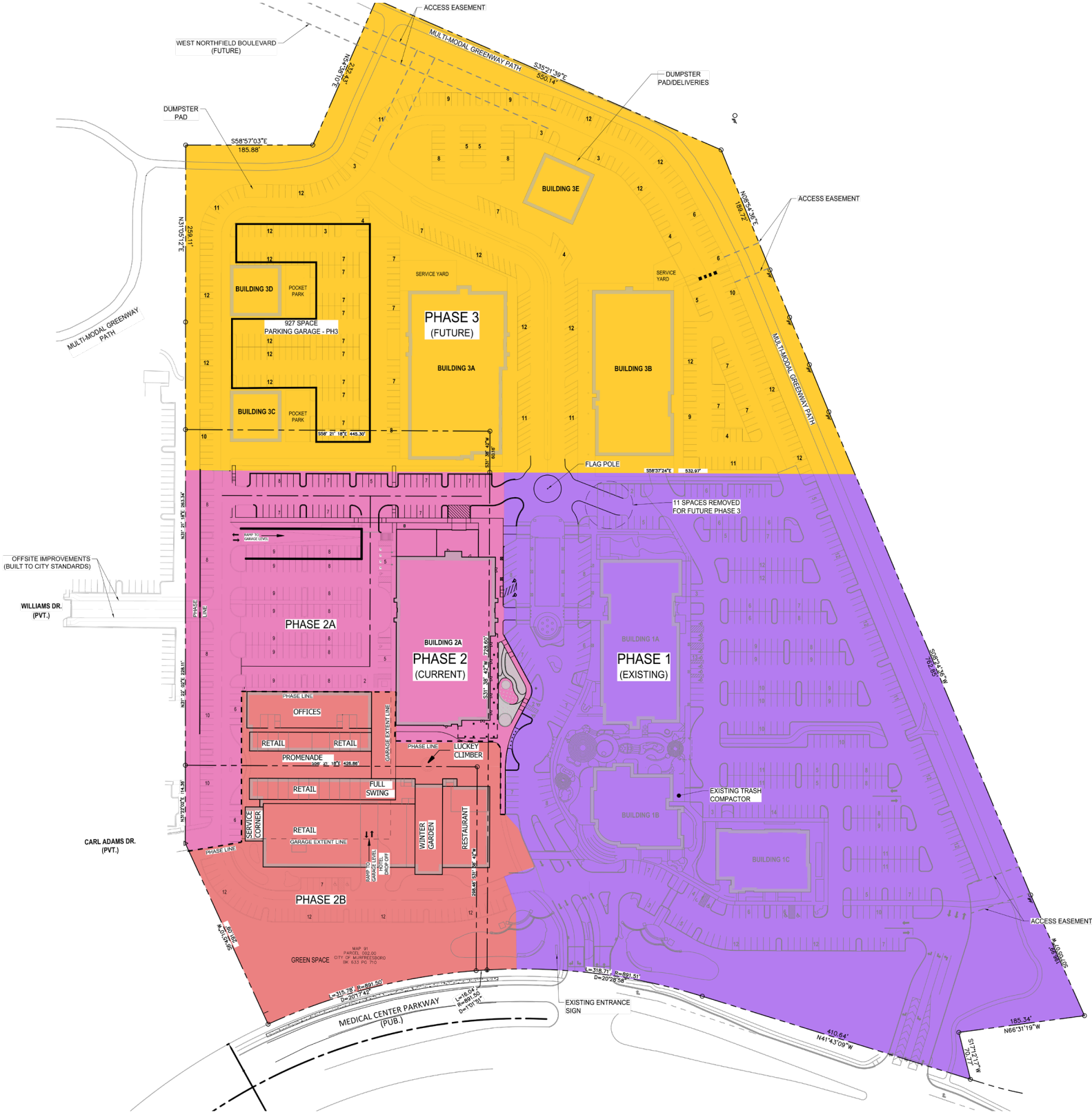
LAND-USE INTENSITY RATIOS				
Max FAR	None	None	None	None
Minimum Livable Space Ratio	None	None	None	None
Minimum Open Space Requirement	20%	20%	20%	20%
Minimum Formal Open Space Requirement	5% based on site acreage and use as determined in 2020 Zoning Ordinance			
Min Lot Coverage	None	None	None	None
Max Height	150'	150'	75'	150' for multiple-family uses 150' for commercial/office uses
Parking Ratio	Per "Chart 4" of 2020 Zoning Ordinance			

Landscape Yard Minimums and Building Setbacks			
Roadway	Minimum Landscape Yard	Building Setback	Notes
Medical Center Parkway	25'	50'	Arterial Road

Requested Exceptions

Exception

1. Requesting exception to the Multi-family residential height requirement of 75' to allow for 150' consistent with Office & Hotel uses in GDO-3
2. Exception to allow for zero setbacks between internal phase lines and between buildings within phases.
3. Exception to allow for reduced landscape areas between buildings & parking.
4. Exception to allow for reduced landscape yard between internal lot lines.
5. Exception to allow for the ability to reduce parking requirements based on a future parking study that shall be reviewed and approved by the Planning Commission.
6. An exception to allow outdoor sales and the sale of food and beverage in park space and public open space for temporary special events



Construction Phase Estimate		Approximate Time Frame
Phase 1	Existing	2016- 2018
Phase 2A	Mixed-use building	2024- 2026
Phase 2B	Boutique Hotel, Retail Promenade, Office	2026- 2028
Phase 3	Residential, Mixed-use buildings	2030- 2034

- Note**
- 1. Phasing is approximate and subject to change
 - 2. Phase 3 is conceptual in nature.
 - 3. Open space requirements to be met with each phase.

As the Master Developer of The Fountains, the Hearthstone Properties team will implement development management and operations controls to ensure that the community is developed and managed in accordance with the approved PUD Master Plan and to implement the vision of the Master Developer and design team. Elements of the management and operations are:

Development Management - The Master Developer will manage the design, permitting, construction and close-out of the horizontal infrastructure within The Fountains including mass grading, utilities, stormwater management and roadways. Development management by the Master Developer will be performed directly for the Hearthstone Properties development.

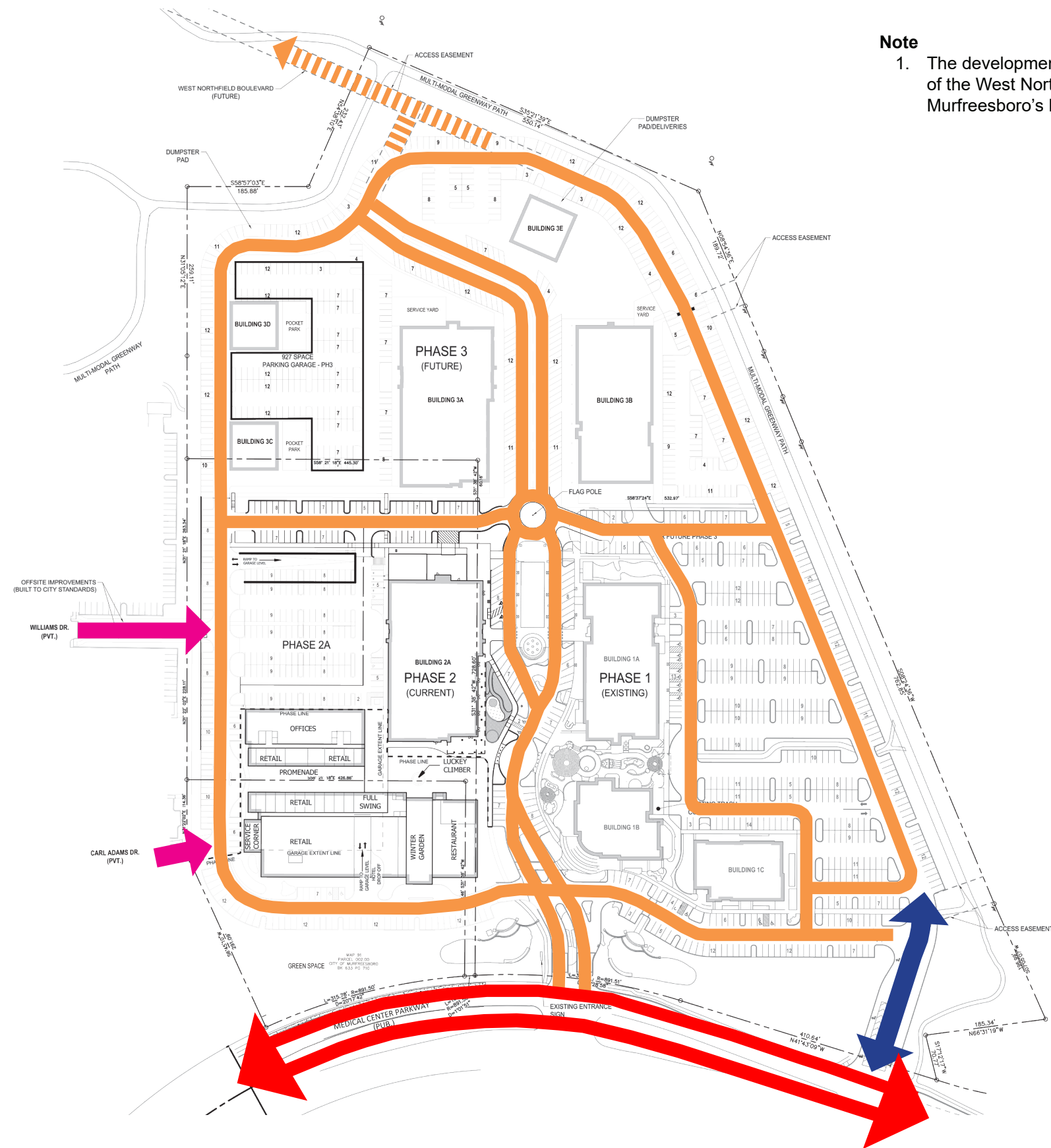
Site Plan Reviews - The Master Developer will work through an iterative site plan design process with potential land sales to ensure that all site plans are consistent with the overall site planning and landscape themes of The Fountains including strong pedestrian connectivity.

Architectural and Landscape Design Review - The Master Developer will create and coordinate the activities of an architectural review committee that will review the building plans for all commercial parcel owners within The Fountains. Commercial owners will be encouraged to submit preliminary design concepts for an initial review prior to formalizing purchase contracts with the formal review taking place thereafter. The Committee will include a registered architect and landscape architect in addition to the Hearthstone Properties team members.

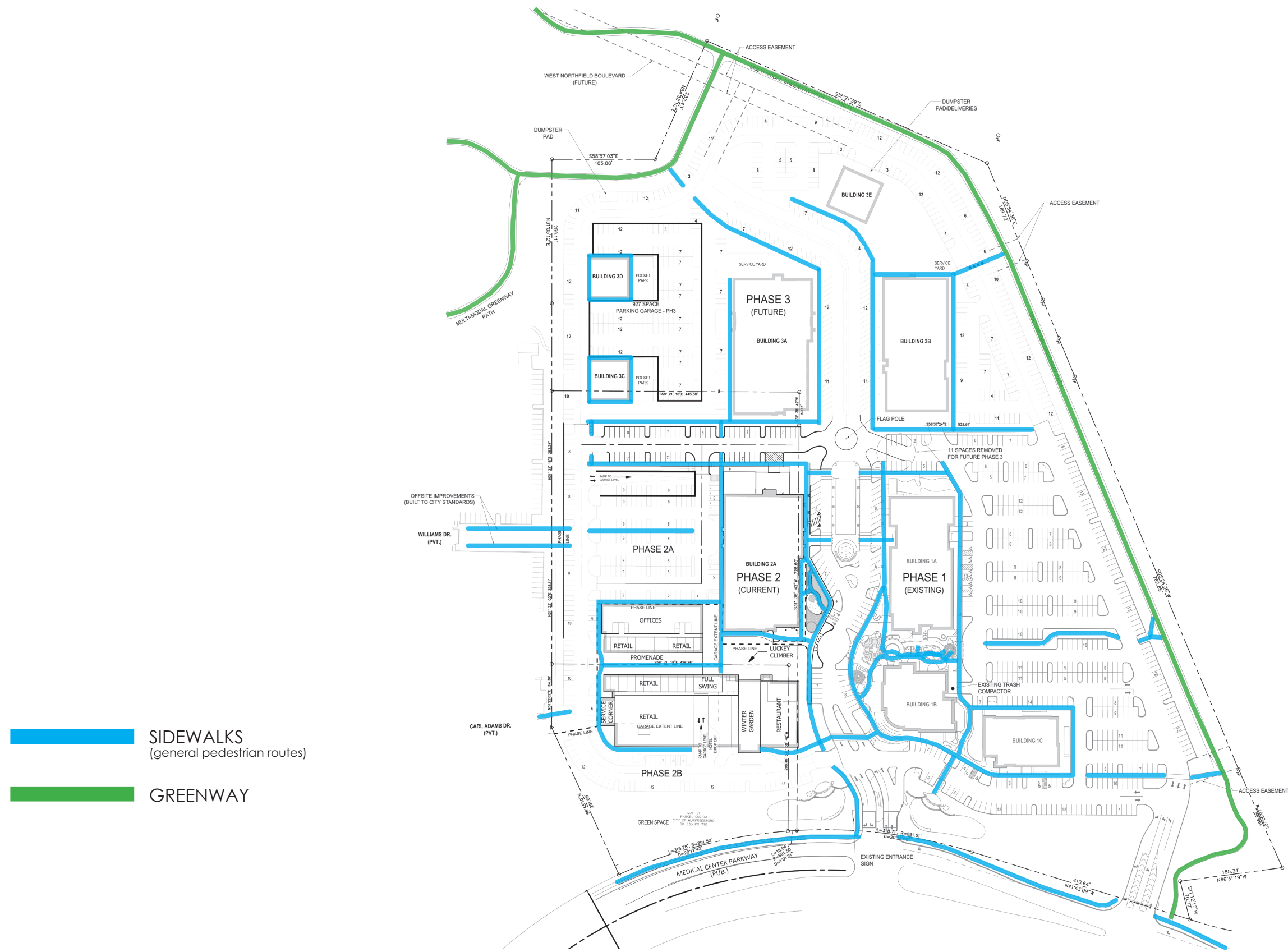
Property Management / Covenants and Restrictions - Property management associations will be created for the commercial and residential properties within The Fountain with covenants and restrictions that are enforceable by these associations. Standards for the maintenance of common area and private properties will be established in the covenants and enforced by the associations with Master Developer providing oversight and coordination throughout the development period. The covenants and restrictions shall expressly provide the right for Hearthstone Properties management to maintain aesthetic control over all aspects of the property including but not limited to landscape care, parking area maintenance, ensuring eyesores are removed quickly and that vehicle parking follows guidelines established.

Note
1. The development will dedicate right-of-way needed for the improvements of the West Northfield Boulevard improvements as shown on the City of Murfreesboro's Major Transportation Plan.

- MAJOR ARTERIAL
- PRIVATE ROAD
- 5-LANE ACCESS DRIVE
- 3-LANE ACCESS DRIVE
- 2-LANE ACCESS DRIVE
- POTENTIAL WEST NORTHFIELD BOULEVARD CONNECTION



THE FOUNTAINS



THE FOUNTAINS

ARCHITECTURAL CHARACTER

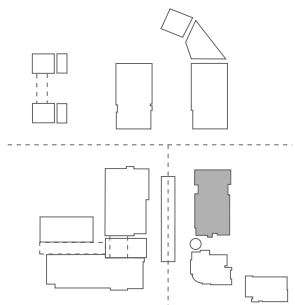
d

PHASE 1 BUILDING 1A (MIXED-USE)

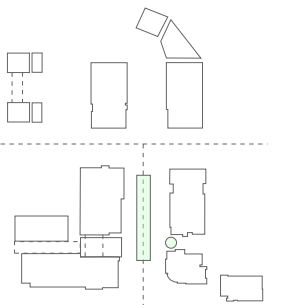
These photographs are of the existing buildings on site and are part of Phase 1.

Building 1A is a 105,300 sf Mixed-Use building with a program comprised of retail and office as well as an event venue. The building includes a comprehensive amenity program which is shared by the three buildings currently on Phase 1 of the site. Elements of the amenity program include:

- An outdoor pocket park with seating
- A central lawn with a stage and assembly space
- A kids splash pad



EXISTING PHASE 1 AMENITIES



THE FOUNTAINS

ARCHITECTURAL CHARACTER

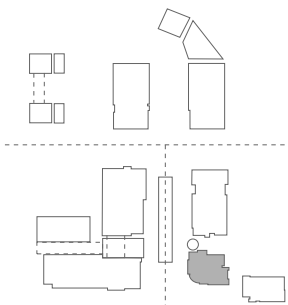
d

PHASE 1 BUILDING 1B (RETAIL)

These photographs are of the existing buildings on site and are part of Phase 1.

Building 1B is a 10,700 SF Retail building with a program comprised of restaurants. The building includes a comprehensive amenity program which is shared by the three buildings currently on Phase 1 of the site. Elements of the amenity program include:

- An outdoor pocket park with seating
- A central lawn with a stage and assembly space
- A kids splash pad



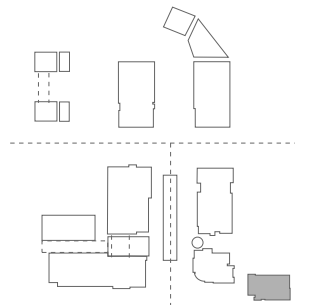


PHASE 1 BUILDING 1C (MEDICAL OFFICE)

These photographs are of the existing buildings on site and are part of Phase 1.

Building 1C is a 24,400 SF Medical Office building with a program comprised of retail and medical office. The building includes a comprehensive amenity program which is shared by the three buildings currently on Phase 1 of the site. Elements of the amenity program include:

- An outdoor pocket park with seating
- A central lawn with a stage and assembly space
- A kids splash pad



THE FOUNTAINS

PHASE 2 MASSING STUDY

Phase 2 is comprised of 3 buildings with uses that include:

- Offices
- Retail
- Residential
- Restaurant
- Entertainment
- Event Space

Shared amenities include:

- Covered Promenade
- Parking
- Outdoor pocket park
- Skybridge
- Winter Garden

LEGEND

- STANDARD HOTEL ROOMS

SUITE HOTEL ROOMS

COMMERCIAL / RESTAURANT

OFFICE

WINTER GARDEN & PROMENADE
- AMENITY

LUCKY CLIMBER

PARKING GARAGE

BUILDING SERVICES

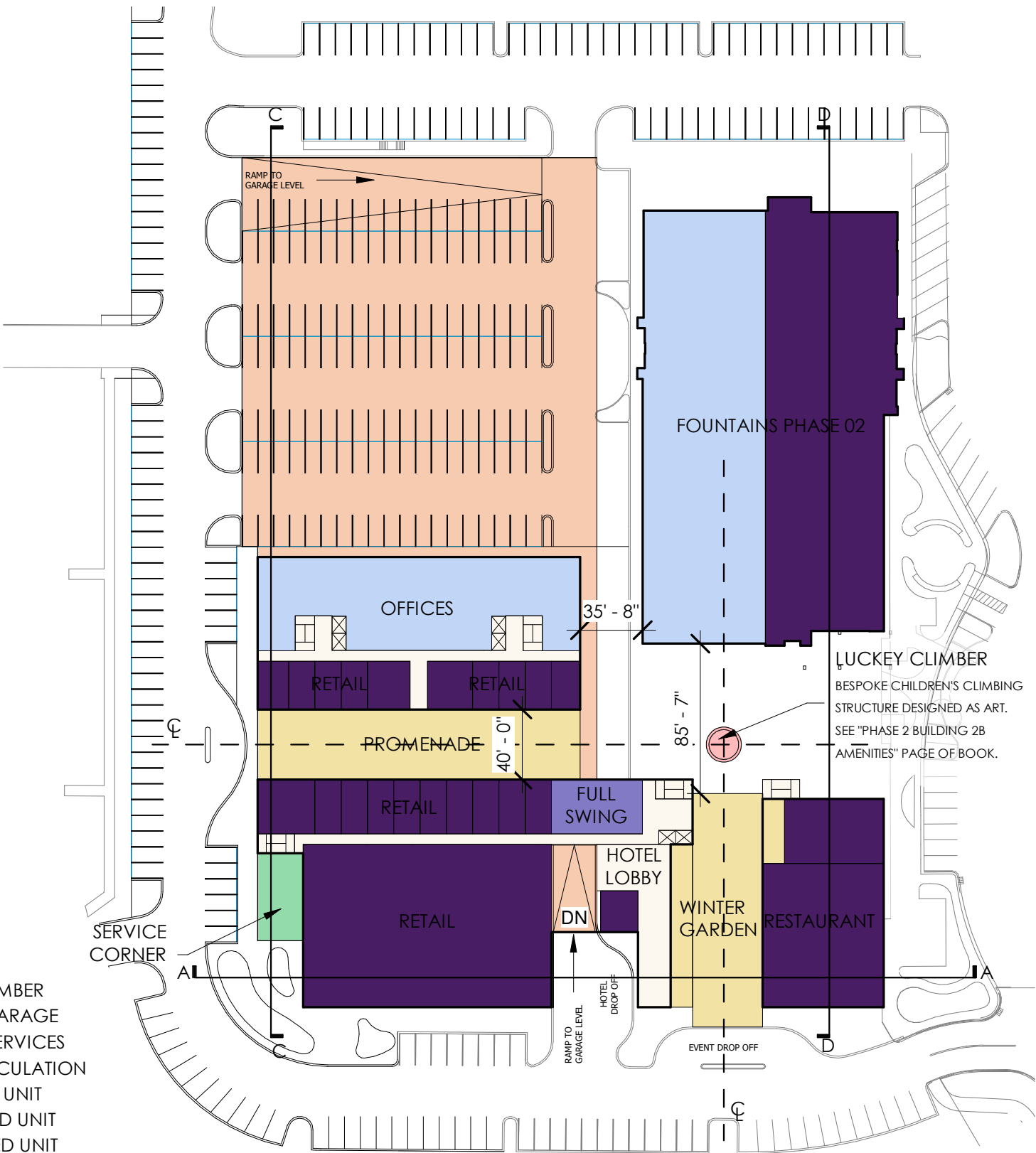
STAIR & CIRCULATION

RES. STUDIO UNIT

RES. ONE BED UNIT

RES. TWO BED UNIT

RES. THREE BED UNIT



ZONING INFO

CURRENT ZONING:	MU (MIXED USE), GATEWAY DISTRICT OVERLAY 3
LOT AREAS:	31.28 ACRES
PHASE 1:	12.32 ACRES
PHASE 2:	08.11 ACRES
PHASE 3:	10.85 ACRES
MIN. FRONT SETBACK:	15 FT
MIN. REAR SETBACK:	20 FT
MIN. SIDE SETBACK:	10 FT
MAX BUILDING HEIGHT:	150 FT

PARKING RATIOS

RETAIL:	1 SPACE / 300 SF X .75 HOTEL RATIO (WHEN APPLICABLE)
RESTAURANT:	1 SPACE / 100 SF X .75 HOTEL RATIO
HOTEL ROOMS:	1 SPACE / ROOM
HOTEL MEETING SPACES:	1 SPACE / 400 SF
OFFICE:	1 SPACE / 300 SF
MULTI-FAMILY:	1.5 SPACES / UNIT (STUDIO & ONE BED UNIT)
	1.1 SPACES / BEDROOM (TWO BED & THREE BED UNITS)

PARKING REQUIREMENTS (BUILDINGS 2B & 2C)

BUILDING 2A	
OFFICE: 57,460 SF / 300 SF	192 SPACES
RETAIL: 7,653 SF / 300 SF	26 SPACES
RESTAURANT: 3,400 SF / 100 SF	34 SPACES
MULTI-FAMILY:	
21 ONE BED UNITS X 1.5	32 SPACES
29 TWO BED UNITS X 1.1/BED	64 SPACES
3 THREE BED UNITS X 1.1/BED	10 SPACES
TOTAL:	358 SPACES

BUILDING 2B

RETAIL: 18,860 SF / 300 SF X .75	48 SPACES
RESTAURANT: 8,200 SF / 100 SF X .75	62 SPACES
HOTEL ROOMS: 136 ROOMS	136 SPACES
EVENT VENUE: 8,200 SF / 400 SF	21 SPACES
TOTAL:	267 SPACES

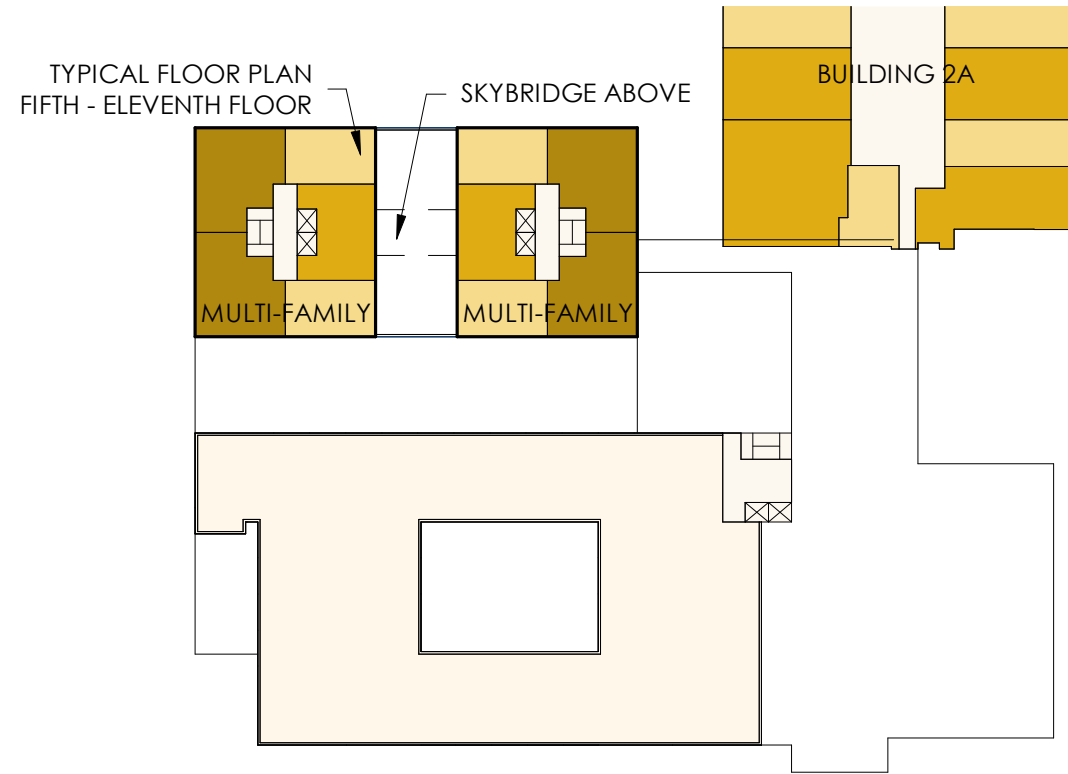
BUILDING 2C

RETAIL: 4,780 SF / 300 SF	16 SPACES
OFFICE: 23,517 SF / 300 SF	79 SPACES
MULTI-FAMILY:	
33 STUDIO UNITS X 1.5	50 SPACES
35 ONE BED UNITS X 1.5	53 SPACES
14 TWO BED UNITS X 1.1/BED	31 SPACES
28 THREE BED UNITS X 1.1/BED	93 SPACES
TOTAL:	322 SPACES

TOTAL PARKING SPACES REQ

947 SPACES

THE FOUNTAINS



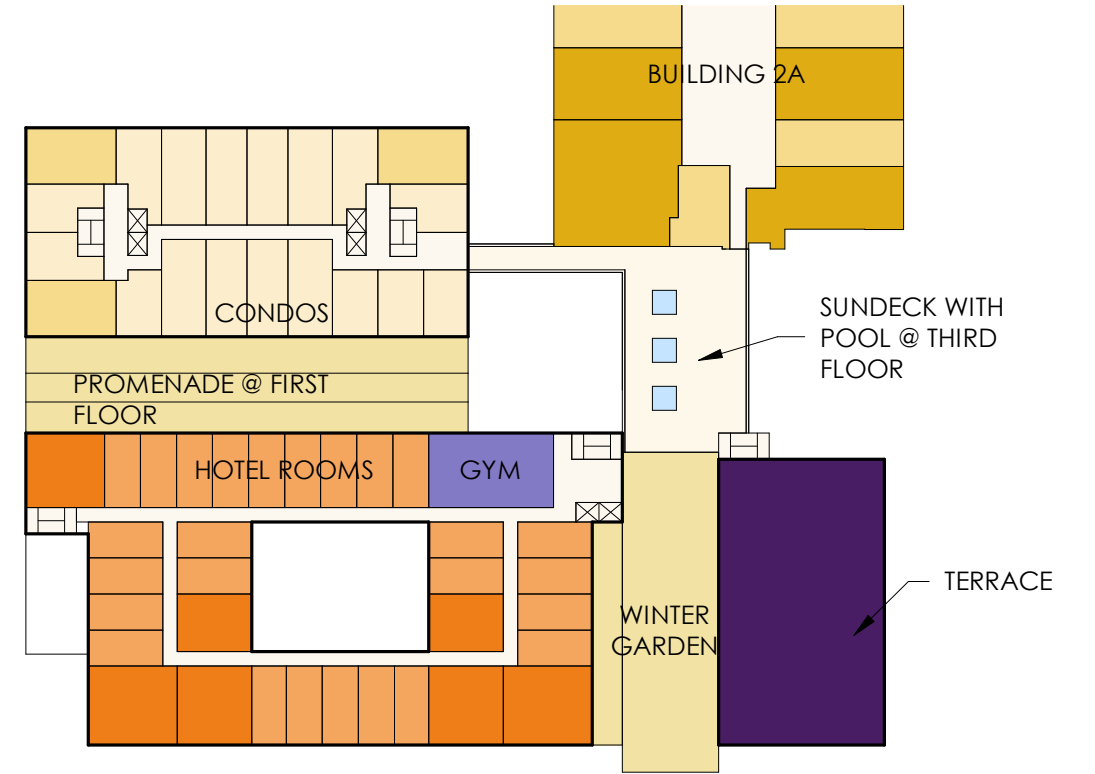
SIXTH FLOOR PLAN



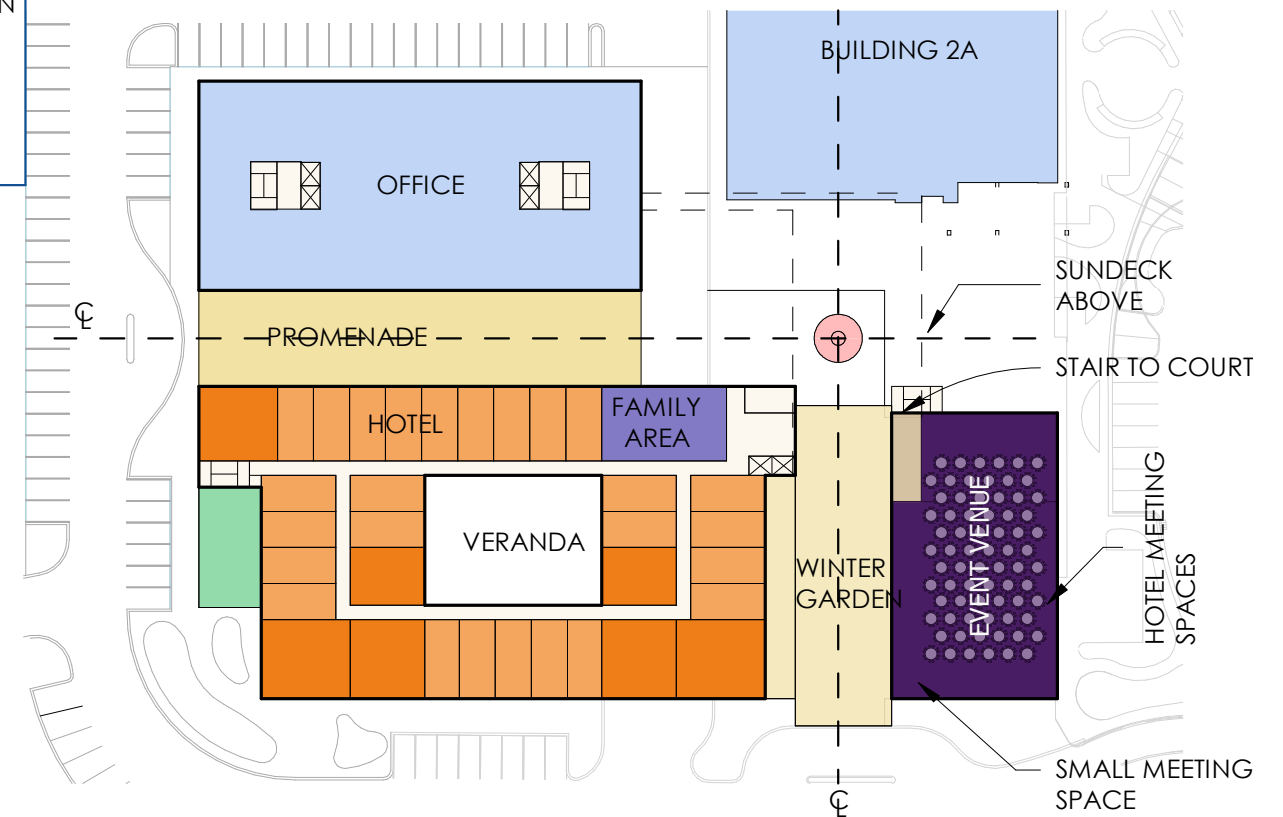
FOURTH - FIFTH FLOOR PLAN

LEGEND

- | | |
|---------------------------|---------------------|
| STANDARD HOTEL ROOMS | AMENITY |
| SUITE HOTEL ROOMS | LUCKY CLIMBER |
| COMMERCIAL / RESTAURANT | PARKING GARAGE |
| OFFICE | BUILDING SERVICES |
| WINTER GARDEN & PROMENADE | STAIR & CIRCULATION |
| | RES. STUDIO UNIT |
| | RES. ONE BED UNIT |
| | RES. TWO BED UNIT |
| | RES. THREE BED UNIT |



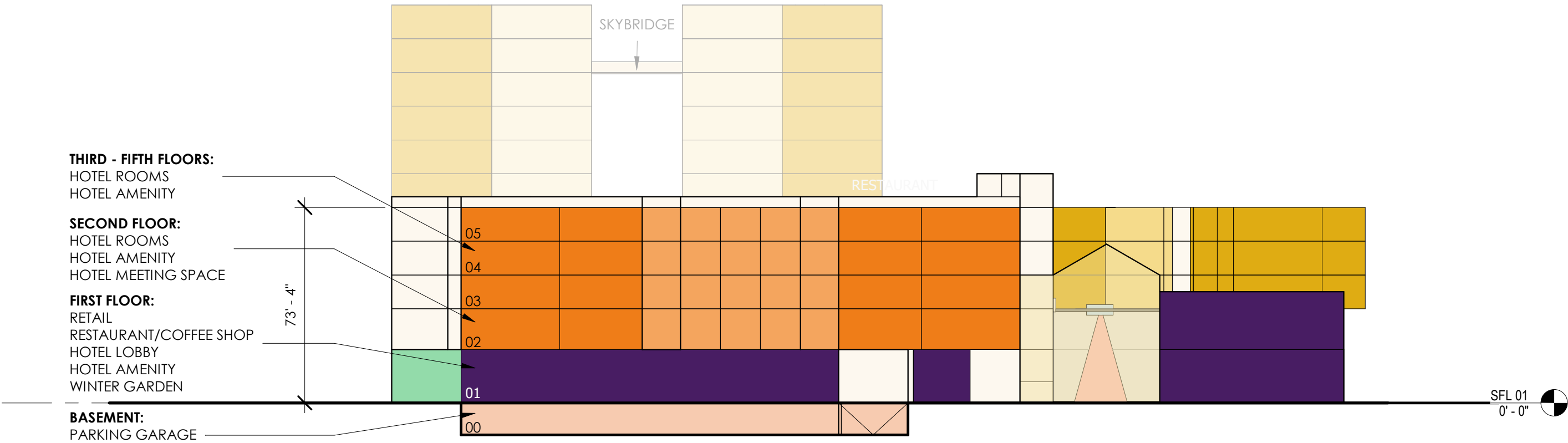
THIRD FLOOR PLAN



SECOND FLOOR PLAN

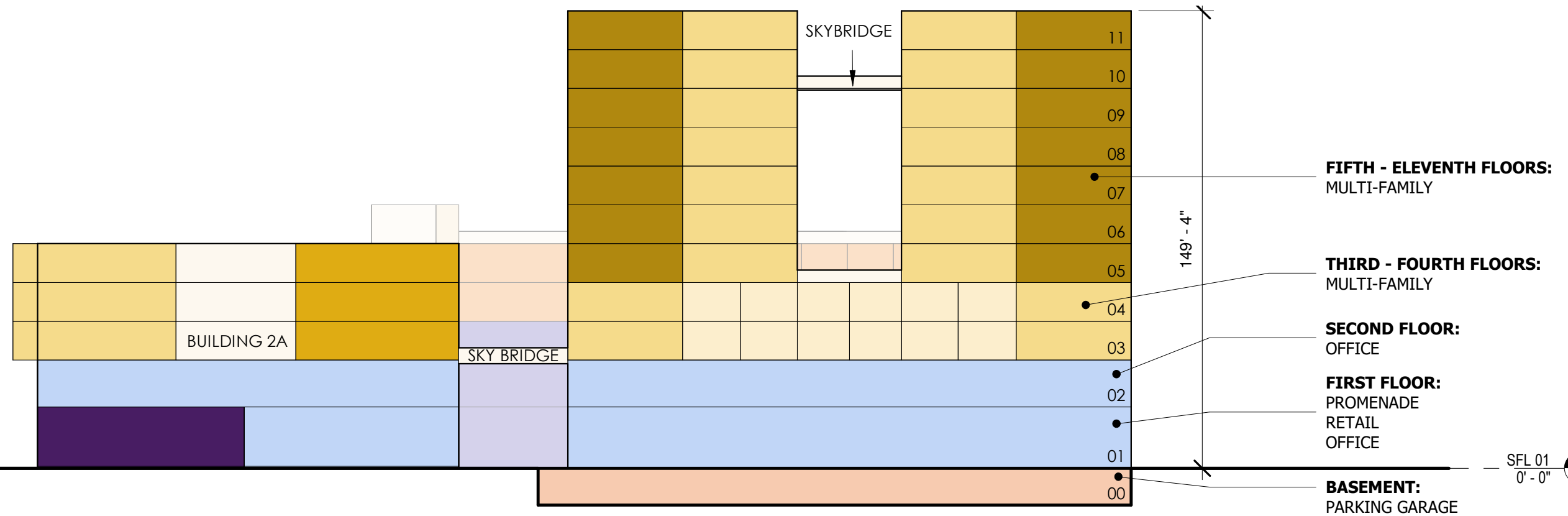
THE FOUNTAINS

SECTION A

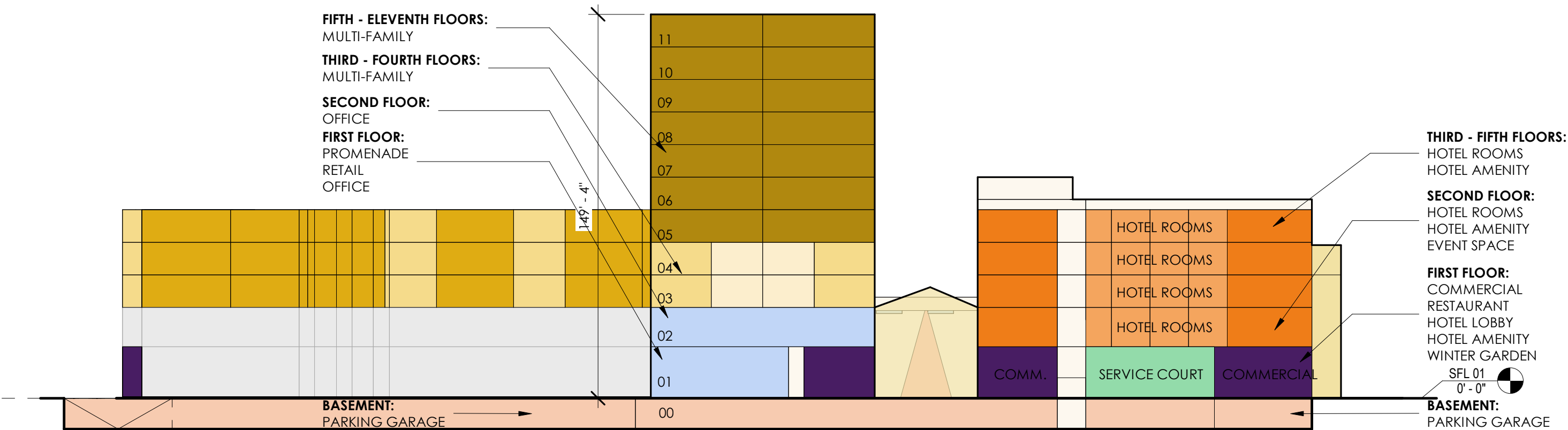


- LEGEND**
- | | |
|---------------------------|---------------------|
| STANDARD HOTEL ROOMS | AMENITY |
| SUITE HOTEL ROOMS | LUCKEY CLIMBER |
| COMMERCIAL / RESTAURANT | PARKING GARAGE |
| OFFICE | BUILDING SERVICES |
| WINTER GARDEN & PROMENADE | STAIR & CIRCULATION |
| | RES. STUDIO UNIT |
| | RES. ONE BED UNIT |
| | RES. TWO BED UNIT |
| | RES. THREE BED UNIT |

SECTION B



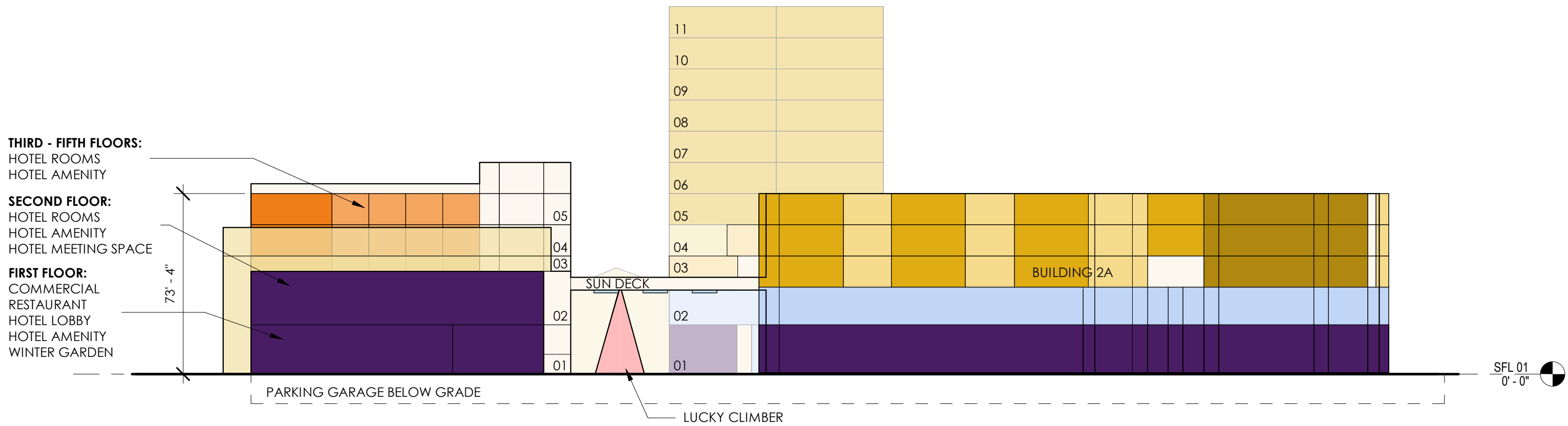
SECTION C



- LEGEND**
- STANDARD HOTEL ROOMS
 - SUITE HOTEL ROOMS
 - COMMERCIAL / RESTAURANT
 - OFFICE
 - WINTER GARDEN & PROMENADE
 - AMENITY
 - LUCKY CLIMBER
 - PARKING GARAGE
 - BUILDING SERVICES
 - STAIR & CIRCULATION
 - RES. STUDIO UNIT
 - RES. ONE BED UNIT
 - RES. TWO BED UNIT
 - RES. THREE BED UNIT

THE FOUNTAINS

SECTION D



BUILDING 2B - HOTEL

FOURTH - FIFTH FLOORS
STAIRS & CIRCULATION: 4,040 GFA
HOTEL ROOMS: 20,757 GFA
27 STANDARD ROOMS (465 SF)
08 SUITES (744 SF - 1,216 SF)
35 TOTAL UNITS / FLOOR

SECOND - THIRD FLOORS
AMENITY: 1,608 GFA
HOTEL MEETING SPACE: 8,200 GFA
STAIRS & CIRCULATION: 4,272 GFA
HOTEL ROOMS: 19,149 GFA
26 STANDARD ROOMS (465 SF)
07 SUITES (744 SF - 1,216 SF)
33 TOTAL UNITS / FLOOR

FIRST FLOOR
RETAIL: 8,860 GFA
AMENITY: 1,608 GFA
WINTER GARDEN: 6,489 GFA
RESTAURANT: 8,200 GFA
HOTEL LOBBY: 2,350 GFA
STAIRS & CIRCULATION: 2,738 GFA

BUILDING 2C - OFFICE & APARTMENT

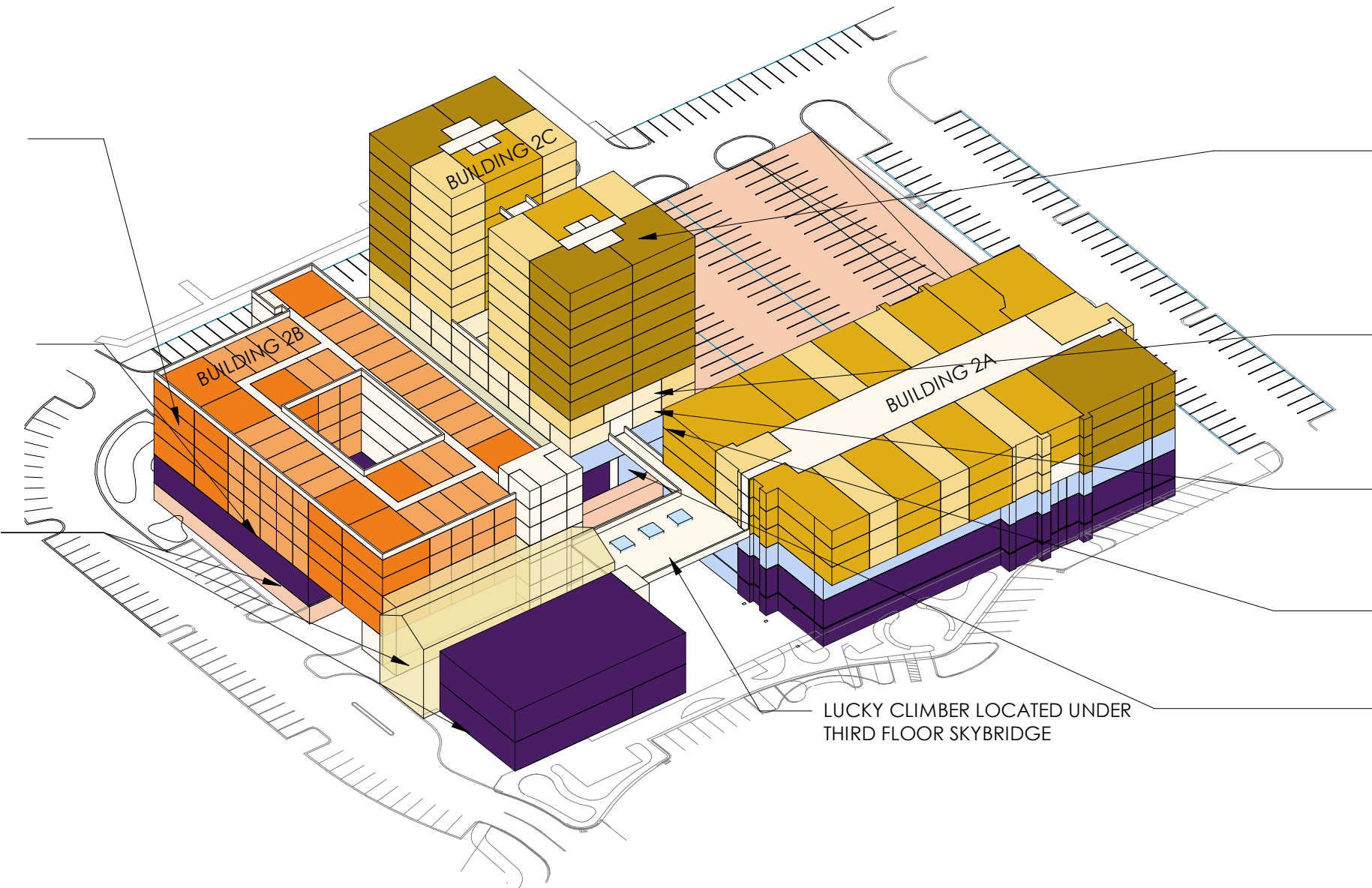
FIFTH - ELEVENTH FLOORS
MULTI-FAMILY: 11,508 GFA
04 ONE BED UNITS
02 TWO BED UNITS
04 THREE BED UNITS
10 TOTAL UNITS / FLOOR
STAIRS & CIRCULATION: 1,540 GFA

FOURTH FLOOR
MULTI-FAMILY: 13,750 GFA
04 STUDIO UNITS (528 SF - 749 SF)
16 ONE BED UNITS (881 SF)
20 TOTAL UNITS
STAIRS & CIRCULATION: 2,250 GFA

THIRD FLOOR
MULTI-FAMILY: 13,350 GFA
17 STUDIO UNITS (528 SF - 749 SF)
03 ONE BED UNITS (881 SF)
20 TOTAL UNITS
STAIRS & CIRCULATION: 2,650 GFA

SECOND FLOOR
OFFICE: 14,857 GFA
STAIRS & CIRCULATION: 1,143 GFA

FIRST FLOOR
RETAIL: 4,780 GFA
OFFICE: 8,660 GFA
STAIRS & CIRCULATION: 2,560 GFA



LEGEND

- | | |
|---------------------------|---------------------|
| STANDARD HOTEL ROOMS | AMENITY |
| SUITE HOTEL ROOMS | LUCKEY CLIMBER |
| COMMERCIAL / RESTAURANT | PARKING GARAGE |
| OFFICE | BUILDING SERVICES |
| WINTER GARDEN & PROMENADE | STAIR & CIRCULATION |
| | RES. STUDIO UNIT |
| | RES. ONE BED UNIT |
| | RES. TWO BED UNIT |
| | RES. THREE BED UNIT |

BUILDING 2B: HOTEL	
TOTAL AREA:	147,865 GFA
TOTAL ROOMS:	136 ROOMS
BUILDING 2C: OFFICE AND APARTMENT	
TOTAL AREA:	155,350 GFA
TOTAL ROOMS:	110 UNITS

BUILDING 2A - OFFICE, RETAIL & CONDOS**FOURTH - FIFTH FLOORS**

MULTI-FAMILY: 28,061 GFA
 07 ONE BED UNITS (778 - 1,031 SF)
 10 TWO BED UNITS (1,095 - 2,320 SF)
 01 THREE BED UNITS (2,813 SF)
18 TOTAL UNITS / FLOOR

VOID: 5,084 GFA
 STAIRS & CIRCULATION: 3,161 GFA

THIRD FLOOR

MULTI-FAMILY: 26,179 GFA
 07 ONE BED UNITS (778 - 1,031 SF)
 09 TWO BED (1,095 - 2,320 SF)
 01 THREE BED UNITS (2,813 SF)
17 TOTAL UNITS

AMENITY: 4,778 GFA
 STAIRS & CIRCULATION: 5,352 GFA

SECOND FLOOR

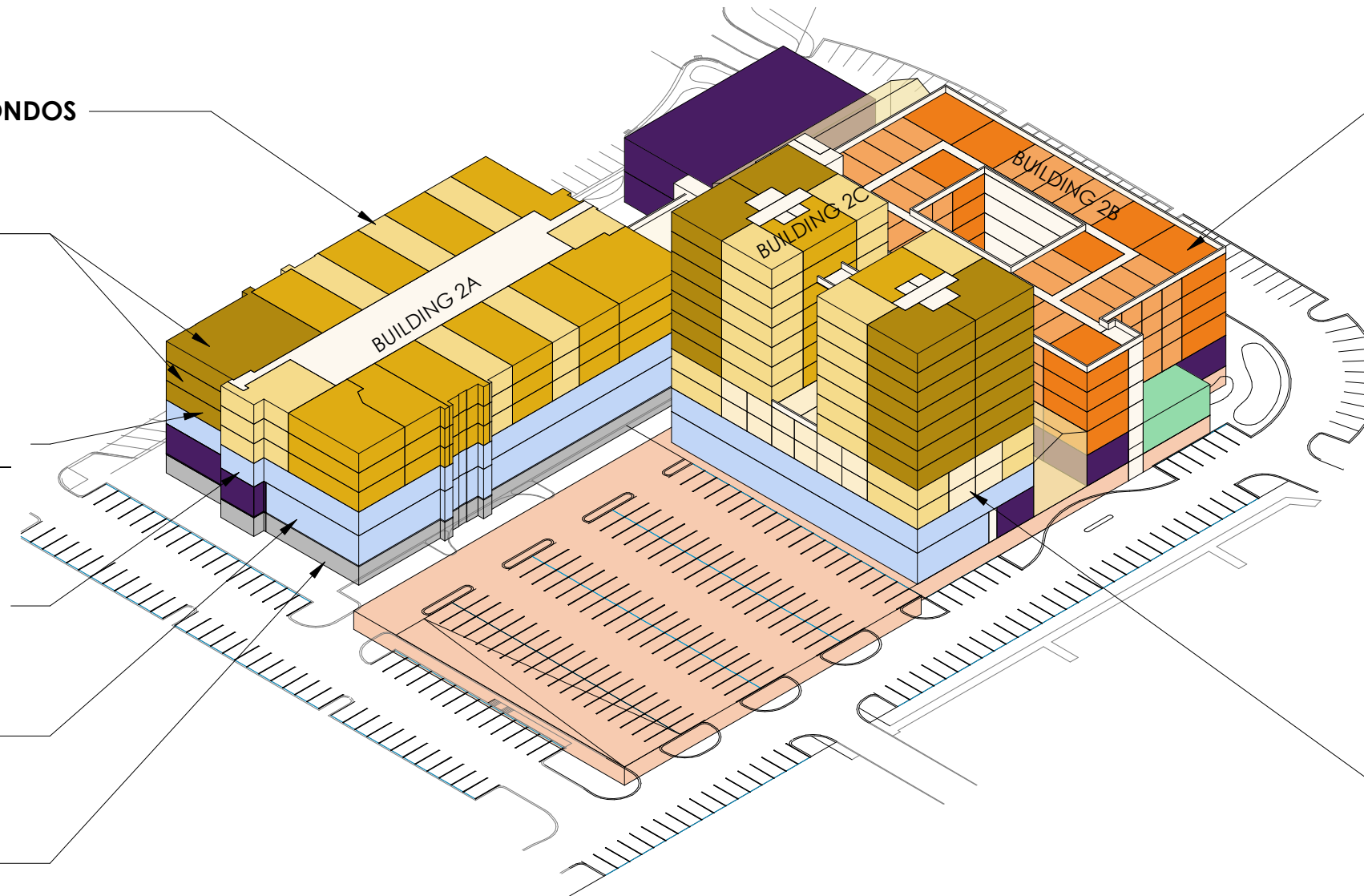
OFFICE: 28,557 GFA
 STAIRS & CIRCULATION: 5,973 GFA
 VOID: 1,076 GFA

FIRST FLOOR

RETAIL: 6,884 GFA
 RESTAURANT: 3,541 GFA
 OFFICE : 15,439 GFA
 STAIRS & CIRCULATION: 8,664 GFA

GARAGE

PARKING: 16,737 GFA
 RETAIL: 11,817 GFA
 STAIRS & CIRCULATION: 8,107 GFA

BUILDING 2B - HOTEL**BUILDING 2C - OFFICE & APARTMENT**

THE FOUNTAINS

BUILDING 2A - MIXED-USE

GROSS FLOOR AREA:	
LEVEL 00	36,661 GFA
RETAIL	11,817 GFA
PARKING	16,737 GFA
STAIR AND CIRCULATION:	8,107 GFA
LEVEL 01	34,528 GFA
RETAIL:	6,884 GFA
RESTAURANT:	3,541 GFA
OFFICE:	15,439 GFA
STAIRS AND CIRCULATION:	8,664 GFA
LEVEL 02	35,606 GFA
OFFICE:	28,557 GFA
STAIRS AND CIRCULATION:	5,973 GFA
VOID	1,076 GFA
LEVEL 03	36,309 GFA
MULTI-FAMILY:	26,179 GFA
AMENITY:	4,778 GFA
STAIRS AND CIRCULATION:	5,352 GFA
LEVELS 04 - 05	36,306 GFA
MULTI-FAMILY:	28,061 GFA
VOID:	5,084 GFA
STAIRS AND CIRCULATION:	3,161 GFA
TOTAL BUILDING AREA:	215,716 GFA

BUILDING AREA BREAKDOWN:	
RETAIL/RESTAURANT:	22,242 GFA
OFFICES:	43,996 GFA
MULTI-FAMILY:	82,301 GFA
AMENITY/VOID:	16,022 GFA
STAIRS AND CIRCULATION:	34,418 GFA
PARKING:	16,737 GFA

RES. UNITS MATRIX:	
ONE BED	21 UNITS (778 - 1,031 SF) 40%
TWO BED	29 UNITS (1,095 - 2,320 SF) 55%
THREE BED	3 UNITS (2,813 SF) 5%
TOTAL:	53 UNITS

BUILDING 2B - HOTEL

GROSS FLOOR AREA:	
LEVEL 01	40,245 GFA
RETAIL:	18,860 GFA
AMENITY:	1,608 GFA
WINTER GARDEN:	6,489 GFA
RESTAURANT:	8,200 GFA
HOTEL LOBBY:	2,350 GFA
STAIRS AND CIRCULATION:	2,738 GFA
LEVEL 02	33,229 GFA
HOTEL ROOMS:	19,149 GFA
AMENITY:	1,608 GFA
HOTEL MEETING SPACE:	8,200 GFA
STAIRS AND CIRCULATION:	4,272 GFA
LEVEL 03	24,797 GFA
HOTEL ROOMS:	19,149 GFA
AMENITY:	1,608 GFA
STAIRS AND CIRCULATION:	4,040 GFA
LEVELS 04 - 05	24,797 GFA
HOTEL ROOMS:	20,757 GFA
STAIRS AND CIRCULATION:	4,040 GFA
TOTAL BUILDING AREA:	147,865 GFA

BUILDING AREA BREAKDOWN:	
RETAIL/RESTAURANT:	27,060 GFA
WINTER GARDEN:	6,489 GFA
HOTEL MEETING SPACE:	8,200 GFA
HOTEL SPACES:	109,222 GFA
AMENITY:	4,824 GFA
STAIRS AND CIRCULATION:	7,010 GFA

HOTEL ROOMS MATRIX:	
STANDARD HOTEL ROOMS	106 ROOMS (465 SF) - 78%
SUITE HOTEL ROOMS	30 ROOMS (744 SF - 1,216 SF) - 22%
TOTAL:	136 ROOMS

BUILDING 2C - OFFICE & APARTMENT

GROSS FLOOR AREA:	
LEVEL 01	16,000 GFA
RETAIL:	4,780 GFA
OFFICE :	8,660 GFA
STAIRS AND CIRCULATION:	2,560 GFA
LEVEL 02	16,000 GFA
OFFICE:	14,857 GFA
STAIRS AND CIRCULATION:	1,143 GFA
LEVEL 03	16,000 GFA
MULTI-FAMILY:	13,350 GFA
STAIRS AND CIRCULATION:	2,650 GFA
LEVEL 04	16,000 GFA
MULTI-FAMILY:	13,750 GFA
STAIRS AND CIRCULATION:	2,250 GFA
LEVELS 05 - 11	13,050 GFA*
MULTI-FAMILY:	11,508 GFA
STAIRS AND CIRCULATION:	1,542 GFA
TOTAL BUILDING AREA:	155,350 GFA

*LEVEL 05 - 11 CALCULATIONS COMBINE BOTH TOWERS

BUILDING AREA BREAKDOWN:	
RETAIL:	4,780 GFA
OFFICE:	23,517 GFA
MULTI-FAMILY:	107,656 GFA
STAIRS & CIRCULATION:	19,397 GFA

RES. UNITS MATRIX:	
STUDIOS	33 UNITS (528 SF - 749 SF) 30%
ONE BED	35 UNITS (881 SF) 32%
TWO BED	14 UNITS (1,145 SF) 13%
THREE BED	28 UNITS (1,421 SF) 25%
TOTAL:	110 UNITS

ADDITIONAL SQUARE FOOTAGES

GROSS FLOOR AREA:	
PARKING	93,584 GFA
FIRST FLOOR PROMENADE	7,360 GFA
THIRD FLOOR SKYBRIDGE	4,859 GFA



THE FOUNTAINS

ARCHITECTURAL CHARACTER

d

It is recognized that new materials and new uses for materials will continue to be developed. Materials not specifically approved herein may be considered for use on buildings if samples and supporting information are provided to the Planning Staff and the Planning Commission for consideration. Architectural standards set forth in the Murfreesboro Design Guidelines and GDO requirements will be taken into consideration and all new buildings will be presented to and approved by the GDO committee.

PHASE 2 BUILDING 2A (ATRIUM AT FOUNTAINS - MIXED-USE) (EAST ELEVATION)

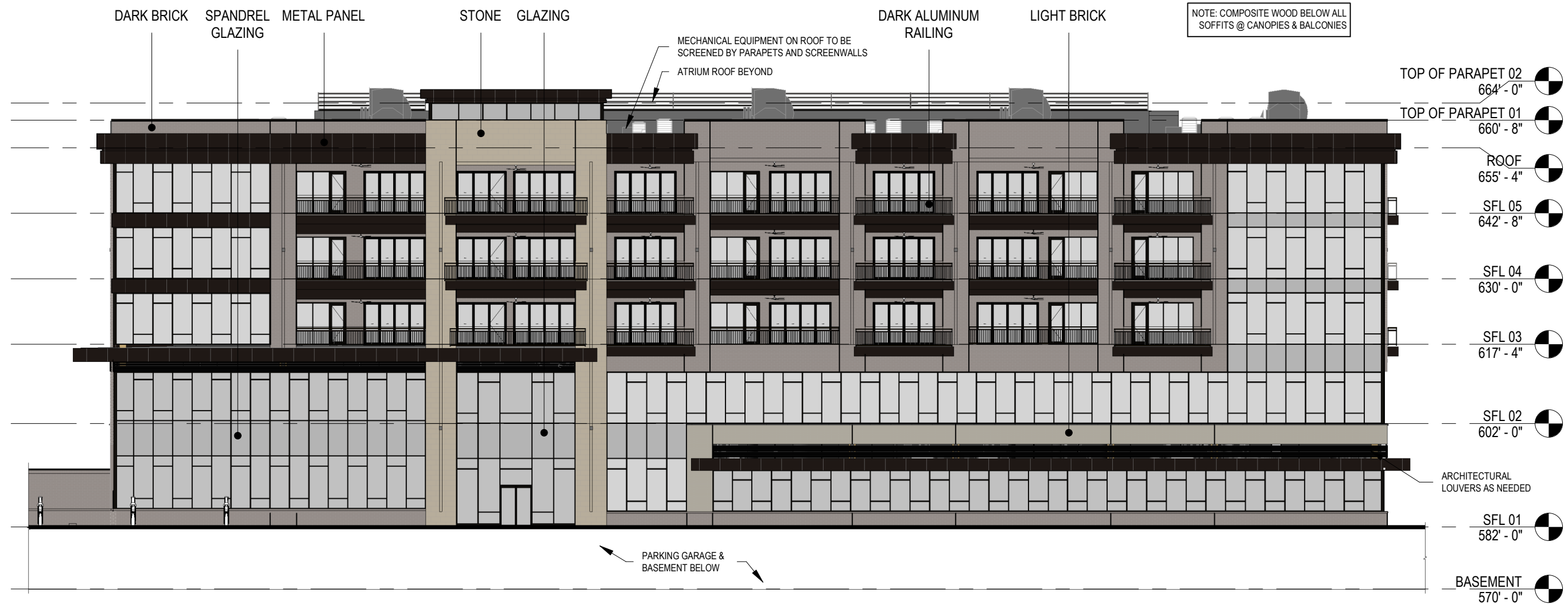


MATERIAL PERCENTAGES:

MASONRY	24.8%
GLASS	49.5%
OTHER	25.6%

PHASE 2 BUILDING 2A (ATRIUM AT FOUNTAINS - MIXED-USE)

(WEST ELEVATION)



MATERIAL PERCENTAGES:

MASONRY	28.1%
GLASS	47.1%
OTHER	24.8%

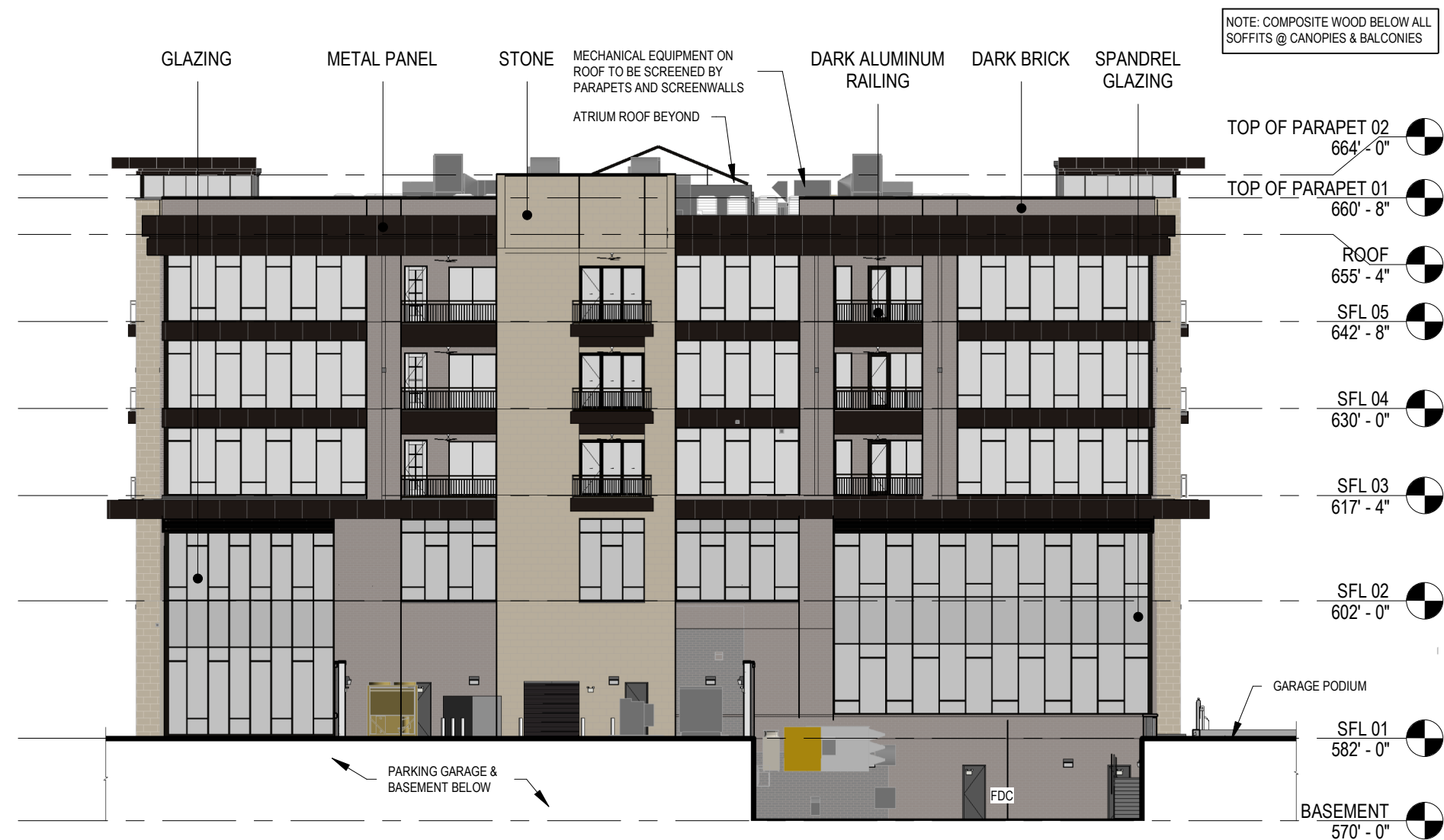
THE FOUNTAINS

ARCHITECTURAL CHARACTER

d

PHASE 2 BUILDING 2A (ATRIUM AT FOUNTAINS - MIXED-USE)

(NORTH ELEVATION)

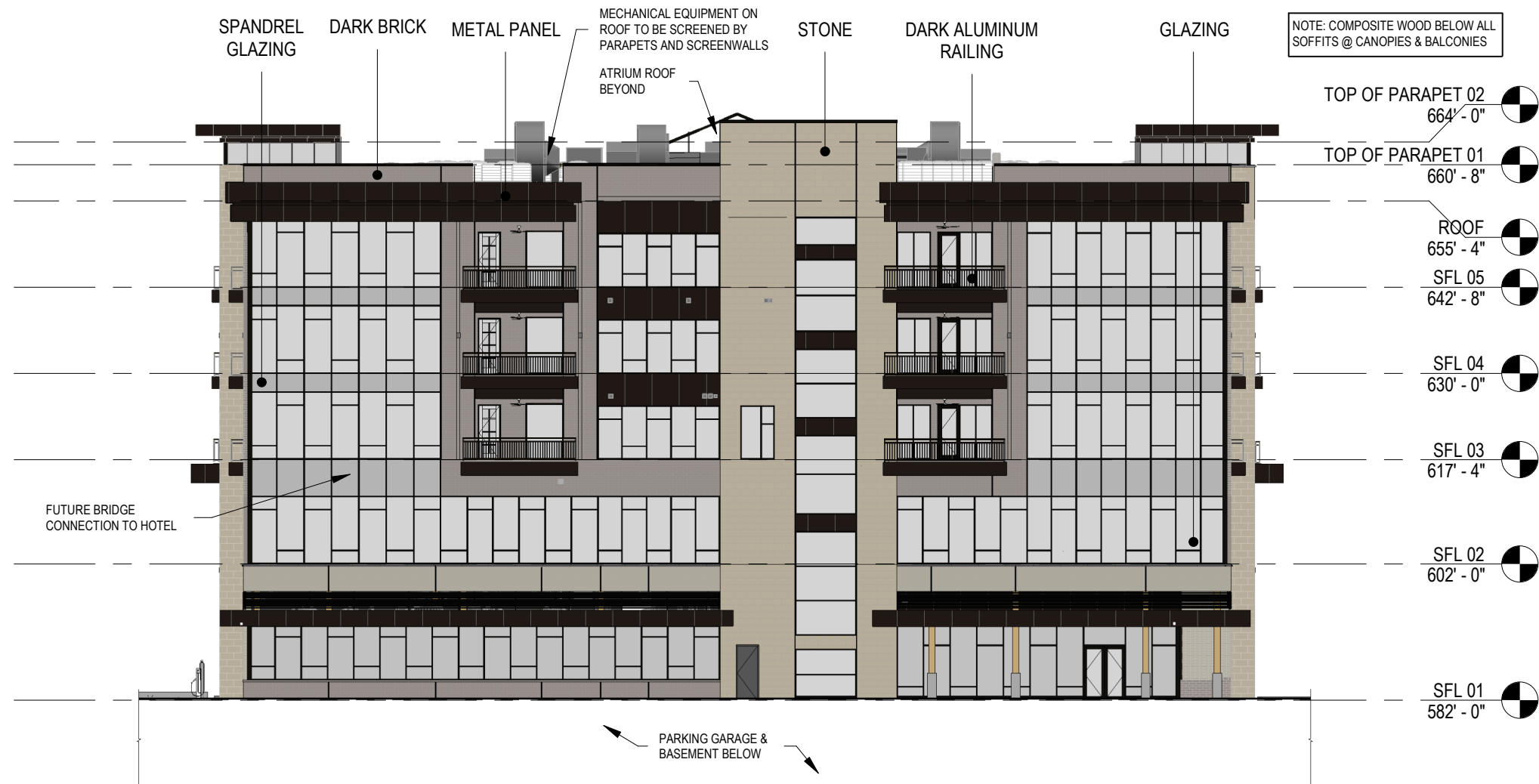


MATERIAL PERCENTAGES:

MASONRY	38.2%
GLASS	42.5%
OTHER	19.3%

PHASE 2 BUILDING 2A (ATRIUM AT FOUNTAINS - MIXED-USE)

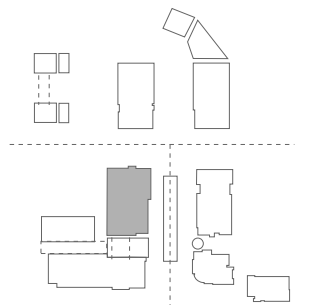
(SOUTH ELEVATION)



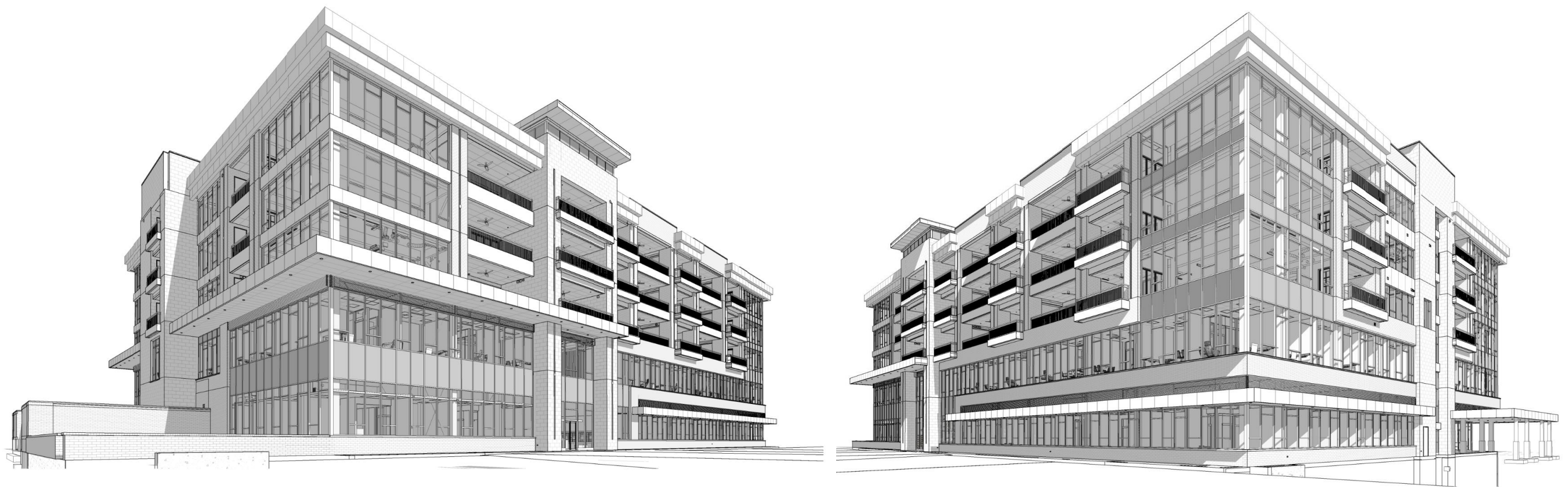
MATERIAL PERCENTAGES:

MASONRY	28.7%
GLASS	50.7%
OTHER	20.7%

THE FOUNTAINS

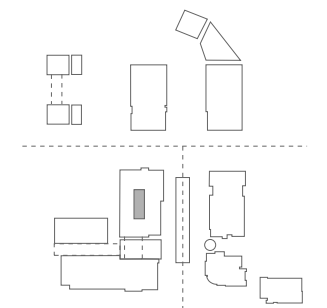


PHASE 2 BUILDING 2A (ATRIUM AT FOUNTAINS - MIXED-USE)



PHASE 2 BUILDING 2A (INTERNAL ATRIUM)

These photographic examples depict general concepts of amenities in Phase 2. They are not intended to depict final landscaping or site design and they do not capture every use or scenario permitted in these areas. Design is subject to change upon site plan review.



THE FOUNTAINS

MATERIALS ACROSS CAMPUS

The earth-tone blend of materials currently used on the Fountains at Gateway Phase I will be integrated into the future phases. Materials include stone and brick as primary masonry materials, and wood and metal applications as secondary and tertiary materials.



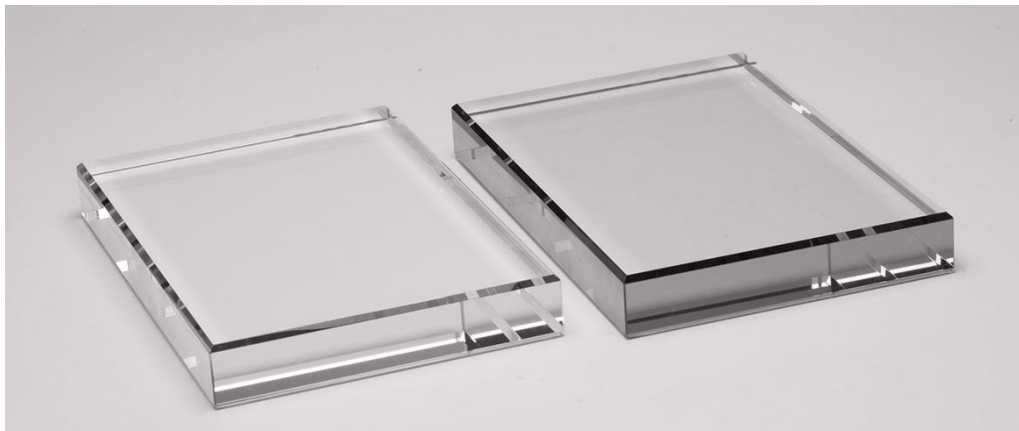
PRIMARY MATERIALS



STONE



BRICK

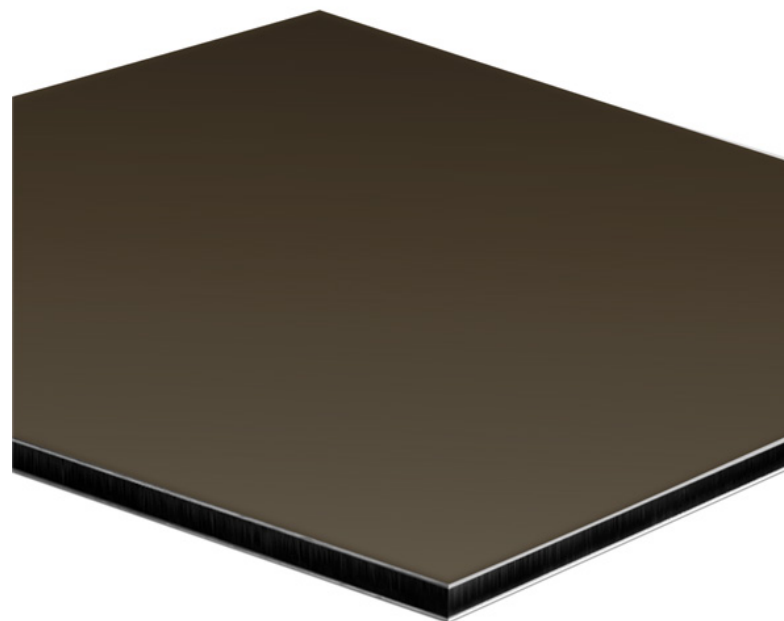


GLASS

SECONDARY MATERIALS



MASS TIMBER



ACM

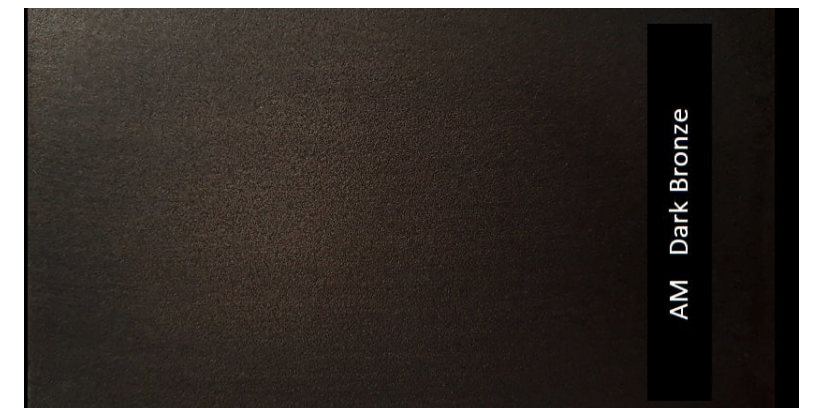
TERTIARY MATERIALS



FIBERCEMENT WOOD



STONE WATERTABLE



OTHER METALS

THE FOUNTAINS

PHASE 2 BUILDING 2B (BOUTIQUE HOTEL)

These photographic examples depict general concepts of building architectural character in buildings on Phases 2 and 3. They are not intended to depict final architecture or site design and they do not capture every use or scenario permitted in these areas.

PROGRAM

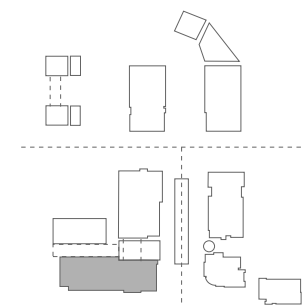
The Boutique Hotel in Phase 2 shall include a comprehensive amenity program for the guests. Elements of the amenity program shall include:

- Winter Garden that incorporates seating area that is open to the restaurant and the hotel and has foliage within the space for an interior winter garden
- Open air Skybridge designed to be built as part of building 2B and connecting to building 2A which includes a pool, green spaces and fire pit
- Interior event venue with exterior deck and views
- Restaurant and retail

CONCEPT

Building 2B is a hub for visitors to stay on campus and engage. The facade visually interacts with Medical Center Parkway, inviting visitors to come in to the site. Users experience the promenade outside of the building as well as the winter garden that is open to the interior of the building.

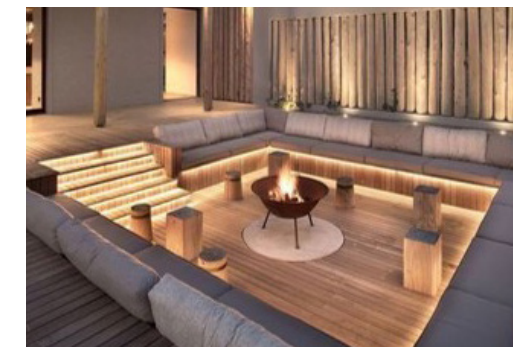
The material of building 2B is a blend of the existing masonry on phase 1 and wood elements as well as secondary materials inclusive of glass and metal applications.



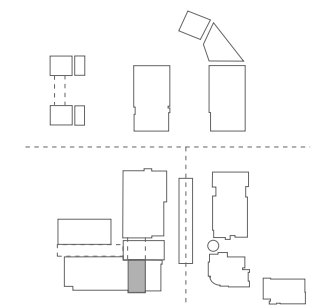


PHASE 2 BUILDING 2B AMENITIES (WINTER GARDEN & SKYBRIDGE)

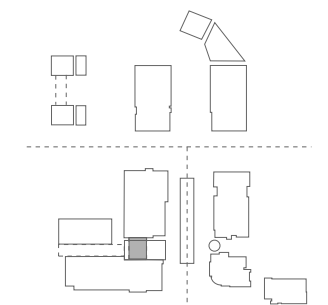
These photographic examples depict general concepts of amenities in Phase 2. They are not intended to depict final landscaping or site design and they do not capture every use or scenario permitted in these areas. Design is subject to change upon site plan review.



WINTER GARDEN



SKYBRIDGE



THE FOUNTAINS

PHASE 2 BUILDING 2C (MIXED-USE)

These photographic examples depict general concepts of building architectural character in buildings on Phases 2 and 3. They are not intended to depict final architecture or site design and they do not capture every use or scenario permitted in these areas.

PROGRAM

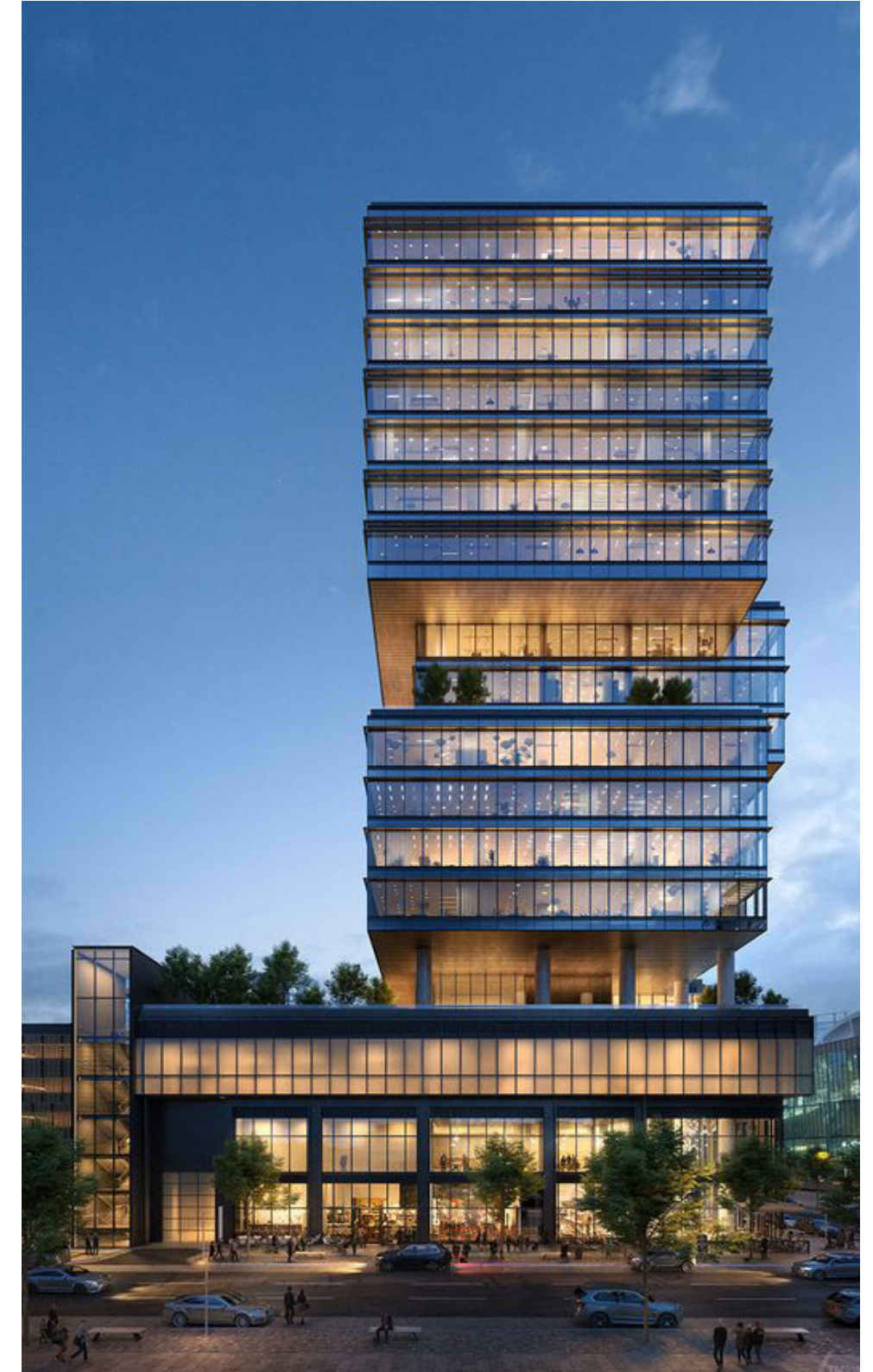
Building 2C is a mixed-use building in Phase 2 and shall include a comprehensive amenity program for the guests. Elements of the amenity program shall include:

- Outdoor covered promenade connecting buildings 2B and 2C

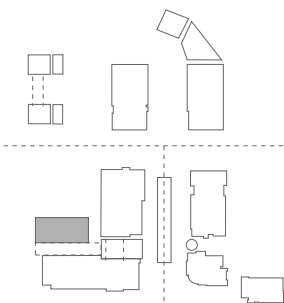
CONCEPT

Building 2C is the last building of Phase 2 and is the closing link of the Mixed-use fabric of this phase. It is situated adjacent to buildings 2A and 2B, locking in the "hub" feel of the promenade connecting buildings 2B and 2C.

The material of the building is a blend of the existing masonry on phase 1 as well as secondary materials inclusive of glass and metal applications. Natural light is a driving factor in the experience of the users. Hence, ample glazing is used to allow for natural light to seep through the building.



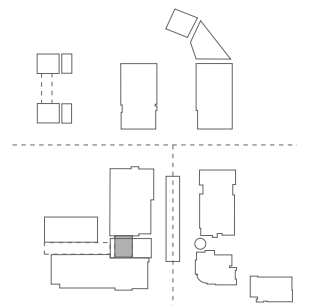
THE FOUNTAINS





PHASE 2C AMENITIES
("THE DISTRICT")

THE FOUNTAINS



PHASES 3 BUILDINGS 3C, & 3D (RESIDENTIAL TOWERS)

These photographic examples depict general concepts of building architectural character in buildings on Phases 2 and 3. They are not intended to depict final architecture or site design and they do not capture every use or scenario permitted in these areas.

PROGRAM

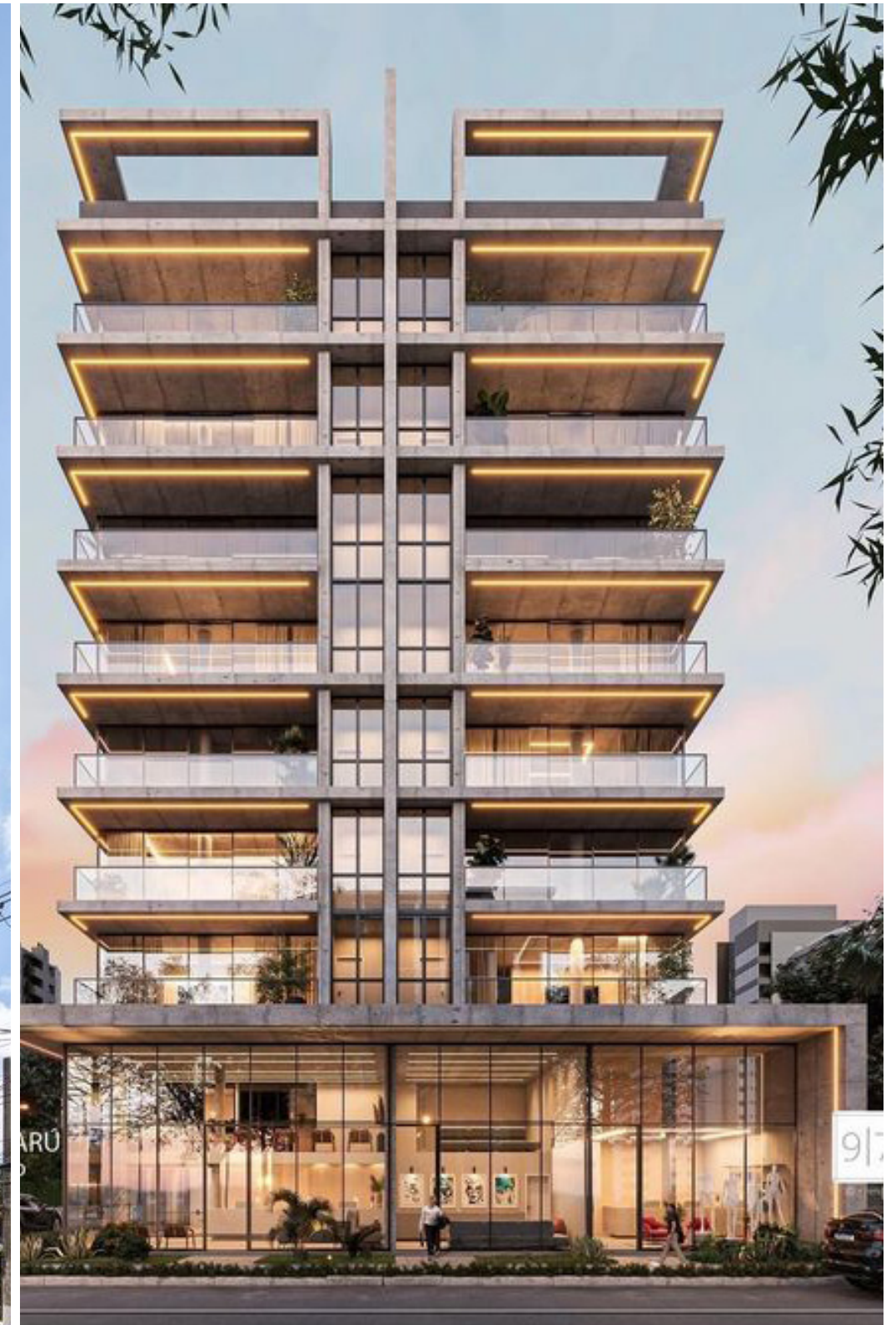
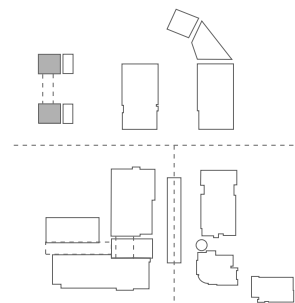
The two towers are 10 stories tall and include roughly 50 units each which are a combination of 1 bed, and 2 bed units. The Residential Towers in phases 2 and 3 shall include a comprehensive amenity program for the guests. Elements of the amenity program shall include:

- Open air Skybridge designed to connect buildings 3C and 3D which include a pool, green spaces, and seating areas

CONCEPT

Buildings 3C and 3D are the pinnacles of all buildings in height as they tower to roughly a 150 feet tall. Seen from all phases, these towers capture beautiful views for the residents and celebrate the indoor/outdoor user experience.

The material of the buildings are a blend of the existing masonry on phase 1 as well as secondary materials inclusive of glass, metal and wood applications. Natural light is a driving factor in the experience of the users. Hence, ample glazing and screens are used to allow for natural light to seep through the building.



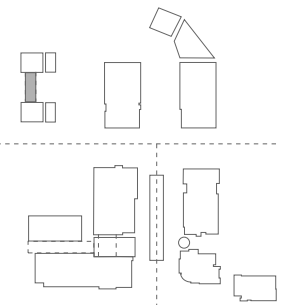


PHASES 3 BUILDINGS 3C, & 3D AMENITIES (BRIDGE)

These photographic examples depict general concepts of amenities in Phase 3. They are not intended to depict final landscaping or site design and they do not capture every use or scenario permitted in these areas. Design is subject to change upon site plan review.



THE FOUNTAINS



PHASE 3 BUILDING 3A (MIXED-USE)

These photographic examples depict general concepts of building architectural character in buildings on Phases 2 and 3. They are not intended to depict final architecture or site design and they do not capture every use or scenario permitted in these areas.

PROGRAM

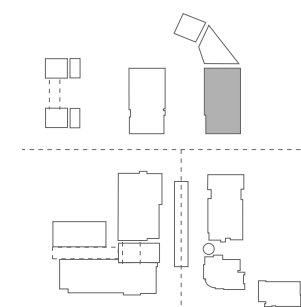
Building 3A is a mass timber Mixed-Use building comprised of retail, office, and residential uses. The building shall include a comprehensive amenity program for the private residents. Elements of the amenity program shall include:

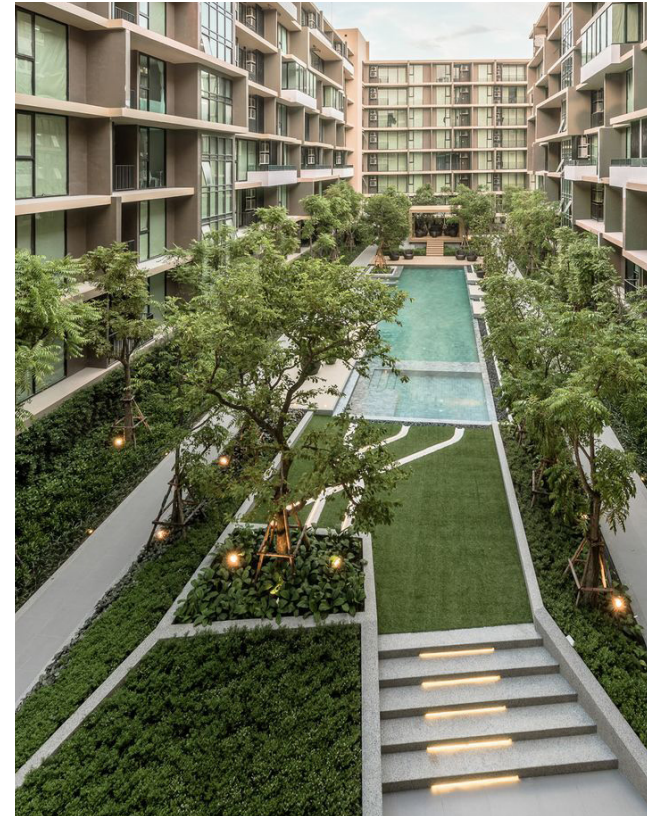
- An atrium or courtyard space

CONCEPT

Similar to the proposed building 2A, this building introduces the delicate mixed-use fabric on Phase 3. Users experience layers of uses within the building.

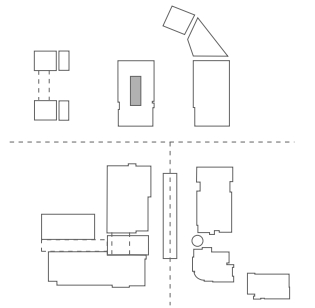
The materials of the building are a blend of the existing masonry on phase 1 as well as secondary materials inclusive of glass, metal and wood applications. Natural light is a driving factor in the experience of the users. Hence, ample glazing and screens are used to allow for natural light to seep through the building.





PHASE 3 BUILDING 3A AMENITIES (ATRIUM/COURTYARD)

These photographic examples depict general concepts of amenities in Phase 3. They are not intended to depict final landscaping or site design and they do not capture every use or scenario permitted in these areas. Design is subject to change upon site plan review.



THE FOUNTAINS

PHASE 3 BUILDING 3B (MIXED-USE OFFICE)

These photographic examples depict general concepts of building architectural character in buildings on Phases 2 and 3. They are not intended to depict final architecture or site design and they do not capture every use or scenario permitted in these areas.

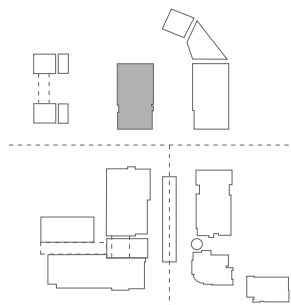
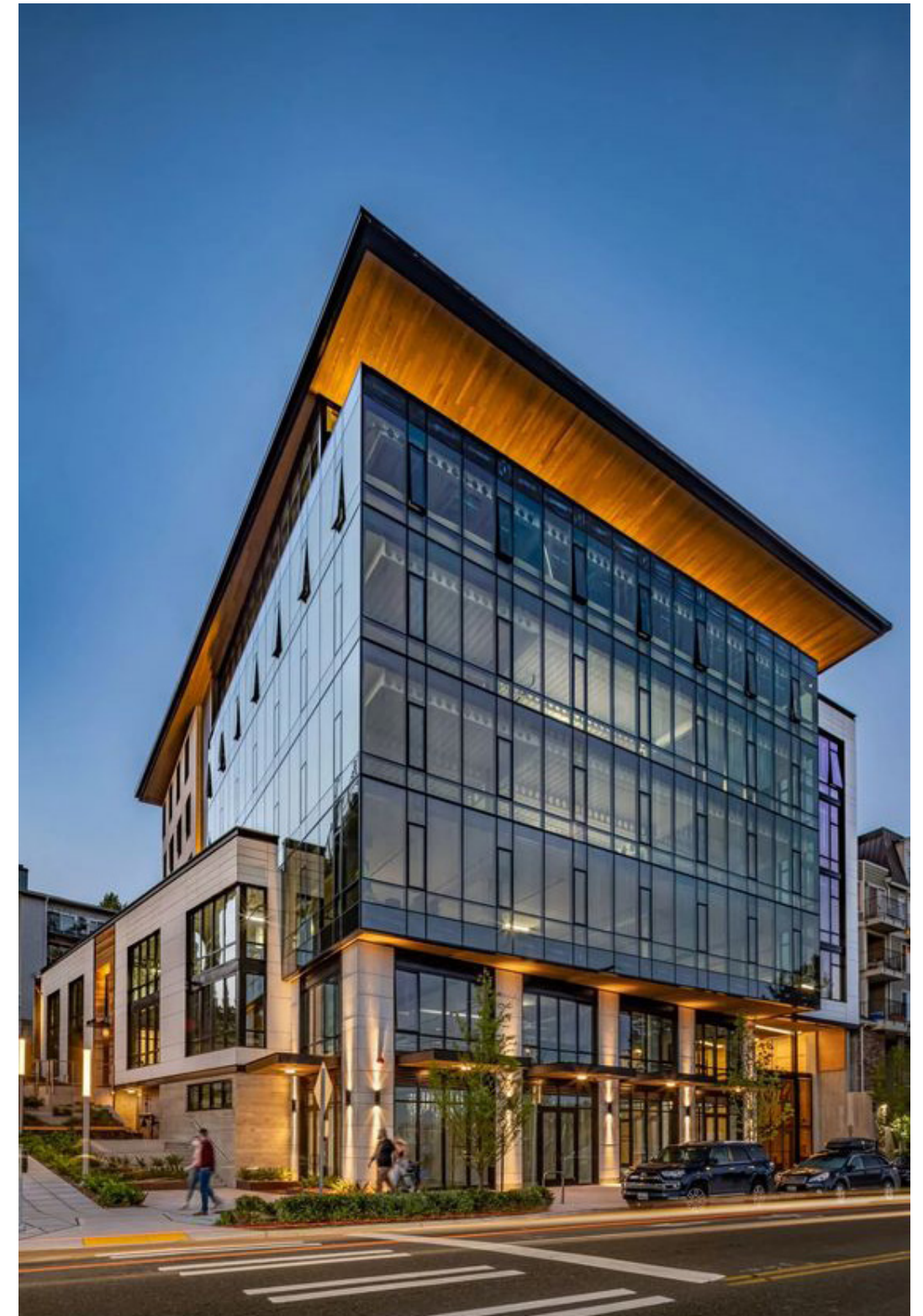
PROGRAM

Building 3B is a Mixed-use Office building with retail on the first floor.

CONCEPT

Office building 3B on Phase 3 allows for a centralized working space for tenants. Opportunities for a work shared space is available for end users as well as private spaces per tenant.

The materials of the building are a blend of the existing masonry on phase 1 as well as secondary materials inclusive of glass, metal and wood applications. Natural light is a driving factor in the experience of the users. Hence, ample glazing and screens are used to allow for natural light to seep through the building.





PHASE 3 BUILDING 3E (SIGNATURE RESTAURANT)

These photographic examples depict general concepts of building architectural character in buildings on Phases 2 and 3. They are not intended to depict final architecture or site design and they do not capture every use or scenario permitted in these areas.

PROGRAM

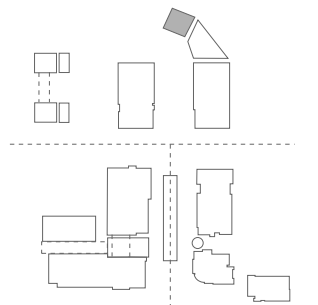
Building 3E is a stand-alone Signature Restaurant building. The building shall include a comprehensive amenity program for the guests. Elements of the amenity program shall include:

- Largest pocket park

CONCEPT

Beautiful horizontal planes drive users back into the site to experience this signature restaurant which is on axis with the central path. It becomes a focal point framed by the main entry to the site from Medical Center Parkway.

The materials of the building are a blend of the existing masonry on phase 1 as well as secondary materials inclusive of glass, metal and wood applications. Natural light is a driving factor in the experience of the users. Hence, ample glazing and screens are used to allow for natural light to seep through the building.

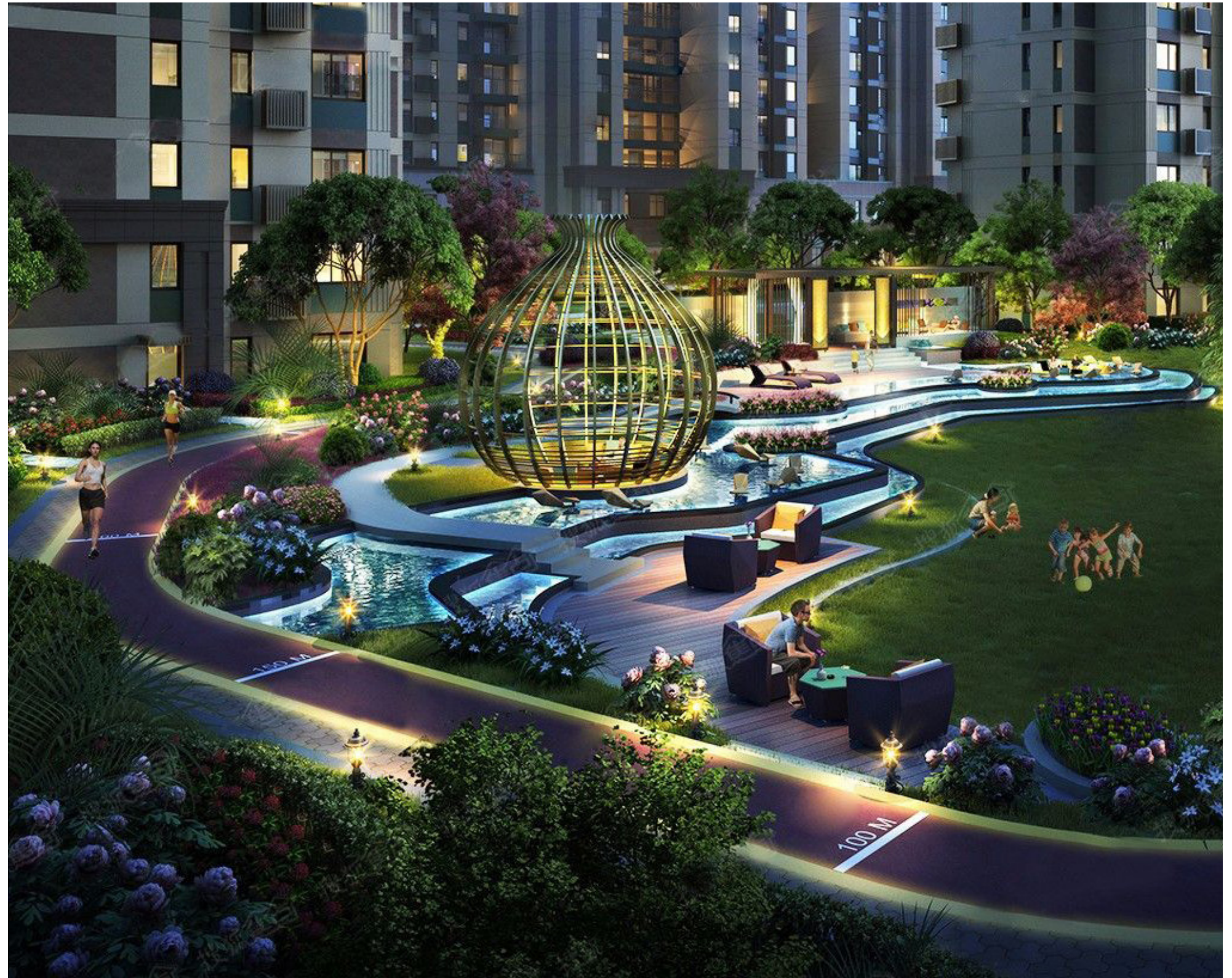


THE FOUNTAINS

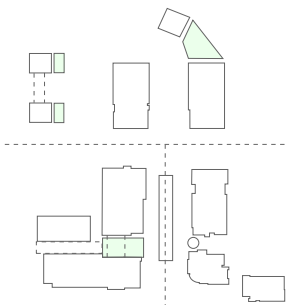
PHASES 2 & 3 POCKET PARKS

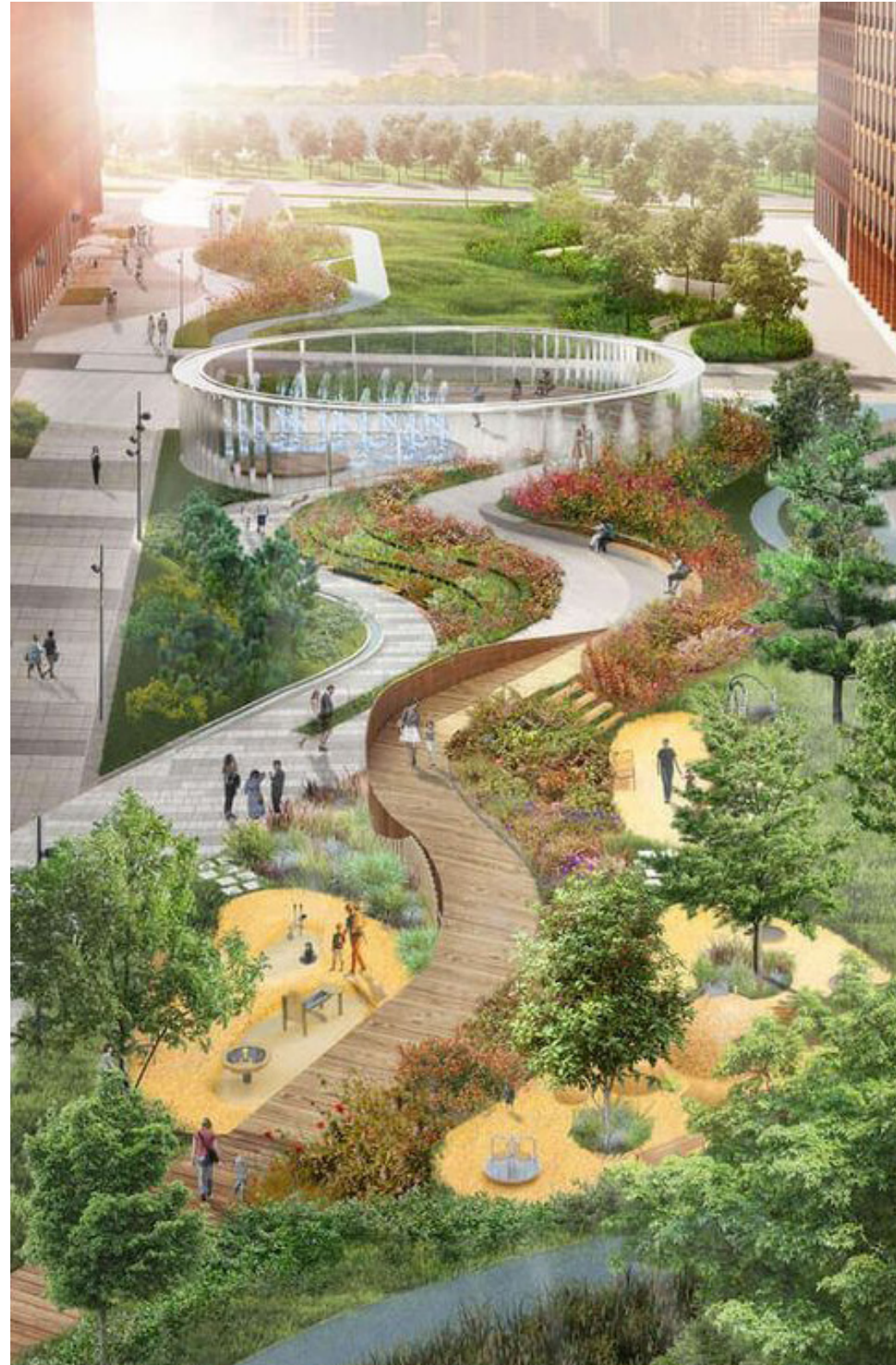
These photographic examples depict general concepts of pocket parks on Phases 2 and 3. They are not intended to depict final landscaping or site design and they do not capture every use or scenario permitted in these areas. Design is subject to change upon site plan review.

- The site has multiple opportunities for pocket parks and ample outdoor spaces that may include the following: a light park, water park, colorful activity park, active park, and urban park.



THE FOUNTAINS





POCKET PARKS

These photographic examples depict general concepts of pocket parks. They are not intended to depict final landscaping or site design and they do not capture every use or scenario permitted in these areas. Design is subject to change upon site plan review.

THE FOUNTAINS

For all planned commercial, planned industrial developments and planned unit developments:

[1] a map showing available utilities, easements, roadways, rail lines and public rights-of-way crossing and adjacent to the subject property;

- *See Page 5 for available utilities and public rights-of-ways crossing and adjacent to the Fountains property.*

[2] a graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred feet of the subject property; existing drainage patterns; location and extent of tree cover; and, community greenways and bicycle paths and routes in proximity to the subject property;

- *See Page 4 for natural resources map on and surrounding the Fountains property*

[3] a plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site or within two hundred feet of the subject property and the identification of the use thereof;

- *See Pages 2-3 for location map and existing conditions for the Fountains property.*

[4] a drawing defining the location and area to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property;

- *See Page 8 for proposed master plan*

[5] a circulation diagram indicating the proposed principal movement of vehicles, bicycles, goods, and pedestrians within the development to and from existing thoroughfares;

- *See Pages 16-17 for proposed vehicular and pedestrian circulation maps.*

[6] a development schedule indicating the stages in which the project will be built and when construction of the project can be expected to begin. If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating: (aa) the approximate date when construction of the project can be expected to begin; (bb) the order in which the phases of the project will be built; and, (cc) the minimum area and the approximate location of common space and public improvements that will be required at each phase.

- *See Page 14 for phasing plan & schedule*

[7] a written statement generally describing the relationship of the planned development to the current policies and plans of the City and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article;

- *See Page 15 for community operations and management*

[8] a statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property;

- *See Page 10-12 for deviation request with PUD*

[9] a tabulation setting forth: (aa) maximum total square feet of building floor area proposed for commercial uses and for industrial uses, by general type of use; (bb) maximum total land area, expressed in acres and as a percent of the total development area, proposed to be devoted to commercial and/or industrial uses; minimum public and private open space; streets and offstreet parking and loading areas; and, (cc) a tabulation of the maximum floor area to be constructed, the F.A.R. (floor area ratio), the L.S.R. (livability space ratio), and the O.S.R. (open space ratio).

- *See Page 13 for proposed Bulk Regulations*

[10] the nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article;

- *The site is located in the Gateway Design Overlay-3 and is not located within any flood hazard areas.*

[11] the location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time;

- *See Page 8 for proposed off-site improvements. Connections will be made to Kennedy and and Carl Adams drive and will be constructed to the City of Murfreesboro standards. Additionally, access easements to the east are being proposed as well as right-of-way dedication for the major transportation plans connection to West Northfield Boulevard.*

[12] the name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated;

- *See Page 8 for contact information.*

[13] architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. And an exterior lighting plan; and,

- *See Pages 18-51 for conceptual architectural plans and renderings.*

[14] the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

- *Signage is exists currently with Phase 1, with subsequent phases the same signage would be constructed on the opposite side of the main entrance drive. See Page 8 & Page 20.*

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

JANUARY 10, 2024

PROJECT PLANNERS: MATTHEW BLOMELEY AND MARINA RUSH

5.c. Annexation petition and plan of services [2023-507] for approximately 21.4 acres located along Blackman Road, including approximately 1,265 linear feet of Blackman Road right-of-way, Bob Parks applicant.

The property owner, Bob Parks, has submitted a petition requesting his property be annexed into the City of Murfreesboro. The property is 20.3 acres and is located along the west side of Blackman Road. In addition, included in the annexation study area is approximately 1,265 linear feet of Blackman Road right-of-way (ROW), or 1.1 acres. The total annexation study area is approximately 21.4 acres. Consent to annex this segment of Blackman Road ROW was approved by the Rutherford County Road Board at its December 4, 2023 meeting.

The annexation study area includes the following properties:

- Tax Map 78, Parcels 3.02 (3.4 acres)
- Tax Map 78, Parcel 3.03 (16.0 acres)
- Tax Map 78, Parcel 3.19 (0.43 acres)
- Tax Map 78, Parcel 3.20 (0.46 acres)
- Blackman Road Right of Way -- approximately 1,265 linear feet (1.1 acres)

Currently, the properties adjacent to Blackman Road are developed with duplexes and are addressed as 2807/2809, 2815/2817, 2823/2825, 2831/2833, 2835/2837, 2841/2843, and 2923/2925 Blackman Road.

The annexation area has a companion zoning application for Planned Residential District and Planned Commercial District zoning simultaneous with annexation.

- Planned Residential District (The Village PRD): request for approximately 14.91 acres to allow 76 single-family residential detached lots;
- Planned Commercial District (The Village PCD): request for approximately 4.48 acres to allow three commercial lots.
- 0.23 acres will be dedicated to Blackman Road's future road expansion.

The annexation study area is located within the City of Murfreesboro's Urban Growth Boundary and is contiguous with the City limits along its eastern boundary. The Murfreesboro 2035 Comprehensive Plan, Chapter 4: Future Land Use Map identifies a "Service Infill Line"; this line is to help facilitate growth and development in the City in an orderly, planned, and sustainable manner and to help plan for future City services. This annexation study area is located within the Service Infill area.

Staff has prepared a Plan of Services for the proposed annexation. It is included in the agenda packet and demonstrates how services can be provided to the study area. Annexation of the study area, in its current state, will have relatively little impact on utilities and City services.

Of note, the study area, if annexed, will be zoned for Overall Creek Elementary, which is currently operating above capacity. According to Murfreesboro City Schools, if the proposed development moves forward, it will generate approximately 15-23 new elementary school students. It should be noted, however, that the completion of the development is expected to occur over a 2-4 year timeframe, although this may vary based on market conditions. The Planning Department is in regular contact with MCS administration to provide MCS with information to help them determine how to plan for and accommodate future growth.

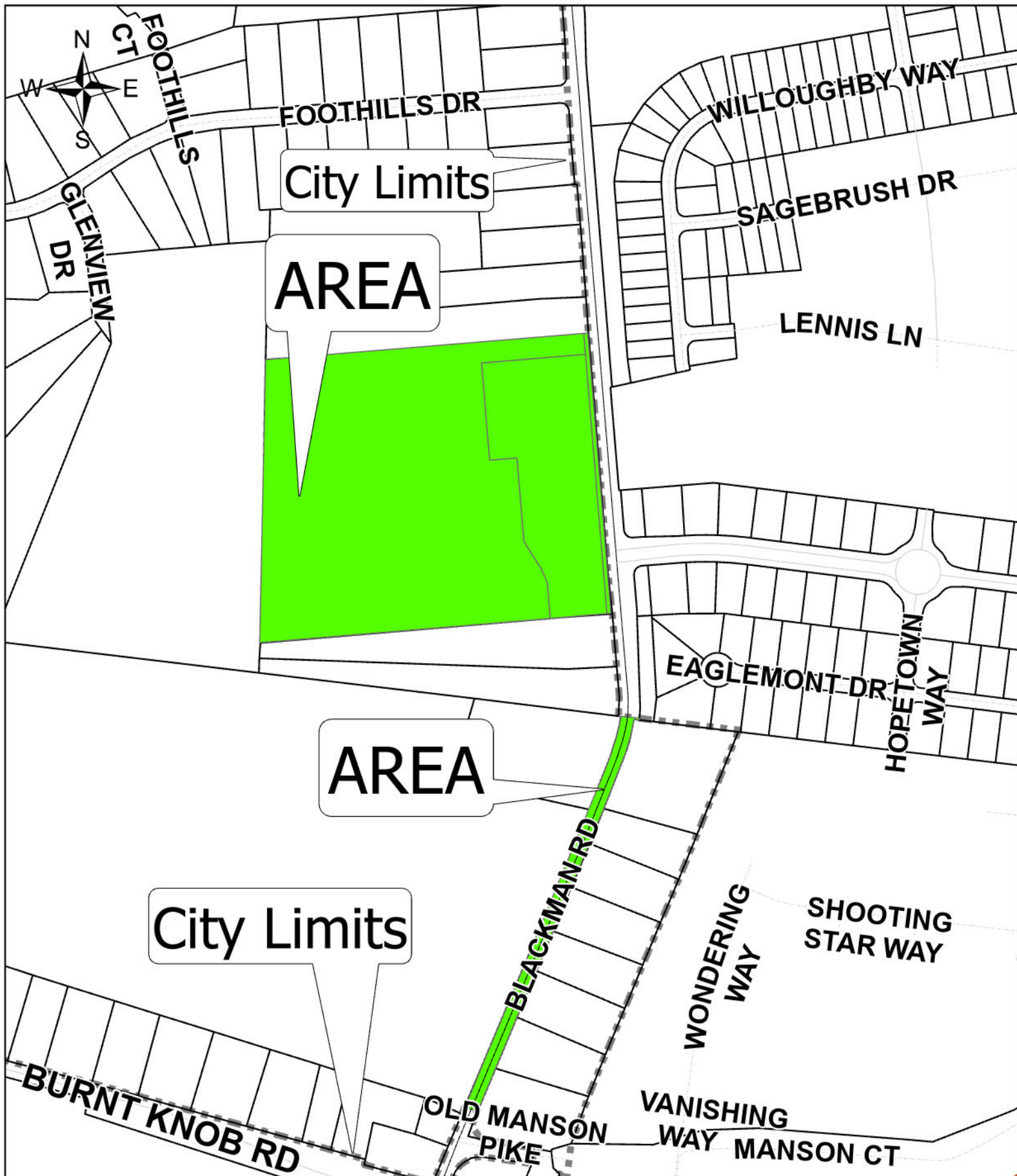
Staff Recommendation:

Staff recommends approval of this annexation for the following reasons:

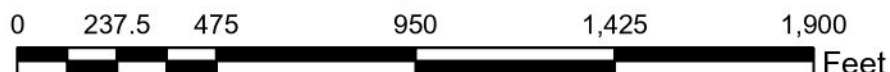
- 1) The study area is contiguous with the existing City limits.
- 2) The study area is within the City's Urban Growth Boundary.
- 3) The study area is within the City's Service Infill Area.
- 4) Annexation of the study area, in its current state, will have relatively little impact on utilities and City services.

Action Needed:

The Planning Commission will need to conduct a public hearing, after which it will need to discuss and then formulate a recommendation for City Council.



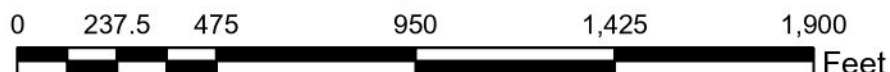
Annexation Request for Property located along Blackman Road



City of Murfreesboro
Planning Department
111 West Vine ST
Murfreesboro, TN 37130
www.murfreesborotn.gov



Annexation Request for Property located along Blackman Road



City of Murfreesboro
Planning Department
111 West Vine ST
Murfreesboro, TN 37130
www.murfreesborotn.gov

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. BOB PARKS

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: [Signature] Status: OWNER Date: 10-24-2023

8119 Isabella Lane Suite 105 Brentwood TN 37027
Mailing Address (if not address of property to be annexed)

2.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

3.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

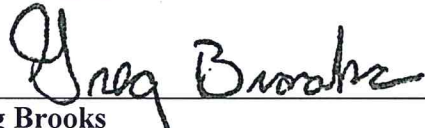
Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes _____ No

Consent for Annexation of Public Right-of-Way by the City of Murfreesboro

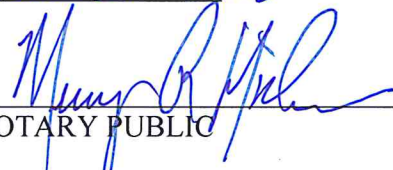
The City of Murfreesboro, Tennessee has initiated an annexation study of public right-of-way as shown on the attached Exhibit, which specifically includes that segment of Blackman Road from the north property line of 2631 Blackman Road south to approximately the north property line of 2507 Blackman Road, totaling approximately 1,265 linear feet ("County Right-of-Way"), such section being a portion of the prescriptive/platted right-of-way for Blackman Road shown in the current Rutherford County Highway Department Road Book. The undersigned, a duly authorized official of Rutherford County, Tennessee, hereby certifies that, at a public meeting held on December 4, 2023 and in furtherance of the requirements set forth in Tenn.Code Ann. § 6-51-1014, the Rutherford County Highway Commission consented to the annexation of the County Right-of-Way by the City of Murfreesboro, Tennessee.

WITNESS MY HAND this 4 day of December 2023.



Greg Brooks
Rutherford County Road Superintendent

Sworn to and subscribed before me, a notary public in and for said county and state in Murfreesboro, Tennessee on the 4 day of December 2023



NOTARY PUBLIC
My Commission Expires: 4/23/2024



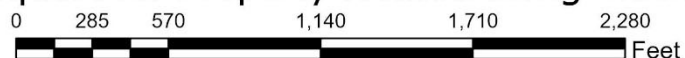
**ANNEXATION REPORT FOR PROPERTY
LOCATED ALONG BLACKMAN ROAD
INCLUDING PLAN OF SERVICES
(FILE 2023-507)**



**PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
JANUARY 10, 2024**



Annexation Request for Property located along Blackman Road



City of Murfreesboro
Planning Department
111 West Vine ST
Murfreesboro, TN 37130
www.murfreesborotn.gov

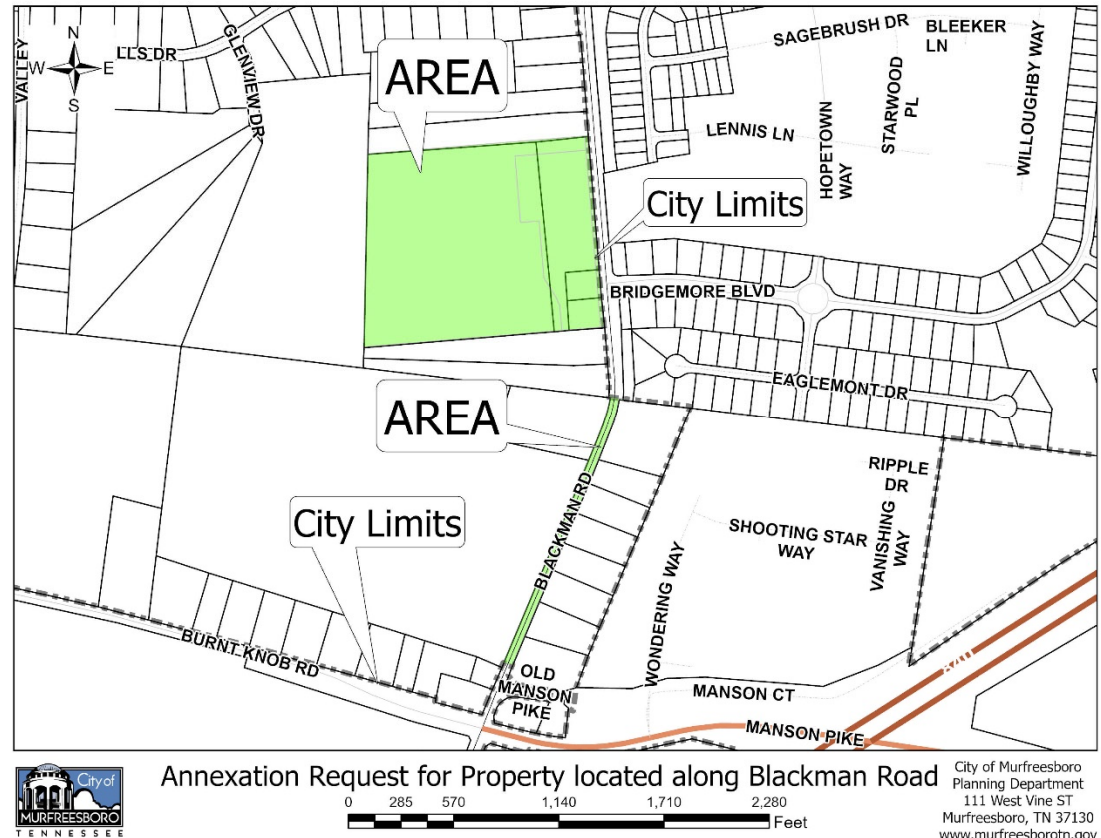
INTRODUCTION

OVERVIEW

The property owner, Bob Parks, submitted a petition requesting his property be annexed into the City of Murfreesboro. The property is 20.3 acres and is located along the west side of Blackman Road. In addition, included in the annexation study area is approximately 1,265 linear feet of Blackman Road right-of-way (ROW) (or approximately 1.1 acres). The total annexation study area is approximately 21.4 acres. The annexation study area includes the following properties:

- Tax Map 78, Parcels 3.02 (3.4 acres)
- Tax Map 78, Parcel 3.03 (16.0 acres)
- Tax Map 78, Parcel 3.19 (0.43 acres)
- Tax Map 78, Parcel 3.20 (0.46 acres)
- Blackman Road Right-of-Way (1.1 acres)

The annexation study area is located within the City's Urban Growth Boundary and is contiguous to the existing City limits along its northern and western boundaries, as depicted on the adjacent map.

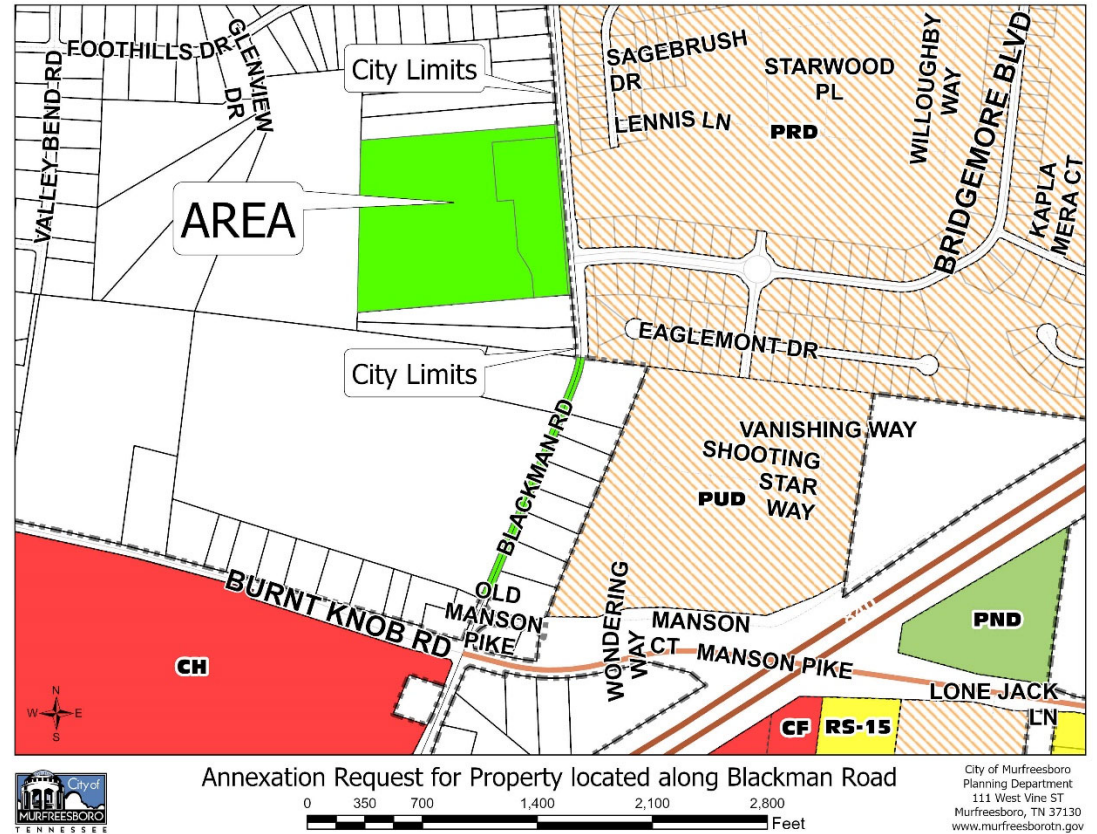


SURROUNDING ZONING

The properties surrounding the annexation study area have a variety of zoning. The portion along the north, west, and south sides are zoned Medium Density Residential (RM) in unincorporated Rutherford County. Along the east side of Blackman Road is zoned Planned Residential District (PRD) with various single-family residential subdivisions, including Shelton Square and Shelton Grove. Land further to the south is zoned Commercial Highway (CH).

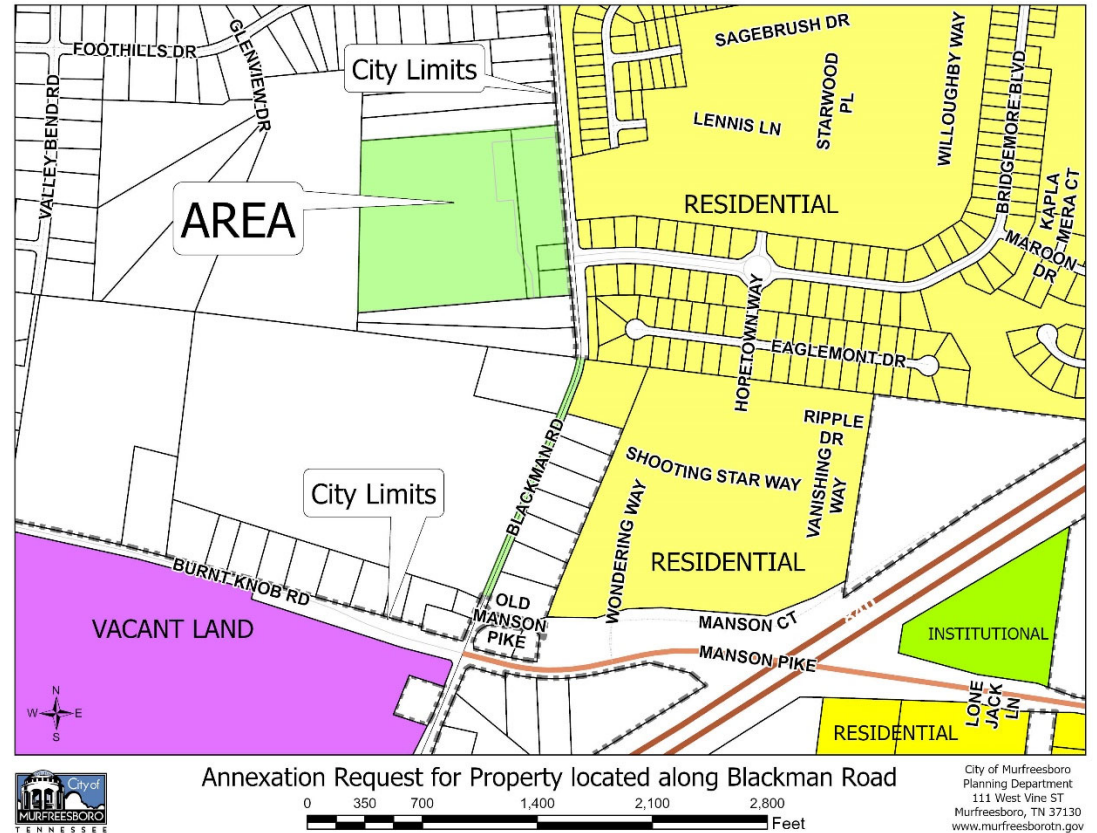
The annexation area has a companion zoning application for Planned Residential District (The Village PRD) and Planned Commercial District (The Village PCD) for future development of the following:

- 76 single-family residential detached lots
- 3 commercial lots/buildings



PRESENT AND SURROUNDING LAND USE

The study area is developed with seven residential duplexes (total of fourteen dwellings addressed 2807, 2809, 2815, 2817, 2823, 2825, 2831, 2833, 2835, 2837, 2841, 2843, 2923, and 2925 Blackman Road). The properties to the east are in the City limits and developed with single-family residences (Shelton Square); properties to the north and west are in the unincorporated County and are developed with single-family residences; and properties to the south are primarily undeveloped with some single-family residences further south.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2024 will be due on December 31, 2025. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9526/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

Table I
Estimated Taxes from Site

Owner of Record	Tax Map and Parcel	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Bob Parks	78-03.02	3.40	\$202,300	\$893,800	\$440,900	\$4,200.00
Bob Parks	78-03.03	16.0	\$51,300	\$0.00	\$12,825	\$122.17
Bob Parks	78-03.19	0.43	\$61,700	\$240,200	\$120,760	\$1150.36
Bob Parks	78-03.20	0.46	\$61,700	\$204,600	\$107,420	\$1,023.28

These figures are for the properties in their current state and assessed at the residential rate of 25 percent. After this property is rezoned and when it is developed, an improvement value will be added, which will result in an increase to the City and County taxes.

The City of Murfreesboro is also projected to receive additional revenue from state-shared taxes. Table II below shows the 2023-2024 per capita state revenue estimates for the City of Murfreesboro once the proposed development is built out. The study area is proposed to be developed with 76 single-family residential homes.

Table II
Per Capita State Revenue Estimates

General Fund	Per Capita Amount
State Sales Tax	\$89.00
State Beer Tax	\$0.50
Special Petroleum Products Tax (Gasoline Inspection Fee)	\$2.00
Gross Receipts (TVA in-lieu taxes)	\$11.80
<i>Total General Revenue Per Capita</i>	\$103.30
State Street Aid Funds	Per Capita Amount
Gasoline and Motor Fuel Taxes	\$38.50
<i>Total Per Capita (General and State Street Aid Funds)</i>	\$141.80
Total State-Shared Revenues (based on full build-out at 2.58 persons per dwelling unit for proposed 76 new units)	\$27,804.14

The per capita state revenue estimates apply only to new residents and will only be available after a certified census takes place.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE, and other community crime prevention programs to the study area immediately upon the effective date of annexation. The current police zone that borders the study area is Zone 4.

ELECTRIC SERVICE

The study area is currently served by Middle Tennessee Electric (MTE). MTE has existing electrical infrastructure along Blackman Road with the capacity to serve any proposed development. Any new electrical infrastructure installed will be required to adhere to MTE standards.

STREET LIGHTING

Street lighting maintained by MTE exists along the west side of Blackman Road, along the property frontage. The developer will be required to install streetlights within the development for any proposed public streets.

SOLID WASTE COLLECTION

Upon annexation, the Murfreesboro Solid Waste Department will be responsible for providing carts to the existing seven duplex residences. The day of the week for service will be Friday. The cost for a new cart is \$73.40, the total cost of \$1,027.60. If the property is developed with 76 single-family homes, the cost for carts would be \$5,578.40. There is a service charge for weekly collection paid monthly through the water bill of \$9.50 for each home. For any future commercial development, solid waste will be collected via a third-party commercial hauler.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

CITY SCHOOLS

The Murfreesboro City Schools (MCS) system serves grades kindergarten through sixth and is offered to students who reside within the City of Murfreesboro. Currently there are fourteen residences in the annexation study area. Any elementary school-age children residing there will be eligible to attend Murfreesboro City Schools. The property is located outside the Overall Creek Elementary school zone and would become part of this school's zoned area if annexed. The projected additional enrollment for 76 new single-family residential units, as proposed by the developer, is 15-23 new students. The Overall Creek

Elementary School capacity is 960 students, and the current enrollment is 980 students.

BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

STREETS AND ACCESS

The annexation study area includes approximately 1,265 linear feet of Blackman Road right-of-way (ROW). Blackman Road at this location is a 28-foot-wide, 2-lane shoulder section roadway. Upon annexation, the roadway will become the responsibility of the City of Murfreesboro, including all routine maintenance. Based on an estimated 15-year repavement cycle for collector roadways and routine ROW mowing, annualized roadway maintenance costs are estimated at \$2,200 for this roadway. As a substandard street, any development along Blackman Road will need to dedicate appropriate ROW and participate in the upgrade of the roadway to current City standards. Blackman Road within the study area is on the City's Major Transportation Plan to be upgraded to a 5-lane section.

No additional public roadways are included in the study area. Any future public roadway facilities to serve the study area must be constructed to City standards.

REGIONAL TRAFFIC & TRANSPORTION

The study area is served by Blackman Road. The 2014 Level of Service Model in the proposed 2040 Major Transportation Plan shows Blackman Road to be operating at a Level of Service C in the study area. The 2040 Level of Service Model indicates that Blackman Road operates at a Level of Service F without the proposed improvements in the 2040 plan.

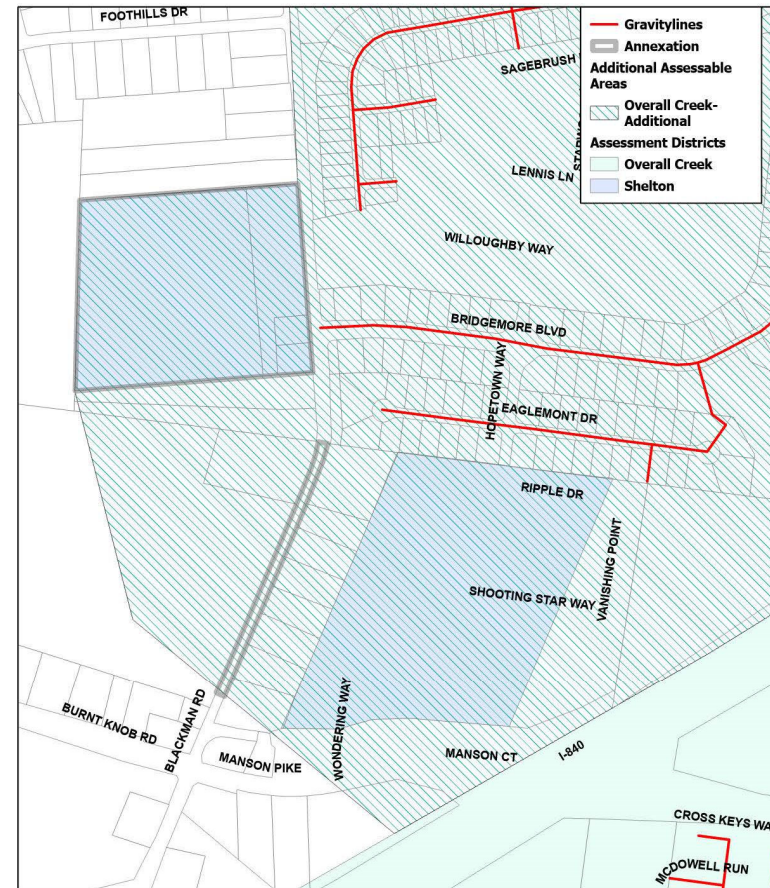
SANITARY SEWER SERVICE

Upon annexation and until the property is developed, the existing residential structures on the property will continue to be served by septic systems. For future development, in order to serve the property requesting annexation, the developer will be required to connect to an existing 8" sanitary sewer main at the intersection of Bridgmore Boulevard and Blackman Road.

Per the Sewer Allocation Ordinance (SAO), the Planned Residential Development zoning for the west side of the development with 76 units on 14.91 acres meets the requirements. Once the specific uses for the Planned Commercial Development are known, then it can be determined if a variance to the SAO will be required for this portion of the study area.

This property is within the Overall Creek and Shelton Square Sanitary Sewer Assessment Districts and will be charged \$1000 and \$500 per single family unit (sfu), respectively, in addition to the standard connection fee of \$2550 per sfu. All main line extensions are the financial responsibility of the developer and may be extended in accordance with the Development Policies and Procedures of the Murfreesboro Water Resources Department. The red lines on

the map below represent the approximate location of the gravity sewer line.



MURFREESBORO WATER RESOURCES DEPARTMENT

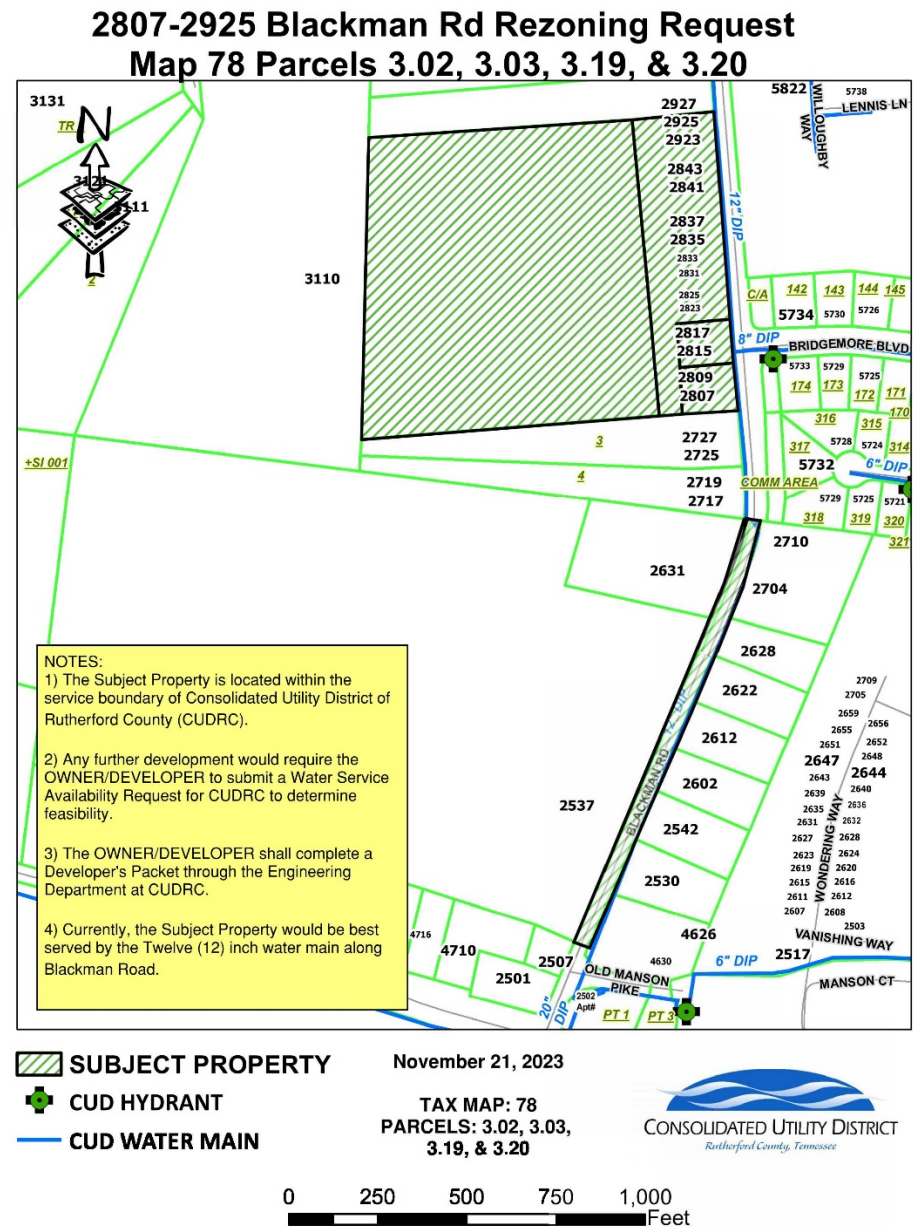
Annexation Request Blackman Road



WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUDRC) service area. A 12-inch ductile iron water main (DIP) is located along Blackman Road, as depicted on the map to the right, and serves the existing residences. This water line can serve the annexation study area and the future development of 76 single-family residences and 3 commercial lots.

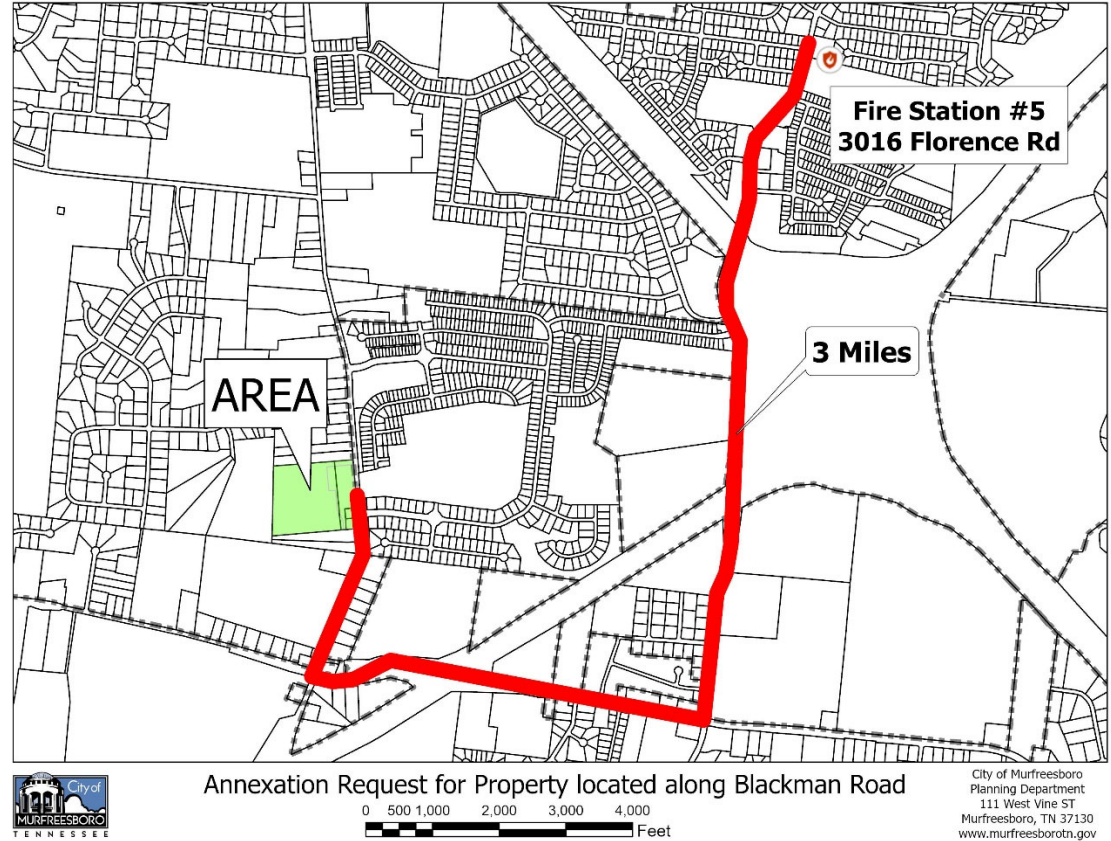
Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUDRC's Developer Packet through CUDRC's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUDRC's development policies and procedures.



FIRE AND EMERGENCY SERVICE

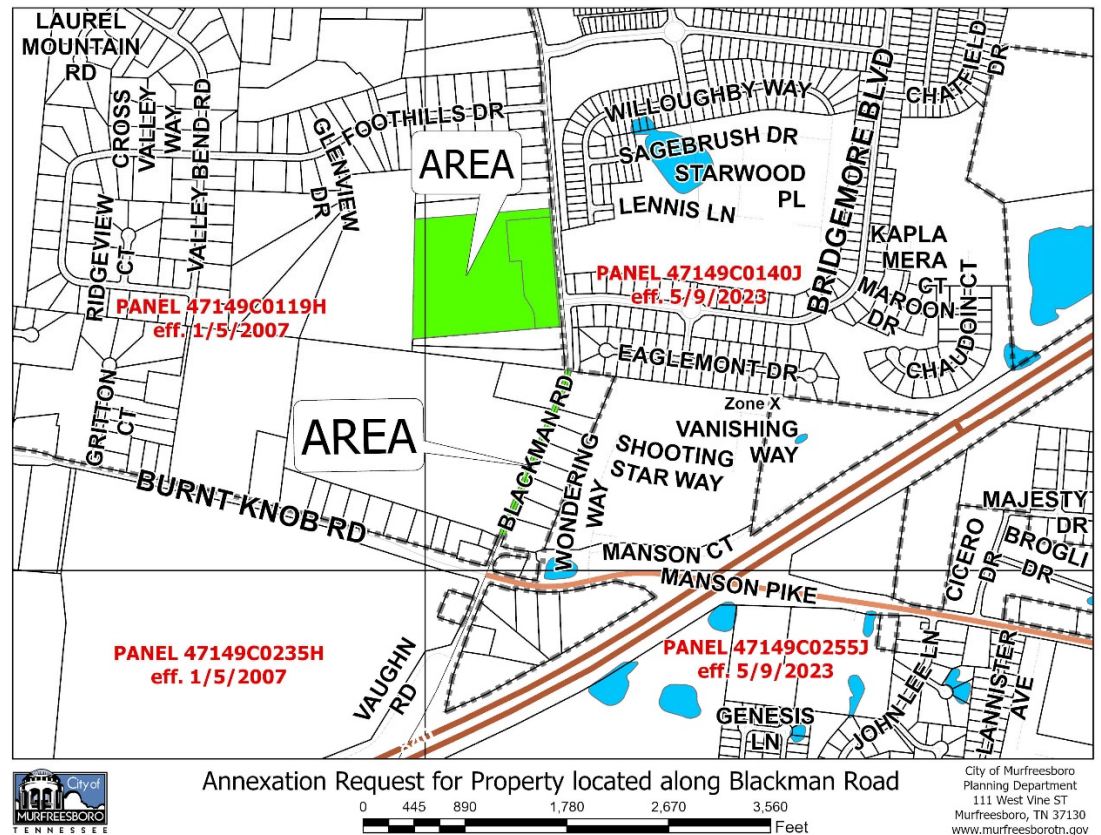
The study area contains seven existing duplex buildings. The Murfreesboro Fire and Rescue Department (MFRD) can provide emergency services and fire protection to the study area immediately upon the effective date of annexation at no additional expense.

Currently the study area is located 1.4 miles from Fire Station #5 (3016 Florence Road). The red line on the adjacent map represents the linear distance range from the nearest fire station.



FLOODWAY

The study area is not located within the 100-year floodplain or the regulatory floodway as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA).



DRAINAGE

Public Drainage System

Public drainage facilities available to the study area are located within the right-of-way (ROW) of Blackman Road. The annualized operation and maintenance cost for this system is included in the public roadway sections above as they are internal roadway drainage systems. No other public drainage facilities are available to the study area. Any public drainage facilities proposed to serve the study area in the future must meet City standards.

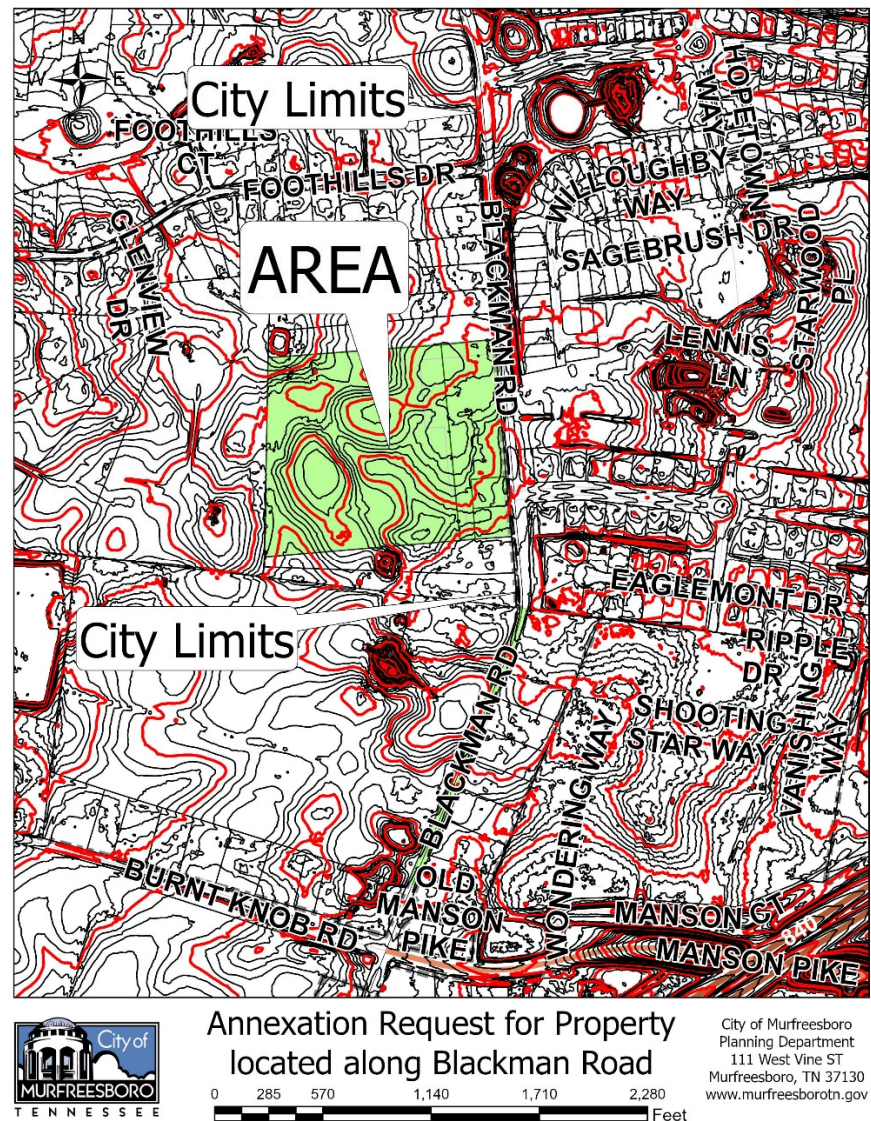
Regional Drainage Conditions

The annexation study area drains to closed depressions located on the site.

Stormwater Management and Utility Fees

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area. The study area currently has 7 duplexes (a total of 14 dwellings) and will generate approximately \$546 per year in revenue for the Stormwater Utility Fee. The subject property is proposed to be developed with 76 single-family residential detached homes and 4.48 acres of commercial. Based on this development scenario, it is anticipated that the site will generate approximately \$4,000 annually in revenue for the Stormwater Utility Fund upon full buildout.

The red lines on the map below represent ten-foot contours. The grey lines represent two-foot intervals.



PROPERTY AND DEVELOPMENT

Blackman Road is on the City's Major Transportation Plan. ROW dedication and participation in roadway improvements will be required with development.

New development should comply with the City's Stormwater Quality Regulations by providing stormwater quality, streambank protection, and detention.

Receiving closed depressions and sinkholes may be subject to flooding which could impact function of potential stormwater controls.

A closed depression in the northwest corner of the property should be examined for the presence of jurisdictional waters or an exposed water table.

ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
JANUARY 10, 2024
PROJECT PLANNERS: AMELIA KERR AND MARINA RUSH**

- 5.d. Zoning application [2023-420] for approximately 20.3 acres located along Blackman Road to be zoned PRD (The Village PRD - approx. 14.91 acres) and PCD (The Village PCD - approx. 4.71 acres) simultaneous with annexation, 360 Development applicant.**

The applicant, 360 Development, is requesting to zone the subject property to Planned Residential District (PRD) and Planned Commercial District (PCD) simultaneous with annexation of the property. The property is located along the western side of the Blackman Road at the Bridgemore Boulevard intersection. The property is currently developed with seven residential duplexes (14 residential units). The site is identified as Parcels 3.02 (3.4 acres), 3.03 (16.4 acres), 3.19 (0.43 acres), and 3.20 (0.46 acres) of Tax Map 78 for a combined acreage of 19.62 acres. Of this acreage, approximately 4.71 acres contiguous to Blackman Road will be zoned PCD for the development of three commercial buildings (including 0.23 acres of right-of-way dedication for improvements to Blackman Road) and the remaining approximately 14.91 acres will be for the development of single-family detached residences. The density will be 5.09 dwelling units per acre.



The Village PRD proposes minimum lot sizes of 4,650 square-feet. Each home will be a minimum of 1,800 square feet of living area, with a minimum of three bedrooms and a 2-car front entry garage. Per the program book, the lots will be 'for sale' to individuals and will not be sold to rental companies. There will be an HOA and it will be responsible for the maintenance of all common areas.

There are two primary points of ingress/egress to the development from Blackman Road, one of which the proposed development will be connecting to create a four-way intersection at Blackman Road and Bridgemore Boulevard. As part of this development, the developer has committed to installing a southbound left turn lane at the intersection of Blackman Road and Burnt Knob Road/Manson Pike. The developer shall also contribute \$100,000 towards a future traffic light at this intersection and shall also complete a signal warrant analysis for this intersection. Also, this development shall install a continuous center turn land between the two proposed intersections along Blackman Road.

Adjacent Land Use and Zoning

The property is currently zoned Medium-Density Residential (RM) and Residential Multi-Family (RMF) in Rutherford County. The surrounding area consists of a mixture of zoning types and uses. The land to the north and south is zoned RMF (Rutherford County) with adjacent RM (Rutherford County) zoning. The land to the west is zoned RM (Rutherford County). The land to the east is zoned PRD (City of Murfreesboro). Surrounding land uses include a mixture of residential subdivisions and agricultural properties. Shelton Square is a residential development to the east directly across Blackman Road consisting of a mixture of one and two-story single-family detached homes with garages and varying lot sizes.

The Village PRD:

The PRD portion is 14.91 acres for up to 76 2-story residential homes on lots with a minimum lot size of 4,650 square-feet. The minimum lot width will be 50 feet. The homes will each be a minimum of 1,800 square feet of living area with a minimum of 3-bedrooms and front-entry garages.

The open space areas include two detention ponds (0.51 and 0.47 acres, respectively), a walking trail between some units (#25-#35), and an amenity area with a fire pit, seats, pavilion, bench swing, dog park, and two pickleball courts. Also proposed are 29 guest parking spaces.

The residential lots will be phased. Phase 1 will include a temporary mail kiosk. Phase 2 will include the permanent mail kiosk and the outdoor amenities. Street connections are proposed to be stubbed from this property to the north, to the west, and to the south with two ingress/egress points via Blackman Road.

Exceptions Requested:

1. Driveway length to be reduced from 35 feet to 25 feet.
2. Front setback (excluding garage) reduced from 25 feet to 19 feet and 20 feet to the ROW on secondary fronts on corner lots.
3. Rear setback reduced from 20 feet to 12.5 feet (between interior units). (Perimeter units will continue to have a 20' rear setback.)
4. Reduction in required parking in the driveway from four (4) cars to allow two (2) cars per driveway, with two (2) car garages to be used only for vehicle parking and not storage.
5. Road design exceptions requested, as noted in the pattern book, from minimum tangent between horizontal curves and minimum distance between intersections within the development.

The Village PCD:

The PCD portion is 4.71 acres to allow for three commercial lots for development. The site plan depicted on The Village PCD program book, Page 24, shows potential buildings, parking, circulation, landscaping, and access. The commercial development is speculative as no specific users have been identified at this time.

Exceptions Requested:

1. Front setback reduction from the new internal public street from 42 feet to 30 feet. (Commercial buildings will be oriented to face Blackman Road.)

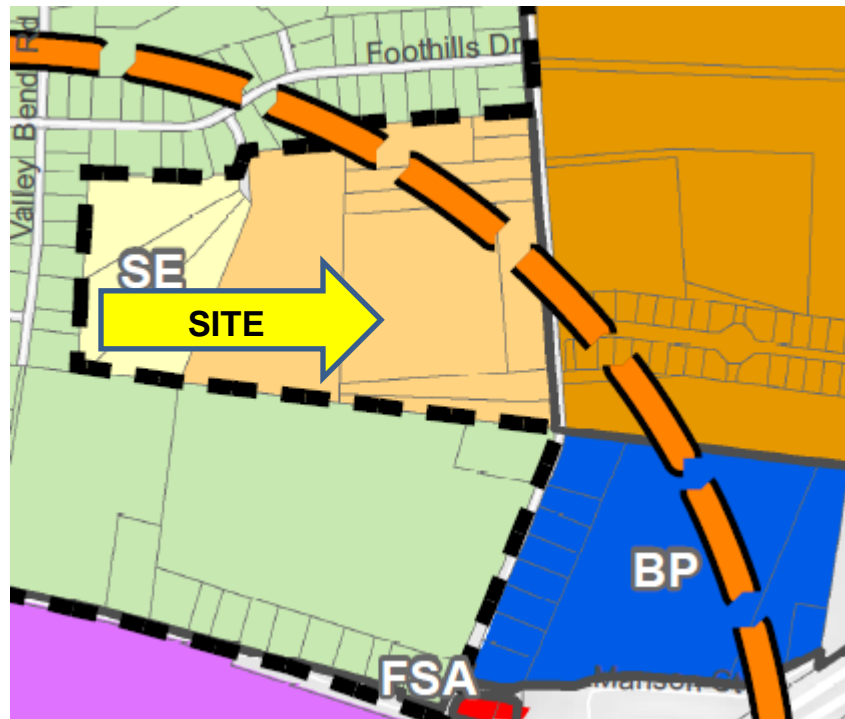
Future Land Use Map:

The Future Land Use Map (FLUM) of the *Murfreesboro 2035 Comprehensive Plan* indicates that "Suburban Residential" is the most appropriate land use character for the project area, as shown on the map below. The general characteristics of the Suburban Residential character include garages on the front and side home facades, generally larger lot sizes with the possibility of smaller lot sizes in exchange for great open space devoted to maintain the suburban character, enhanced landscaping between adjacent properties and roads, enhanced onsite amenities, larger front yards with increased front setbacks and incorporation of street trees. Densities for this character range from 1.0 to 4.0 units per acre. Generally compatible zoning districts include RS-15, RS-12, and RS-10. The proposed PRD and PCD are not consistent with the Suburban Residential characteristics.

In this instance, the applicant proposes introducing neighborhood commercial uses in order to introduce a higher residential density of 5.1 dwelling units/acre. The

Village PRD is more consistent with the “Auto-Urban Residential” land use character. The applicant proposes an amenitized residential development that integrates adjacent commercial uses - with the convenience of the commercial uses serving as an additional amenity for the proposed residential development as well as adjacent residential developments. . The Planning Commission will need to determine if this is an appropriate instance to deviate from the recommendations of the future land use map.

Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



Key Discussion Opportunities:

The Planning Department is supportive of this request because it introduces neighborhood commercial uses into an area with a growing number of rooftops, providing a convenience to the nearby residents. However, the Planning Commission should consider the following items in its deliberation:

1. The PRD Exceptions requested.
2. The area needed for drainage easements and utilities, specifically as it relates to potential conflicts with residential fences and patios, if desired by homeowners.
3. The PCD exception from the front setback to the new street ROW.

4. The commercial Lot “C” is small with only 0.52 acres, giving it limited viability as a developable commercial lot.
5. The timing of the development of the commercial portion of the development relative to the timing of the development of the residential portion.

Action Needed:

The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning request and make a presentation. A copy of the PRD/PCD program book is included with the agenda materials. The Planning Commission should conduct a public hearing prior to formulating a recommendation to the City Council.



City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

Creating a better quality of life

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: 360 Development c/o Davis Lamb

Address: 1535 West Northfield Drive City/State/Zip: Murfreesboro, TN 37129

Phone: 615-566-5262 E-mail address: davis@parks360development.com

PROPERTY OWNER: same

Street Address or
property description: 2807-2925 Blackman Road

and/or Tax map #: 78 Group: _____ Parcel (s): 3.02,3.03,3.19,3.20

Existing zoning classification: RM (COUNTY)

Proposed zoning classification: PRD & PCD Acreage: 19.62

Contact name & phone number for publication and notifications to the public (if different from the applicant): Matt Taylor 615-890-7901

E-mail: mtaylor@sec-civil.com

APPLICANT'S SIGNATURE (required): _____

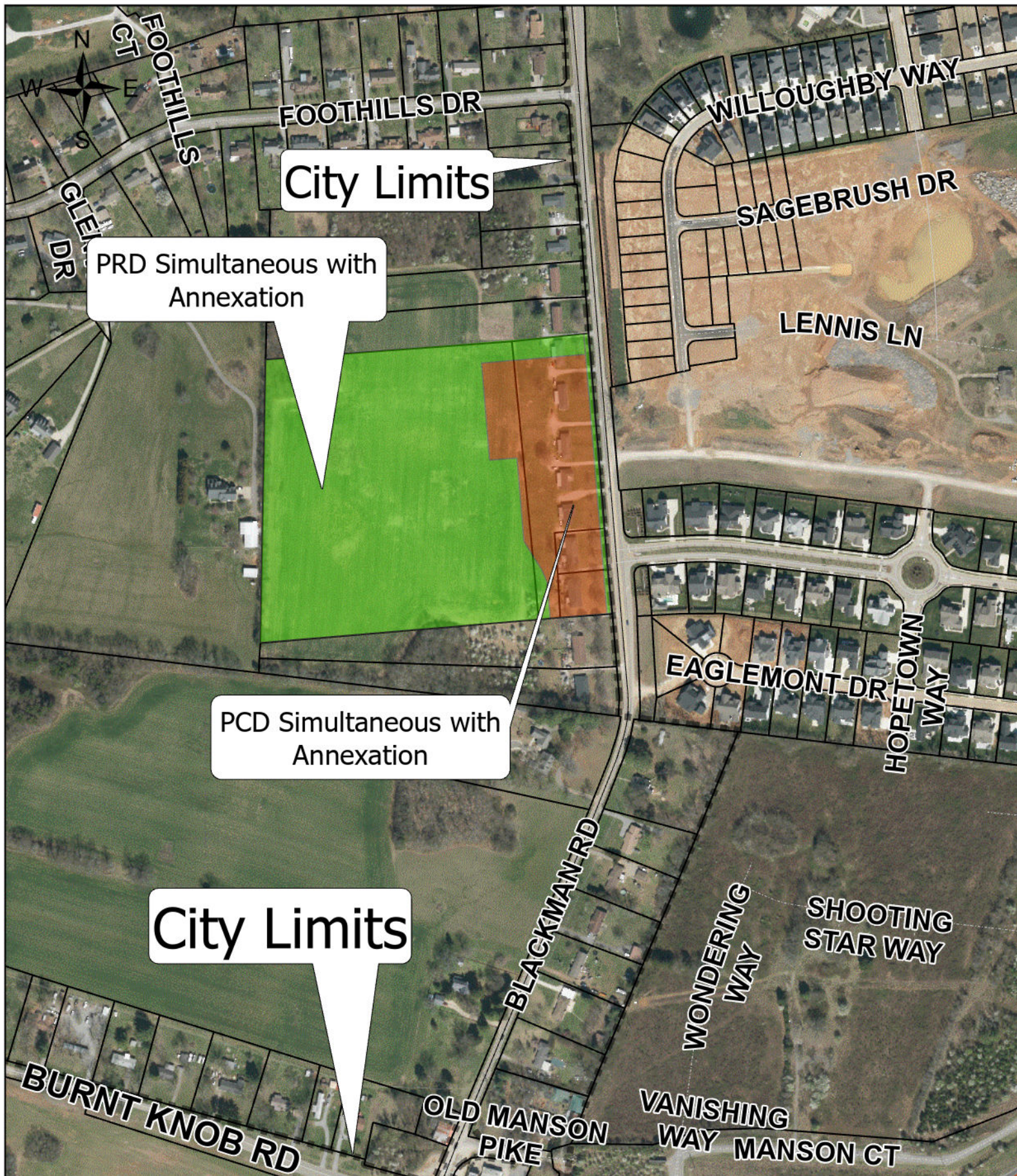
DATE: 11/9/2013

*****For Office Use Only*****

Date received: _____ MPC YR.: _____ MPC #: _____

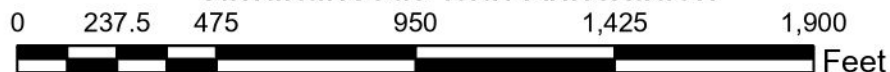
Amount paid: _____ Receipt #: _____

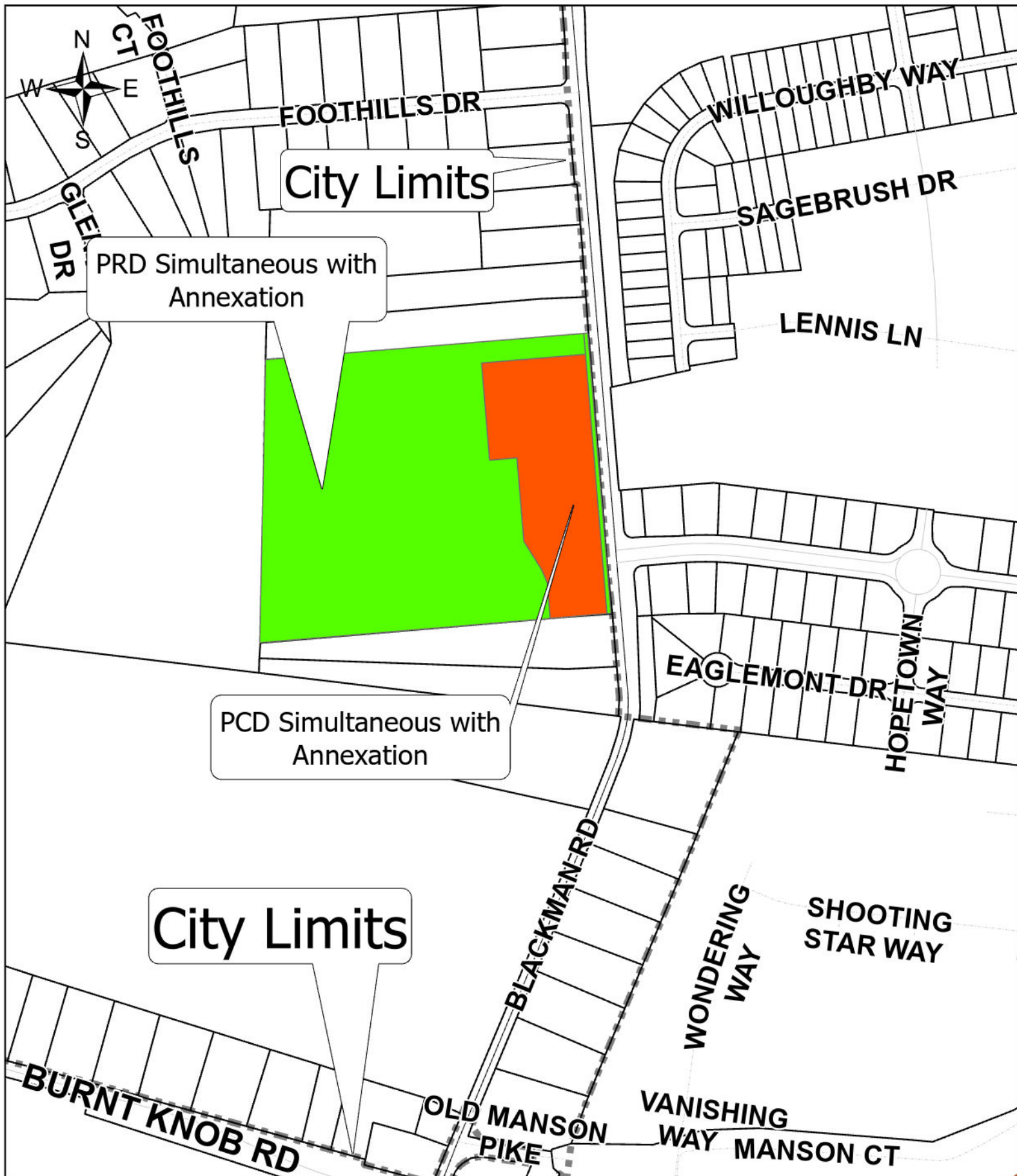
Revised 7/20/2018



Zoning Request for Property located along Blackman Road
PRD and PCD (The Villages PRD and PCD)
Simultaneous with Annexation

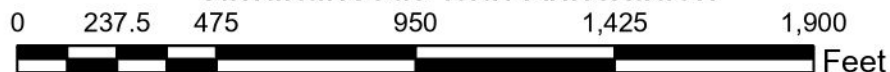
City of Murfreesboro
Planning Department
111 West Vine ST
Murfreesboro, TN 37130
www.murfreesboro.tn.gov





Zoning Request for Property located along Blackman Road
 PRD and PCD (The Villages PRD and PCD)
 Simultaneous with Annexation

City of Murfreesboro
 Planning Department
 111 West Vine ST
 Murfreesboro, TN 37130
www.murfreesborotn.gov



THE VILLAGE

A REQUEST FOR ANNEXATION AND REZONING FROM MEDIUM DENSITY RESIDENTIAL (RM) & RESIDENTIAL MULTI-FAMILY (RMF) IN RUTHERFORD COUNTY
TO A PLANNED RESIDENTIAL DISTRICT (PRD) & PLANNED COMMERCIAL DISTRICT (PCD) IN THE CITY OF MURFREESBORO

Murfreesboro, Tennessee



Pre-App Submittal

October 25th, 2023

Initial Submittal

November 8th, 2023

Resubmitted

November 30th, 2023 for the December 13th, 2023
Planning Commission Workshop

Resubmitted

December 12th, 2023 for the December 13th, 2023
Planning Commission Workshop

Resubmitted

January 3rd, 2024 for the January 10th, 2024
Planning Commission Public Hearing



Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Rob Molchan / Matt Taylor
Phone: (615) 890-7901
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com
Web: www.sec-civil.com

850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129

Company Name: Parks 360 Development LLC
Profession: Developer
Attn: Davis Lamb
Phone: (615) 896-4045

1535 W Northfield Drive,
Murfreesboro, TN 37129

TABLE OF CONTENTS02

PROJECT SYNOPSIS & ZONING MAP03

2035 FUTURE LAND USE MAP.....04

SUBDIVISION MAP & 2040 MAJOR TRANSPORTATION PLAN05

UTILITY MAP & HYDROLOGY AND TOPOGRAPHY06

ON-SITE, ROADWAY, & OFF-SITE PHOTOGRAPHY 07-08

PRD & PCD ZONING DISTRICT PLAN09

PRD CONCEPTUAL SITE AND LANDSCAPE PLAN10

PRD DEVELOPMENT STANDARDS.....11

PRD CONCEPTUAL PHASING PLAN.....12

PRD ARCHITECTURAL CHARACTERISTICS..... 13-17

PRD AMENITIES 18-19

PRD INGRESS/EGRESS 20

DEVELOPMENT TRUCK-TURN TEMPLATE.....21

PRD ROADWAY SECTIONS.....22

PRD LANDSCAPE CHARACTERISTICS.....23

PRD ARTICLE 13 INFORMATION SUMMARY24

PRD REQUESTED EXCEPTIONS SUMMARY25

PCD CONCEPTUAL SITE AND LANDSCAPE PLAN26

PCD DEVELOPMENT STANDARDS.....27

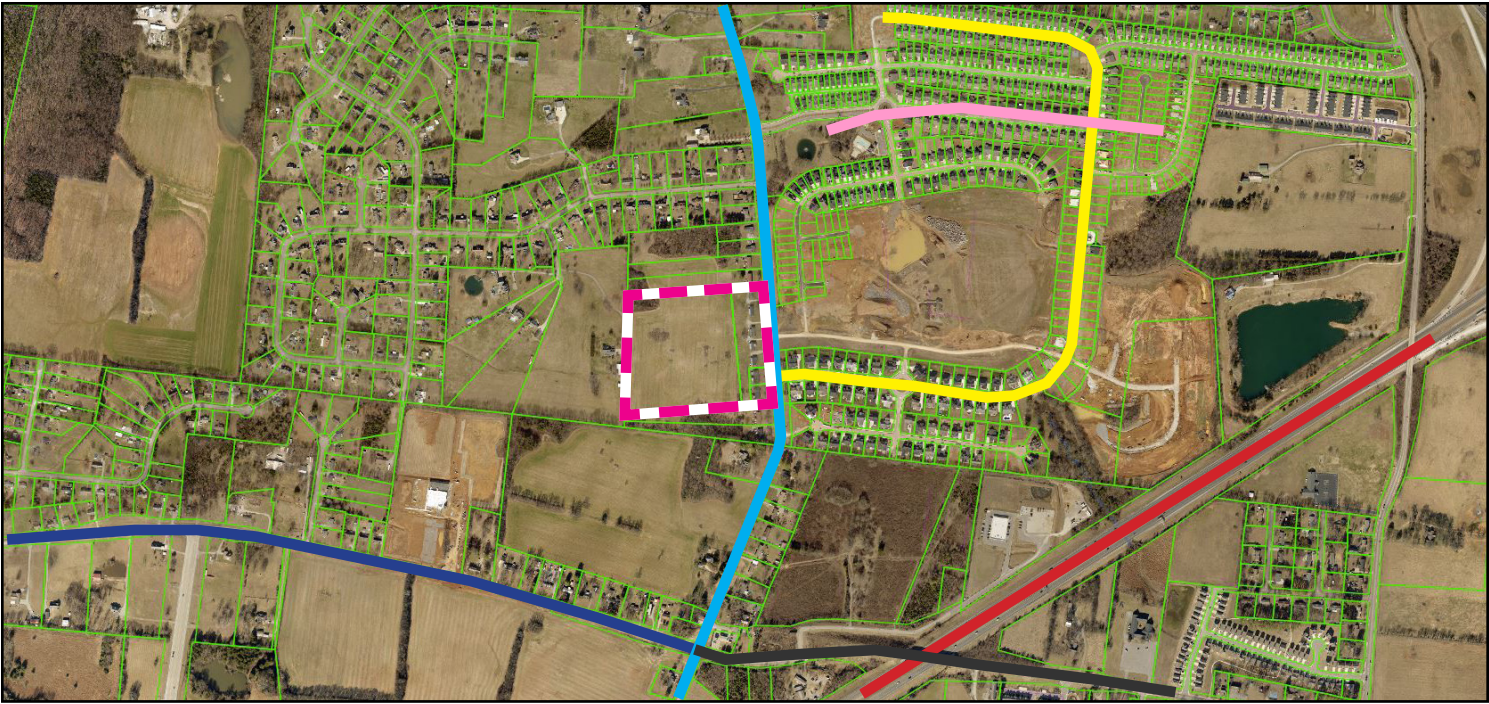
PCD ARCHITECTURAL CHARACTERISTICS.....28

PCD LANDSCAPE CHARACTERISTICS.....29

PCD ARTICLE 13 INFORMATION SUMMARY30

PCD REQUESTED EXCEPTIONS SUMMARY31

© Copyright 2023, Site Engineering Consultants, Inc. (SEC, Inc.)
This document shall not be reproduced, modified, published, or used in any way or form of media/print
without the expressed written consent of Site Engineering Consultants, Inc.



AERIAL PHOTOGRAPH

Not To Scale



- Blackman Road
- Burnt Knob Road
- Bridgemore Boulevard
- Manson Pike
- Interstate 840
- Shelton Boulevard

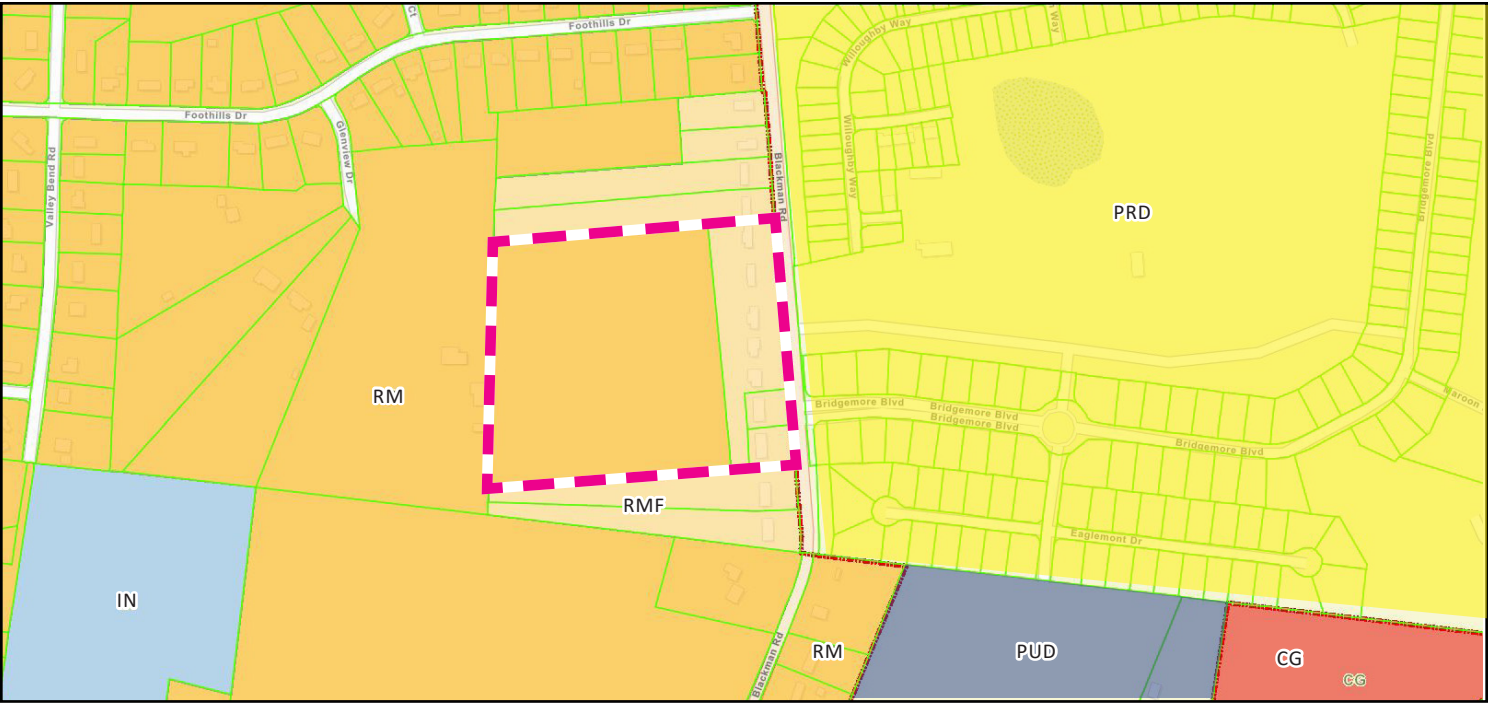


Site Boundary

Parks 360 Development, LLC respectfully requests annexation and rezoning of the Parks property along Blackman Road from Medium Density Residential (RM) and Residential Multi-Family (RMF) in Rutherford County to Planned Residential District (PRD) and Planned Commercial District (PCD) in the City of Murfreesboro to create The Village. The property is located along the western side of the Blackman Road at the intersection of Bridgemore Boulevard. The site is identified as Parcels 3.02 (2.74 acres), 3.03 (15.45 acres), 3.19 (0.72 acres), and 3.20 (0.71 acres) of Tax Map 78 for a combined acreage of 19.62 acres. Of this 19.62 acres, 0.23 acres along Blackman Road will be dedicated to the future expansion of Blackman Road. Along Blackman Road 4.48 acres will be rezoned to a PCD. The remaining 14.91 acres will be rezoned to a PRD.

The request for rezoning to PRD and PCD is to create The Village. The development will consist of 76 single-family detached homes on 14.91 acres for a density of 5.1 dwelling units per acre. All homes will be for purchase. Minimum lot size will be 4,650 sf with proposed homes being a minimum of 1,800 sf. All single-family detached homes will have a minimum of 3 bedrooms and a minimum two car front-entry garage. The home elevations will be constructed with a mixture of masonry materials to add quality and character to the community. Homes fronting onto public streets will have landscaping along the foundations and sodded front yards. Street lights will be provided along the roadways to add character and continuity to the neighborhood. The entrances to the development along Blackman Road will incorporate signage on one side of their intersections. The H.O.A. will maintain all common areas.

The PCD portion of the development will create three commercial lots with neighborhood oriented opportunities for the proposed homes and surrounding communities. The commercial building architecture shall harmoniously blend with the residential architecture by providing sloped roofs, limiting building heights to one story, and front elevations consisting of primary brick, stone, and cementitious materials to create well defined entrances. There are no known end-users at this time, however a conceptual layout has been provided. The proposed PCD will reinforce the existing commercial infrastructure along Blackman Road to the south, by providing the area with additional commercial opportunities.



ZONING MAP

Not To Scale



- Rutherford County Zonings:**

RM

Medium Density Residential (RM)

RMF

Residential Multi-Family (RMF)

IN

Institutional (IN)

CG

Commercial General (CG)
- City of Murfreesboro Zonings:**

PUD

Planned Unit District (PUD)

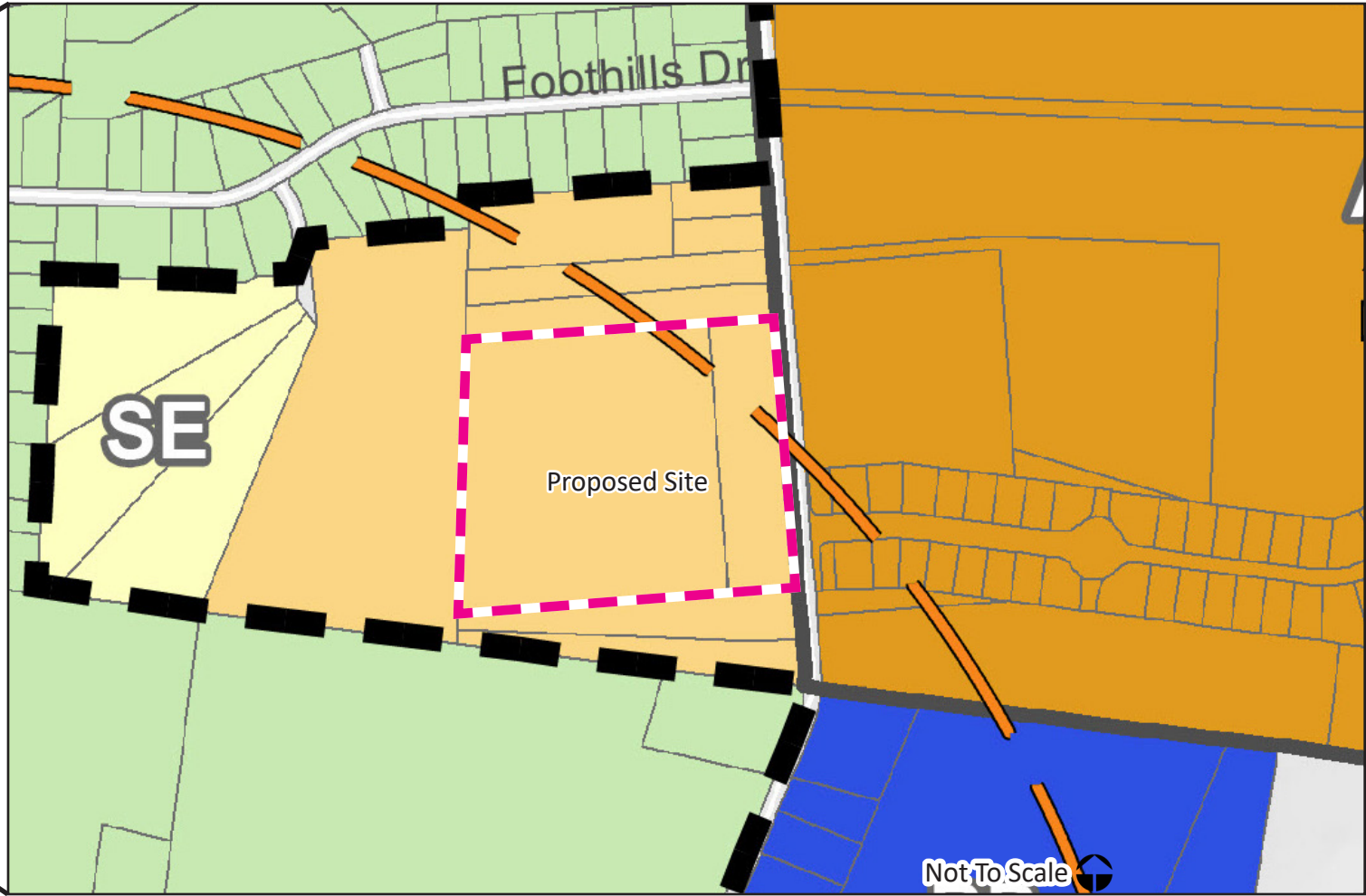
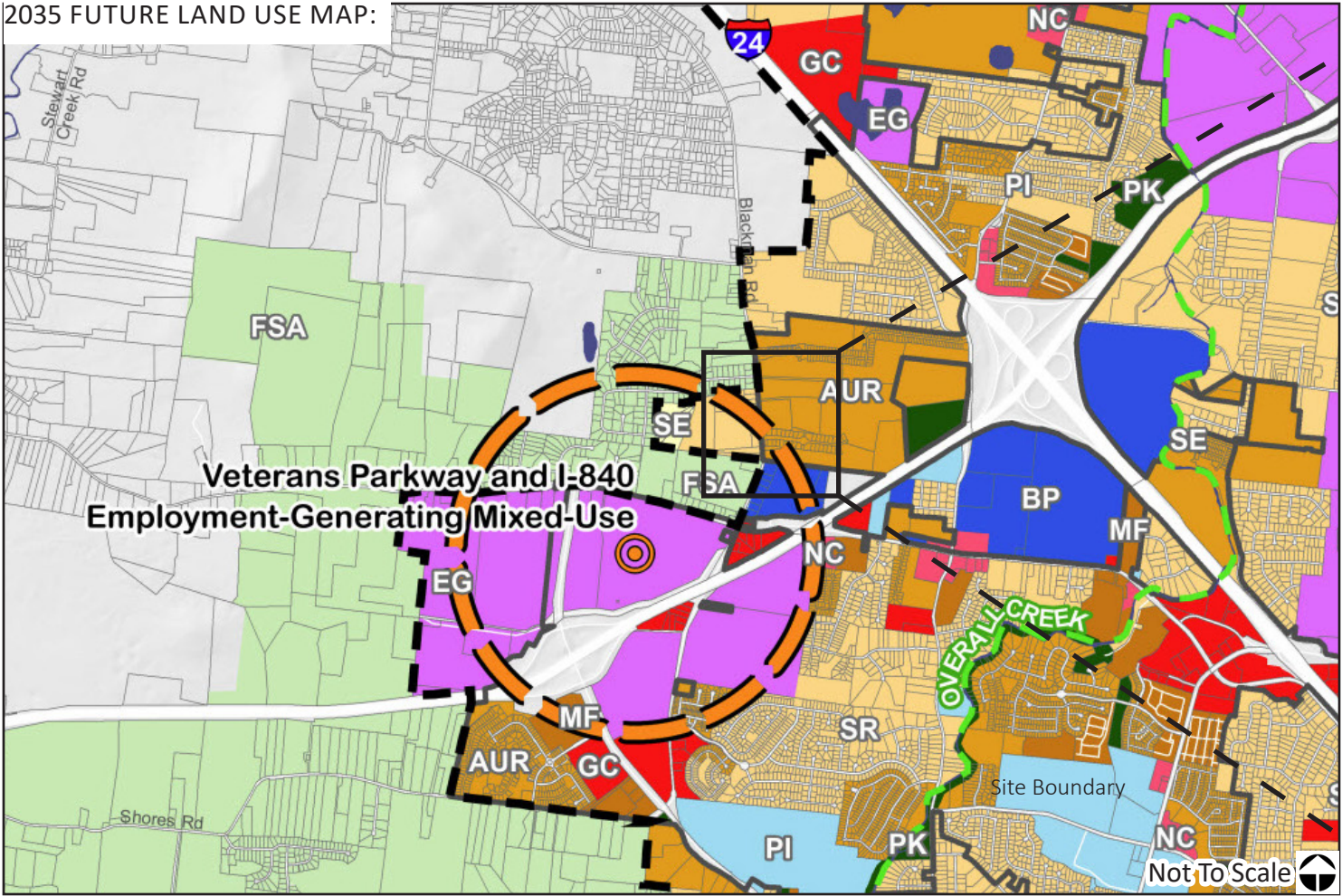
PRD

Planned Residential District (PRD)



Site Boundary

The surrounding area consists of a mixture of zoning types and land uses. The land to the north and south is zoned RMF (Rutherford County) with RM (Rutherford County) zoning continuing in both directions after the RMF zones. The land to the west is zoned RM (Rutherford County). Shelton Square is located to the east and is zoned PRD (City of Murfreesboro).



The 2035 Murfreesboro Future Land Use Map (FLUM) delineates this area as Suburban Residential (SR). The character of this land use includes small acreages, large estate lot developments, or smaller lots clustered around common open space. Densities for this character range from 1.0 to 4.0 units an acre. Generally compatible zoning districts include RS-15, RS-12, RS-10, PRD (supporting cluster developments with maximum density), and Public Institutional land uses compatible with surrounding land uses. The proposed development deviates from this by proposing commercial uses and introducing a higher residential density of 5.1 units an acre.

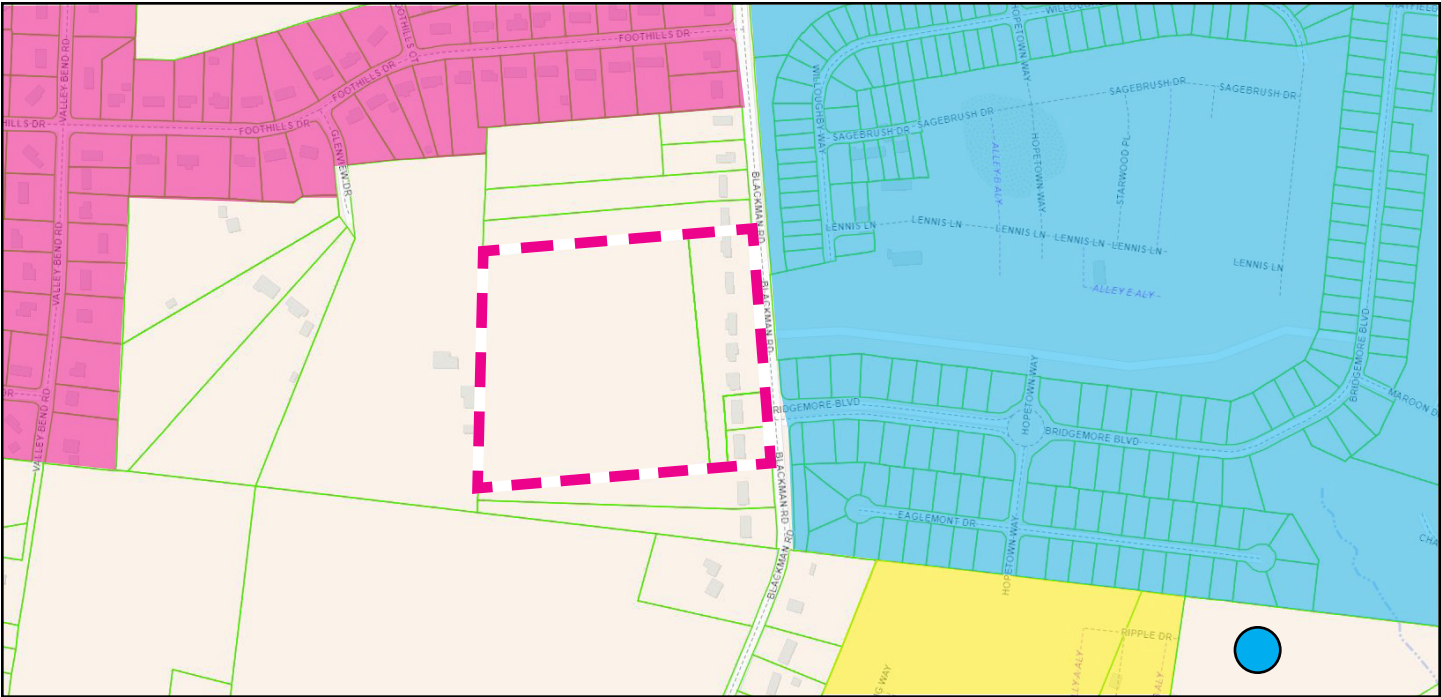
“The Village” intentionally diverges from the current (FLUM), drawing inspiration from successful models in other City areas, such as the Veterans Parkway commercial corridors. The proposed development integrates higher residential density at the rear of the development with strategically located neighborhood commercial spaces along Blackman Road, a typical pattern seen on many arterial roadways throughout Murfreesboro, thus creating opportunities for economic development by bringing neighborhood services closer to a population center. The aim is to foster a vibrant community through enhanced amenities promoting active living. Simultaneously, the positioning of the commercial lots along Blackman Road optimizes visibility and accessibility for businesses. “The Village” seeks to create a dynamic and harmonious urban environment, emphasizing active-living amenities, advantageous use of an arterial roadway and a well-integrated and accessible commercial presence.

While the proposed development does not align with the FLUM recommendations, it qualifies for the proposed changes by fostering a high quality of life and a strong sense of community. This is achieved by providing quality neighborhood design with consistent densities within the immediate areas and by providing thoughtful and purposeful open spaces complemented by robust amenities such as pickleball, pavilions, trails, and seating area. This amenity package provides a large variety of options for the community despite the smaller amount of open space

(the City standard 20% compared to the FLUM Amendment recommended 30%). Additionally, the neighborhood does not negatively impact or increase costs of City services, because the City is already providing those services to the areas immediately across Blackman Road. Plus the proposed development is well within the FLUM’s service area limits. Additionally, the residential portion of the project is directly aimed and targeted toward a more mature demographic, thus it is anticipated to yield fewer children in the school system to avoid those increased costs to the City as well. The proposed neighborhood design adds a positive benefit to emergency services and other public services. The neighborhood infrastructure design also benefits the community by creating stub streets to neighboring properties for potential future connections between properties and other existing streets in the surrounding area. Plus this project will be providing for the widening of Blackman Road along the developments frontage.

It is the applicant’s belief, that the commercial aspect of the project is an appropriate deviation from the FLUM due to multiple reasons. The first is the fact that it adjoins an arterial roadway, Blackman Road. Secondly, the development is combining multiple smaller properties into a larger cohesive project, versus a bunch of smaller unorganized developments. Furthermore, the proposed project replaces the existing duplexes with economic development opportunities, via the commercial uses, which will provide services to the existing and expanding community around this development. Along with the announcement of a new school campus to the north.

The applicant believes that the addition of a variety of land uses and increased density is an appropriate deviation to act as a “step down” and transition back to the existing developments to the west and north.. Additionally, the smaller lots complement the target demographic to minimize maintenance and upkeep areas. Other developments in the area have similar lot sizes and have been successful due to the lower maintenance costs and desired living styles, therefore the expansion of similar development style seems appropriate.



SUBDIVISION MAP

Not To Scale

- Shelton Square
- The Foothills
- Shelton Grove

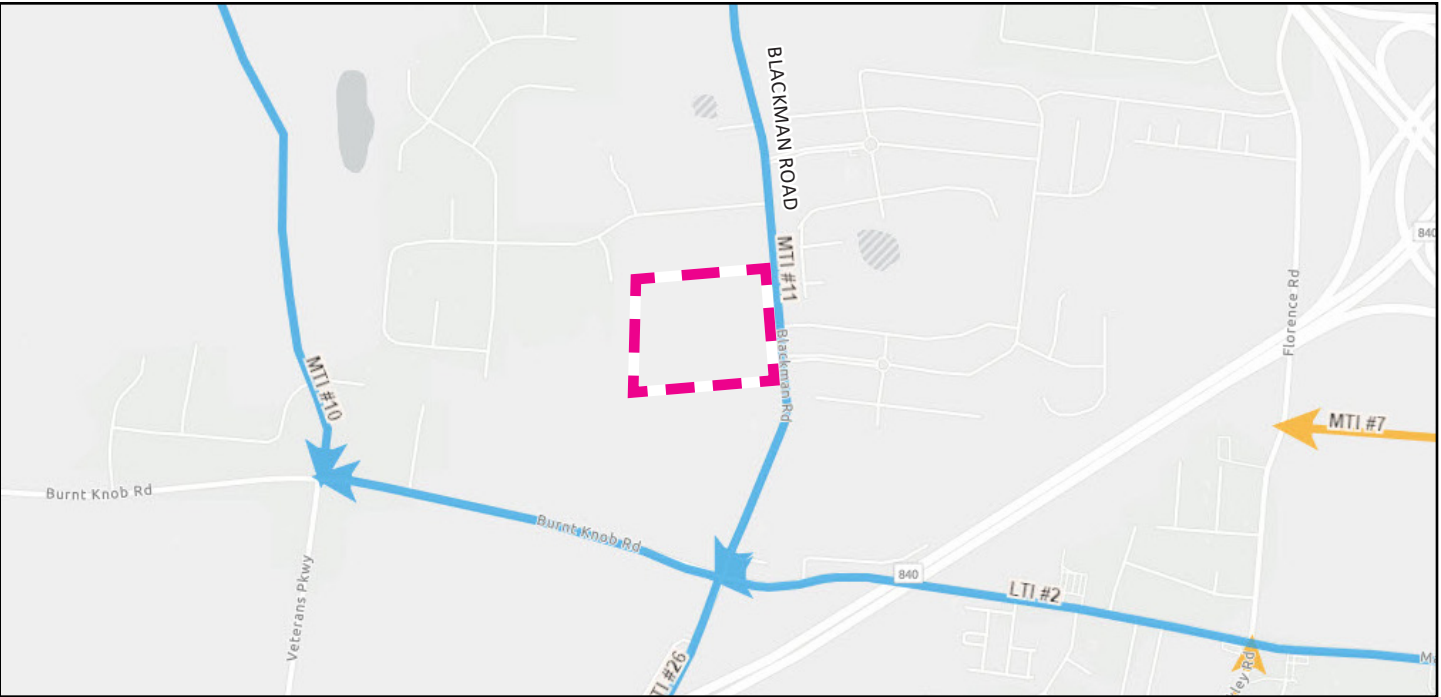


Site Boundary

The Village is surrounded by a mixture of residential subdivisions and agricultural properties. Shelton Square is a residential development to the east directly across Blackman Road consisting of a mixture of one and two-story single-family detached homes with garages and varying lot sizes. The exterior elevations consist of a mixture of masonry materials, primarily stone, brick, and hardy board. There are two primary points of ingress/egress to the development from Blackman Road, one of which the proposed development will be connecting to and thus creating a four-way intersection at Blackman Road and Bridgemoor Boulevard.

The Foothills is another residential subdivision to the north of this development which consists of a mixture of one and two-story single-family detached residential homes. The exterior elevations consist primarily of brick with vinyl in the dorms and gables only. The subdivision is characterized by large back yards with side-entry garage doors on most homes.

No large commercial properties surround this development, however various smaller home businesses and commercial uses are located within the immediate vicinity including RAWSO Constructors and Blackman Market Gas Station to the south/southeast.



2040 MAJOR TRANSPORTATION PLAN

Not To Scale

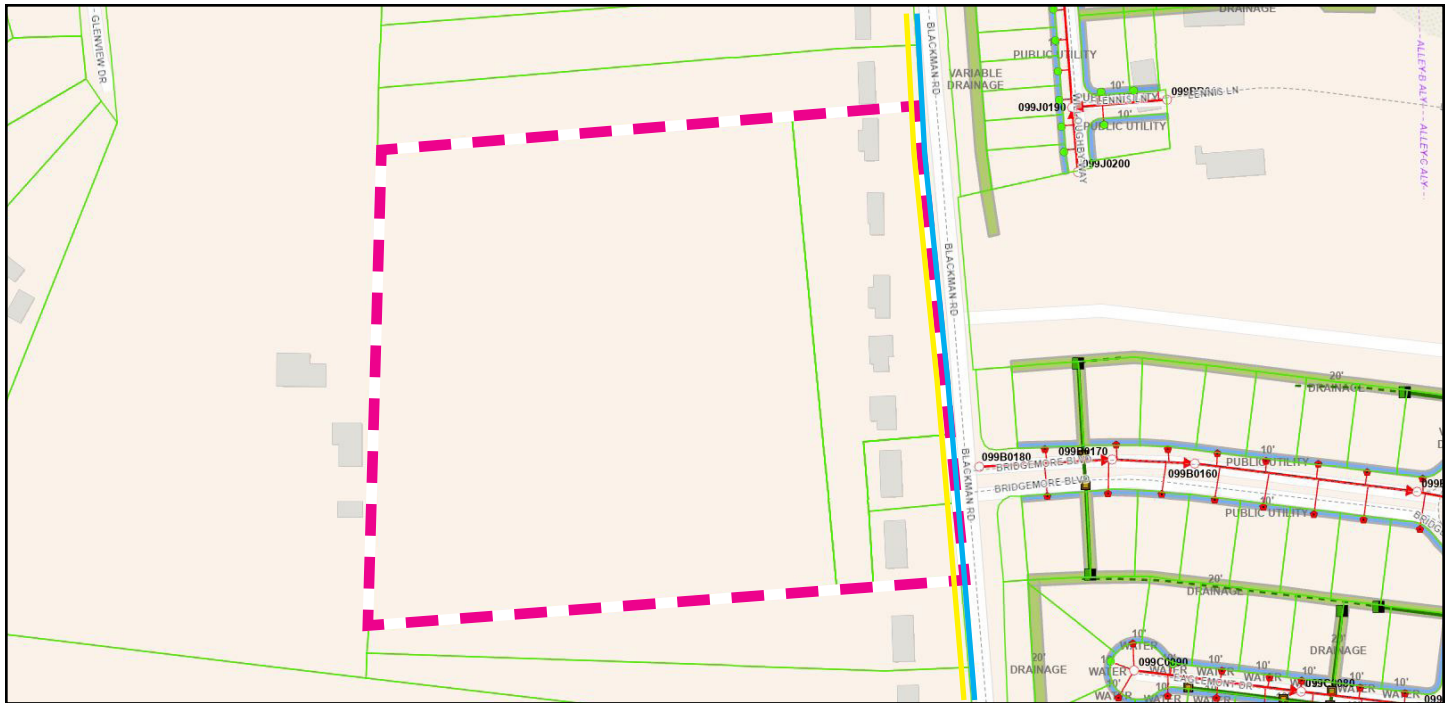
5-Lane Roadway



Site Boundary

The residential and commercial portions of the property will have access to the existing public rights-of-way of Blackman Road (minor arterial) through two entrances. The southern connection to Blackman Road will complete the four-way intersection at Blackman Road and Bridgemoor Boulevard. All entrances to the site will be designed to incorporate three lanes of travel; one lane for ingress and two lanes for egress. Blackman Road is on the City of Murfreesboro's 2040 Major Transportation Plan and is recommended to be expanded to a five-lane roadway. It is currently built as a two-lane roadway without curb & gutters or sidewalks. If the roadway widening requires additional Right-of-Way then the development will dedicate R.O.W. necessary for the widening project.

As per the Traffic Impact Study, there will be a northbound left-turn lane proposed at each entrance into the development. These turn lanes will include at least 100-ft of stacking depth and will meet ASHTO requirements. The intersection of Burnt Knob Road / Manson Pike and Blackman Road needs southbound turn lanes and a westbound right turn lane. This need exists today and will continue in the future however it is a larger community project, not a project requirement.



UTILITY MAP

Not To Scale



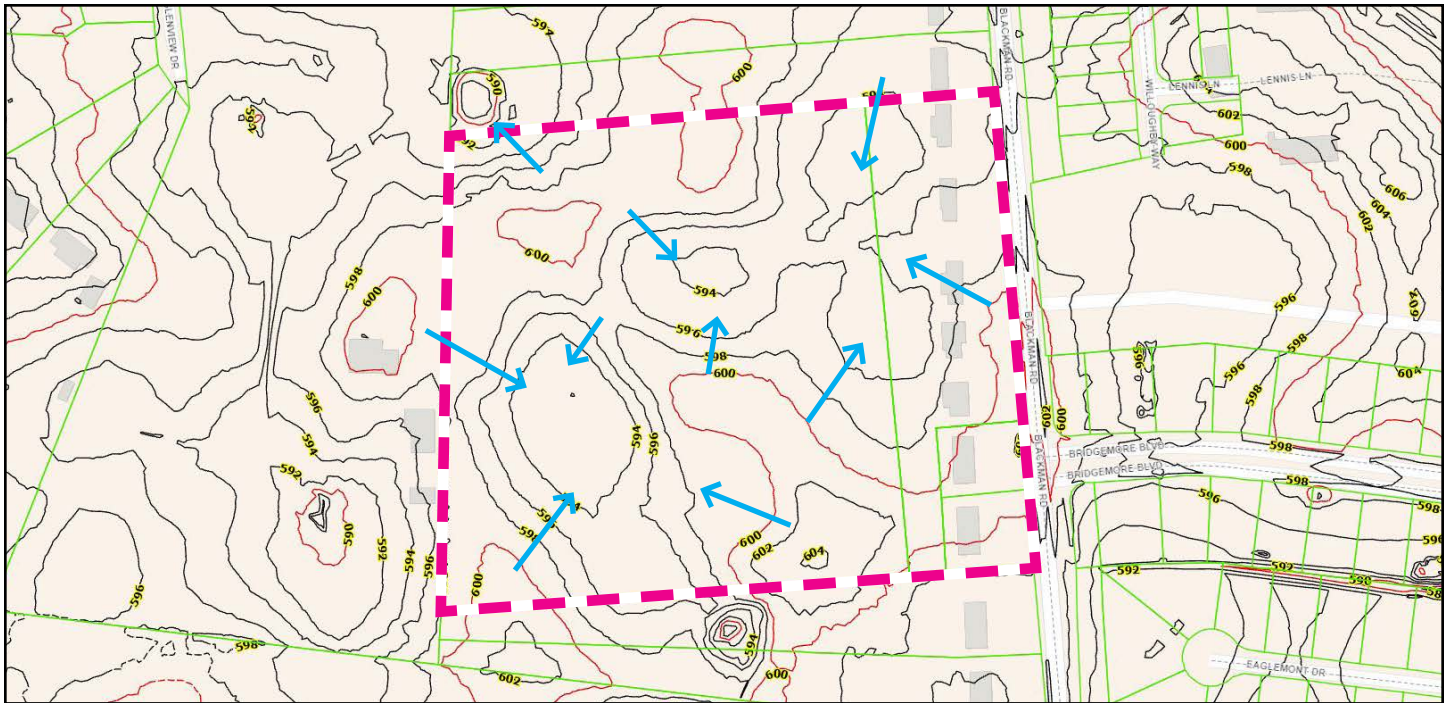
Water service will be provided by the Consolidated Utility District. There is an existing 12 inch water line along Blackman Road for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 8" PVC gravity sewer line within the R.O.W. of Bridgemore Boulevard at the proposed four-way intersection. Construction will extend the sanitary sewer service into the site. The developer will be responsible for extending the sewer into this property. The proposed development will fall within its sewer allocation with the proposed zoning changes.



Electric service will be provided by Middle Tennessee Electric. Service will be extended from Blackman Road. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground unless otherwise noted by MTE.



HYDROLOGY AND TOPOGRAPHY

Not To Scale



The topographic map above shows the site's topographic high point generally at the south eastern and north western corners of the property. From these high points, the property drains towards the middle of the site where a natural spillover allows excess water to drain to the northeast towards a series of sinkholes off-site.

No portions of the property are within a recorded floodway or floodplain per FEMA Flood Panel 47149C0119H eff. 1/4/2007 and Panel 471149C0140J eff. 5/9/2023

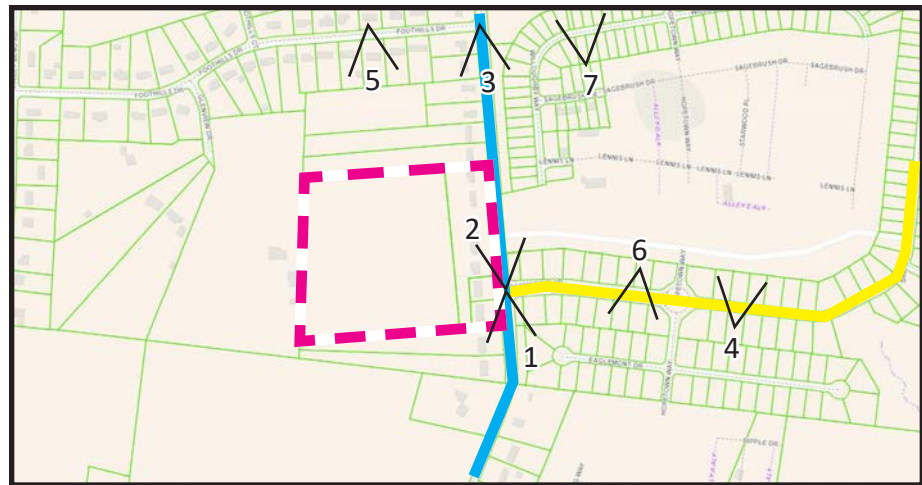
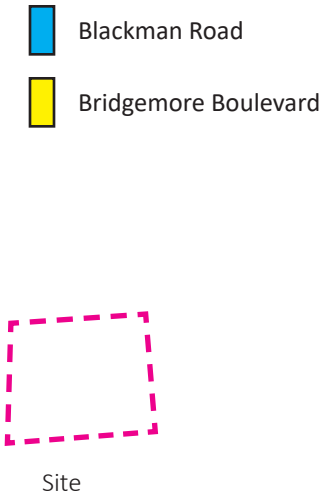


PHOTO DIRECTION MAP

Not To Scale



View from proposed Bridgemore & Blackman intersection looking south



View from proposed Bridgemore & Blackman intersection looking north



View of Blackman Road looking south from intersection with Foothills Drive



A view of a house in Shelton Square



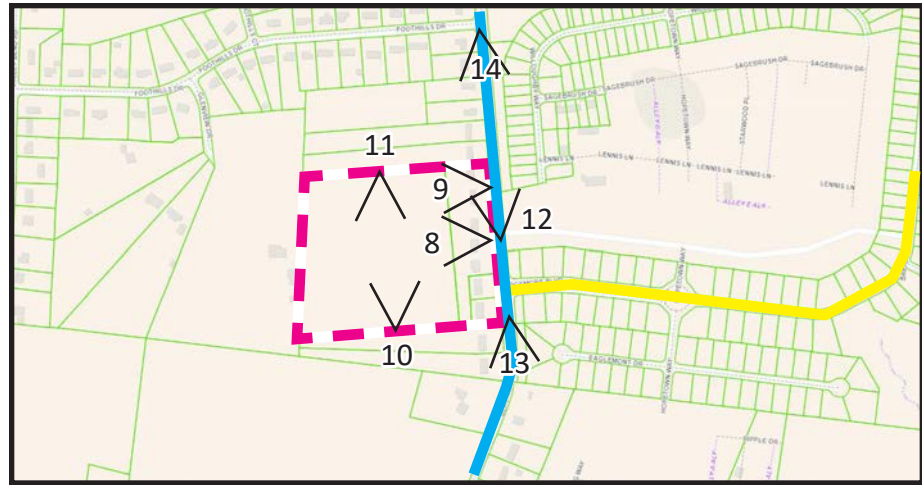
View of a home in The Foothills Subdivision



A view of a house in Shelton Square



View of Neighboring Home Looking North



- Blackman Road
- Bridgemore Boulevard



Site



View of existing duplex home on-site along Blackman Road



View of existing duplex home on-site along Blackman Road



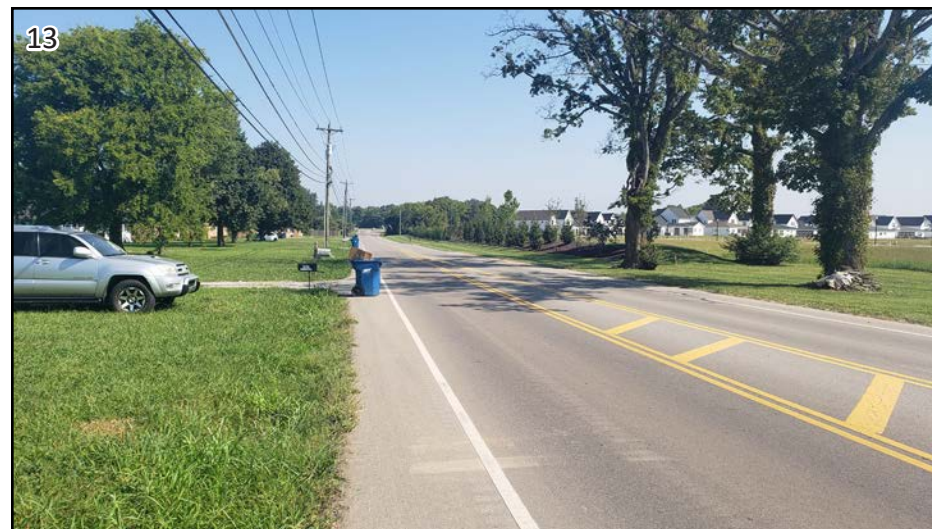
View of the project site Looking North From Southern Property Line



View of the project site Looking South From Northern Property Line



View from Proposed Intersection looking South



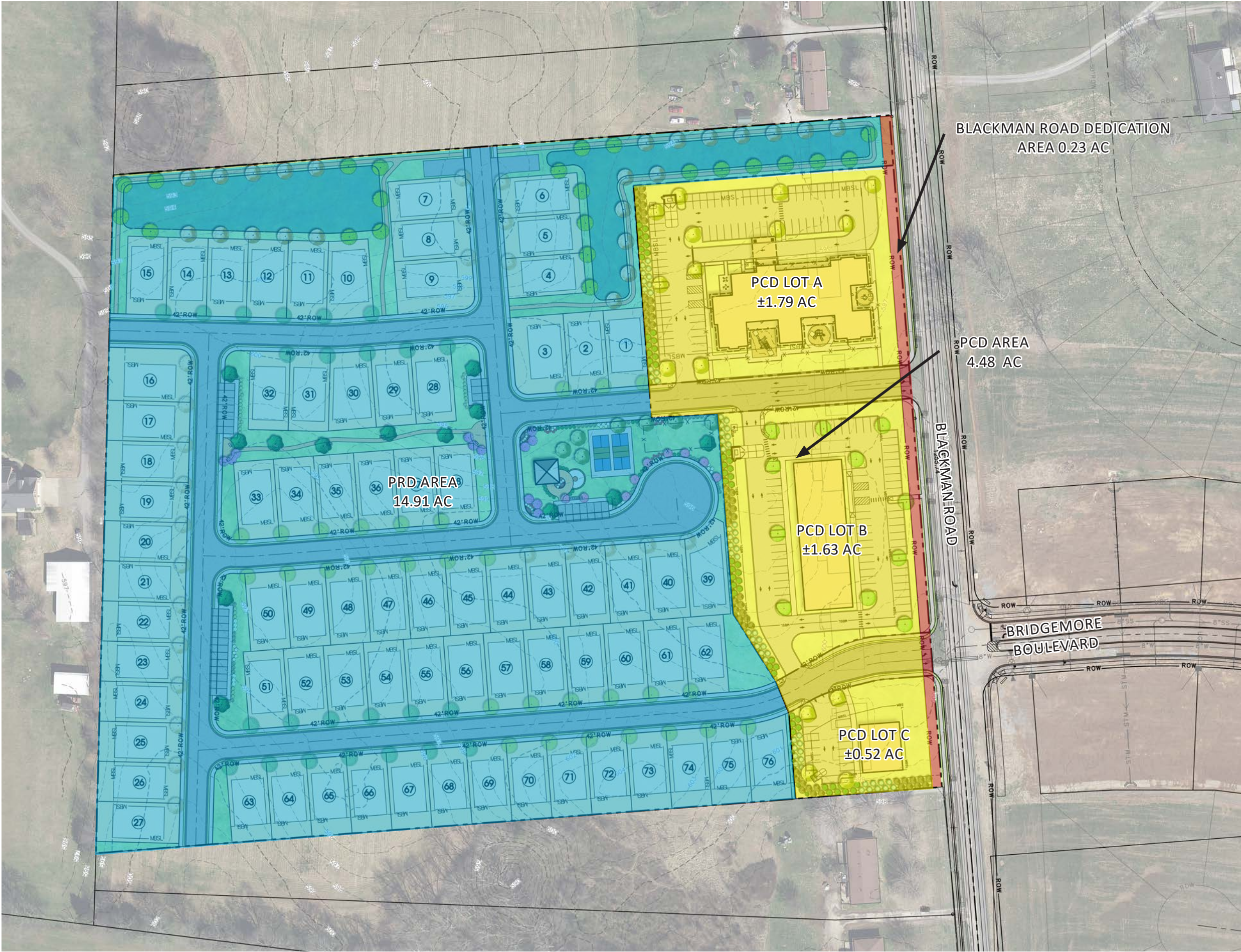
View from Proposed Intersection looking North



View from Blackman Road and Foothills Drive Intersection Looking South

Total Land Area: ±19.62 Acres
Total PRD Land Area: ±14.91 Acres
Total Lots Provided: 76 Lots
Total PCD Land Area: ±4.48 Acres
Total Commercial Floor Area: 28,505 SF
Total R.O.W. Dedication: ±0.23 Acres

- PRD Area
- PCD Area
- R.O.W. Dedication



PRD Land Use Data

Total Land Area:	±19.62 Acres
Total R.O.W. Dedication:	±0.23 Acres
Total PCD Land Area:	±4.48 Acres
Total PRD Land Area:	±14.91 Acres
Total Number of Homes:	76 Homes
Yield: 76 Units/14.91 Acres =	±4.92 Units/Acre
Required Open Space:	±2.98 Acres (20%)
Min. Provided Open Space:	±2.98 Acres (20%)
Provided Formal Space:	±0.71 Acres (4.5%)
Provided Active Space:	±0.93 Acres (6%)
Provided Detention:	±0.99 Acres (6%)
Minimum Lot Size:	4,650 Square Feet
Minimum Lot Width:	50 Feet
Length of New Roadway:	±3,560 Linear Feet

Parking Requirements

Parking Required (4 Spaces/Unit):	304 Spaces
-----------------------------------	------------

Parking Provided

Garage Spaces:	152 Spaces
Driveway Spaces:	152 Spaces
Guest Spaces:	29 Spaces
Total Parking Provided:	333 Spaces (+29)

- Residential Homes
- Residential Lots
- Open Space
- Detention Pond
- Roadways
- Sidewalks
- Walking Trails





EXAMPLE OF ENTRANCE SIGNAGE



EXAMPLE OF DECORATIVE CLUSTER BOX UNITS (CBU)

Residential Development Standards:

- 76 dwelling homes with a minimum 3 bedrooms.
- The proposed single-family detached homes will be a minimum of 1,800 sf.
- Each home will be on its own lot of record and sold fee simple.
- Homes will have a concrete driveway wide enough for 2 vehicle and shall have a minimum width of 18-ft and length of 25-ft.
- All structures will comply with the Building Setback requirements.
- Home occupations, accessory to a principal residential use, shall be permitted in this planned development if they demonstrate that they will comply with the administrative home occupation standards in the Murfreesboro Zoning Ordinance, as they may be amended from time to time. Home occupations that do not comply with said administrative home occupation standards shall not be permitted in this planned development.
- All homes developed within the subdivision shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder(s) of all homes within the subdivision shall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity.
- Guest parking areas and driveways to homes shall be private and maintained by the H.O.A.
- Garages shall be used for vehicular storage only, and shall not be used for household storage. To be enforced by CCR's and HOA.
- HVAC units will be located at the side or rear of each residence.
- All mechanical equipment (i.e. HVAC and transformers) are to be screened with landscaping or fence.
- All on-site utilities will be underground.
- Entrances to the development will have new entrance signage constructed of masonry materials and anchored by landscaping.
- Builders shall install sod and foundation landscaping in all front yards which face a public ROW.
- A shared landscape agreement easement shall be placed along the western property line on all PCD lots. A 15-ft wide Type 'D' Landscape Buffer shall be installed within this landscape easement consisting of two rows of evergreen trees bisected by an opaque fence. Landscaping within the buffer shall be maintained by both the Commercial Property(s) and the residential H.O.A. The western row of evergreen trees within this buffer shall be installed and maintained by the residential H.O.A. until the adjacent commercial lot(s) is constructed. The remainder of the landscape buffer shall be installed when each commercial lot is developed. The commercial lot shall install the 8-ft opaque fence and the eastern row of evergreen trees to complete the full buffer.
- Public sidewalks will be provided on both sides of all streets throughout the development to create a pedestrian friendly community.
- All streets will be public and will have a 42-ft cross-section.
- Solid waste shall be provided by the City of Murfreesboro and carts shall be stored inside the garage of each home.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- Mail service will be provided via decorative cluster box units (CBU).
- All home owners will be required to be members of the H.O.A.
- As members of the H.O.A., the residents will be subject to restrictive covenants and be required to pay membership dues as determined by an independent 3rd party management company.
- H.O.A. will be manage by an independent 3rd party management company.
- H.O.A. will be responsible for the maintenance and upkeep of all landscape and lawn areas within the residential portion of the development.

PRD PHASES	UNITS	ACRES
PHASE 1	39	6.12
PHASE 2	37	9.33
TOTAL	76	15.45

Phase 1

Phase 2

PCD Lots

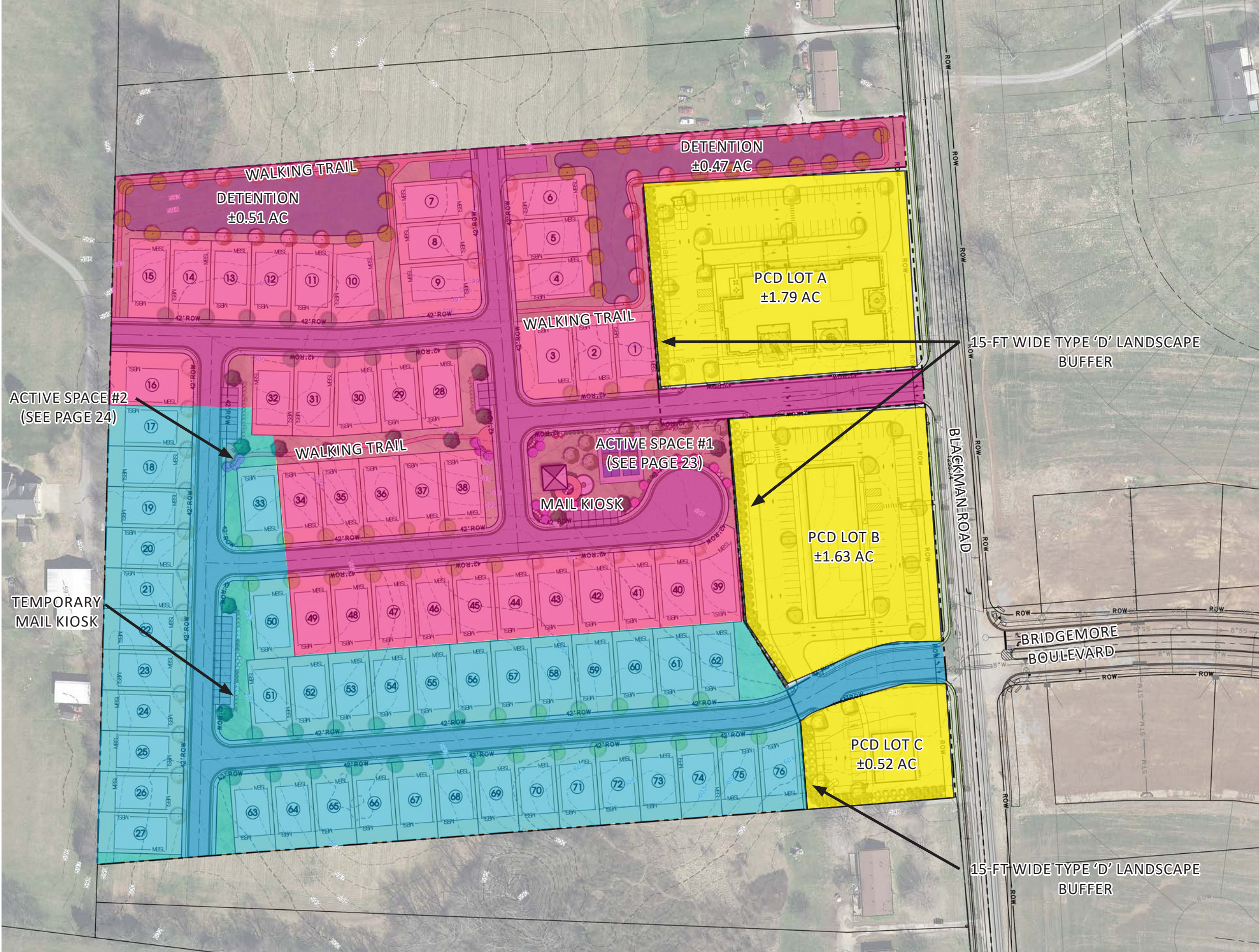
- The project is anticipated to be built in 2 phases.
- Construction of Phase 1 is anticipated to begin following permitting. No building permits shall be issued until infrastructure is installed.
- Phase 1 will include all roadway improvements proposed for this site.
- The remaining phases will be market driven and dependent upon the absorption of the units in the previous phase.
- All amenities and open spaces shall be constructed within the phase they are shown and must be operational prior to the recording of the final section’s plat.
- Amenities proposed in Phase 2 will be completed prior to the recording of the Phase 2 Plat.
- Centralize mail kiosk(s) for the development must be constructed and operational prior to the first home receiving their certificate of occupancy.
- PCD lots shall be market driven and shall not be dependent upon nor dictate PRD phasing.

Phase 1 Package:

- Guest Parking
- South Entrance To Blackman Road
- Roadway Improvements
- Temporary Mail Kiosk
- Western Plaza of Walking Trail Area

Phase 2 Package:

- Community Pavilion
- Community Fire Pit
- Pickleball Court(s)
- Dog Park
- Walking Trails and Eastern Plaza
- Remaining Guest Parking
- Mail Kiosk



Single-Family Detached Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- All buildings will be 1 or 2-story
- All homes will have a minimum of 3 bedrooms
- All the homes will have eaves
- Homes shall have a patio area at the rear of the home
- Patios may have an optional 6-ft tall white vinyl or wooden privacy fence. Residents will have the option to replace the top 2-feet of their privacy fence with 2-ft of open lattice.
- All single-family detached homes will have a 2-car front entry garage
- Garage doors shall be carriage style with windows and will range from white to neutral colors in order to match the trim and color palette of each home.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards and shall be clear of obstructions.
- All homes will be comprised of alternating unit styles and unit colors to prevent repetition.
- Homes with front elevations consisting of all fiber cement board shall include an 24” high stone or brick water table.

Building Materials:

- All Elevations: Fiber Cement Lap Board, Fiber Cement Board and Batten, Brick, Stone, Standing Metal Seam Roof, Asphalt Shingle Roof, and/or Standing Seam Accent Roof
- All Elevations: Vinyl Only Permitted in Trim & Soffit Areas



Example of Brick
(different colors will be allowed)



Example of Stone Veneer
(different colors, cuts, patterns will be allowed)



Example of Fiber Cement Lap Board
(different colors will be allowed)



Example of Fiber Cement Board and Batton
(different colors will be allowed)



Example of Standing Metal Seam Roof (For Accent Only)
(different colors will be allowed)



Example of Asphalt Shingle Roof
(different colors will be allowed)



EXAMPLE OF 6-FT WOODEN PRIVACY FENCE



EXAMPLE OF 6-FT VINYL PRIVACY FENCE



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



Front Elevation Example



Side Elevation Example



Rear Elevation Example



Side Elevation Example



Side Elevation Example



Front Elevation Example



Side Elevation Example



Rear Elevation Example

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



LOCATION MAP - AMENITIES

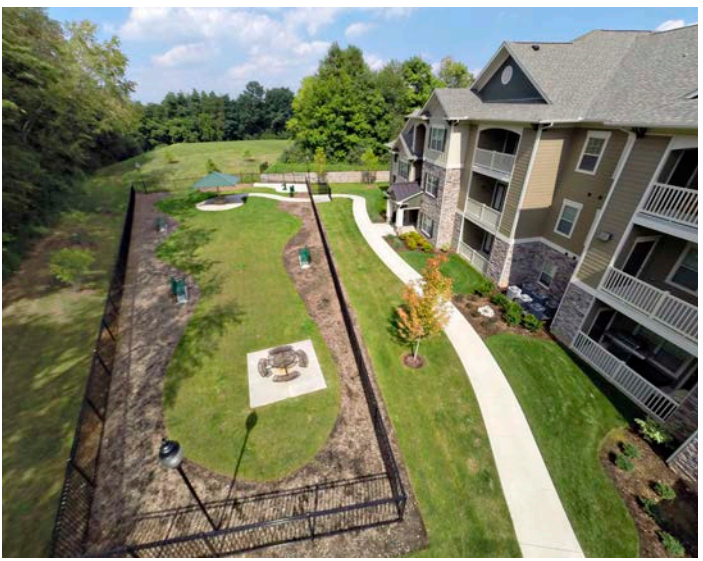
Not To Scale

- A Walking Trail C Outdoor Seating Plaza E Pavilion G Bench Swings
- B Dog Park D Community Fire Pit F Pickle Ball Court

With this request, The Village will be dedicating approximately 2.98 acres (20% of the site) to open space. The amended FLUM suggest cluster like developments in PRDs to provide 30% open space instead of 20%. This project aims to offset this difference with a strong amenity package. The proposed open space areas will be comprised of usable open space and detention areas. Usable open space areas around the development will offer such amenities as; a walking trail with outdoor seating, a dog park, a community fire pit, a pavilion, a pickle ball court, and bench swings. Sidewalks will line both sides of all streets to provide pedestrian circulation through the neighborhood for residents as well. Each amenity will be constructed with the phase it is designated in, after 50% of the homes are built out in each phase. The entrances to the site will incorporate masonry signage and will be anchored with landscaping.



Example of Walking Trail



Example of Dog Park



Example of Outdoor Seating & Community Fire Pit



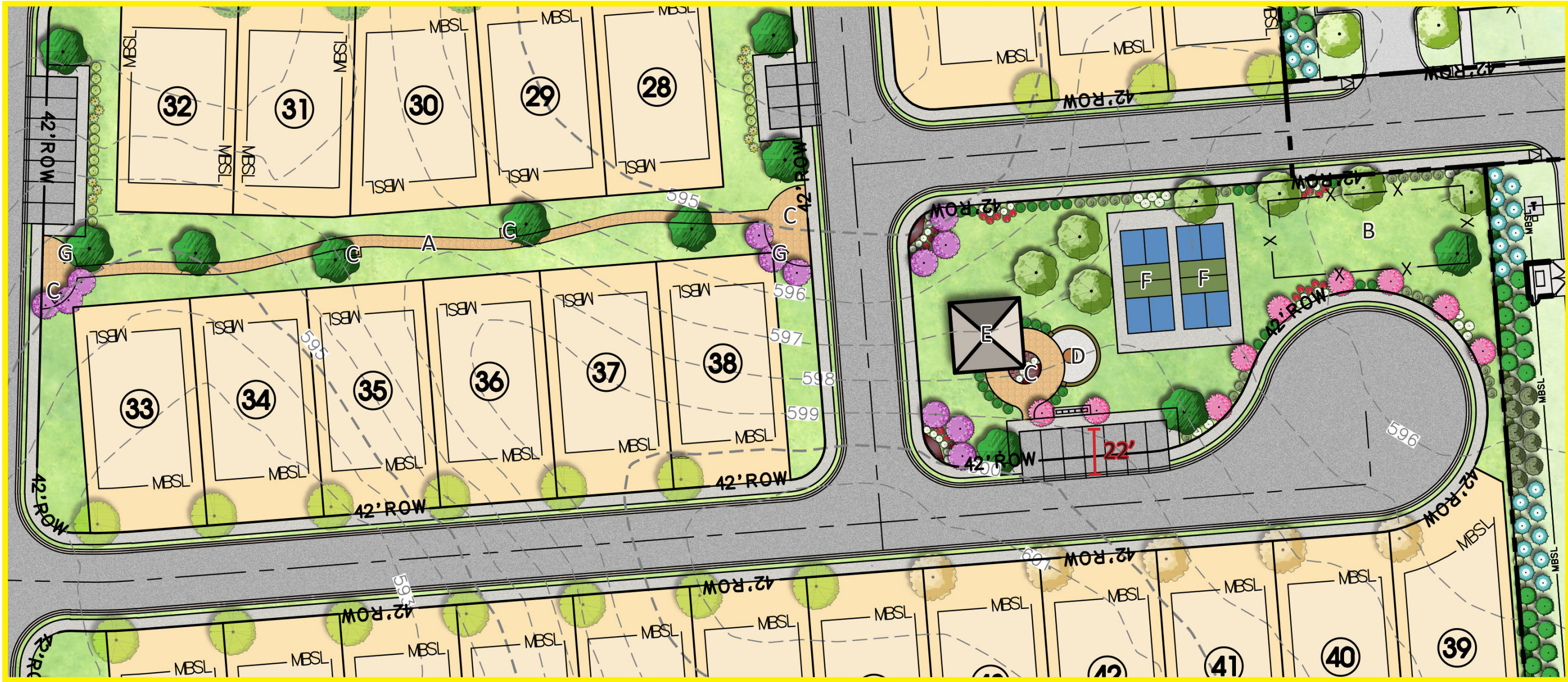
Example of Pavilion



Example of Pickleball Court



Example of Bench Swings



LOCATION MAP - ACTIVE AMENITIES AREA

N.T.S.

- | | | | |
|-----------------|-------------------------|---------------------|----------------|
| A Walking Trail | C Outdoor Seating Plaza | E Pavilion | G Bench Swings |
| B Dog Park | D Community Fire Pit | F Pickle Ball Court | |

Pursuant to the City of Murfreesboro’s Major Transportation Plan (MTP), Blackman Road is recommended to be improved to a 5-lane roadway. It is currently built as a 50-ft right-of-way with a 2-lane cross section without curb & gutter or sidewalks on both sides of the roadway. It is planned to be improved from a 2-lane roadway to a 5-lane roadway with curb & gutter and sidewalks on both sides of the road. If the widening project has not begun at the time of construction, a dedicated southbound right-turn lane from Blackman Road into the development shall be constructed at the intersection of Bridgemore Boulevard. This development will be dedicating the appropriate amount of R.O.W. to facilitate this expansion.

As stated above, the primary means of ingress/egress from this site will be onto Blackman Road. Both entrances shall have three travel lanes for proper circulation into and out of the development. The northern entrance will have a dedicated left and right out of the neighborhood, and the southern entrance will have a dedicated left and right/forward out of the neighborhood. Both entrances will also have a single lane for traffic entering the residential development. The illustration to the right shows the proposed entrances to the development, the entrances to the commercial properties, and stub street for future connections to adjacent properties if they were to ever develop. The illustrations on Page 22 show examples of the proposed 42-ft public road cross sections and a cross section of the proposed 3-lane roadway entrances. As per the Traffic Impact Study, there will be a northbound left-turn lane proposed at each entrance into the development. These turn lanes will include at least 100-ft of stacking depth and will meet ASHTO design requirements.

As part of this development, the developer has committed to installing a southbound left turn lane at the intersection of Blackman Road and Burnt Knob Road / Manson Pike. The developer shall also contribute \$100,000 towards a future traffic light at this intersection, and shall also complete a signal warrant analysis for this intersection. Also, this development shall install a continuous center turn lane between the two proposed intersections along Blackman Road.

All streets within the development will be local city streets with a typical 42-ft R.O.W. cross section. These streets will be built in accordance with the Murfreesboro Street Standards.





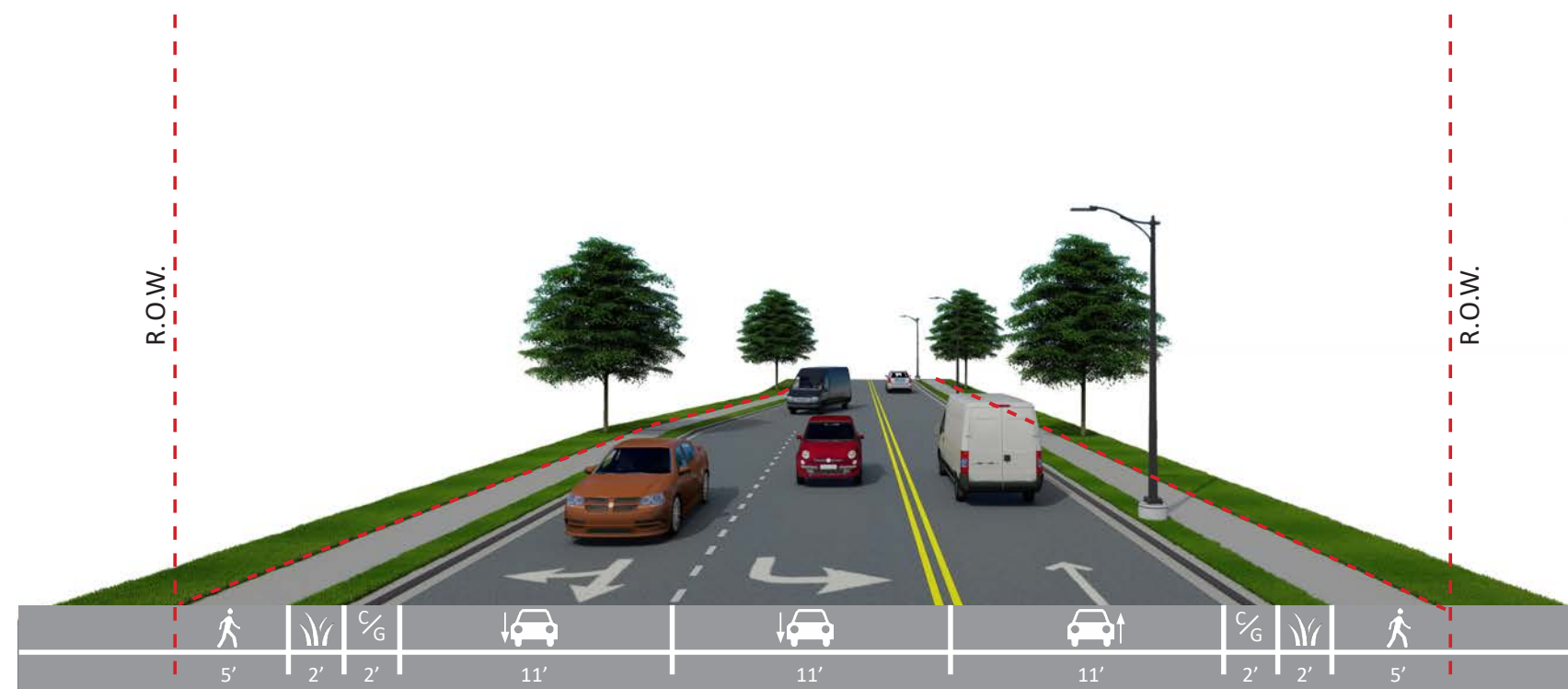
TRUCK TURN TEMPLATE - STANDARD FIRE TRUCK



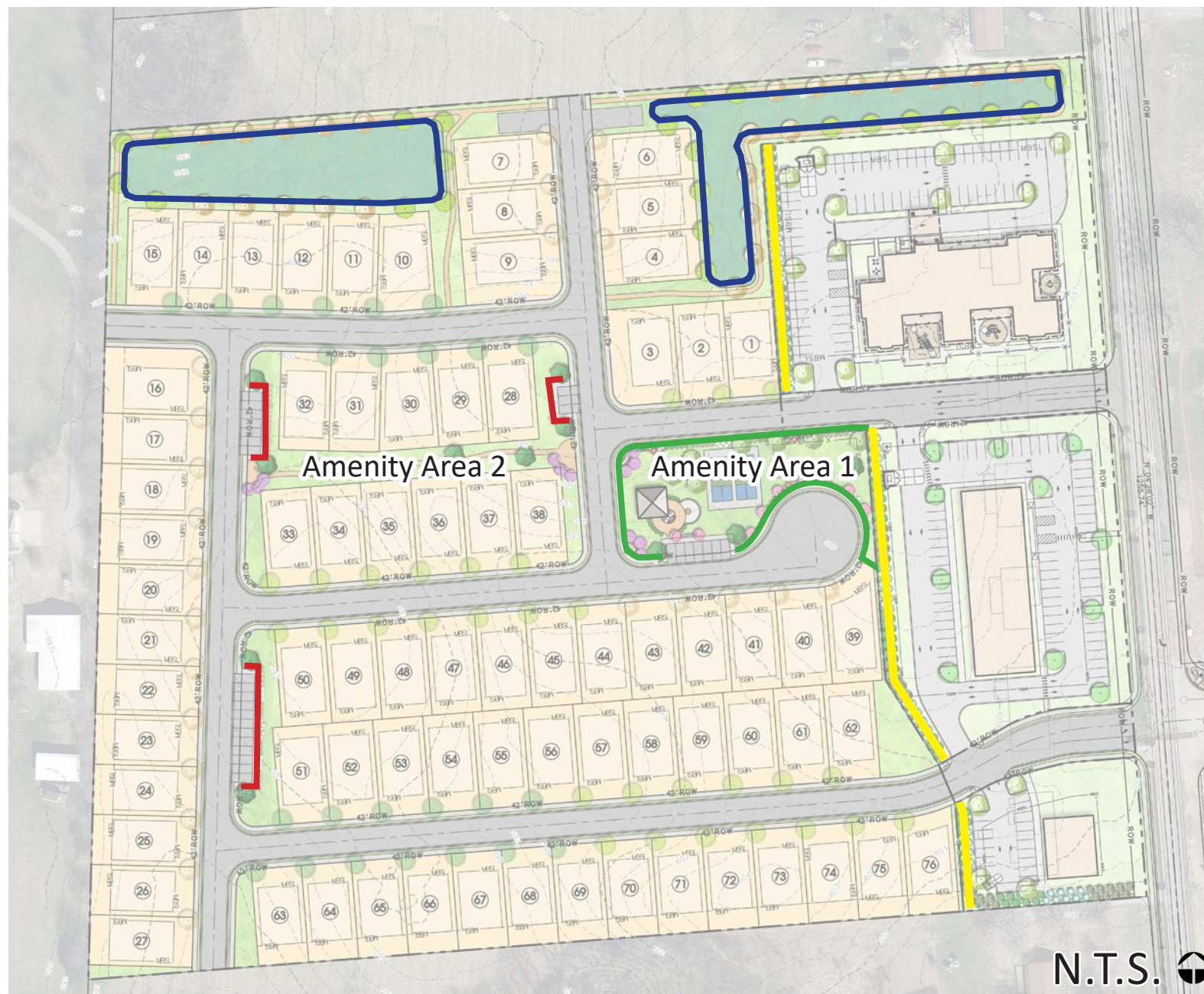
TRUCK TURN TEMPLATE - STANDARD GARBAGE TRUCK



EXAMPLE OF 42-FT PUBLIC RIGHT-OF-WAY (2-LANE CROSS SECTION)



EXAMPLE OF 3-LANE ENTRANCE CROSS SECTION



- LANDSCAPING TO SCREEN PARKING AREAS
- DETENTION POND PLANTINGS
- PERIMETER PLANTINGS (PRIMARY AMENITY AREA ONLY)
- TYPE 'D' COMMERCIAL BUFFER** - See Residential Landscape Characteristics for installation note.



The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

Residential Landscaping Characteristics:

- Low level screen shrubs shall be planted between proposed guest parking and proposed homes to help screen headlights from future residence.
- Parking islands shall be landscaped with trees.
- Parking areas shall be screened from public R.O.W.s.
- All above ground utilities and mechanical equipment shall be screened with landscaping and/or fences.
- Front yard trees shall be planed along the roads behind the sidewalks and shall be planted after construction of the house fronting onto the R.O.W. has been completed.
- H.O.A. will be responsible for the maintenance and upkeep of all landscape and lawn areas within the open spaces of the residential portion of the development.
- Perimeter plantings shall be provided along the boundary of the primary centralized amenity lot.
- Perimeter plantings for the remaining open space lots shall not be required. However the Amenity Area 2 shall provide trees along the walkway.
- Trees shall be added to the fronts of lots and installed by home builders. No street trees proposed in this development.
- **A shared landscape agreement easement shall be placed along the western property line on all PCD lots. A 15-ft wide Type 'D' Landscape Buffer shall be installed within this landscape easement consisting of two rows of evergreen trees bisected by an opaque fence. Landscaping within the buffer shall be maintained by both the Commercial Property(s) and the residential H.O.A. The western row of evergreen trees within this buffer shall be installed and maintained by the residential H.O.A. until the adjacent commercial lot(s) is constructed. The remainder of the landscape buffer shall be installed when each commercial lot is developed. The commercial lot shall install the 8-ft opaque fence and the eastern row of evergreen trees to complete the full buffer.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: Exhibits shown on Pages 3- 6 provide the requested materials.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits shown on Pages 3- 6 provide the requested materials.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits shown on Pages 3- 6 provide the requested materials.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: Exhibits shown on Pages 7- 12 provide the requested materials

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: Exhibits shown on Pages 7- 12 provide the requested materials

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

TOTAL SITE AREA	676,522 s.f.	15.54 AC	100.00%
TOTAL MAXIMUM FLOOR AREA	140,400 s.f.	3.22 AC	20.86%
TOTAL LOT AREA	318,530 s.f.	8.76 AC	56.69%
TOTAL BUILDING COVERAGE	171,600 s.f.	3.94 AC	25.50%
TOTAL DRIVE/ PARKING AREA	140,051 s.f.	3.22 AC	20.81%
TOTAL RIGHT-OF-WAY	166,073 s.f.	3.81 AC	24.68%
TOTAL LIVABLE SPACE	532,951 s.f.	12.23 AC	79.19%
TOTAL OPEN SPACE	121,141 s.f.	2.78 AC	18.00%
FLOOR AREA RATIO (F.A.R.)	0.21		
LIVABILITY SPACE RATIO (L.S.R.)	0.54		
OPEN SPACE RATIO (O.S.R.)	0.75		

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned RM in Rutherford County. The surrounding area has a mixture of residential and agricultural properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in two phases. Phasing information is described on Page 12.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Pages 9 and 22-25.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: See Requested Exceptions Page 27

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in a floodway or floodplain, according to the current FEMA Flood Panel 47149C0119H eff. 01/04/2007 and Panel 471149C0140J eff. 5/9/2023.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Transportation Plan as adopted and as it may be amended from time to time.

Response: Pages 5 & 20-21 discusses the Major Transportation Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is 360 Development contact info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 16-19 show the architectural character of the proposed residential buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Pages 13 and a description is on Pages 3 & 13.

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	RS-4 (Comparative)	Proposed PRD (SFD)	Difference
Residential Density			
Maximum Gross Density	10.8 Units / Acre	5.1 Units / Acre	-5.7 Units / Acre
Minimum Lot Area	4,000 sqft	4,650 sqft	+650 sqft
Minimum Lot Width	40'	50'	+10'
Minimum Setback Requirements			
Minimum Front Setback to Garage	35'	25'	-10'
Minimum Front Setback to Main Structure	25'	19'	-6'
Minimum Secondary Front Setback	35'	20'	-15'
Minimum Side Setback	5'	5'	0'
Minimum Rear Setback (External Lots)	20'	20'	0'
Minimum Rear Setback (Internal Lots)	20'	12.5'	-7.5'
Land Use Intensity Ratios			
MAX F.A.R.	N/A	N/A	N/A
Minimum Livable Space Ratio	N/A	N/A	N/A
Minimum Open Space Ratio	N/A	N/A	N/A
Minimum Open Space Requirement	20%	20%	0%
Minimum Active Open Space Requirement	0%	5%	+5%
Max Height	35'	35'	0'

REQUESTED EXCEPTIONS:

1. Requesting an exception to the minimum front setback to main structure to be reduced from 25-ft to 19-ft, a 6-ft reduction.
This request will allow the homes to better address the street while keeping the garage at or behind the primary structure.
2. Requesting an exception to the minimum front setback to garage doors to be reduced from 35-ft to 25-ft, a 10-ft reduction.
This request will allow the homes to better address the street while keeping the garage at or behind the primary structure.
3. Requesting an exception to the minimum secondary front setback for corner lots to main structures to be reduced from 25-ft to 20-ft, a 5-ft reduction.
This request will allow the homes to better address the street.
4. Requesting an exception to the minimum 150-ft tangent between horizontal curves at the southern entrance roadway. This will allow Commercial Lot 3 additional frontage along Blackman Road, giving it a stronger presence at the arterial roadway.
5. Requesting an exception for the minimum distance between intersections be reduced from 150-ft to 110-ft, a 40-ft reduction per the single instance on the proposed concept plan. This will help deter traffic from using the proposed road as a straight cut-through into the adjoining neighborhood from Blackman Road.
6. Requesting an exception to reduce the rear setback from 20-ft to 12.5-ft for internal lots (See Page 13 for lot locations).
7. Requesting an exception that garages shall be used for vehicular storage only and that the use of garages for general household storage shall be prohibited.



Land Use Data

Total Land Area:	±19.62 Acres
Total PRD Land Area:	±15.45 Acres
Total Lots Provided:	76 Lots
Total PCD Land Area:	±3.94 Acres
Total Commercial Floor Area:	28,505 SF
Total R.O.W. Dedication:	±0.23 Acres

Commercial Lot A Land Use Data

Total Land Area:	±1.79 Acres
Required Min Open Space:	±0.36 Acres (20%)
Provided Open Space:	±0.36 Acres (20%)
Required Min Formal Open Space:	±0.05 Acres (3%)
Provided Formal Open Space:	±0.05 Acres (3%)

Commercial Lot B Land Use Data

Total Land Area:	±1.63 Acres
Required Min Open Space:	±0.33 Acres (20%)
Provided Open Space:	±0.33 Acres (20%)
Required Min Formal Open Space:	±0.05 Acres (3%)
Provided Formal Open Space:	±0.05 Acres (3%)

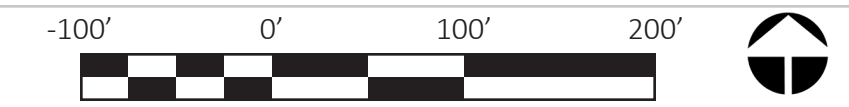
Commercial Lot C Land Use Data

Total Land Area:	±0.52 Acres
Required Min Open Space:	±0.10 Acres (20%)
Provided Open Space:	±0.10 Acres (20%)
Required Min Formal Open Space:	±0.02 Acres (3%)
Provided Formal Open Space:	±0.02 Acres (3%)

- Open Space
- Roadway
- Sidewalk
- Commercial Buildings

*Commercial property layouts shown are conceptual and meant to convey potential future commercial property design.

*Landscaping shown is illustrative and only meant to convey the general appearance and character of the development. Final landscaping shall be provided at the site plan level and will meet design guidelines.



Commercial Development Standards:

- Signage advertising the commercial properties with concept plan layout shall be posted on-site before the first residential building permit is issued and will remain until commercial buildings are under construction.
- Any solid waste enclosures will be constructed of materials consistent with building architecture, be at least 8-ft tall with opaque gates, and accented with landscaping.
- Commercial buildings shall have pedestrian connections to proposed PRD development entrances, which provide a pedestrian connection to Blackman Road.
- Buildings shall have a well defined architectural base by use of different materials, colors, change in pattern, or a combination of these techniques.
- Building elevations will have articulated or multiple building planes along all elevations.
- Main entrances to all buildings are to be well defined and easily recognizable by use of raised roof lines, canopies, glazing, change in materials, change in colors, change in pattern, or a combination of these techniques.
- A 15-ft wide Type ‘D’ Landscape Buffer shall be installed along the southern property line of PCD Lot C. This buffer shall be installed with the construction of PCD Lot C.
- A shared landscape agreement easement shall be placed along the western property line on all PCD lots. A 15-ft wide Type ‘D’ Landscape Buffer shall be installed within this landscape easement consisting of two rows of evergreen trees bisected by an opaque fence. Landscaping within the buffer shall be maintained by both the Commercial Property(s) and the residential H.O.A. The western row of evergreen trees within this buffer shall be installed and maintained by the residential H.O.A. until the adjacent commercial lot(s) is constructed. The remainder of the landscape buffer shall be installed when each commercial lot is developed. The commercial lot shall install the 8-ft opaque fence and the eastern row of evergreen trees to complete the full buffer.
- Fencing provided within all landscape buffers on PCD sites shall be 8-ft tall opaque vinyl fencing.
- Monument signage located at entrances along roadways shall be constructed of materials consistent with building architecture and accented with landscaping.
- All mechanical equipment (i.e. HVAC and transformers) to be screened. If mechanical equipment is located on the roof, then they shall be screened from view.
- All on-site utilities will be underground.
- On-site lighting will comply with city standards to prevent light pollution.
- Parking will comply with Murfreesboro Zoning Ordinance for uses that comply with Commercial Fringe (CF) District and those outlined on this page.
- Construction on the commercial lots will begin once an end-user has been chosen for the site and receives site plan approval from the Murfreesboro Planning Commission.
- All buildings on all commercial lots will have consistent materials & architecture to create an overall theme for the development with a neighborhood scale.
- Commercial lots will not be part of the residential H.O.A. and will instead form their own Commercial Owners Agreement for continued maintenance on-site.
- Site plan construction of the commercial lots will begin once an end-user has been chosen for the site and receives site plan approval from the Murfreesboro Planning Commission.
- Signage advertising the commercial properties with concept plan layout shall be posted on-site before the first residential building permit is issued and will remain until commercial buildings are under construction.



*EXAMPLE OF TRASH ENCLOSURE



*EXAMPLE OF DEVELOPMENT SIGNAGE

Allowable Uses:

The immediate end user for the commercial lots at this time, is currently unknown. The allowable uses outlined on this page, with their footnotes denoted in superscript, are reflected within the Commercial Fringe(CF) district as per the January 24, 2023 Murfreesboro Zoning Ordinance. The Village commercial properties will allow the following uses listed below.

PCD PERMITTED USES	
INSTITUTIONS	
Adult Day-Care Center	X
Church ¹³	X
Day-Care Center	X
Philanthropic Institution	X
Public Building ¹³	X
AGRICULTURAL	
Farm Labor and Management Services	X
COMMERCIAL	
Amusements, Commercial Indoor	X
Animal Grooming Facility	X
Antique Shop <3,000 sq.ft.	X
Art or Photo Studio or Gallery	X
Bakery, Retail	X
Bank or Credit Union, Branch Office or Main Office	X
Bank, Drive-Up Electronic Teller	X
Barber or Beauty Shop	X
Book or Card Shop	X
Brewery, Artisan	X
Brewpub	X
Business School	X
Catering Establishment	X
Clothing Store	X
Coffee, Food, or Beverage Kiosk	X
Commercial Center	X
Convenience Sale and Services, maximum 5,000 sq. ft. floor area (No Gasoline Sales)	X
Department or Discount Store	X
Dry Cleaning	X
Financial Services (No Check Advance Businesses)	X
Flower or Plant Store	X
Glass-Stained and Leaded	X

COMMERCIAL (CONT.)	
Health Club	X
Interior Decorator	X
Janitorial Service	X
Karate, Instruction	X
Keys, Locksmith	X
Medical Office	X
Music or Dancing Academy	X
Offices	X
Optical Dispensaries	X
Pet Shops	X
Pharmacies, Apothecaries	X
Reducing and Weight Control Services	X
Restaurant and Carry-Out Restaurant*	X
Restaurant , Specialty*	X
Restaurant, Specialty - Limited*	X
Retail Shop, other than enumerated elsewhere	X
Specialty Shop	X
Veterinary Office	X
Winery, Artisan	X
TRANSPORTATION AND PUBLIC UTILITIES	
Post Office or Postal Facility	X

Prohibited Uses:

- Primary Pain Clinic
- Primary Drug & Alcohol Rehab Centers
- Vape/Cigarette Shop/Tobacco Shop
- Liquor Store
- Gasoline Sales
- Drive-Thru Services

Commercial Architectural Characteristics:

- Building heights shall not exceed 42 feet in height
- All buildings shall be one-story
- Buildings shall have a well-defined architectural base via different materials, colors, changes in pattern, or a combination of these techniques.
- Main entrances are to be well defined and easily recognizable by the use of; raised roof lines, canopies, glazing, change in materials, change in color, and/or change in building planes.
- Masonry materials (brick, stone, cast stone, synthetic stone) will be the primary building materials with potential cementitious siding accents.
- All buildings shall comply with Murfreesboro Design Guidelines standards.
- See permitted/prohibited uses table on Page 27.


Site Setbacks:


Front Setback (Blackman Road):	30-ft vs.42-ft
Secondary Front (Proposed Internal Roadways):	30-ft vs. 42-ft
Side Setback:	25-ft vs. 25-ft
Rear Setback:	25-ft vs. 25-ft


Canopies and Awnings encroachments shall abide by the Murfreesboro Zoning Ordinance, as defined by Section 2 (YARD), but shall be limited to a maximum encroachment of 5’ into the front, secondary front, or rear setbacks.

Building Materials:

Front Elevations:	Masonry materials (i.e. Brick, Cast Stone, Synthetic Stone)
Side Elevations:	Masonry materials (i.e. Brick, Cast Stone, Synthetic Stone)
Rear Elevations:	Masonry materials (i.e. Brick, Cast Stone, Synthetic Stone)
All Elevation:	Cementitious siding for potential accent material

 Example of Hardy Board
(different colors, cuts, patterns will be allowed)

 Example of Stone Veneer
(different colors, cuts, patterns will be allowed)

 Example of Brick
(different colors will be allowed)



EXAMPLE OF ARCHITECTURE



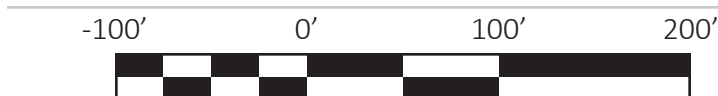
EXAMPLE OF ARCHITECTURE



EXAMPLE OF ARCHITECTURE



EXAMPLE OF ARCHITECTURE



*Landscaping shown is illustrative and only meant to convey the general appearance and character of the development. Final landscaping shall be provided at the site plan level and will meet design guidelines.

- ****The Type 'D' Buffer** between the commercial and residential section shall provide one of the two rows of required evergreen trees upon construction of adjacent residential properties. The remainder of the buffer, including the fence, shall be built upon the construction of the commercial properties.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: The exhibits given on Pages 3-6 meet this requirement.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wet-lands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: The exhibits given on Pages 3-6 meet this requirement.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: The exhibits given on Pages 3-6 meet this requirement.

4.) A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

Response: Pages 24-25 provide exhibits and standards that provides the required materials.

5.) A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.

Response: Pages 9 and 24 provide exhibits and standards that provides the required materials.

6.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

- (AA): The approximate date when construction of the project can be expected to begin.
- (BB): The order in which the phases of the project will be built.
- (CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage
- (DD): A breakdown by phase for subsections (5) and (6) above.

Response: The project is anticipated to be developed in one phase. Development is anticipated to begin within 180 days of rezoning approval, and will include all public infrastructure.

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned RM in Rutherford County. The surrounding area has a mixture of residential and agricultural properties. The concept plan and development standards combined with the architectural requirements of the commercial buildings shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property

Response: See Page 31 for requested exceptions and setbacks.

9.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio) and the O.S.R. (Open Space Ratio). These tabulations are for the PCD.

Response: This requirement has been addressed in the chart below.

TOTAL SITE AREA	171,626 s.f.	3.94 AC	100.00%
TOTAL MAXIMUM FLOOR AREA	28,505 s.f.	0.65 AC	16.61%
TOTAL LOT AREA	171,626 s.f.	3.94 AC	100.00%
TOTAL BUILDING COVERAGE	28,505 s.f.	0.65 AC	16.61%
TOTAL DRIVE/ PARKING AREA	65,486 s.f.	1.50 AC	38.16%
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC	0.00%
TOTAL LIVABLE SPACE	NONE	NONE	NONE
TOTAL OPEN SPACE	34,325 s.f.	0.79 AC	20.00%
FLOOR AREA RATIO (F.A.R.)	0.17		
LIVABILITY SPACE RATIO (L.S.R.)	0.45		
OPEN SPACE RATIO (O.S.R.)	0.83		

10.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in a floodway or floodplain, according to the current FEMA Flood Panel 47149C0119H eff. 01/04/2007 and Panel 471149C0140J eff. 5/9/2023.

11.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 5 & 20-21 discusses the Major Thoroughfare Plan.

12.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is 360 Development contact info for both is provided on cover.

13.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 30 shows the architectural character of the proposed building and building materials listed.

14.) If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 26.

Commercial (See Exhibit on Page 26)

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	CF (Most Relevant)	Proposed PCD	Difference
Residential Density			
Maximum Gross Density	N/A	N/A	N/A
Minimum Lot Area	N/A	N/A	N/A
Minimum Lot Width	N/A	N/A	N/A
Minimum Setback Requirements			
Minimum Front Setback to Blackman Road	42'	30'	-12'
Minimum Front Setback to Proposed Roads	42'	30'	-12'
Minimum Rear Setback From PRD	25'	25'	0'
Minimum Side Setback to Residential Lot Lines	25'	25'	0'
Land Use Intensity Ratios			
MAX F.A.R.	None	None	None
Minimum Livable Space Ratio	None	None	None
Minimum Open Space Requirement	20%	20%	0%
Minimum Formal Open Space Requirement	3%	3%	0%
Max Height	42'	42'	0'

REQUESTED EXCEPTIONS:

- Requesting an exception to the minimum front setback to be reduced by 12-ft for main building setbacks.

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

JANUARY 10, 2024

PROJECT PLANNERS: MATTHEW BLOMELEY AND MARINA RUSH

5.e. Annexation petition and plan of services [2023-506] for approximately 112.5 acres located along Veterans Parkway, including approximately 1,475 linear feet of Veterans Parkway right-of-way, Kathy Davis, Howard Barley Yeargan, and Randall Robinson, Jr. applicants.

The property owners, Kathy C. Davis, Howard Bartley Yeargan, and Randall Robinson, Jr., have submitted a petition requesting their properties be annexed into the City of Murfreesboro. The annexation study area consists of two parts, the portion along the south side of Veterans Parkway is 85.43 acres and the portion along the north side of Veterans Parkway is 24.05 acres. In addition, included in the annexation study area is approximately 1,475 linear feet of Veterans Parkway right-of-way (ROW), or approximately 3.0 acres. The total annexation study area is approximately 112.5 acres. Consent to annex this segment of Veterans Parkway ROW was approved by the Rutherford County Road Board at its December 4, 2023 meeting.

The annexation study area includes the following:

- Tax Map 124, Parcel 04.00 = 24.05 acres (north of Vets Pkwy)
- Tax Map 124, Parcel 28.00 (portion) = 69.22 acres (south of Vets Pkwy)
- Tax Map 124, Parcel 28.01 = 1.00 acre (south of Vets Pkwy)
- Tax Map 124, Parcel 35.00 (portion) = 15.21 acres (south of Vets Pkwy)
- Veterans Parkway ROW (portion) = 3.0 acres

Currently, the subject properties are developed with several existing structures.

These include the following:

- Tax Map 124, Parcel 04.00, located along the north side of Veterans Parkway, is currently developed with a single-family residence and detached barn/garage, and the address is 1940 Veterans Parkway.
- Tax Map 124, Parcel 28.00 (portion), located along the south side of Veterans Parkway, is primarily undeveloped. However, there are several outbuildings at the northwest corner of the portion of the parcel proposed to be annexed.
- Tax Map 124, Parcel 28.01, located along the south side of Veterans Parkway, is developed with a single-family residence addressed as 2025 Veterans Parkway.
- Tax Map 124, Parcel 35.00, located south of Veterans Parkway and north of Yeargan Road. The portion proposed to be annexed contains no existing structures.

The majority of the annexation area has a companion zoning application for Planned Residential District (Prater Farms PRD). The zoning request contains a total of 391

dwelling units for an overall density of 3.67 dwelling units per acre. The PRD pattern book proposes:

- 248 single-family detached lots on the south side of Veterans Parkway;
- 18 single-family detached homes in a horizontal property regime on the north side of Veterans Parkway; and
- 125 single-family attached townhomes in a horizontal property regime on the north side of Veterans Parkway.

Tax Map 124, Parcel 28.01 (2025 Veterans Parkway) and the 2.07 acres of Tax Map 124, Parcel 28.00 surrounding it on its east and south sides will be zoned RS-15 (Residential Single-Family 15) if annexed. This portion of the study area is not a part of the PRD zoning request.

The annexation study area is located within the City of Murfreesboro's Urban Growth Boundary and is contiguous with the existing City limits to the north and west. The Murfreesboro 2035 Comprehensive Plan, Chapter 4: Future Land Use Map identifies a "Service Infill Line"; this line is to help facilitate growth and development in the City in an orderly, planned, and sustainable manner and to help plan for future City services. This annexation study area is located within the Service Infill area.

Staff has prepared a Plan of Services for the proposed annexation. It is included in the agenda packet and demonstrates how services can be provided to the study area. Annexation of the study area, in its current state, will have relatively little impact on utilities and City services.

Of note, the study area, if annexed, will be zoned for Salem Elementary, which is currently operating near capacity. According to Murfreesboro City Schools, if the proposed development moves forward, it will generate approximately 77-98 new elementary school students. It should be noted, however, that the completion of the development is expected to occur over a 6-8 year timeframe, although this may vary based on market conditions. The Planning Department is in regular contact with MCS administration to provide MCS with information to help them determine how to plan for and accommodate future growth.

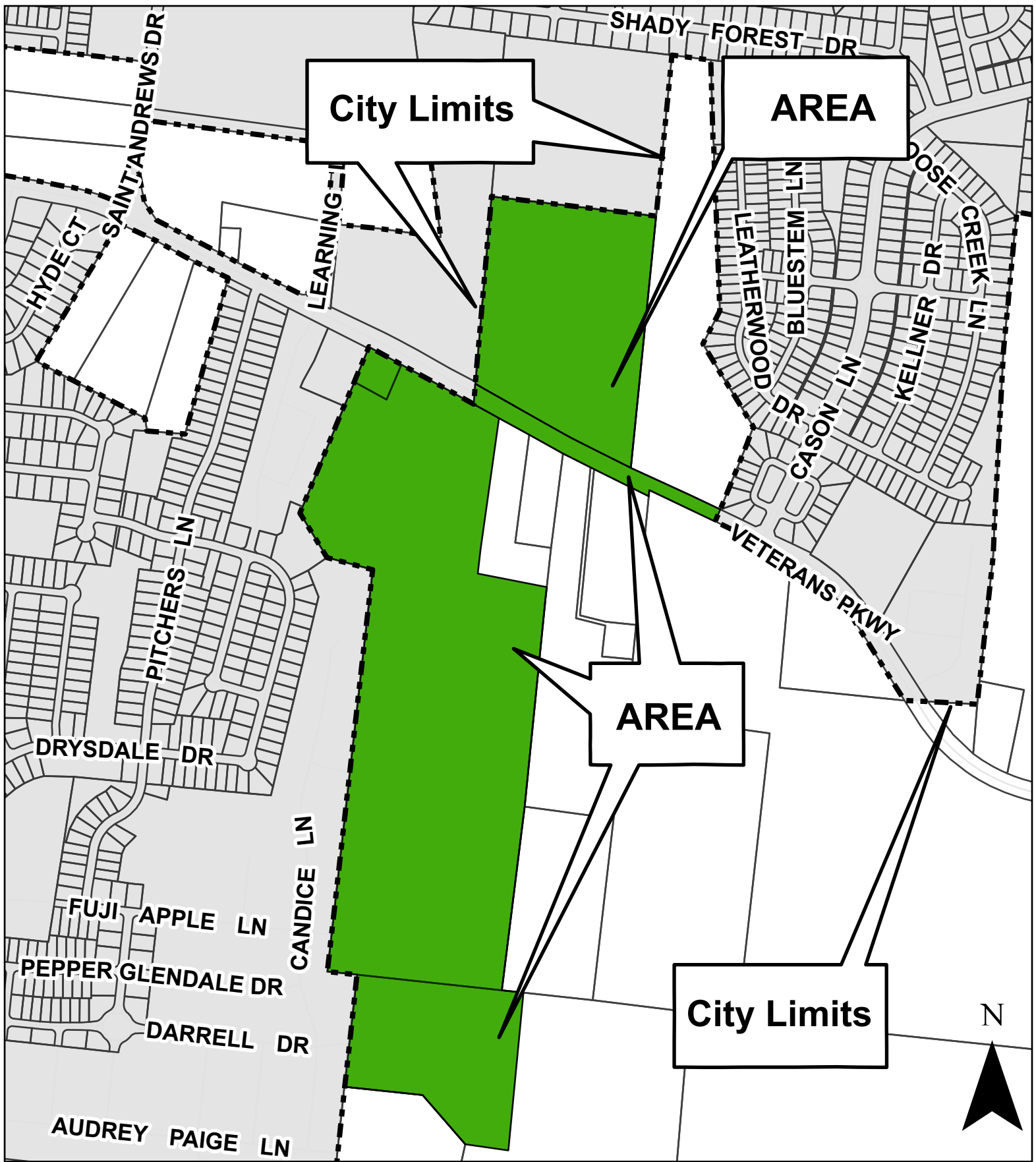
Staff Recommendation:

Staff recommends approval of this annexation for the following reasons:

- 1) The study area is contiguous with the existing City limits.
- 2) The study area is within the City's Urban Growth Boundary.
- 3) The study area is within the City's Service Infill Area.
- 4) Annexation of the study area, in its current state, will have relatively little impact on utilities and City services.

Action Needed:

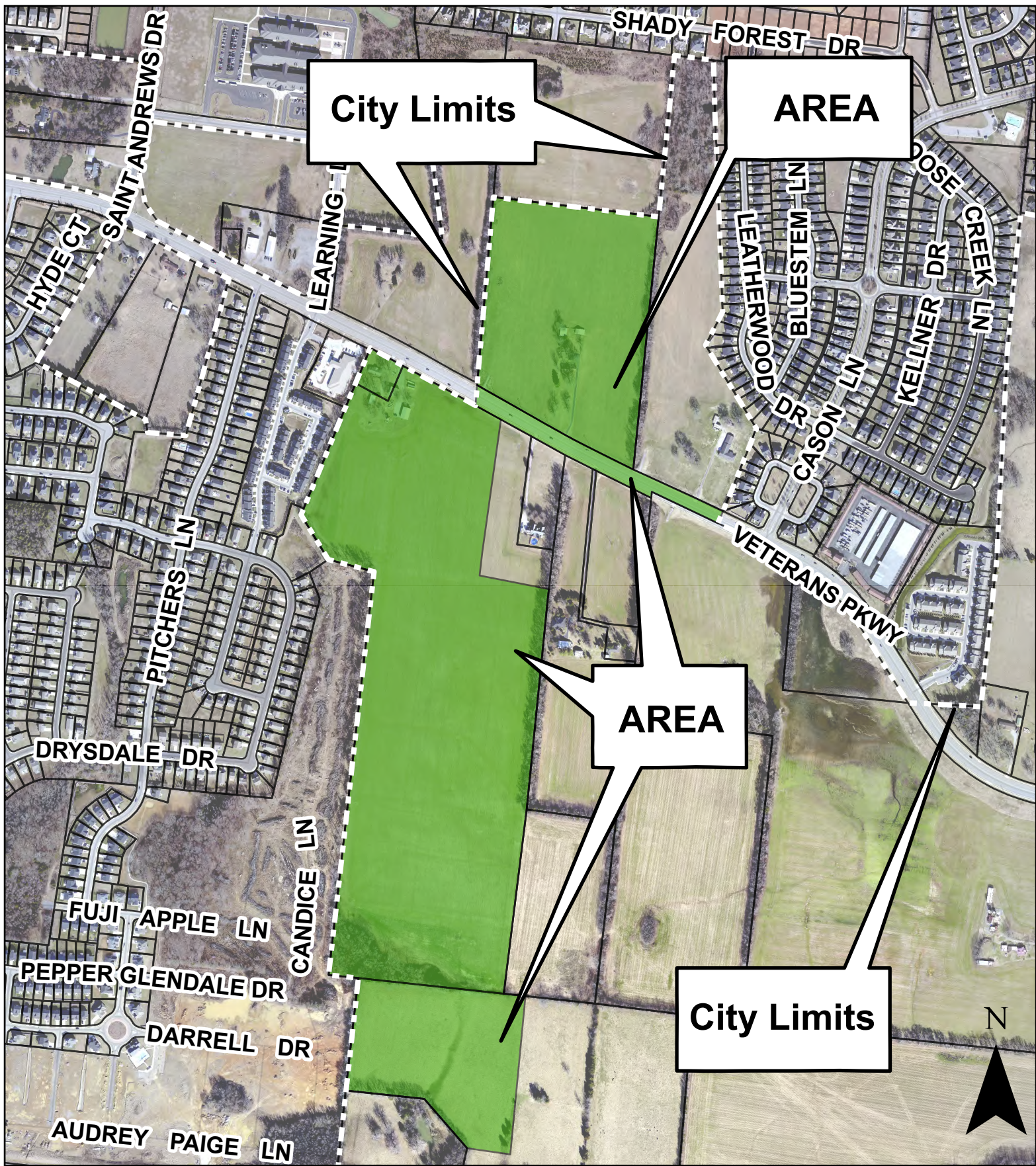
The Planning Commission will need to conduct a public hearing, after which it will need to discuss and then formulate a recommendation for City Council.



Annexation request for property along
Veterans Parkway and for Veterans Parkway Right-of-Way

0 440 880 1,760 2,640
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Annexation request for property along
Veterans Parkway and for Veterans Parkway Right-of-Way

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

0 440 880 1,760 2,640
US Feet

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Kathy C. Davis Tax MAP 124 PARCEL 4.00
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Kathy C. Davis Status: Owner Date: 10-23-2023
417 Riveredge Ct. M'Boro., TN 37128
Mailing Address (if not address of property to be annexed)

2. Howard Bartley Yeungan Part of Tax Map 124 Parcel 35.00
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Howard Bartley Yeungan Status: Owner Date: 10-23-23
3650 Yeungan Rd. Murfreesboro, TN 37128
Mailing Address (if not address of property to be annexed)

3. RANDALL Robinson JR. Part of Tax Map 124 Parcel 28.00
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Randall Robinson Status: Owner Date: 10/23/23
1945 Veterans Parkway, Murfreesboro, TN 37128
Mailing Address (if not address of property to be annexed)

4. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes _____ No

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Oliver Randall Robinson, JR Tax Map 124 Parcel 28.01
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

2025 Veterans Pkwy
Signature: Oliver Randall Robinson Status: OWNER Date: 11/20/2023

1945 Veterans Pkwy, Murfreesboro, TN 37128
Mailing Address (if not address of property to be annexed)

2. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

3. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes _____ No

Consent for Annexation of Public Right-of-Way by the City of Murfreesboro

The City of Murfreesboro, Tennessee has initiated an annexation study of public right-of-way as shown on the attached Exhibit, which specifically includes that segment of Veterans Parkway from the west property line of 1940 Veterans Parkway east to the east property line of 1824 Veterans Parkway, totaling approximately 1,475 linear feet ("County Right-of-Way"), such section being a portion of the prescriptive/platted right-of-way for Veterans Parkway shown in the current Rutherford County Highway Department Road Book. The undersigned, a duly authorized official of Rutherford County, Tennessee, hereby certifies that, at a public meeting held on December 4, 2023 and in furtherance of the requirements set forth in Tenn.Code Ann. § 6-51-1014, the Rutherford County Highway Commission consented to the annexation of the County Right-of-Way by the City of Murfreesboro, Tennessee.

WITNESS MY HAND this 4 day of December 2023.



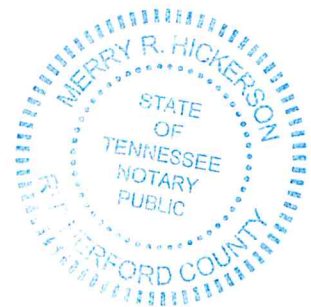
Greg Brooks
Rutherford County Road Superintendent

Sworn to and subscribed before me, a notary public in and for said county and state in Murfreesboro, Tennessee on the 4 day of December, 2023

My Commission Expires: 4/23/2023



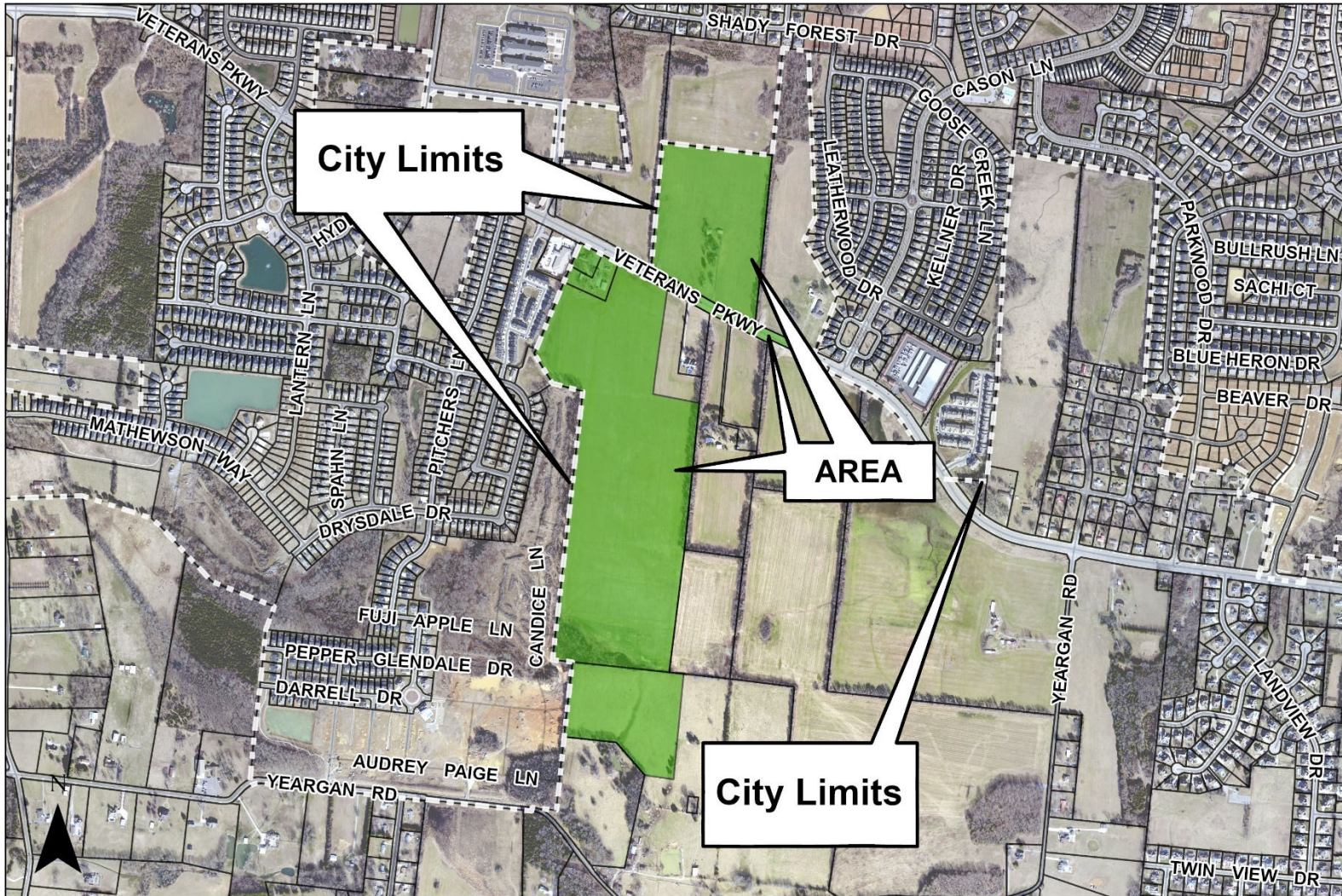
NOTARY PUBLIC



**ANNEXATION REPORT FOR PROPERTY
LOCATED ALONG VETERANS PARKWAY
INCLUDING PLAN OF SERVICES
(FILE 2023-506)**



**PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
JANUARY 10, 2024**



Annexation request for property along
Veterans Parkway and for Veterans Parkway Right-of-Way

0 1,000 2,000 4,000 6,000
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

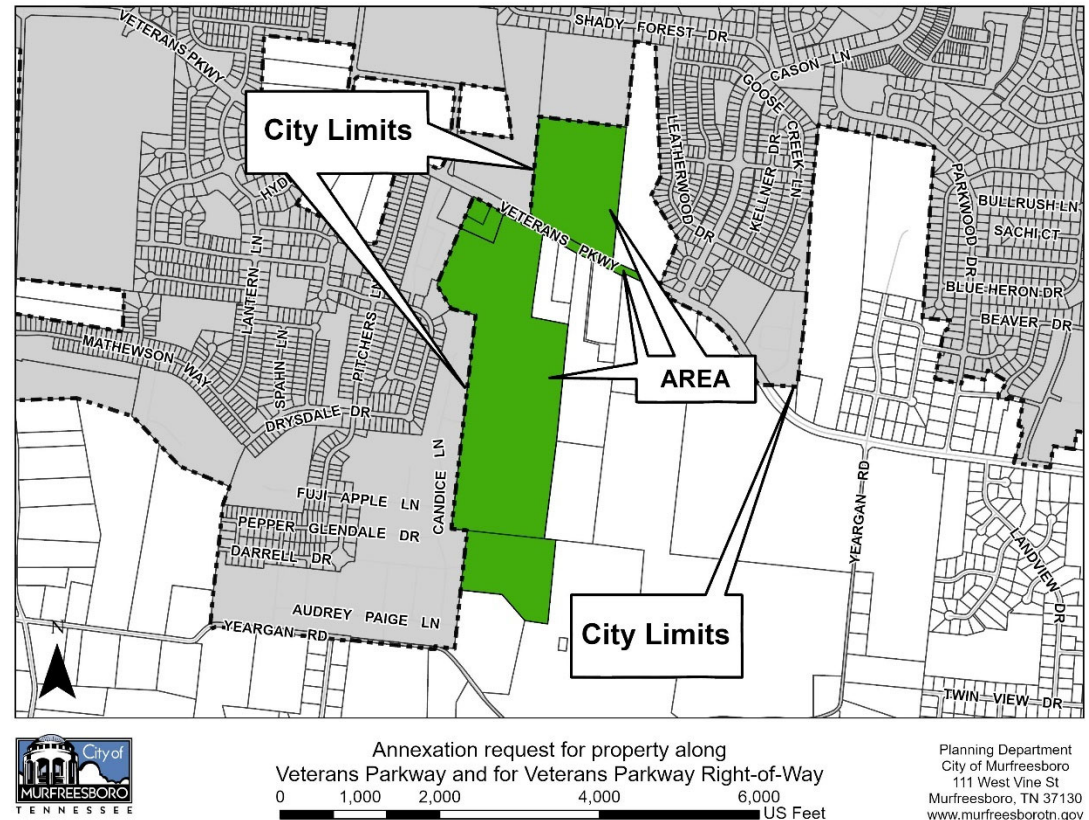
INTRODUCTION

OVERVIEW

The property owners, Kathy C. Davis, Howard Bartley Yeargan, and Randall Robinson Jr. have submitted petitions requesting their properties (approximately 109.5 acres) be annexed into the City of Murfreesboro.

The annexation study area consists of two parts, the portion along the south side of Veterans Pkwy is 85.43 acres and the portion along the north side of Veterans Pkwy is 24.05 acres. In addition, included in the annexation study area is approximately 1,475 linear feet of Veterans Parkway right-of-way (ROW). The Rutherford County Road Board has granted its consent for the City to annex this segment of ROW.

The annexation study area is located within the City's Urban Growth Boundary and is contiguous to the existing city limits along the northern and western property lines, as depicted on the adjacent map.



CITY ZONING

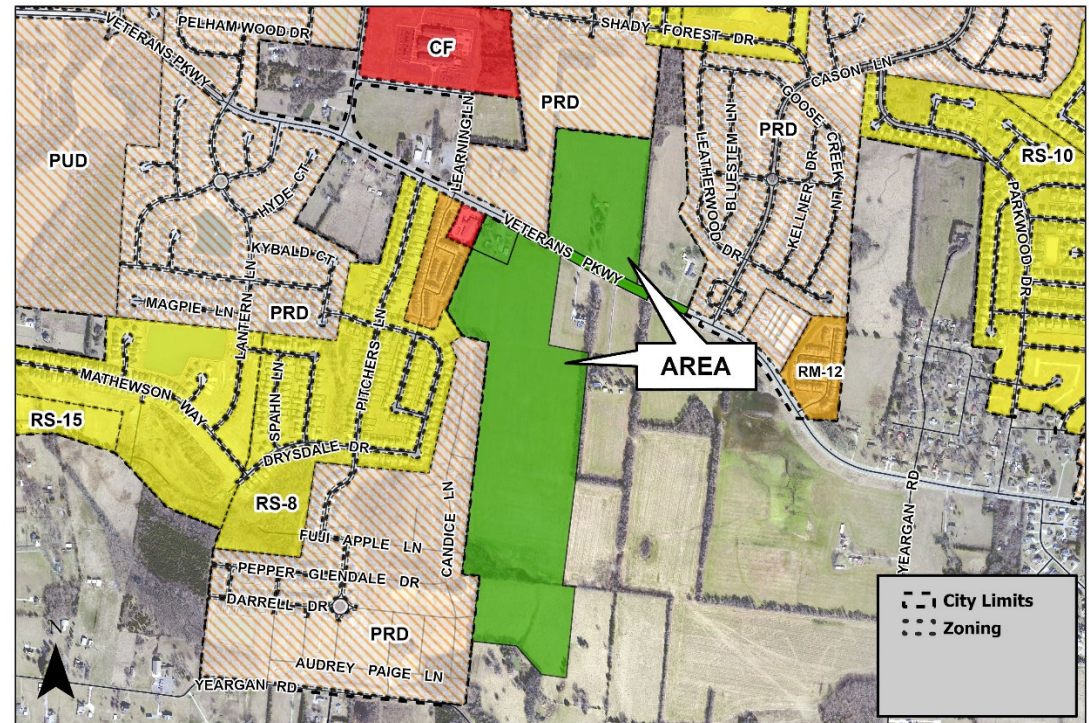
To the north and west of the portion of the study area north of Veterans Parkway is zoned Planned Residential District (PRD) and to the east is zoned Medium Density Residential (RM) in unincorporated Rutherford County. For the portion along the south side of Veterans Parkway, the adjacent zoning to the west is Commercial Fringe (CF), Residential-Multi-family (RM-16), and Single Family Residential (RS-8); and to the south and east is RM zoning in unincorporated Rutherford County.

The annexation study area is zoned Single Family Residential – Medium Density (RM) in the unincorporated County. The majority of the annexation study area has a companion zoning application for Planned Residential District (Prater Farms PRD). This request is for a total of 391 dwelling units for an overall density of 3.67 dwelling units per acre. The zoning pattern book proposes:

- 248 single-family detached lots on the southern portion, and
- 143 single family dwelling units in a horizontal property regime on the north side (including 125 attached and 18 detached).

Tax Map 124, Parcel 28.01 (2025 Veterans Parkway) and the 2.07 acres of Tax Map 124,

Parcel 28.00 surrounding it on its east and south sides will be zoned RS-15 (Residential Single-Family 15), if annexed.



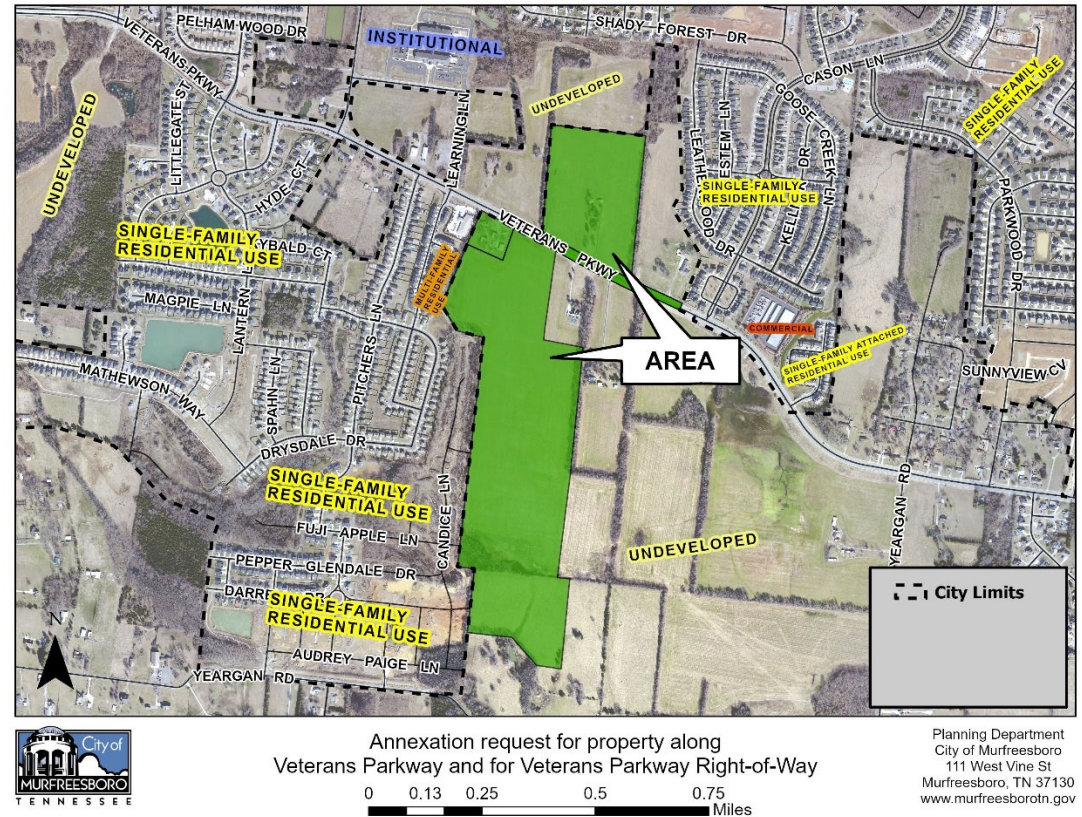
Annexation request for property along
Veterans Parkway and for Veterans Parkway Right-of-Way

0 0.13 0.25 0.5 0.75
Miles

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

PRESENT AND SURROUNDING LAND USE

The study area is developed with several existing residential structures, including two houses (addressed 1940 and 2025 Veterans Parkway) and accessory structures. A mixture of uses is developed on the properties in the surrounding area. To the west are a childcare center, townhomes, and single-family detached homes; to the south and east large tracts of land in the unincorporated County and are either developed with a single residence or undeveloped; and to the north and northwest are vacant parcels.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2024 will be due on December 31, 2025. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9526/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

Table I
Estimated Taxes from Site

Owner of Record	Tax Map and Parcel	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Kathy C. Davis	124-04.00	24.05	\$127,000	\$280,700	\$106,050	\$1,010.23
Randall Oliver Robinson, Jr.	124-28.00 (portion)*	69.22	\$227,200	\$0.00	\$75,325	\$717.55
Randall Oliver Robinson	124-28.01	1.0	\$76,100	\$230,500	\$77,025	\$733.74
Howard Yeargan	124-35.00 (portion)*	15.21	\$269,100	\$386,900	\$175,375	\$1,670.62

These figures are for the property in its current state and assessed at the residential rate of 25 percent. After this property is rezoned and when it is developed, an improvement value will be added, which will result in an increase to the City and County taxes.

*Only portions of these two parcels are proposed to be annexed. However, the numbers in this table represent the values for the entire parcel and have not been pro-rated.

The City of Murfreesboro is also projected to receive additional revenue from state-shared taxes. Table II below shows the 2023-2024 per capita state revenue estimates for the City of Murfreesboro once the proposed development is built out. The study area is proposed to be developed with 391 single-family residential homes.

Table II
Per Capita State Revenue Estimates

General Fund	Per Capita Amount
State Sales Tax	\$89.00
State Beer Tax	\$0.50
Special Petroleum Products Tax (Gasoline Inspection Fee)	\$2.00
Gross Receipts (TVA in-lieu taxes)	\$11.80
<i>Total General Revenue Per Capita</i>	\$103.30
State Street Aid Funds	Per Capita Amount
Gasoline and Motor Fuel Taxes	\$38.50
<i>Total Per Capita (General and State Street Aid Funds)</i>	\$141.80
Total State-Shared Revenues (based on full build-out at 2.58 persons per dwelling unit for proposed 391 new units)	\$143,045

The per capita state revenue estimates apply only to new residents and will only be available after a certified census takes place.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE, and other community crime prevention programs to the subject parcel immediately upon the effective date of annexation. The current police zone that borders the study area is Zone 4.

ELECTRIC SERVICE

The study area is currently served by Middle Tennessee Electric (MTE). MTE has existing electrical infrastructure along Veterans Parkway with the capacity to serve any proposed development. Any new electrical infrastructure installed will be required to adhere to MTE standards.

STREET LIGHTING

Street lighting maintained by MTE exists along Veterans Parkway along the property frontage. The developer will be required to install streetlights within the development for any proposed public streets.

SOLID WASTE COLLECTION

Upon annexation, the Murfreesboro Solid Waste Department will be responsible for providing a cart to the two existing single-family homes. The day of the week for service will be Thursday. The cost for each new cart is \$73.40, and the total cost for two existing homes is \$146.80. If the property is developed in accordance with the Prater Farms PRD, the cost for carts for 248 single-family detached homes is \$18,203.20. In addition, there is a service charge for weekly collection paid monthly through the water bill of \$9.50 per home.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to any existing or future occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

CITY SCHOOLS

The Murfreesboro City Schools (MCS) system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. Currently there are two residences in the annexation study area. Any elementary school-age children residing there will be eligible to attend Murfreesboro City Schools. The property is located outside the Salem Elementary school zone and would become part of this school's zoned area if annexed. The projected additional enrollment for 391 new single-family residential units, as proposed by the developer, is 77-98 new students. The Salem

Elementary school capacity is 960 students. The current enrollment is 955 students.

BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

STREETS AND ACCESS

The annexation study area includes approximately 1,475 linear feet of Veterans Parkway right-of-way. Veterans Parkway is a 5-lane curb and gutter roadway and was constructed as a joint City of Murfreesboro and Rutherford County project consistent with the City's 2025 Major Thoroughfare Plan. By agreement with Rutherford County, the City has been responsible for operation and maintenance of the roadway since its opening. Therefore, no additional maintenance services or costs will be required upon annexation. Any new connections must be approved by the City Engineer.

No additional public roadways are included in the study area. Any future public roadway facilities to serve the study area must be constructed to City standards.

REGIONAL TRAFFIC & TRANSPORTION

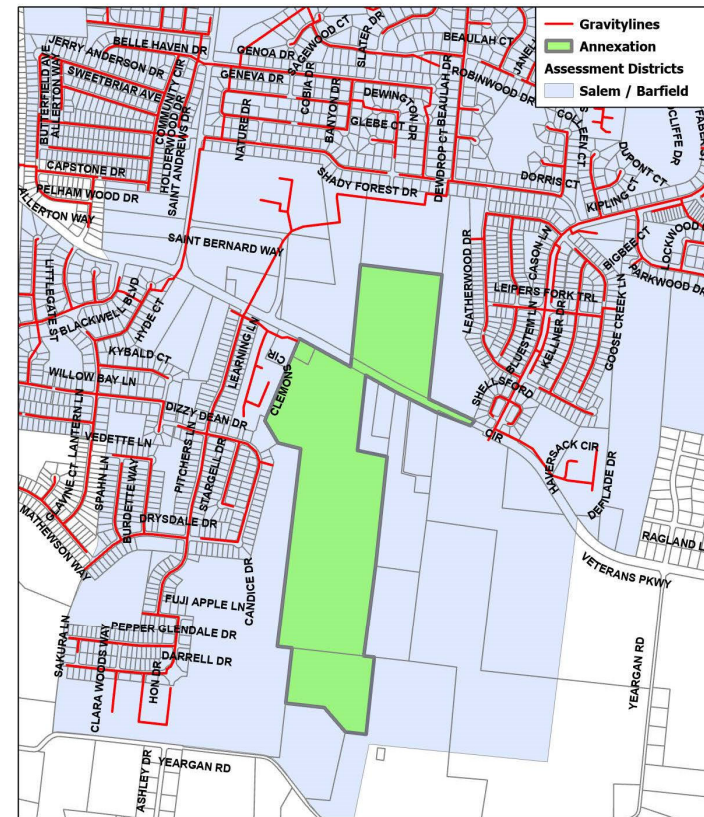
The study area is served by Veterans Parkway. The 2014 Level of Service Model in the proposed 2040 Major Transportation Plan shows Veterans Parkway to be operating at a Level of Service B from Saint Andrews Drive to Cason Lane. The 2040 Level of Service Model indicates that Veterans Parkway operates at a Level of Service C without the proposed improvements in the 2040 plan.

SANITARY SEWER SERVICE

According to the Murfreesboro Water Resources Department (MWRD), to serve the properties requesting annexation, the developer has two options for a sewer connection. On the south side of Veterans Parkway, there is an existing 8" sanitary sewer main available at the northwest corner of the property. On the north side of Veterans Parkway, the developer will either obtain an off-site sewer easement and connect to an existing 12" sewer main located on the property to the north or will bore underneath Veterans Parkway and connect to the sewer being extended with the development of the southern portion. Upon annexation and until the study area is developed, the existing residential structures in the study area will continue to be served by septic systems.

The proposed development for 391 single-family units (sfu's) on 109.48 acres ($391 * 109.48 = 3.57$ sfu/acre) appears to meet the requirements of the Sewer Allocation Ordinance (SAO). This property is within the Salem Barfield Sanitary Sewer Assessment District and will be charged \$3,150 per single family unit (sfu) in addition to the standard connection fee of \$2,550 per sfu. All main line extensions are the financial responsibility of the developer and must be extended in accordance with the Development Policies and Procedures of the Murfreesboro

Water Resources Department. The red lines on the map below represent the approximate locations of the gravity sewer lines.



MURFREESBORO WATER RESOURCES DEPARTMENT
**Annexation Request Veterans Parkway
and Veterans Parkway ROW**

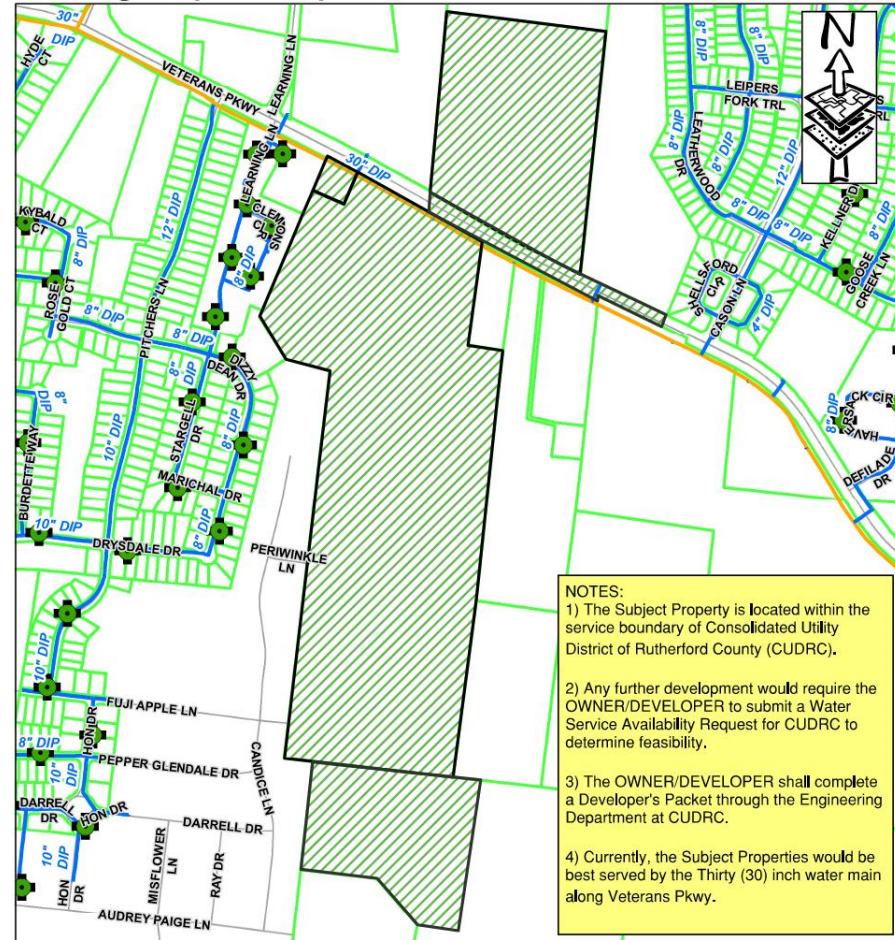


WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUDRC) service area. A 30-inch ductile iron water main (DIP) is located along the southwest side of Veterans Parkway and serves the existing residences. This water line can serve the annexation study area and the future development of 391 single-family residences, as illustrated on the map to the right.

Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUDRC's Developer Packet through CUDRC's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUDRC's development policies and procedures.

2025 Veterans Pkwy & Veterans Pkwy Right-of-Way Rezoning Request Map 124 Parcels 04.00, 28.00, 28.01, & 35.00



SUBJECT PROPERTY

CUD HYDRANT

CUD WATER MAIN

CUD WATER MAIN

November 27, 2023

TAX MAP: 124
PARCELS: 04.00, 28.00,
28.01, & 35.00

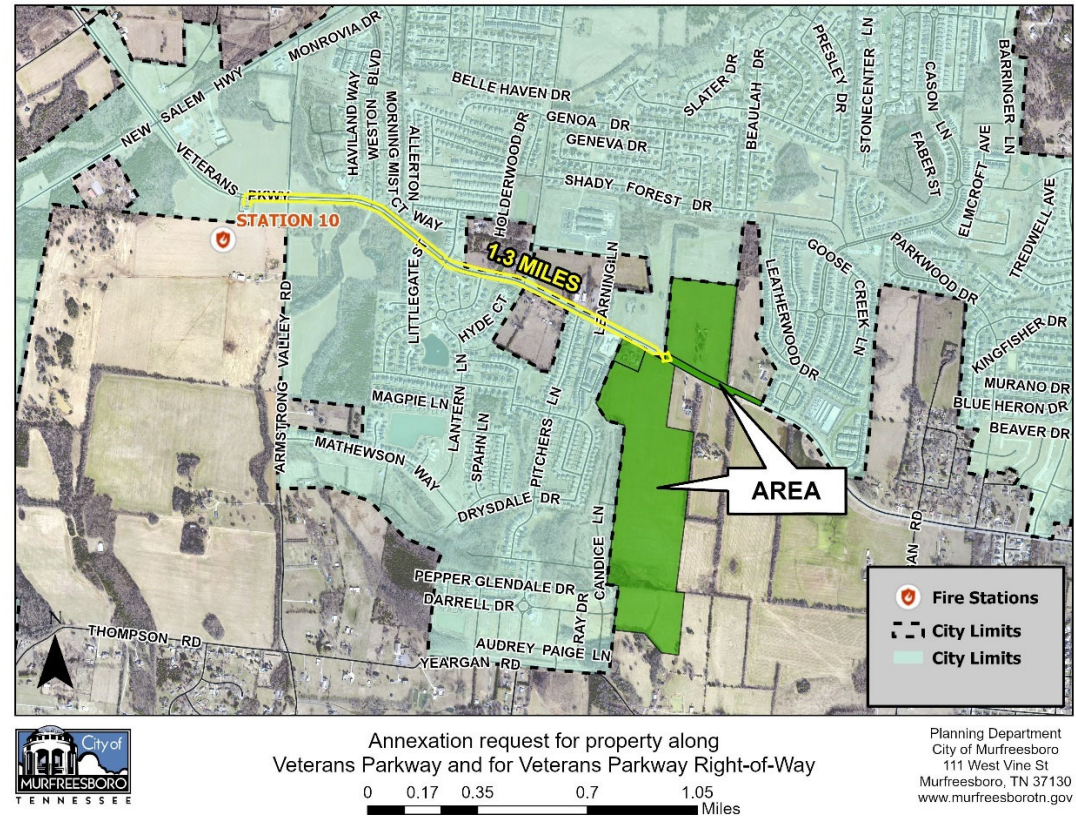


0 500 1,000 1,500 2,000
Feet

FIRE AND EMERGENCY SERVICE

The study area contains two existing single-family dwellings. The Murfreesboro Fire and Rescue Department (MFRD) can provide emergency services and fire protection to the study area immediately upon the effective date of annexation at no additional expense.

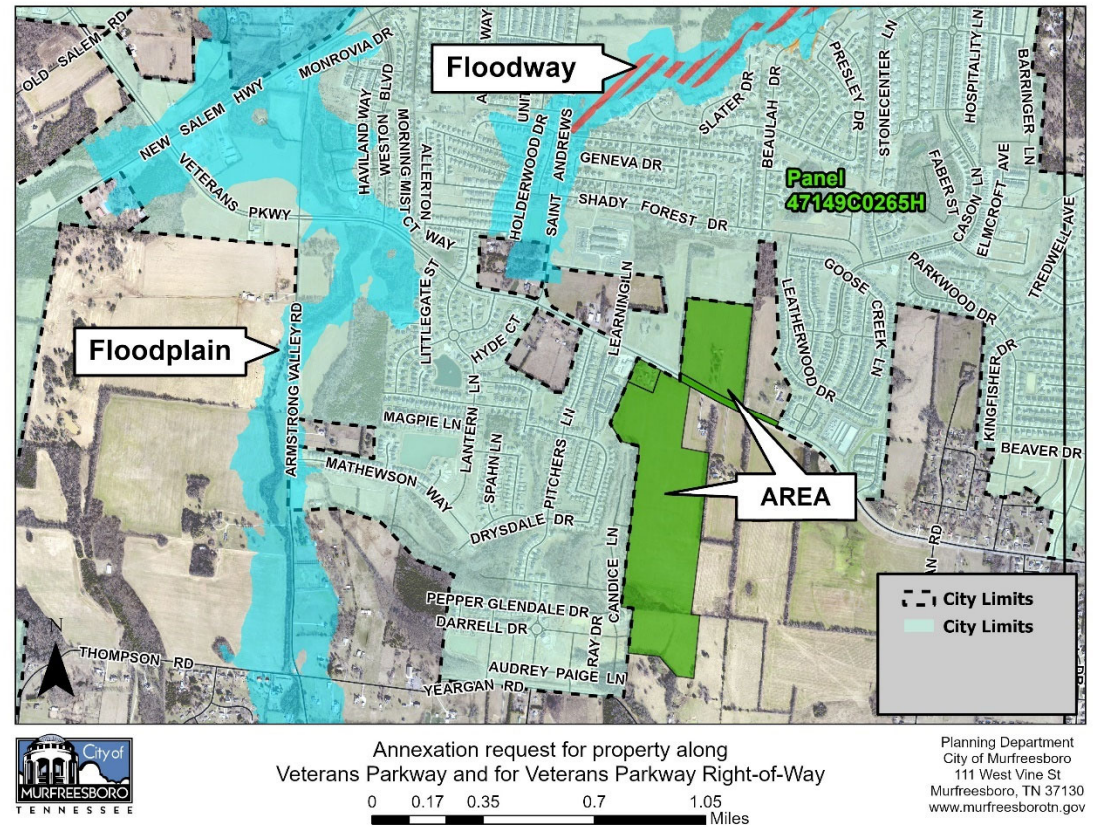
Currently the study area is located approximately 1.3 miles from Fire Station #10 (2563 Veterans Parkway). The yellow line on the adjacent map represents the linear distance range from the nearest fire station.



FLOODWAY

The study area is not located within the 100-year floodplain or the regulatory floodway as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA).

The nearest floodplain is the Armstrong Branch floodplain, located approximately west of the study area as depicted on the adjacent map in blue.



DRAINAGE

Public Drainage System

Public drainage facilities available to the study area are located within the right-of-way of Veterans Parkway. The annualized operation and maintenance cost for this system is included in the public roadway sections above as they are internal roadway drainage systems. An existing storm system crosses Veterans Parkway and discharges along the west property line of the northern parcel in the study area. A drainage easement may need to be dedicated with the development. No other public drainage facilities are available to the study area. Any public drainage facilities proposed to serve the study area in the future must meet City standards.

Regional Drainage Conditions

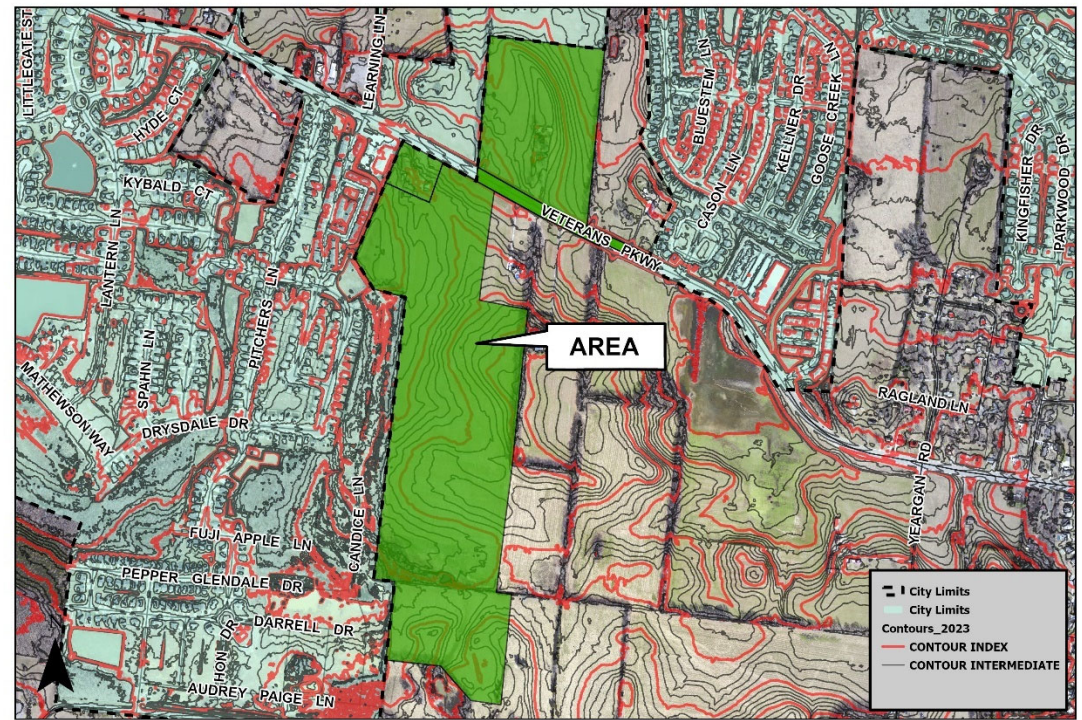
A review of the 2010 aerial photography following the significant rainfall events of May 1 and 2 confirms the presence of standing water 2 days after the rainfall stopped on the southern parcel in the study area.

Stormwater Management and Utility Fees

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area. The study area currently has two single-family residences and will generate approximately \$78 per year in revenue for the Stormwater Utility Fee. The

subject property is proposed to be developed with 391 dwelling units. Based on this development scenario, it is anticipated that the site will generate approximately \$15,250 annually in revenue for the Stormwater Utility Fund upon full build-out.

The red lines on the adjacent map represent ten-foot contours. The grey lines represent two-foot intervals.



Annexation request for property along
Veterans Parkway and for Veterans Parkway Right-of-Way

0 0.1 0.2 0.4 0.6 Miles

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

PROPERTY AND DEVELOPMENT

The southern part of the southern parcel drains to a closed depression. The northern part of the southern parcel drains to a drainage system in Veterans Parkway. The northern parcel drains to closed depressions on neighboring properties to the east and west.

The drainage system from Veterans Parkway must be considered in future development plans.

New development should comply with the City's Stormwater Quality Regulations by providing stormwater quality, streambank protection, and detention.

ANNEXATION FOLLOW-UP

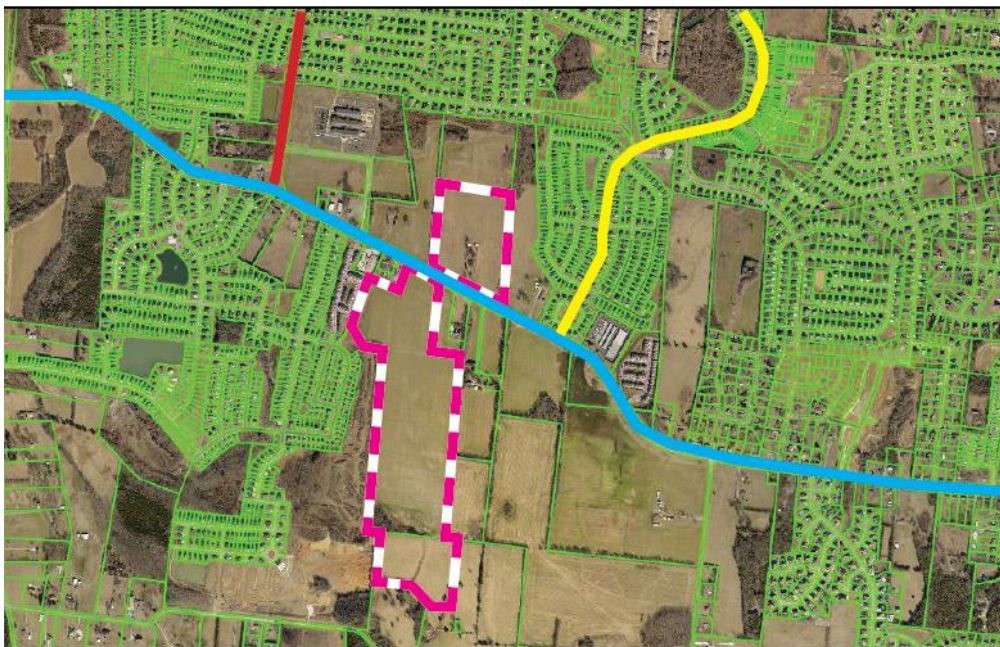
The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
JANUARY 10, 2024
PROJECT PLANNERS: AMELIA KERR AND MARINA RUSH**

5.f. Zoning application [2023-419] for approximately 106.4 acres located along Veterans Parkway to zoned PRD (Prater Farms PRD) simultaneous with annexation, Ole South Properties applicant.

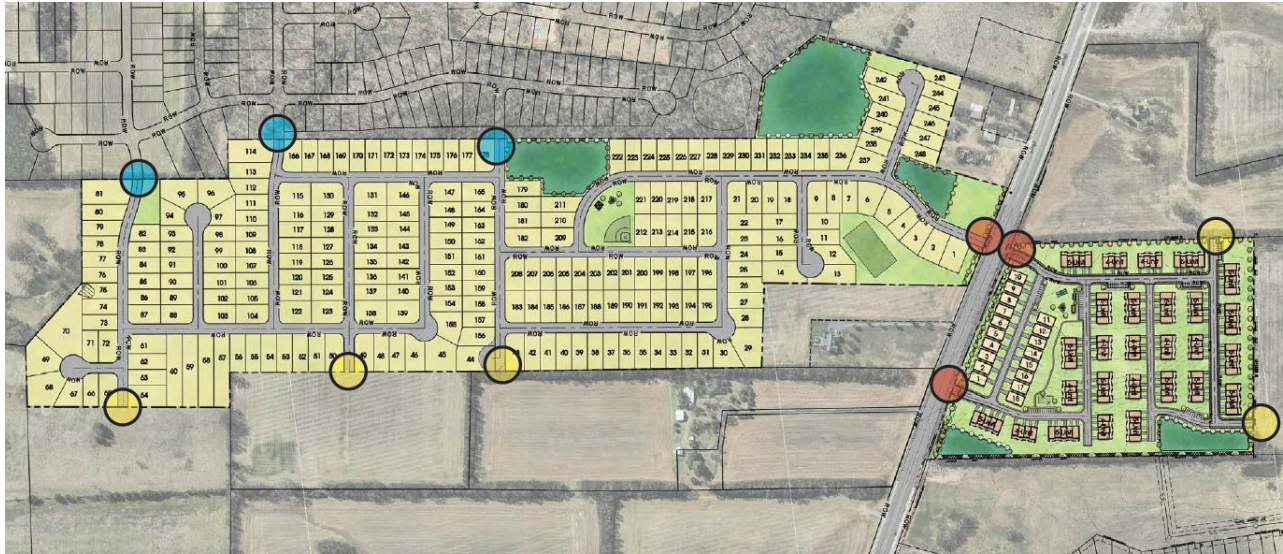
The applicant, Ole South Properties represented by Dan Bobo, is requesting to zone the subject property to Planned Residential District (PRD) simultaneous with its annexation. The property is located along Veterans Parkway and is separated into two parts. The portion along the north side of Veterans Parkway is 24.05 acres, on which 125 single-family attached townhomes and 18 single-family detached units are proposed, all to be located within a horizontal property regime. The portion along the south side of Veterans Parkway is 82.35 acres, on which 248 single-family detached units on individual lots of record are proposed. As such, the overall density is 3.67 dwelling units/acre based on a total of 391 dwelling units on 106.4 acres. The following parcels are included in the request:

- Tax Map 124, Parcel 04.00 = 24.05 acres (north of Vets Pkwy)
- Tax Map 124, Parcel 28.00 (portion) = 67.14 acres (south of Vets Pkwy)
- Tax Map 124, Parcel 35.00 (portion) = 15.21 acres (south of Vets Pkwy)



The northern portion of this property will have access to the existing public right-of-way of Veterans Parkway through two entrances. The southern portion of this

property will have access to the existing public right-of-way of Veterans Parkway through one entrance. Veterans Parkway is on the City of Murfreesboro's 2040 Major Transportation Plan and is up to date as a 5-lane roadway with curb, gutter, and sidewalks along both sides of the roadway. Potential secondary means of ingress/egress for the development includes proposed stub streets to the west and east for the area south of Veterans Parkway and to the west and north for the area north of Veterans Parkway, as shown on the exhibit below (Prater Farms PRD program book, page 27).



In addition, a traffic impact study was prepared by the developer's civil engineer and the City has identified that the proposed intersection of Veterans Parkway and the two proposed public streets to be signalized in the future when signal warrants are met. The developer will dedicate ROW and geometrically plan for future road improvements associated with a future signal when warranted and contribute 28.6% to the cost of the traffic signal.

Adjacent Land Use and Zoning

The property is currently zoned Medium Density Residential (RM) in Rutherford County. The surrounding area consists of a mixture of zoning types and uses. The land to the north and west is zoned PRD in the City of Murfreesboro. The land to the east and south is zoned RM in Rutherford County. The majority of the land surrounding the subject property is zoned for residential purposes with a small portion of land set aside for commercial development to service the surrounding residential uses. Prater Farms is surrounded by a mixture of residential subdivisions and agricultural properties. Westwind is a residential development to the west, south of Veterans Parkway, consisting of one- to two-story single-family detached homes with garages. Westwind also includes elements such as a daycare and townhomes. Three Rivers is a residential development to the east/northeast that consists of one- to two-story single-family detached homes with garages. Magnolia Grove is a

residential subdivision under development to the southwest that consists of one- and two-story single-family detached homes with garages.

Prater Farms PRD:

The Prater Farms PRD proposes a variety of housing types. The southern portion of the project will consist of 248 single-family detached lots with minimum lot sizes of 8,500 square-feet. The homes will contain a minimum of 1,400 square-feet of living area, with a minimum of 3 bedrooms and a two-car front-entry garage. The northern portion will consist of 125 single-family attached townhomes and 18 single-family detached homes, all of which will be in a horizontal property regime (HPR). The townhomes will contain a minimum of 1,300 square feet of living area, with 2 or 3 bedrooms and one (1)-car front-entry garages. The detached HPR homes will contain a minimum of 1,400 square feet of living area, with 3 bedrooms and 2-car front-entry garages. The open space areas are 20% of the site, consisting of detention ponds and amenities, including a pickleball court, playgrounds on both sides of Veterans Parkway, a dog park, open play fields, a wiffle ball court, and a pavilion.

The single-family detached house designs proposed in the current program book depict one- and two-story dwelling units. The single-family attached house design is similar to the ones Ole South constructed along North Tennessee Boulevard in the Brookwood Point development, adjacent to the Northwoods subdivision.

Exceptions Requested:

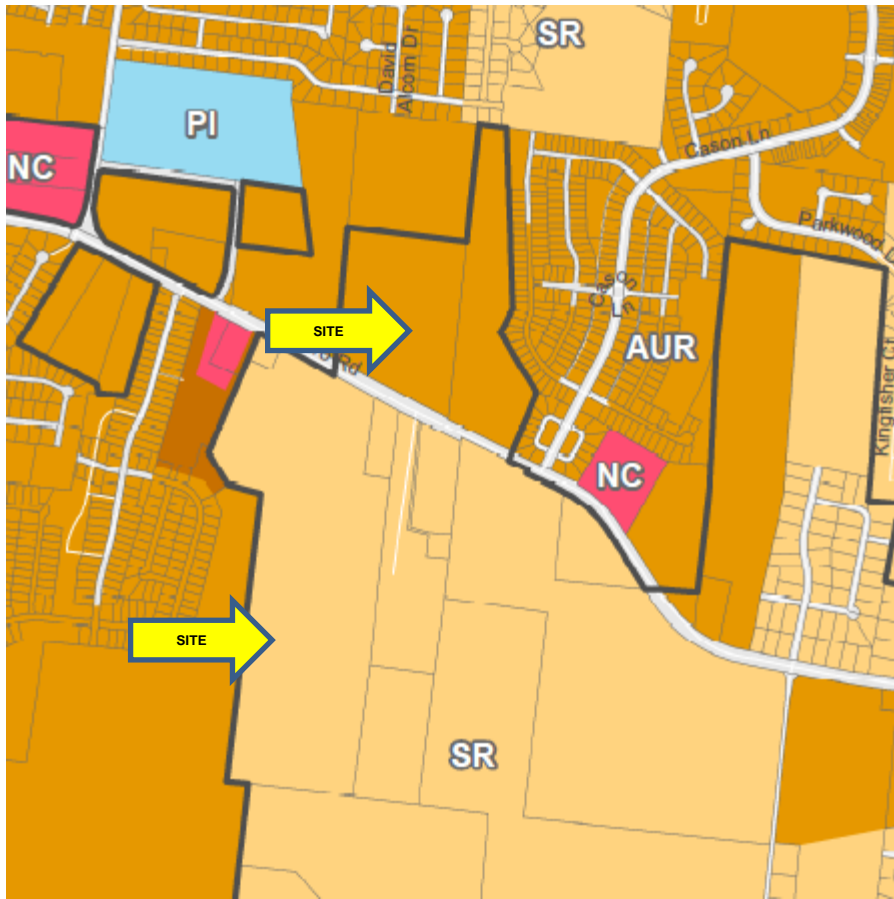
1. *Single-Family Detached (south side of Vets Pkwy):* for corner units, request reduction for the front setback from the secondary street (side elevation) from 35 feet to 22.5 feet.
2. *Single-Family Attached:* request for the front garage setback to be reduced from 35 feet to 25 feet.
3. *Single-Family Attached:* request for the front of house setback to be reduced from 35 feet to 25 feet.
4. *Single-Family Attached:* for corner units, request reduction for the front setback from the secondary street (side elevation) from 35 feet to 10 feet.
5. *Single-Family Detached HPR:* for corner units, request reduction for the front setback from the secondary street (side elevation) from 35 feet to 15 feet.
6. *Single-Family Detached HPR:* front setback reduction along Veterans Parkway from 45 feet to 40 feet. (Although this is a front setback, this will apply to the rear of the structures.)

Future Land Use Map:

The Future Land Use Map (FLUM) of the *Murfreesboro 2035 Comprehensive Plan* indicates that “Suburban Residential” is the most appropriate land use character for the project area along the south side of Veterans Parkway and “Auto Urban Residential” is recommended for the area along the north side of Veterans Parkway. The general characteristics of Suburban Residential are garages on the front and side home facades, generally larger lot sizes but smaller lot sizes possible in exchange for greater open space devoted to maintain the suburban character, enhanced landscaping between adjacent properties and roads, enhanced on-site amenities, larger front yards with increased front setbacks, and incorporation of street trees. Densities for this character range from 1.0 to 4.0 units per acre. Generally compatible zoning districts include RS-15, RS-12, and RS-10. The general characteristics of Auto-Urban Residential are less openness between dwellings, urban landscaping, emphasis on connectivity within the development, a density range of 4.0-12.0 dwelling units per acre, and PRD zoning for townhome developments. Criteria for townhome development is 20% maximum developable area can be dedicated for attached residential units and 40% maximum overall unit count be townhomes.

If taken as two separate zoning requests, the southern area of the proposed development is consistent with the SR land use character, but the northern area is not consistent with the recommendations of the AUR land use character due to the number of townhomes proposed. However, Staff believes that the development is generally consistent with the recommendations of the plan when taken as a whole (both the north and south sides together) and, if needed, that this would be an appropriate use of the future land use map’s transition policy. In addition, the plan aligns with several FLUM recommendations, including open space, strong amenity packages, allowable percentage of single-family attached units and their coverage, enhanced landscaping at entrances, multiple connection points to Veterans Parkway and surrounding properties, consistent lot sizes to adjacent developments, and the use of a Planned Development approach to guarantee quality and control.

Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)

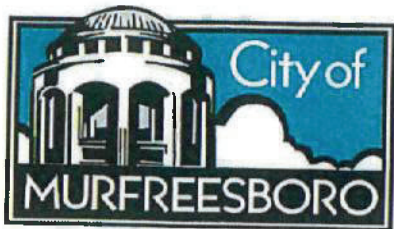


Key Discussion Opportunities:

The Planning Department is supportive of this request because it is generally consistent with the comprehensive plan, and the proposed residential uses are compatible with the surrounding land uses. However, the Planning Commission should discuss the appropriateness of the PRD exceptions requested.

Action Needed:

The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning request and to make a presentation. A copy of the PRD program book is included with the agenda materials. The Planning Commission should conduct a public hearing prior to formulating a recommendation to the City Council.



T E N N E S S E E

Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Ole South Properties c/o Dan Bobo

Address: 262 Robert Rose Drive, Ste 300 **City/State/Zip:** Murfreesboro, TN 37129

Phone: 615-896-0019 **E-mail address:** DBobo@olesouth.com

PROPERTY OWNER: Bart Yeargan, Randall Robinson

Street Address or property description: Veterans Parkway and Yeargan Road

and/or Tax map #: 124 **Group:** _____ **Parcel (s):** 4.00, P/O 28.0, p/o 35.00

Existing zoning classification: RM (COUNTY) & PRD (CITY)

Proposed zoning classification: PRD **Acreage:** 106.4

Contact name & phone number for publication and notifications to the public (if different from the applicant): Matt Taylor 615-890-7901

E-mail: mtaylor@sec-civil.com

APPLICANT'S SIGNATURE (required): 

DATE: 11/8/2017

*****For Office Use Only*****

Date received: _____ **MPC YR.:** _____ **MPC #:** _____

Amount paid: _____ **Receipt #:** _____

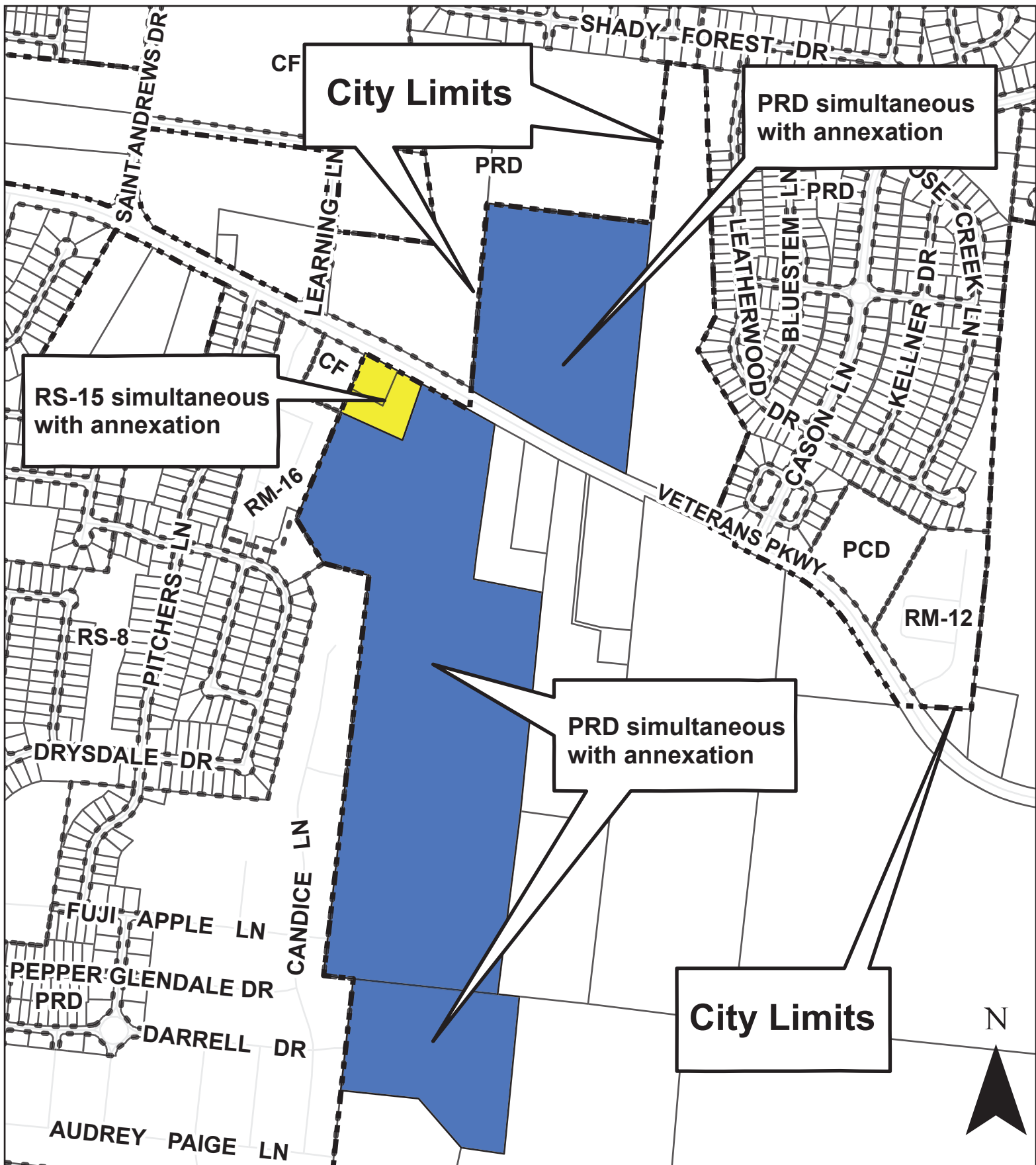
Revised 7/20/2018



Zoning request for property along Veterans Parkway
PRD (Prater Farms PRD) simultaneous with annexation

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov





Zoning request for property along Veterans Parkway
PRD (Prater Farms PRD) simultaneous with annexation

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



0 445 890 1,780 2,670
US Feet

PRATER FARMS

A REQUEST FOR ANNEXATION AND REZONING FROM MEDIUM DENSITY RESIDENTIAL (RM) TO PLANNED RESIDENTIAL DISTRICT (PRD)

Murfreesboro, Tennessee



Pre-Application Submittal

October 25th, 2023

Initial Submittal

November 8th, 2023

Resubmitted

December 1st, 2023 for the December 13th, 2023
Planning Commission Workshop

Resubmitted

December 12th, 2023 for the December 13th, 2023
Planning Commission Workshop

Resubmitted

January 3rd, 2024 for the January 10th, 2024
Planning Commission Public Hearing

SEC, Inc.

SEC Project #23166



OleSouth.com

OleSouth
Built It.

© Copyright 2024, Site Engineering Consultants, Inc.

SEC, Inc.

Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Rob Molchan / Matt Taylor
Phone: (615) 890-7901
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com
Web: www.sec-civil.com

850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129



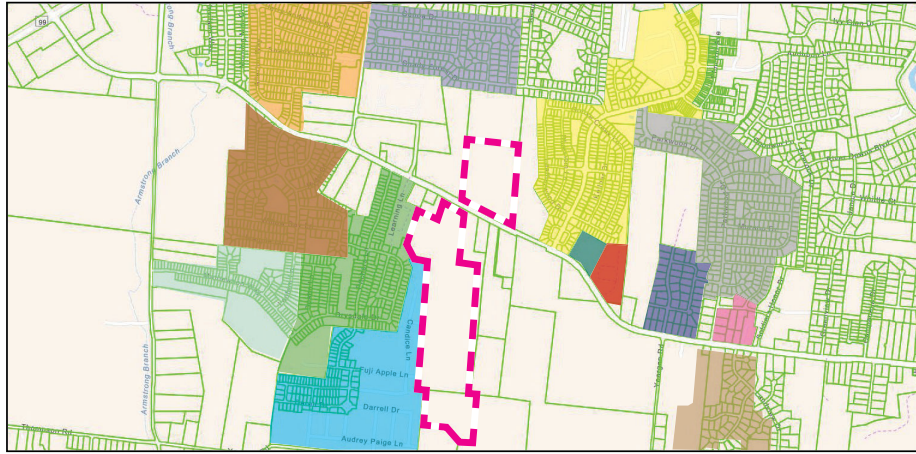
Company Name: Ole South Properties
Attn: Dan Bobo
Phone: 615-896-0019
Email: DBobo@olesouth.com

262 Robert Rose Blvd Suite 300
Murfreesboro, TN 37129

TABLE OF CONTENTS.....	02
PROJECT SYNOPSIS, ZONING MAP, & FUTURE LAND USE MAP	03
SUBDIVISION MAP & 2040 MAJOR TRANSPORTATION PLAN	04
UTILITY MAP & HYDROLOGY AND TOPOGRAPHY.....	05
ON-SITE, ROADWAY, & OFF-SITE PHOTOGRAPHY	06-07
CONCEPTUAL SITE AND LANDSCAPE PLAN	08
DEVELOPMENT STANDARDS.....	09
CONCEPTUAL PHASING PLAN.....	10-11
SINGLE FAMILY DETACHED LOTS ARCHITECTURAL CHARACTERISTICS	12-19
SINGLE FAMILY ATTACHED ARCHITECTURAL CHARACTERISTICS	19-21
SINGLE FAMILY HPR ARCHITECTURAL CHARACTERISTICS	22-29
INGRESS AND EGRESS	30-31
AMENITIES & LANDSCAPE STANDARDS.....	32-36
ARTICLE 13 INFORMATION SUMMARY	37
REQUESTED EXCEPTIONS SUMMARY	38

© Copyright 2023, Site Engineering Consultants, Inc. (SEC, Inc.)

This document shall not be reproduced, modified, published, or used in any way or form of media/print without the expressed written consent of Site Engineering Consultants, Inc.



SUBDIVISION MAP

Not To Scale

Magnolia Grove	Three Rivers Storage	Valleyview	Sherfield Park (PRD)
Westwind	Barfield Meadows	Rivers Edge	Westwind Reserve
Three Rivers	Parkwood Estates	Trinity Pointe Townhomes	The Meadows at Kimbro

Site Boundary

Prater Farms is surrounded by a mixture of residential subdivisions and agricultural properties. Westwind is a mixture of residential dwelling unit types and a commercial component. It consists of one to two story single-family detached homes with garages on lot sizes of approximately 60' x 140' or roughly 8,000 sqft. Westwind also includes elements such as a daycare and townhomes. The exterior elevations consist of primarily vinyl siding with brick along the front elevation on the first floor for most units. There is two primary points of ingress/egress to the development from Veterans Parkway.

Three Rivers is a residential development to the east/northeast that consists of a mixture one to two story single-family detached homes with front entry garages on lot sizes of approximately 50' x 120' and attached townhomes on individual lots of record. The exterior elevations consist of primarily hardy board siding with stone accents along the first floor of most units. There are various points of ingress/egress to this development from Cason Lane, one point from New Salem Highway, and one point from Veterans Parkway.

Magnolia Grove (PRD) is a residential development to the southwest that consists of one and two story single-family detached homes with garages on lot sizes of approximately 1,800 - 3,200 sqft. The exterior elevations consist of a mixture of hardy board siding, brick, and stone. There are two points of ingress/egress to Yeagan Road, and a connection to the Westwind subdivision to the north.



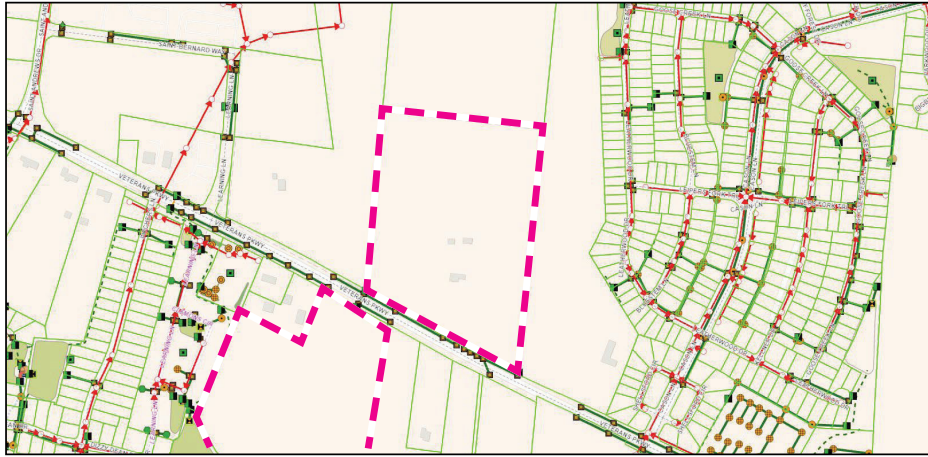
2040 MAJOR TRANSPORTATION PLAN

Not To Scale

- 3 LANE ROADWAY
- 4 LANE ROADWAY
- 5 LANE ROADWAY

Site Boundary

The northern portion of this property will have access to the existing public right-of-way of Veterans Parkway through two entrances. The southern portion of this property will have access to the existing public right-of-way of Veterans Parkway through one entrance. Veterans Parkway is on the City of Murfreesboro's 2040 Major Transportation Plan and is up to date as a 5 Lane roadway with curb, gutter, and sidewalks along both sides of the roadway.



UTILITY MAP

Not To Scale

-  WATER
-  SEWER
-  STORMWATER

-  ELECTRIC

Site Boundary



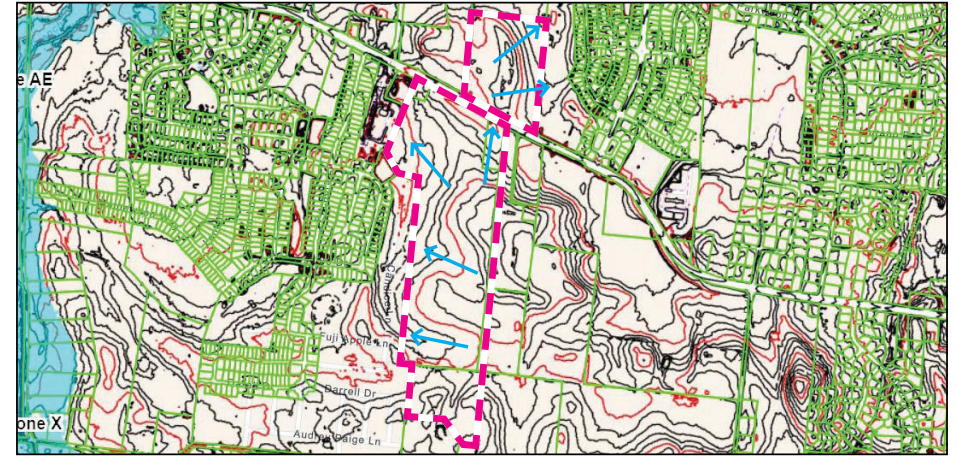
Water service will be provided by the Consolidated Utility District. There is an existing 30 inch ductile iron water main along Veterans Parkway with a 12 inch water main connection for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 8" iron ductile gravity sewer line within the residential subdivision of Westwind. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property. Existing 8" line shall be up-sized as needed per MWRD hydraulic study. The proposed development will fall within its sewer allocation with the proposed zoning changes.






Electric service will be provided by Middle Tennessee Electric. Service will be extended from Veterans Parkway. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY AND TOPOGRAPHY

Not To Scale

-  WATER FLOW DIRECTION
-  INTERMEDIATE CONTOURS
-  INDEX CONTOURS

Site Boundary

The topographic map above shows the northern site's topographic high point generally at the southwestern corner of the property. From this high point, the property drains towards the east and the northeast. The southern site's topographic high point is generally along the eastern perimeter of the site. From this high point, the property drains towards the west and northwest. Stormwater that exists the site travels north before ultimately draining into Spence Creek.

No portions of this property are within a designated floodway or floodplain per FEMA Flood Panel 47149C0265H eff. 1/5/2007.



PHOTO DIRECTION MAP

Not To Scale

Veterans Parkway

Cason Lane



Site



View of Existing Treeline along Western Perimeter Looking North



View of Existing Field Looking South



View of Existing Home On-Site Looking North



View of Existing Field Looking South from Veterans Parkway



View of Existing Field Looking Southeast



View of Existing Field Looking East



View of Existing Field Looking South

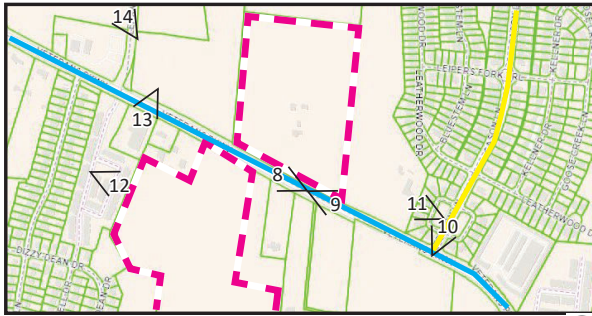


PHOTO DIRECTION MAP

Not To Scale



View of Proposed Entrance Looking East



View of Neighboring Townhomes Looking East



View of Cason Lane Looking North



View of Learning Zone at Veterans Looking South



View of Proposed Entrance Looking West



View of Neighboring Homes Looking East



View of Salem Elementary School Looking Northwest

Total Land Area: ±106.40 Acres
 Total Single-Family Attached HPR Units: 125 Units (32%)
 Total Single-Family Detached HPR Units: 18 Units (5%)
 Total Single-Family Detached Units: 248 Units (63%)
 Total Number of Units: 391 Units
 Density: 391 Units/106.40 Acres = ±3.67 Units/Acre

Required Open Space:	±21.28 Acres (20%)
Min. Provided Open Space:	±21.28 Acres (20%)
Required Active Spaces:	2 Spaces
Min. Provided Active Spaces:	2 Spaces
Provided Active Space Area:	±3.00 Acres (3%)

Provided Detention:	±7.11 Acres (7%)
Length of New Roadway:	±15,040 Linear Feet

SUBURBAN SINGLE FAMILY DETACHED:
(PRATER FARMS)

Prater Farms Land Area: ±82.35 Acres
Total Single-Family Detached Units: 248 Units
Density: 248 Units/82.35 Acres = ±3.01 Units/Acre

Required Open Space:	±16.47 Acres (20%)
Provided Open Space:	±11.00 Acres (13.35%)
Required Active Spaces:	2 Spaces
Min. Provided Active Spaces:	2 Spaces
Provided Active Space Area:	±3.00 Acres

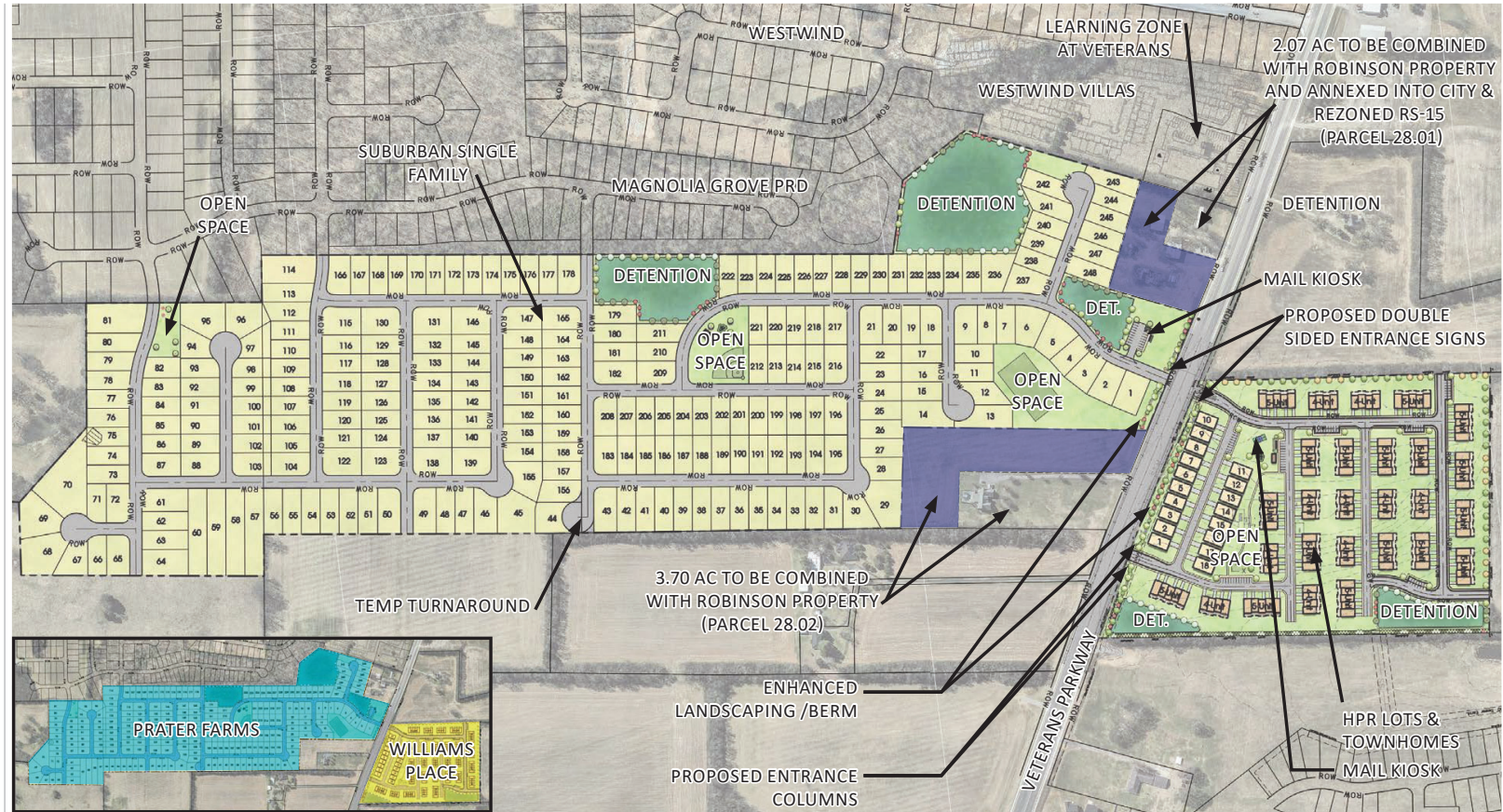
Provided Detention:	±5.86 Acres
Length of New Roadway: (Public)	±11,770 Linear Feet

**AUTO URBAN DETACHED AND
ATTACHED HPR:**
(WILLIAMS PLACE AT PRATER FARMS)

Williams Place Land Area: ±24.05 Acres
 Total Single-Family Attached HPR Units: 125 Units
 Total Single-Family Detached HPR Units: 18 Units
 Total Number of Units: 143 Units
 Density: 143 Units/24.05 Acres = ±5.95 Units/Acre

Required Open Space:	±4.81 Acres (20%)
Provided Open Space:	±11 Acres (45.73%)

Provided Detention:	±1.25 Acres (7%)
Length of New Roadway: (Public)	±2,100 Linear Feet
Length of New Roadway: (Private)	±1770 Linear Feet



Suburban Single-Family Detached Lots Required Parking:
(248) Detached Homes x 4 Spaces/Unit = 992 Spaces

Suburban Single-Family Detached Lots Provided Parking:

SF Detached Garage Spaces (2-Car Garage/Unit) =	496 Spaces
SF Detached Driveway Spaces (4-Spaces/Unit) =	<u>992 Spaces</u>
Total Parking Provided =	1,488 Spaces
Difference =	+496 Spaces

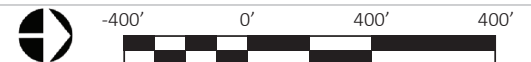
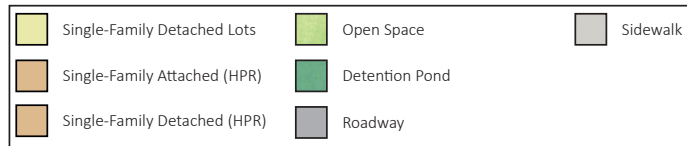
Auto Urban Single-Family Attached HPR Required Parking:
(125) Attached Homes x 3.3 Spaces/Unit = 413 Spaces

Auto Urban Single-Family Attached HPR Provided Parking:

SF Attached HPR Garage Spaces (1-Car Garage/Unit) =	125 Spaces
SF Attached HPR Driveway Spaces (2 Spaces/Unit) =	250 Spaces
Guest Parking Spaces =	62 Spaces
Total Parking Provided =	437 Spaces
Difference =	+24 Spaces

Auto Urban Single-Family Detached HPR Lots Required Parking:
(18) Detached Homes x 4 Spaces/Unit = 72 Spaces

Auto Urban Single-Family Detached HPR Lots Provided Parking:
 SF Detached HPR Garage Spaces (2-Car Garage/Unit) = 36 Spaces
 SF Detached HPR Driveway Spaces (4-Spaces/Unit) = 72 Spaces
 Total Parking Provided = 108 Spaces
 Difference = +36 Spaces



Overall Development Standards For Prater Farms and Williams Place HPR:

- All homes developed within the subdivision shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder of the single-family attached and detached homes within the subdivision shall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity.
- Home occupations, accessory to a principal residential use, shall be permitted in this planned district if they demonstrate that they will comply with the administrative home occupation standards in the Murfreesboro Zoning Ordinance, as they may be amended from time to time. Home occupations that do not comply with said administrative home occupation standards shall not be permitted in this planned district.
- Entrances off of Veterans Parkway will have signage constructed of masonry materials and anchored by landscaping. Signage shall adhere to the Murfreesboro signage ordinances.
- Builders shall install sod and landscaping along all front and sides which face onto a private or public roadway.
- All above ground utilities and mechanical equipment (i.e. HVAC and transformers) to be screened via landscape or fencing
- All on-site utilities will be underground unless otherwise noted by MTE.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed
- All home owners will be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by the H.O.A. Board per the By-Laws
- HOA will be managed by independent 3rd party management company
- The common areas will be owned and maintained by an H.O.A.
- Parking areas for HPR homes shall be private and maintained by the H.O.A.
- Streets will be a mix of public and private roadways.
- Sidewalks will be provided on both sides of all streets throughout the development to create a pedestrian friendly community
- A 12-ft wide Type 'C' Landscape Buffer shall be installed along the eastern perimeter of the development on the northern side of Veterans Parkway and shall be maintained by the H.O.A.
- A 40-ft wide landscape easement shall be provided along both sides of Veterans Parkway. Within this landscape easement, a 3-rail, decorative, wooden or PVC fence shall be provided with enhanced landscaping and a 3-ft tall undulating berm to help screen the rear of homes from Veterans Parkway.
- Mail service will be provided via centralized mail kiosks near side of Veterans Parkway.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards
- Street lights will be coordinated with MTE, and will meet MTE's standards for management by MTE.



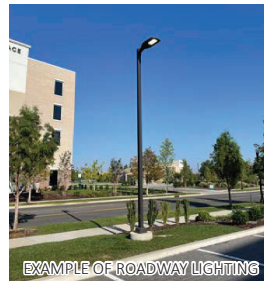
EXAMPLE OF ENTRANCE SIGN



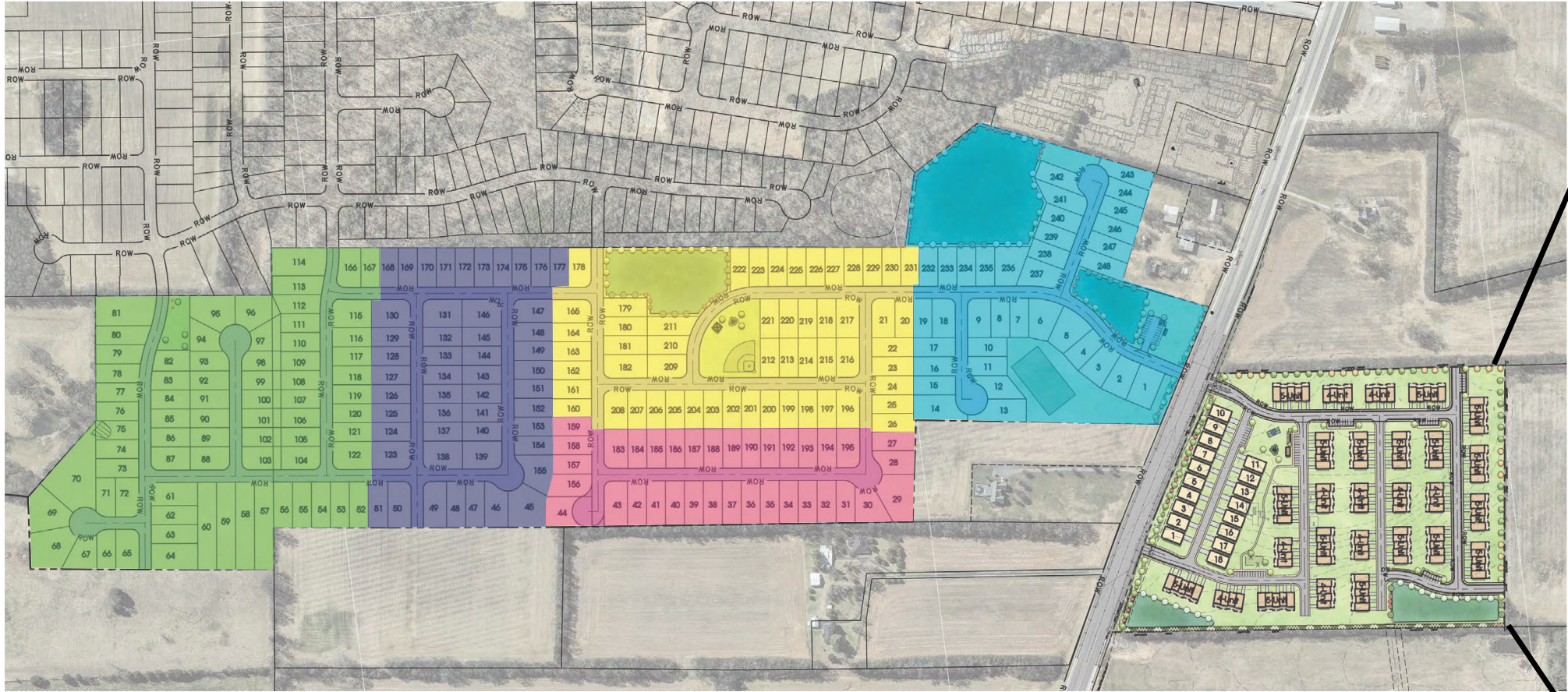
EXAMPLE OF CENTRALIZED MAIL KIOSK



EXAMPLE OF ENHANCED LANDSCAPING ALONG VETERANS PARKWAY WITH FENCE



EXAMPLE OF ROADWAY LIGHTING

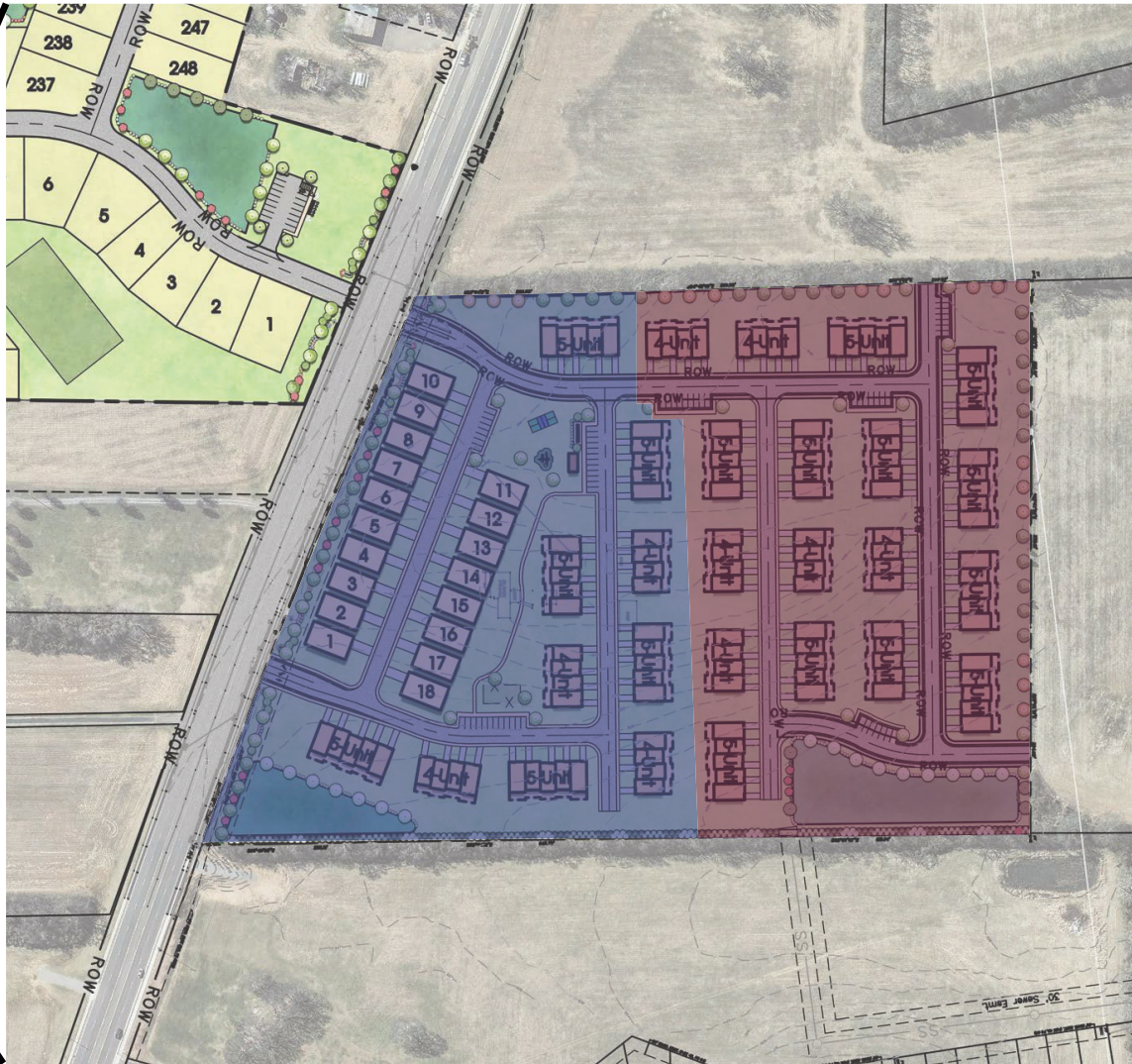


Prater Farms (Single-Family Detached) Phasing Standards:

- The southern portion of the project is anticipated to be built in 5 phases.
- The north and south portions of the project shall be developed independently of each other however, Phase 1 of Prater farms shall be developed first.
- Construction of Phase 1 is anticipated to begin following their permitting. No building permits shall be issued until infrastructure is installed.
- Phase 1 will include all roadway improvements proposed for this site.
- The remaining phases will be market driven and dependent upon the absorption of the units in the previous phase.
- Centralize mail kiosk(s) for the development must be constructed and operational prior to the first home receiving their certificate of occupancy.
- Phase 1 Amenities to be installed with the development of Phase 1.
- Phase 2 Amenities to be completed by 50% CoFO of Phase 2 Homes.

PHASES (PRATER FARMS)	UNITS	ACRES
PHASE 1	36	18.57
PHASE 2	54	17.61
PHASE 3	35	9.57
PHASE 4	50	13.80
PHASE 5	73	22.80
TOTAL	248	82.35



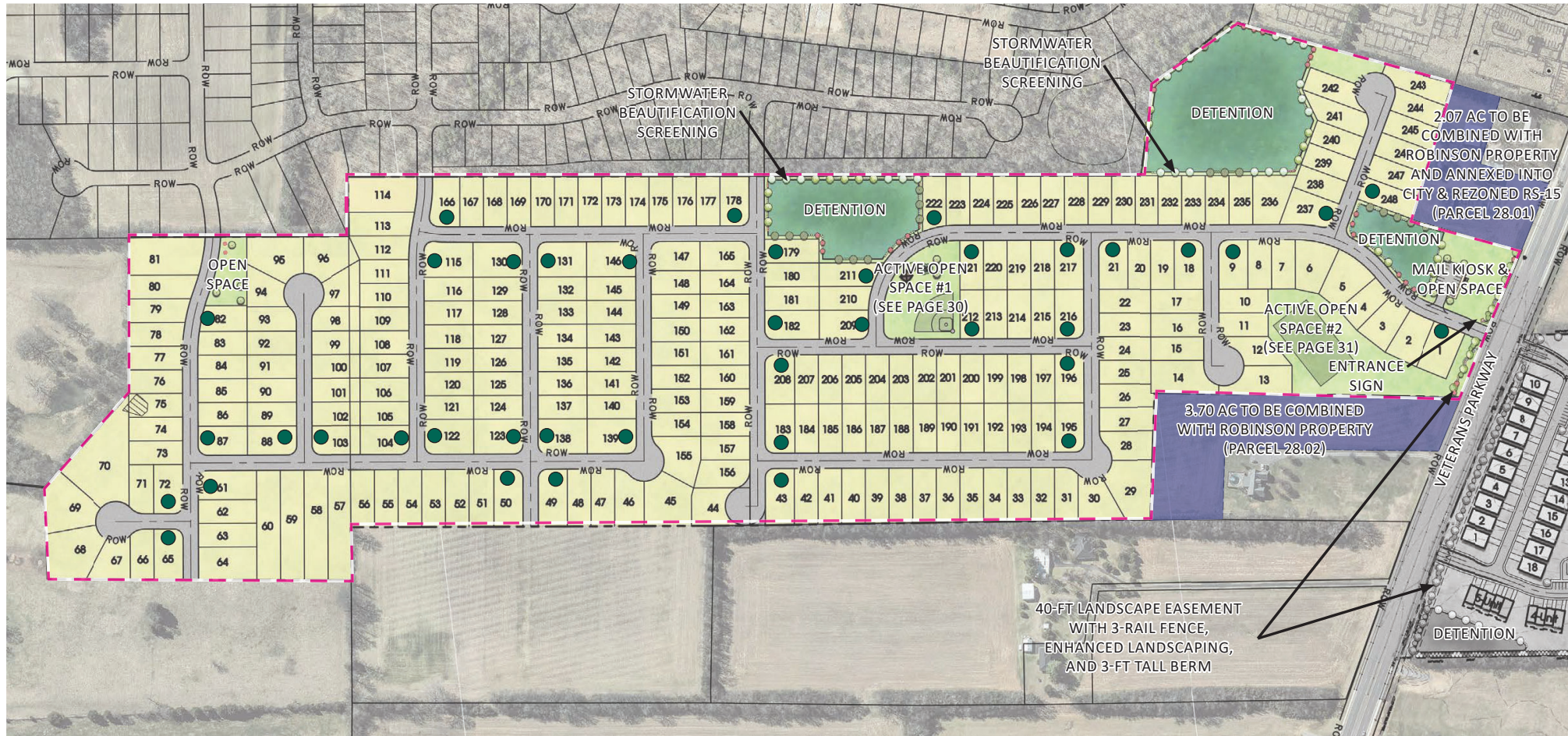


Williams Place (Single-Family Attached & Detached HPR) Phasing Standards

- Northern portion of project is anticipated to be built in 2 phases.
- The north and south side of the project shall be developed independently of each other however, Phase 1 of Prater farms shall be developed first.
- Construction of Phase 1 is anticipated to begin following their permitting. No building permits shall be issued until infrastructure is installed.
- The remaining phases will be market driven and dependent upon the absorption of the units in the previous phase.
- Centralize mail kiosk(s) for the development must be constructed and operational prior to the first home receiving their certificate of occupancy.
- Amenities in the HPR Section shall be completed prior to the final CoFO in the phase they are proposed in.

PHASES (WILLIAMS PLACE)	UNITS	ACRES
PHASE 6	64	12.25
PHASE 7	79	11.8
TOTAL	143	24.05

- Phase 6
- Phase 7



PRATER FARMS SITE DATA:

Prater Farms Land Area: ±82.35 Acres
 Total Single-Family Detached Units: 248 Units (63%)
 Density: 248 Units/82.35 Acres = ±3.01 Units/Acre

Suburban Single-Family Detached Lots Required Parking:
 (248) Detached Homes x 4 Spaces/Unit = 992 Spaces

Suburban Single-Family Detached Lots Provided Parking:
 SF Detached Garage Spaces (2-Car Garage/Unit) = 496 Spaces
 SF Detached Driveway Spaces (4-Spaces/Unit) = 992 Spaces
 Total Parking Provided = 1,488 Spaces
 Difference = +496 Spaces

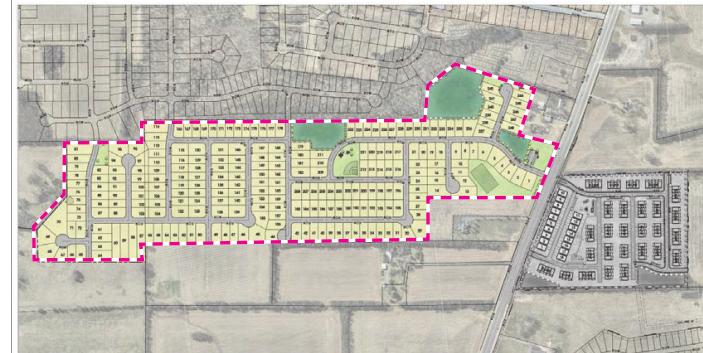
Prater Farms Single-Family Detached Development Standards:

- 248 single-family detached homes with a minimum of 3 bedrooms.
- The units will be a minimum of 1,400 feet of living area
- Each unit will be on individual lots of record and will be for purchase.
- Each single-family detached home shall provide at least 4 parking space per home (two garage spaces plus two driveways spaces)
- Each home will have a driveway wide enough for 2 vehicles, and have a minimum width of 16-feet and a depth of 35-feet
- Solid waste services shall be provided by the City of Murfreesboro

● HIGH VISIBILITY LOTS

- Building heights shall not exceed 35 feet in height
- Homes will be 1 or 2 stories
- All homes will have at least 3 bedrooms
- All homes units will have eaves
- All homes will have a patio area at the rear of the unit
- All homes will have a 2-car front-entry garages
- Garage doors will range from white to neutral colors in order to match the trim and color palette of each home.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards.
- All homes will be comprised of alternating unit style and unit color.
- Homes shall have covered front-entries
- High Visibility homes will have at least a 24" high water table on all four sides
- All homes will have minimum of brick to grade

Front Elevations:	All Masonry (Brick, Stone, Cement Board Siding)
Side & Rear Elevations:	All Masonry (Brick, Stone, Cement Board Siding)
All Elevations:	Vinyl Only Permitted in Trim & Soffit Areas



Front Setback to Garage:	35-ft vs. 35-ft Front Setback
Front Setback to Main Structure:	25-ft vs. 25-ft Front Setback
Secondary Front Setback**:	22.5-ft vs. 35-ft Front Setback
Side Setback:	5-ft vs. 5-ft Side Setback
Rear Setback:	20-ft vs. 20-ft Rear Setback

****Secondary Front Setback shall refer to any front setback where a driveway or garage does not directly front onto the roadway**

Red text denotes exceptions from the comparative zoning district.





Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



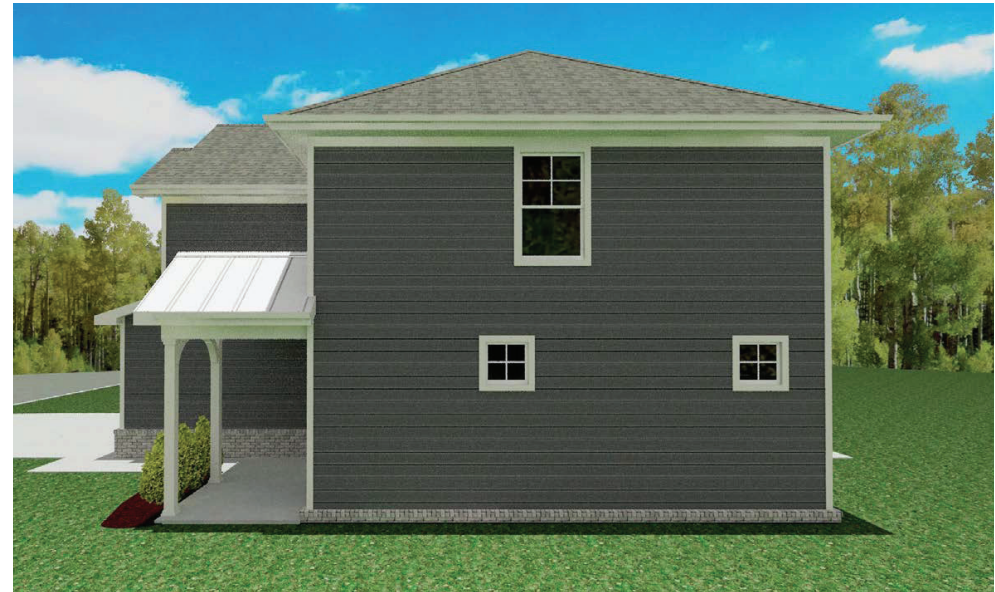
Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



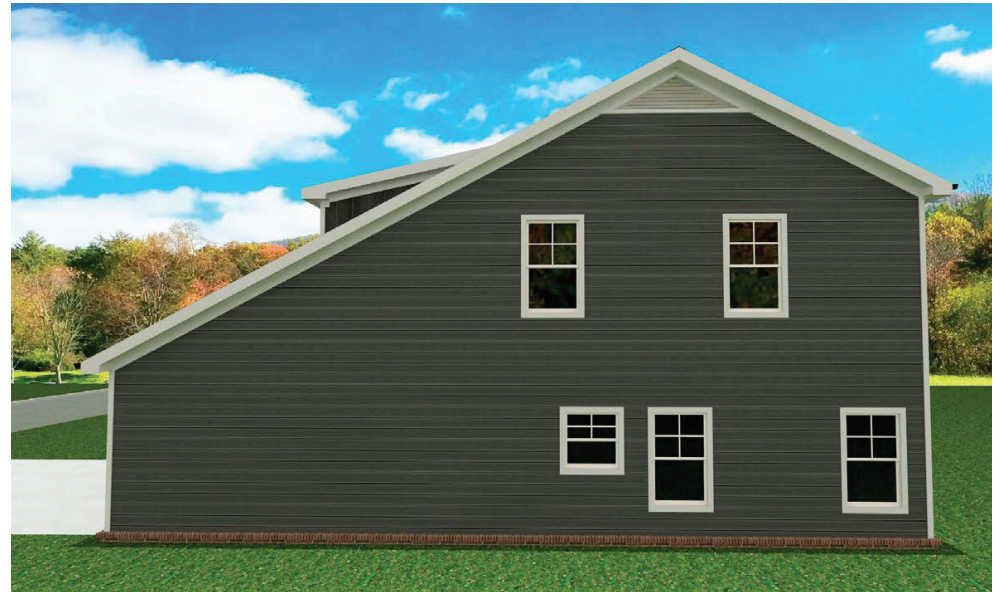
Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



High Visibility Front Elevation



High Visibility Left Side Elevation



High Visibility Rear Elevation



High Visibility Right Side Elevation

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



High Visibility Front Elevation



High Visibility Left Side Elevation



High Visibility Rear Elevation



High Visibility Right Side Elevation

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

Williams Place at Prater Farms HPR:

Williams Place Land Area:	±24.05 Acres
Total Single-Family Attached Units:	125 Units
Total Single-Family HPR Homes:	18 Units
Density: 143 Units/24.05 Acres =	±5.95 Units/Acre

Single-Family Attached HPR Development Standards:

- 125 single-family attached homes with a minimum of 2 bedrooms up to 3.
- The units will be a minimum of 1,300 feet of living area
- Each unit will be for purchase and sold via a Horizontal Property Regime
- Each single-family attached home shall provide at least 3 parking space per home (2 outside of the garage)
- Each townhome shall have a 1-car garage.
- Each townhome shall have a driveway wide enough for 2 vehicles, have a minimum width of 16-feet, and a depth of 25-feet.
- Garages shall be restricted to vehicular parking only, and the use of garage space for non-vehicular storage will be prohibited.
- Solid waste shall be handled by a private hauler.

Single-Family Detached HPR Development Standards:

- 18 single-family detached HPR homes with a minimum of 2 bedrooms up to 3.
- The units will be a minimum of 1,300 feet of living area
- Each unit will be for purchase and sold via a Horizontal Property Regime
- Each single-family detached HPR home shall provide at least 4 parking space per home (2 outside of the garage)
- Each home will have a driveway wide enough for 2 vehicles, and have a minimum width of 16-feet and a depth of 35-feet
- Solid waste shall be handled by a private hauler.

● HIGH VISIBILITY HOMES



Auto Urban Single-Family Attached HPR Required Parking:
(125) Attached Homes x 3.3 Spaces/Unit = 413 Spaces

Auto Urban Single-Family Attached HPR Provided Parking:
SF Attached HPR Garage Spaces (1-Car Garage/Unit) = 125 Spaces
SF Attached HPR Driveway Spaces (2 Spaces/Unit) = 250 Spaces
Guest Parking Spaces = 62 Spaces
Total Parking Provided = 437 Spaces
Difference = +24 Spaces

Auto Urban Single-Family Detached HPR Lots Required Parking:
(18) Detached Homes x 4 Spaces/Unit = 72 Spaces

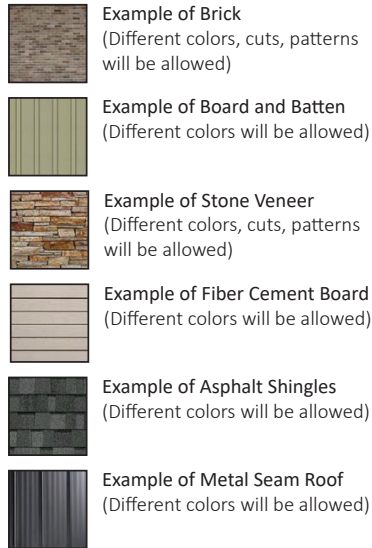
Auto Urban Single-Family Detached HPR Lots Provided Parking:
SF Detached HPR Garage Spaces (2-Car Garage/Unit) = 36 Spaces
SF Detached HPR Driveway Spaces (4-Spaces/Unit) = 72 Spaces
Total Parking Provided = 108 Spaces
Difference = +36 Spaces

Single-Family Attached Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- Buildings will be 1 or 2 stories
- All units will have a minimum of 2 bedrooms
- All the units will have eaves
- All units will have a patio area at the rear of the unit
- Patios may be screened with an optional 6-foot tall white or neutral vinyl privacy fence between homes
- All homes will have a 1-car front-entry garage
- Garage doors will range from white to neutral colors in order to match the trim and color palette of each home. Garage doors will be a carriage style with windows
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards.
- All front elevations of homes will be comprised of alternating unit style and unit color.

Building Materials:

Front Elevations: All Masonry (Brick, Stone, Cement Board Siding)
 Side & Rear Elevations: All Masonry (Brick, Stone, Cement Board Siding)
 All Elevations: Vinyl Only Permitted in Trim & Soffit Areas
 All Townhomes will have a 24" brick or stone water table on all 4 elevations



Setbacks Proposed in PRD compared to RS-A Type 2 Zoning

Single-Family Attached Homes Minimum Building Setbacks (Internal)

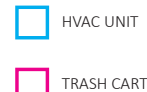
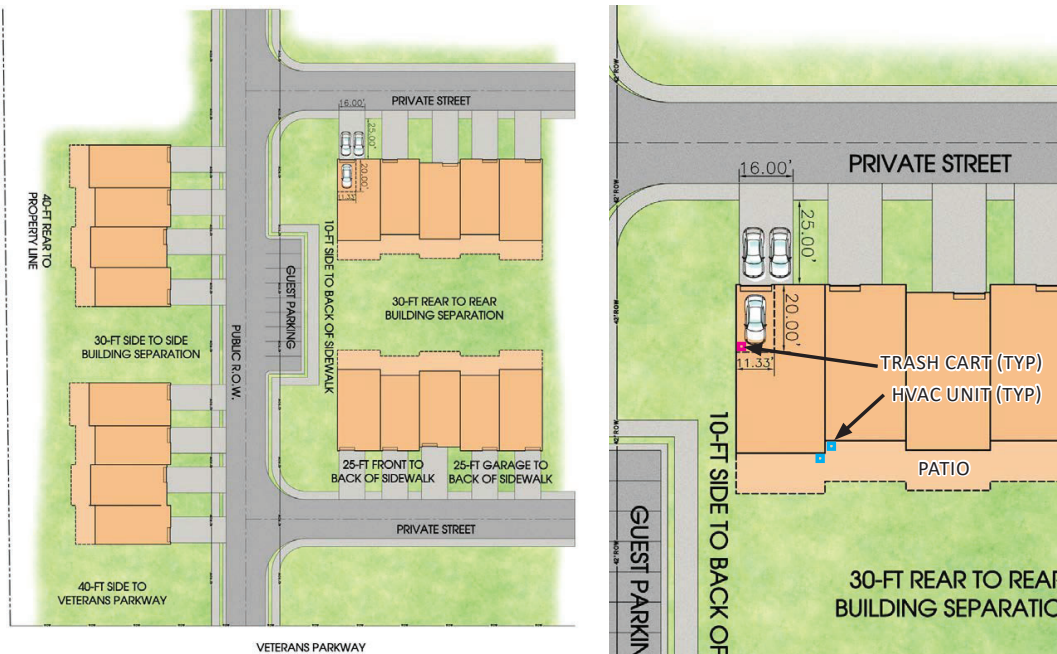
Garage to Back of Sidewalk: **25-ft** vs. 35-ft Front Setback
 Front of House to Back of Sidewalk/ROW: **25-ft** vs. 35-ft Front Setback
 Side to Back of Sidewalk (Corner): **10-ft** vs. 35-ft Front Setback
 Side to Side Between Buildings: 30-ft
 Rear to Rear Between Buildings: 30-ft

Single-Family Attached Homes Setbacks to External Development Boundaries

Veterans Parkway: 50-ft vs. 40-ft Front Setback
 All Other Property Boundaries: 30-ft vs. 5-ft to Property Line

*Covered Porches/Stoops shall be permitted to encroach a maximum of 3-ft into the front setback.

Red text denotes exceptions from the comparative zoning district.

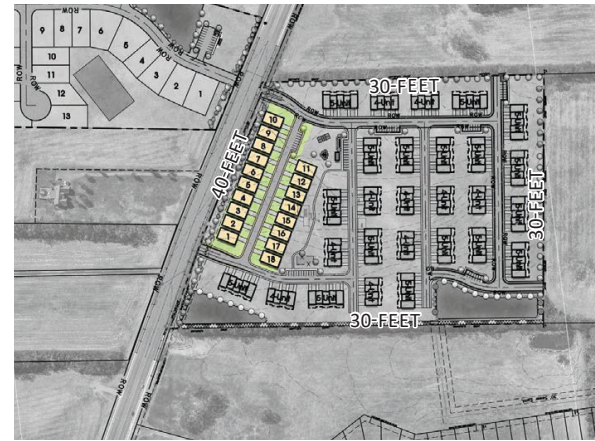
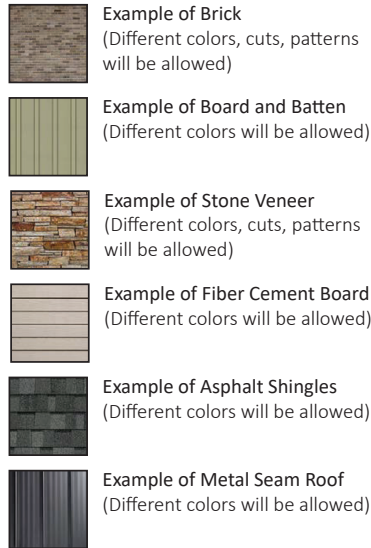


Single-Family Detached HPR Homes Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- Homes will be 1 or 2 stories
- All homes will have a minimum of 3 bedrooms.
- All homes will have eaves
- All homes will have a 2-car front-entry garages
- Garage doors will range from white to neutral colors in order to match the trim and color palette of each home.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards.
- All homes will be comprised of alternating unit style and unit color.
- Homes shall have shutters or pediments on front elevations
- High Visibility homes will have at least a 24" high water table on all four sides
- All homes will have minimum of brick to grade

Building Materials:

Front Elevations: All Masonry (Brick, Stone, Cement Board Siding)
 Side & Rear Elevations: All Masonry (Brick, Stone, Cement Board Siding)
 All Elevations: Vinyl Only Permitted in Trim & Soffit Areas



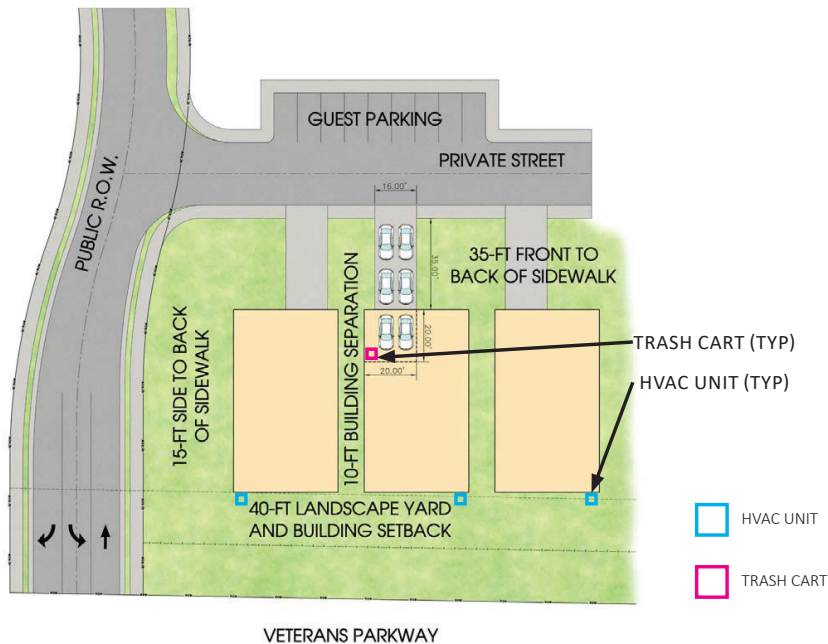
Setbacks Proposed in PRD compared to RS-A Type 2 Zoning

Single-Family Detached HPR Homes Minimum Building Setbacks (Internal)

Rear Setback (Veterans Parkway):	40-ft vs. 45-ft Rear Setback
Garage to Back of Sidewalk:	35-ft vs. 35-ft Front Setback
Front of House to Back of Sidewalk:	35-ft vs. 35-ft Front Setback
Side to Back of Sidewalk (Corner):	15-ft vs. 35-ft Front Setback
Side to Side Between Buildings:	10-ft vs. 10-ft Between Buildings

*Covered Porches/Stoops shall be permitted to encroach a maximum of 3-ft into front setbacks.

Red text denotes exceptions from the comparative zoning district.





Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



High Visibility Front Elevation



High Visibility Left Side Elevation



High Visibility Rear Elevation



High Visibility Right Side Elevation

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



High Visibility Front Elevation



High Visibility Left Side Elevation



High Visibility Rear Elevation



High Visibility Right Side Elevation

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



Front Elevation



Rear Elevation



Right Side Elevation



Left Side Elevation

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

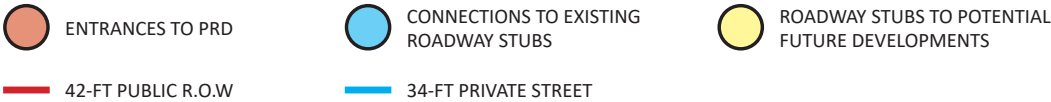
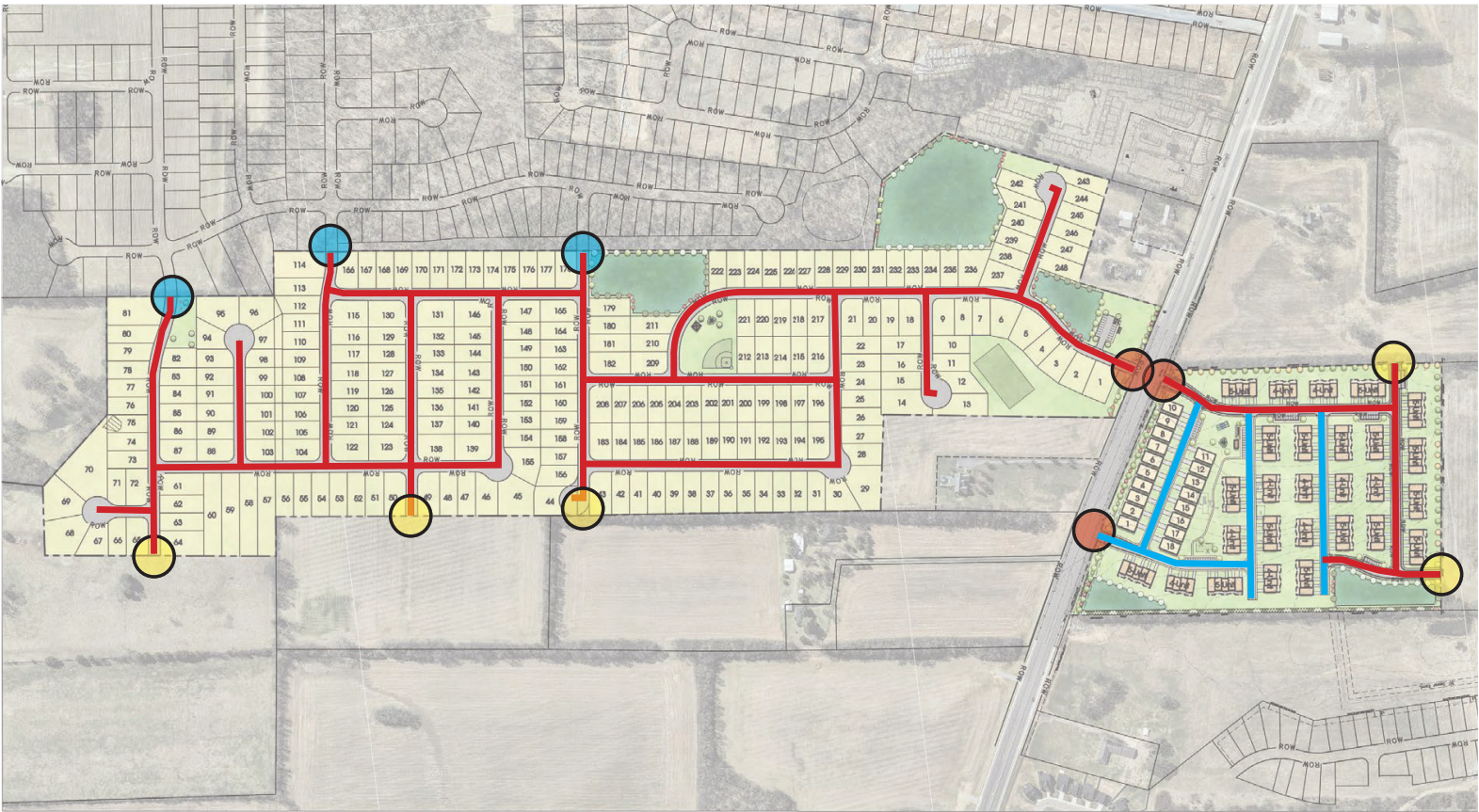
Pursuant to the City of Murfreesboro's 2040 Major Transportation Plan (MTP), none of the roadways in this development are slated for improvements. Veterans Parkway is a local roadway where the majority of vehicular trips generated by this development will impact. It is currently built as a 5-lane cross-section with a median turning lane, curb and gutter, and sidewalks along both sides of the roadway. The roadway frontage along Veterans Parkway will be lined with a continuous a 3-rail, decorative, black, wooden or PVC fence with enhanced landscaping and a 3-ft tall berm.

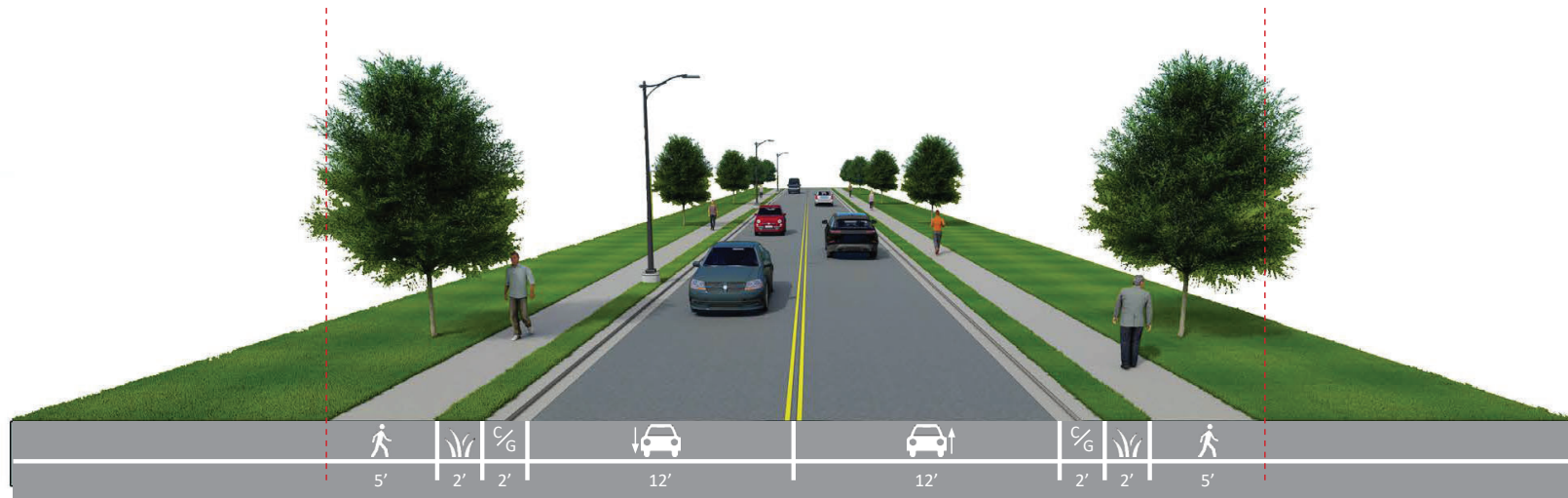
The entrances are proposed to incorporate three travel lanes; one lane into the site and two lanes out of the site. The master plan has included potential secondary means of ingress/egress from the development via stubs to potential future developments to the north, east, and west. Additionally, the southern portion of the PRD will connect to the existing roadway stubs provided the in Magnolia Grove Subdivision to the west.

The illustration to the right shows the proposed entrances to the development from Veterans Parkway, the proposed connections to existing roadway stubs, and the proposed roadway connections to potential future developments. Illustrations on Page 31 show examples of the proposed road cross section(s) and a cross section showing building setbacks from Veterans Parkway.

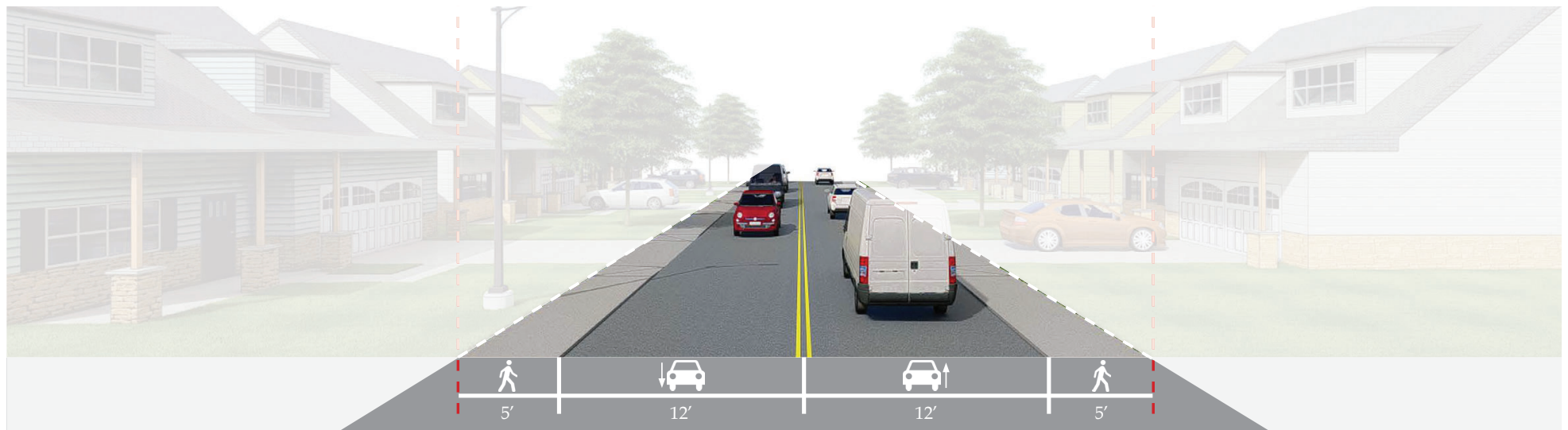
A Traffic Impact Study has been conducted and it recommends utilizing the existing two-way left-turn median to provide left turns into the development. With the eastbound left-turn providing a 100-foot storage bay and the westbound left-turn providing a 150-foot storage bay. The project will dedicate ROW and geometrically plan for future improvements associated with a future signal when its warranted. This project is not responsible for all improvements and/or signal elements, but will plan for those accordingly. A traffic contribution of \$100,000 (28.60%) to be paid with the first final plat of the subdivision.

All streets within the development will be either private streets with a typical 34-ft cross-section or public streets with a typical 42-ft cross-section.

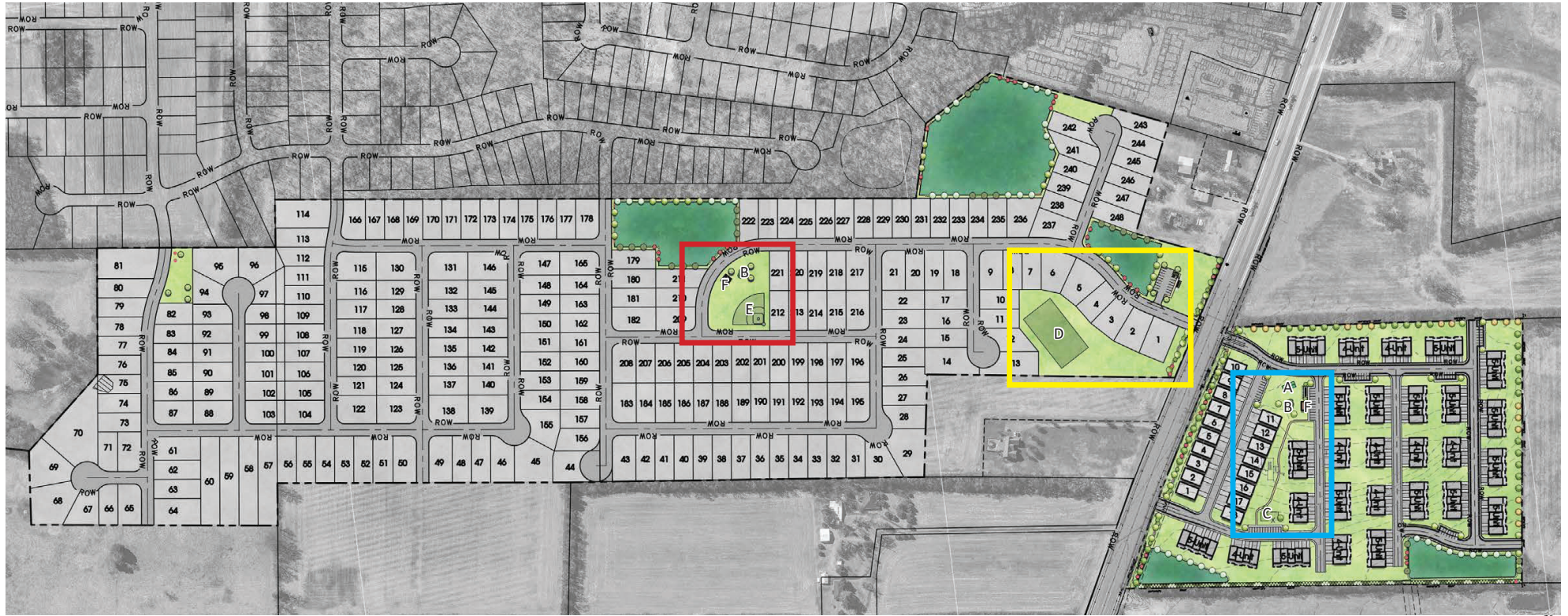




Public Street
(See Page 30 for location of private vs public roads)



Private Street (See Page 30 for location of private vs public roads)



Not To Scale

LOCATION MAP - AMENITIES

- | | | |
|---------------------------|--------------------------|-----------------------------|
| A Pickleball Court | C Pet Park | E Wiffle Ball Field |
| B Playground | D Open Play Field | F Community Pavilion |

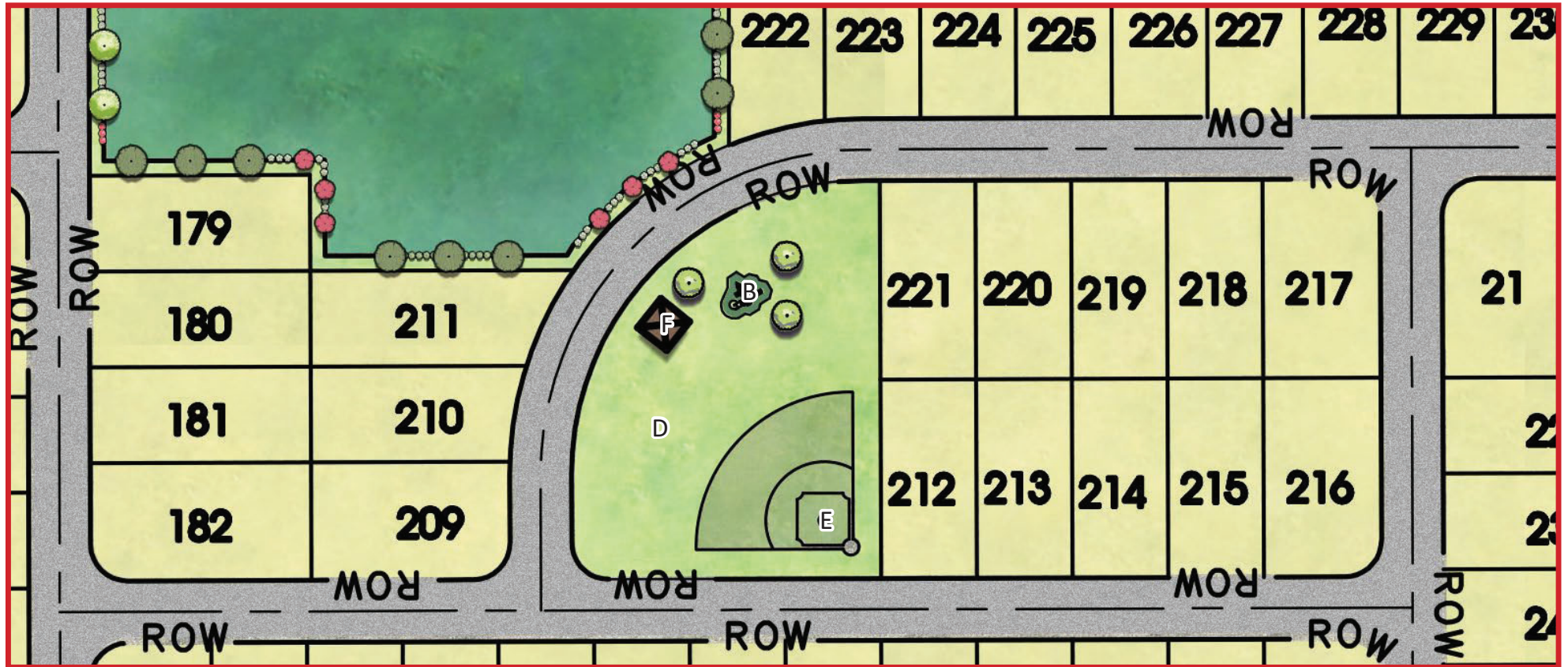
With this request, Prater Farms will be dedicating over 4 acres (20% of the site) to open space. The open space areas will be comprised of usable open space and detention areas. Usable open space areas spread around the overall development will offer such amenities as; a pickleball court, playgrounds on both sides of Veterans Parkway, a pet park, open play fields, a wiffle ball field, and a community pavilion. Sidewalks will line both sides of all streets to provide pedestrian circulation through the neighborhood for residents as well.

Prater Farms Amenities:

- Phase 1 Amenities to be installed with the development of Phase 1.
- Phase 2 Amenities to be completed by 50% CofO of Phase 2 Homes.

Williams Place HPR Amenities:

- Amenities in the HPR section shall be completed prior to the final CoFo in the phase they are proposed in.



LOCATION MAP - ACTIVE AMENITIES AREA

- | | |
|----------------------------|-----------------------------|
| B Playground | D Open Play Field |
| E Wiffle Ball Field | F Community Pavilion |



Example of Wiffle Ball Court



Example of Community Pavilion

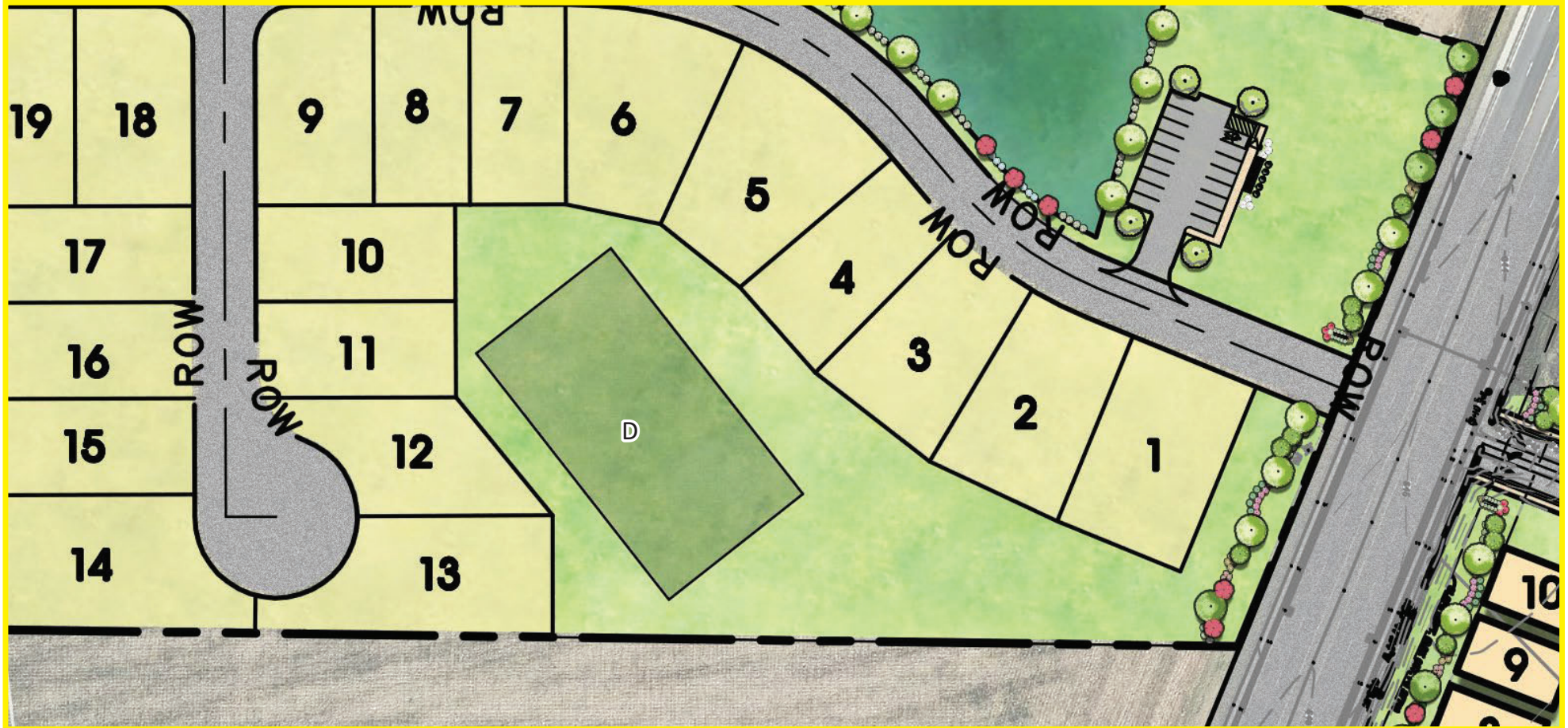


Example of Open Play Field



Example of Playground

Not To Scale



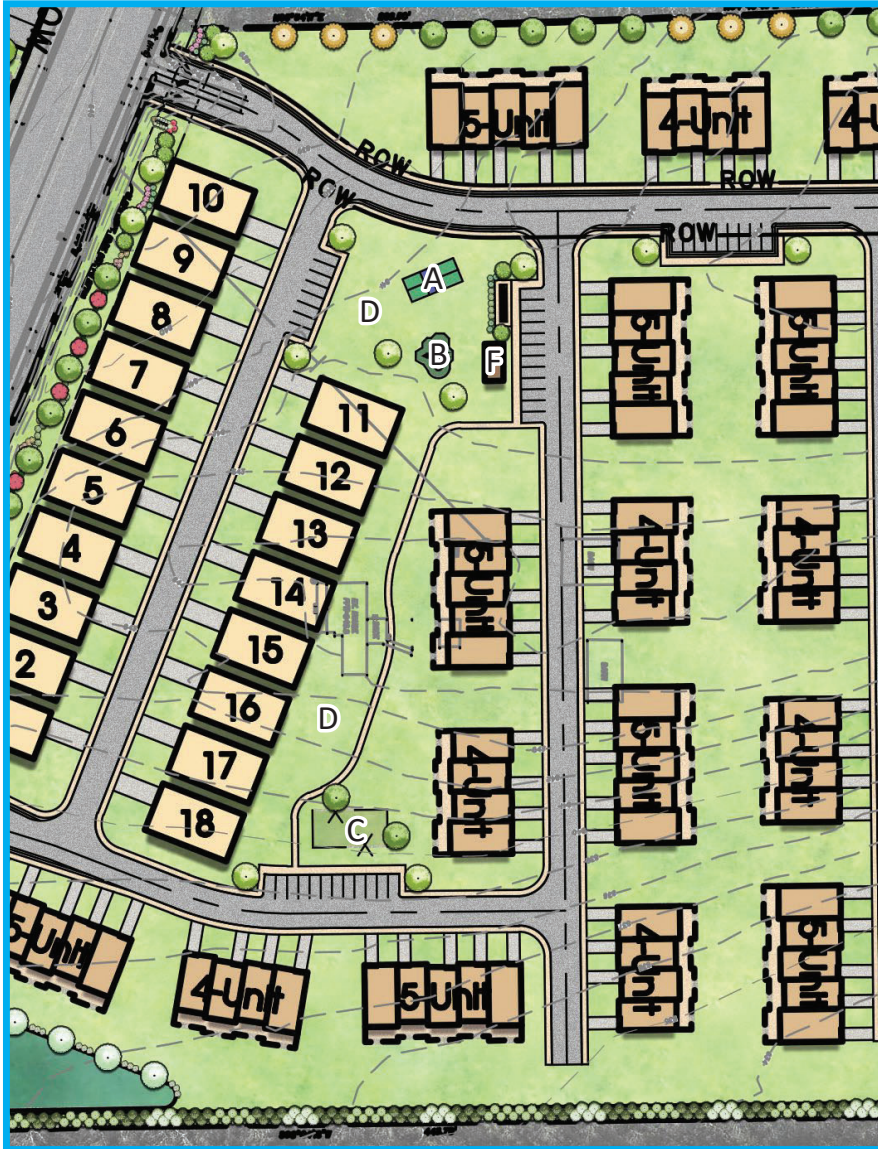
LOCATION MAP - ACTIVE AMENITIES AREA

D Open Play Field



Example of Open Play Field

Not To Scale 



LOCATION MAP - ACTIVE AMENITIES AREA

Not To Scale

- A Pickleball Court
- D Open Play Field
- B Playground
- F Community Pavilion
- C Pet Park



Example of Pickleball Court



Example of Playground



Example of Pet Park



Example of Open Play Field



Example of Community Pavilion



The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

Residential Landscaping Characteristics:

- A 12-ft wide Type 'C' Landscape Buffer shall be installed along the eastern perimeter of the development on the northern side of Veterans Parkway and shall be maintained by the H.O.A.
- A 40-ft wide landscape easement shall be provided along both sides of Veterans Parkway. Within this landscape easement, a 3-rail black wooden or PVC fence shall be provided with enhanced landscaping and a 3-ft tall berm to create unity along both sides of Veterans Parkway.
- A minimum 10 feet of landscape area between parking lots/areas and all property lines.
- Public rights-of-way screened from parking lots/areas by use of landscaping and/or berming.
- Low level screening shrubs shall be installed where parking headlights interfere with R.O.W. or adjacent residential uses to help shield headlight glares.
- The front and side of all homes/townhomes that face a public/private roadway shall have a minimum 3-ft wide landscape bed along those foundations.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.
- H.O.A. will be responsible for the maintenance and upkeep of all landscape and lawn areas within open space of the development.



EXAMPLE OF PVC 3-RAIL FENCE OPTION ALONG VETERANS PARKWAY



EXAMPLE OF ENHANCED PLANTING



EXAMPLE OF LANDSCAPED BUFFER

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: Exhibits shown on Pages 3- 7 provide the requested materials.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits shown on Pages 3- 7 provide the requested materials.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits shown on Pages 3- 7 provide the requested materials.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: Exhibits shown on Pages 8-11 provide the requested materials

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: Exhibits shown on Pages 8-11 provide the requested materials

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

Response: See Data Table below

TOTAL SITE AREA	646,866 s.f.	14.85 AC (100.00%)
WETLANDS AREA TO REMAIN	62,984 s.f.	1.45 AC (9.76%)
DEVELOPABLE RESIDENTIAL SITE AREA	583,704 s.f.	13.40 AC (90.24%)
TOTAL MAXIMUM FLOOR AREA	125,800 s.f.	2.89 AC (19.45%)
TOTAL LOT AREA	646,866 s.f.	14.85 AC (100.00%)
TOTAL BUILDING COVERAGE	138,725 s.f.	3.18 AC (21.45%)
TOTAL DRIVE/ PARKING AREA	102,948 s.f.	2.36 AC (15.91%)
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC (0.00%)
TOTAL LIVABLE SPACE	547,753 s.f.	12.57 AC (84.65%)
TOTAL OPEN SPACE	191,228 s.f.	4.39 AC (32.76%)
FLOOR AREA RATIO (F.A.R.)	0.19	
LIVABILITY SPACE RATIO (L.S.R.)	0.63	
OPEN SPACE RATIO (O.S.R.)	0.79	

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned RM in Rutherford County. The surrounding area has a mixture of residential and agricultural properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in 7 phases. Phasing information is described on Page 12.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Pages 11 and 28-31.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: See Requested Exceptions Pages 34-36

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in a floodway or floodplain, according to the current FEMA Flood Panel 47149C0265H eff. 01/05/2007.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 4 & 26-27 discusses the Major Thoroughfare Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. Developer/ applicant is Ole South Home Builders. contact info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 13-25 show the architectural character of the proposed residential buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 9 and a description is on Pages 3 & 9.

PRATER FARMS (SINGLE FAMILY DETACHED):

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	RS-8	Proposed PRD (SFD)	Difference
Residential Density			
Maximum Gross Density	5.4 Units / Acre	Units / Acre	Units / Acre
Minimum Lot Area	8,000 sqft	8,500 sqft	+500 sqft
Minimum Lot Width	55'	65'	+10'
Minimum Setback Requirements			
Minimum Front Setback to Garage	35'	35'	0'
Minimum Front Setback to Main Structure	25'	25'	0'
Minimum Secondary Front Setback	35'	22.5'	-12.5'
Minimum Side Setback	5'	7.5'	+2.5'
Minimum Rear Setback	20'	20'	+0'
Land Use Intensity Ratios			
MAX F.A.R.	N/A	N/A	N/A
Minimum Livable Space Ratio	N/A	N/A	N/A
Minimum Open Space Ratio	N/A	N/A	N/A
Minimum Open Space Requirement	20%	20%	20%
Minimum Active Open Space Requirement	5%	5%	0%
Max Height	35'	35'	0'

REQUESTED EXCEPTIONS:

- Requesting an exception to the secondary side setback from 35-ft to 22.5-ft a reduction of 12.5-ft.

WILLIAMS PLACE AT PRATER FARMS (SINGLE-FAMILY DETACHED HPR):

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	RS-A Type 2	Proposed PRD (HPR)	Difference
Residential Density			
Maximum Dwelling Units Multi-Family	N/A	N/A	N/A
Minimum Lot Area	N/A	N/A	N/A
Minimum Lot Width	N/A	N/A	N/A
Minimum Setback Requirements		(SFA-HPR)	
Minimum Garage Front Setback to Back of Sidewalk	35'	35'	+0'
Minimum Main Building Front Setback to Back of Sidewalk/ROW	35'	35'	+0'
Minimum Main Building Side Setback to Back of Sidewalk (Corner)	35'	15'	-20'
Minimum Setback to Veterans Parkway	45'	40'	-5'
Minimum Side Setback to External Property Lines	5'	30'	+25'
Minimum Rear Setback to External Property Lines	20'	30'	+10'
Minimum Distance Between Buildings (Side to Side)	10'	10'	0'
Minimum Distance Between Buildings (Rear to Rear)	20'	30'	+10'
Land Use Intensity Ratios			
MAX F.A.R.	1.0	None	N/A
Minimum Livable Space Ratio	0.5	None	N/A
Minimum Open Space Ratio	N/A	N/A	N/A
Minimum Open Space Requirement	20%	20%	20%
Minimum Active Open Space Requirement	5%	5%	0%
Max Height	35'	35'	0'

REQUESTED EXCEPTIONS:

- Requesting an exception to the 35-ft 'side setback' on corner lots to be reduced to 10-ft for single-family attached homes, and 15-ft for HPR homes.
- Requesting an exception to the 45-ft front setback along Veterans Parkway to be reduced to 40-ft for single-family detached HPR homes.
- Requesting an exception to restrict garages to be for vehicular use only. No storage is permitted in the garages.

WILLIAMS PLACE AT PRATER FARMS (SINGLE-FAMILY ATTACHED HPR)

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	RS-A Type 2	Proposed PRD (SFA)	Difference
Residential Density			
Maximum Dwelling Units Multi-Family	N/A	N/A	N/A
Minimum Lot Area	N/A	N/A	N/A
Minimum Lot Width	N/A	N/A	N/A
Minimum Setback Requirements			
		(SFA-HPR)	
Minimum Garage Front Setback to Back of Sidewalk	35'	25'	-10'
Minimum Main Building Front Setback to Back of Sidewalk/ROW	35'	25'	-10'
Minimum Main Building Side Setback to Back of Sidewalk (Corner)	35'	10'	-25'
Minimum Setback to Veterans Parkway	45'	50'	+5'
Minimum Side Setback to External Property Lines	5'	30'	+25'
Minimum Rear Setback to External Property Lines	20'	30'	+10'
Minimum Distance Between Buildings (Side to Side)	10'	30'	+20'
Minimum Distance Between Buildings (Rear to Rear)	20'	30'	+10'
Land Use Intensity Ratios			
MAX F.A.R.	1.0	None	N/A
Minimum Livable Space Ratio	0.5	None	N/A
Minimum Open Space Ratio	N/A	N/A	N/A
Minimum Open Space Requirement	20%	20%	20%
Minimum Active Open Space Requirement	5%	5%	0%
Max Height	35'	35'	0'

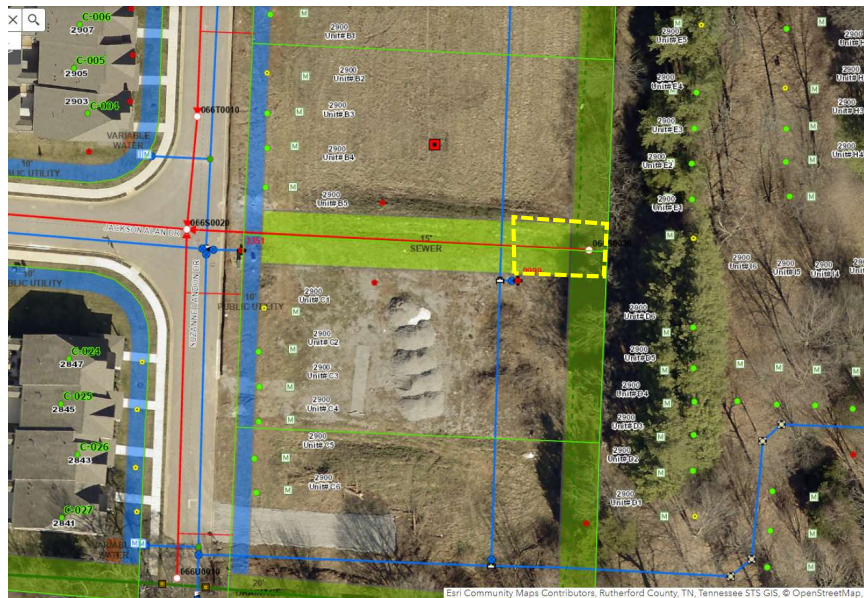
REQUESTED EXCEPTIONS:

- Requesting an exception to the 35-ft garage front setback to back of sidewalk to be reduced to 25-ft for the single-family attached homes.
- Requesting an exception to the 35-ft main building front setback to the back of sidewalk/ROW to 25-ft for the single-family attached homes.
- Requesting an exception to restrict garages to be for vehicular use only. No storage is permitted in the garages.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
JANUARY 10, 2024
PROJECT PLANNER: HOLLY SMYTH**

6.a. Mandatory Referral [2023-731] to consider the abandonment of a portion of a sanitary sewer easement on property located east of Suzanne Landon Drive, Benjamin Beasley on behalf of Cypress Homes, Inc. applicant.

In this mandatory referral, the Planning Commission is being asked to consider abandoning an approximately 54'-long segment of a 30' wide sanitary sewer easement located on vacant property along two parcels currently known as Tax Map 69E, Group C, Parcels 009.00 and 010.00, with a larger segment towards the west side of the lots to remain.



The sanitary sewer easement was dedicated by plat book 35, page 83 to the City of Murfreesboro with the Regal Square subdivision recorded on March 11, 2010 on lots #15 and #16. At that time, it was anticipated that office development would take place. Since then, the area has been rezoned to PRD for a townhome development, with the re-routing of the sewer making a portion surplus. Final Plat #2020-2024 was filed to consolidate six lots into one lot of record to accommodate the development and dedicate new sewer and water easements. An exhibit showing the existing sewer easement to remain and the sewer easement to be abandoned is attached for your review along with the draft Final Plat that will provide new easements.

The Murfreesboro Water Resources Board met on December 12, 2023 and voted to recommend that the Planning Commission and City Council approve the abandonment being requested. The memo from MWRD is attached for your review.

Staff recommends that the Planning Commission recommend approval of this request to the City Council subject to the following conditions:

- 1) The sewer easement abandonment should be subject to the final approval of the legal documents by the City Attorney.
- 2) If approved by the City Council, the applicant will be responsible for providing the information necessary for the Legal Department to prepare the legal document for this easement abandonment (including, but not limited to, any exhibits and legal descriptions needed).
- 3) The applicant will be responsible for recording the legal document, including payment of the recording fee.
- 4) The sewer easement abandonment is subject to the submission and recording of a subdivision plat that relocates the easement as proposed by the applicant.

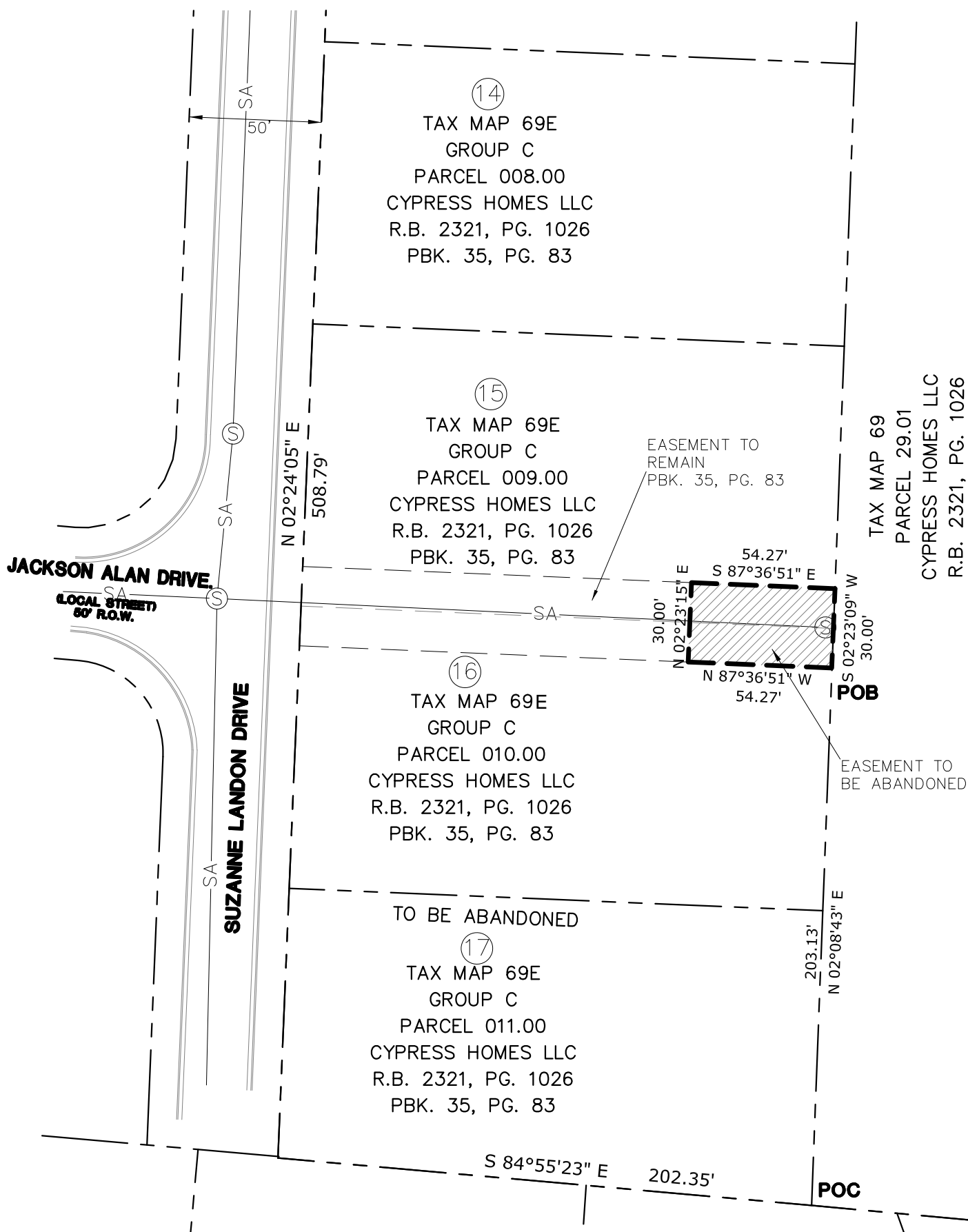
PROJECT:
SUSAN LANDON
DRIVE
Mufreesboro, Tennessee



TITLE: SEWER LINE ABANDONMENT EXHIBIT	
PROJ # 20-017 <hr/> DATE: 12/22/2023	SCALE: 1"=50'

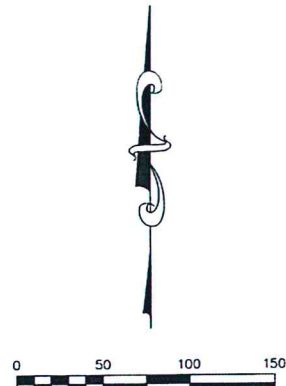
PROJ #	20-017
DATE:	12/22/2023

SCALE:
1"=50'

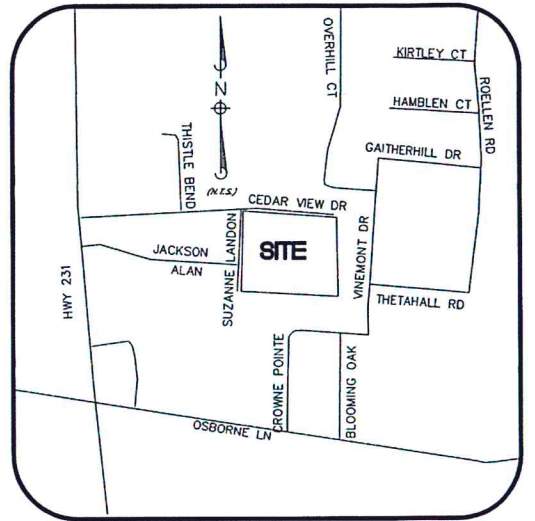
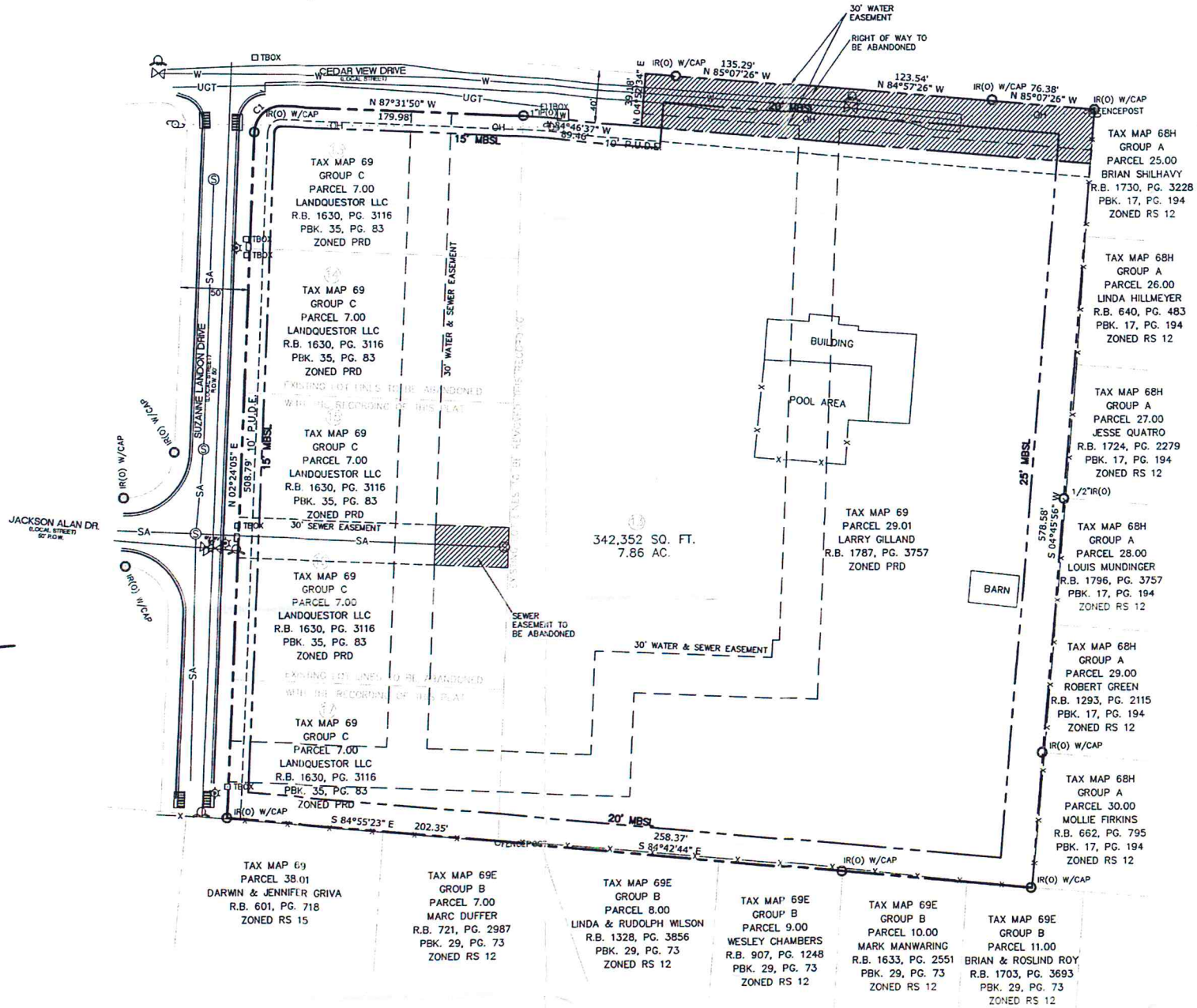


LEGEND

- IRON ROD (OLD)
- IRON ROD (NEW)
- BOUNDARY LINE
- EXTRUDED CURB
- SA — SANITARY SEWER LINE
- W — WATER LINE
- G — GAS LINE
- STORM SEWER
- WATER VALVE
- SANITARY SEWER MANHOLE



*Draft
Final
Plat*



VICINITY MAP

SURVEYOR'S NOTES:

1. THIS SURVEYOR WAS NOT FURNISHED WITH A TITLE SEARCH OR TITLE POLICY. THEREFORE THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH.
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM SURFACE IMPROVEMENTS, UTILITY COMPANY RECORDS, AND/OR PLANS BY OTHERS. ACTUAL FIELD LOCATIONS AND SIZES OF THESE LINES SHOULD BE OBTAINED PRIOR TO ANY CONSTRUCTION ON THIS SITE. ADDITIONAL BURIED UTILITIES AND/OR STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES AND/OR STRUCTURES. BEFORE ANY EXCAVATION HAS BEGUN ON THIS SITE CALL 1-800-351-1111 FOR UNDERGROUND UTILITY LOCATIONS.
3. ALL BUILDINGS, SURFACE IMPROVEMENTS, AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THIS SITE ARE NOT NECESSARILY SHOWN HEREON.
4. SUBSURFACE AND/OR ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY.
5. BEARINGS SHOWN ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 4100, NAD 1988.
6. THIS IS A CATEGORY I SURVEY IN COMPLIANCE WITH THE RULES OF THE STATE OF TENNESSEE, BOARD OF EXAMINERS FOR LAND SURVEYORS, CHAPTER 0820-3, STANDARDS OF PRACTICE. THE ERROR OF CLOSURE FOR THE UNADJUSTED FIELD SURVEY IS BETTER THAN 1 : 10,000.
7. A REVIEW OF F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NO. 47149C1145H EFFECTIVE DATE JANUARY 1, 2007, SHOWS NONE OF THIS PROPERTY TO BE WITHIN THE 100 YEAR FLOOD PLAIN ZONE X.
8. ALL LOT CORNERS ARE TO BE MARKED WITH A 1/2" CAPPED IRON RODS.
9. NO BUILDINGS OR STRUCTURES WILL BE PERMITTED IN ANY EASEMENT.
10. THE PURPOSE OF THE PLAT IS TO RESUBDIVIDE LOTS 13-17 TO CREATE 1 LOT OF RECORD AND TO RECORD EASEMENTS AND TO RECORD EASEMENTS AND ABANDON RIGHT OF WAY AS SHOWN.
11. THE RECORDING OF THIS PLAT VOIDS, VACATES AND SUPERCEDES LOTS 13-17 THE FINAL PLAT OF REGAL SQUARE AS RECORDED IN BOOK 35, PAGE 83, ROSC, TN.
12. THE PROPERTY IS WITHIN THE OSBORNE LN. ASSESSMENT DISTRICT.
13. UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE THE HOMEOWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE BUILDER AND/OR HOMEOWNER SHALL BE RESPONSIBLE FOR THE COMPLIANCE WITH THIS REQUIREMENT.
14. PRD SETBACKS:
FRONT YARD: 15 FT
SIDE YARD: 20 FT
REAR YARD: 25 FT

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	31.44'	20.00'	90°04'08"	S 47°26'06" W	28.30'

DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLATBOOK/RECORD BOOK: _____
PAGE: _____

FINAL PLAT RESUBDIVISION OF REGAL SQUARE

SUBDIVISION LOTS 13-17

SUZANNE LANDON DRIVE & CEDAR VIEW DRIVE

CITY OF MURFREESBORO, 9TH CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE

TOTAL ACRES = 7.86 ±	TOTAL LOTS = 1
2018-430 REGAL SQUARE SUBD.	CIVIL DISTRICT: 9TH
OWNER: LARRY GILLILAND	CITY OF MURFREESBORO
SCALE: 1"=50'	JOB #20-018
SURVEYOR: JASON J. STIVERS	STATE OF TENNESSEE
RUTHERFORD COUNTY	
DATE: MARCH 31, 2020	SHEET NO. 1 OF 1

Certificate of Approval for Electric Power - I hereby certify that the subdivision shown hereon has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision is within the service area of MED, and that MED is able to provide electric power service to the subdivision subject to the Owner complying with the applicable rules and regulations of MED. No electric power service will be provided until MED's requirements for electric power service have been met.

Date _____ Murfreesboro Electric Department Official

Certificate of Approval of Sewer Systems - I hereby certify that: (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date _____ Murfreesboro Water Resources Department

Certificate of Ownership and Dedication - I (we) hereby certify that I am (we are) the Owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent and establish the minimum building restriction lines, and dedicate all streets, alleys, walks, and utilities therein, parks and other open spaces to public or private use as noted. (Note: this certification shall include the deed book and page numbers of deeds and shall include for corporations and partnerships the company name and the titles of the individuals authorized to execute documents).

Date _____ Larry Gilliland

Date _____ Landquestor, LLC

Certificate of Accuracy - I hereby certify that this is a category 1 survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown hereon. I also certify that the monuments have been or will be placed as shown hereon to the specifications of the City Engineer.

Date _____ Surveyor

Tennessee Reg. No. 2219

Certificate of Approval of Water Systems Located in the Water Service Jurisdiction of the City of Murfreesboro - I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the Tennessee

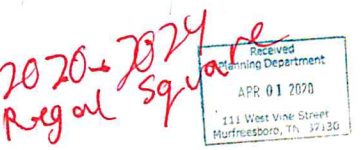
Date _____ Murfreesboro Water Resources Department

Certificate of Approval of Streets and Drainage - I hereby certify that: (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications; or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date _____ City Engineer

Certificate of Approval for Recording - I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date _____ Planning Commission Secretary



STIVERS LAND SURVEYING
1134 LAKEWOOD DR., GALLATIN TN. 37066
615-939-1171
stiverslandsurveying@gmail.com



... creating a better quality of life

MEMORANDUM

DATE: November 16, 2023
TO: Water Resources Board
FROM: Valerie H. Smith
SUBJECT: Sewer Easement Abandonment Request
Regal Square - Phase 3

BACKGROUND

Cypress Homes, LLC is requesting the abandonment of a portion of the existing sanitary sewer easement. With the redevelopment of the property, this shaded portion of easement is not being utilized as this portion of the existing sewer main was abandoned.

This request will also go before the Planning Commission as a mandatory referral for approval.

RECOMMENDATION

Approval of abandoning the highlighted portion of the existing sewer easement.

FISCAL IMPACT

The original easement was dedicated by plat.

ATTACHMENTS

Easement Abandonment Request
Exhibit



**MEMORANDUM
CITY OF MURFREESBORO
LEGAL DEPARTMENT**

TO: Chair Jones and Members of the Planning Commission

CY: Chris Griffith, Michele Emerson, Greg McKnight, David Ives

FROM: Roman Hankins

DATE: January 3, 2024

RE: Additional Easement to MTEMC

MANDATORY REFERRAL

Middle Tennessee Electric (MTE) has need for an additional guy easement related to an existing power pole on the City's property located at 7096 Franklin Road, substantially as shown on the attached exhibit. Atmos Energy has notified the City that the proposed additional easement is in the area of a gas main within an easement. Atmos requests that MTE maintain a minimum five feet (5') of separation from the gas main.

Staff request that Planning Commission recommend to City Council granting this easement to MTE, subject to the following conditions:

1. MTE provide to the City Legal Department documents and exhibits to be approved as to form by the City Attorney;
2. Upon execution of the necessary document(s), MTE record said document(s) at its expense; and
3. MTE shall notify Atmos Energy prior to commencement of work to coordinate the final location of all pole(s) and guy anchor(s).

I will be available if you have any questions.



CITY OF
MURFREESBORO
LAND

Veterans
Parkway / Rt.96

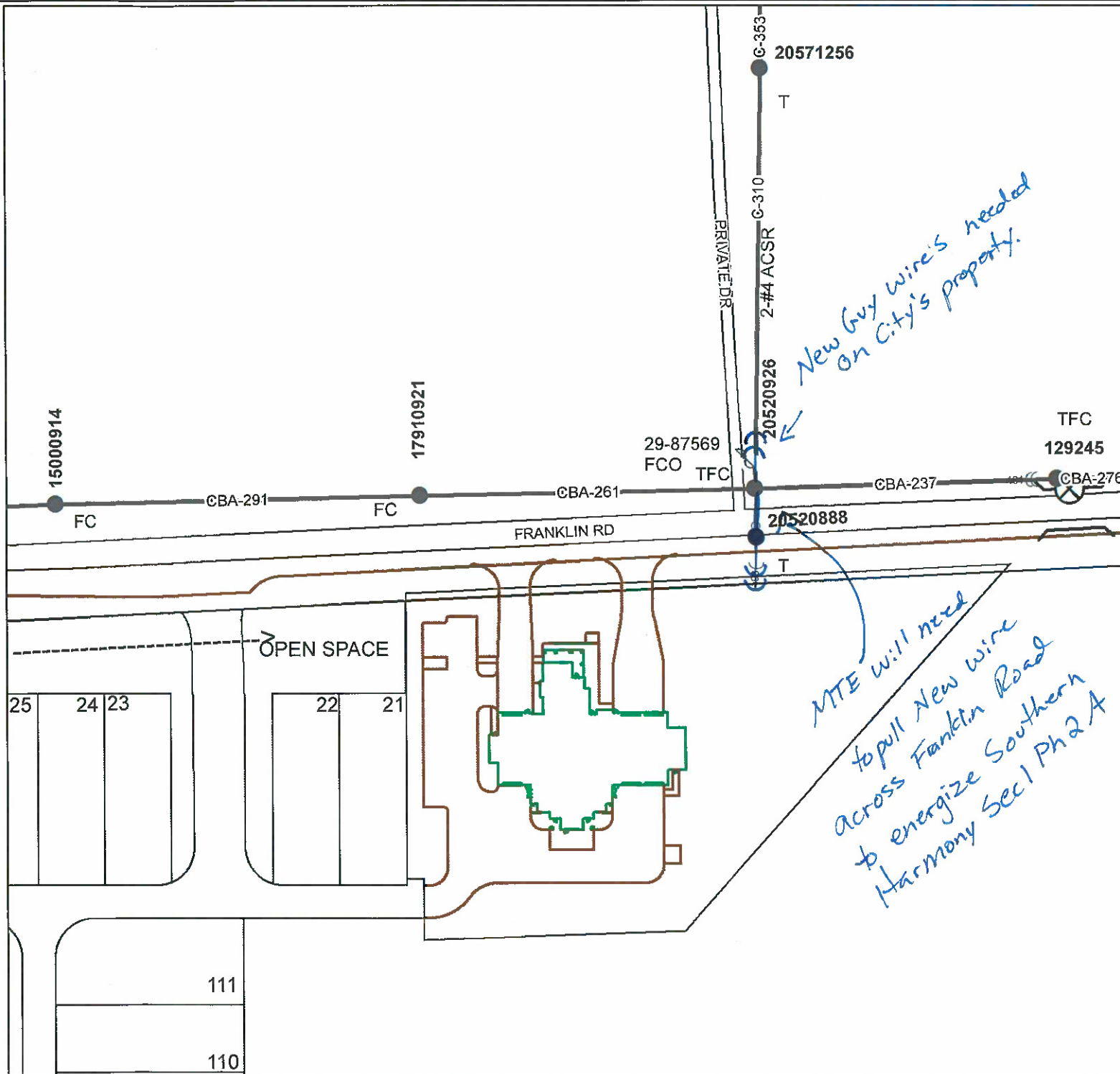
Rt.96

MTE Pole located on
City Land

Rt.96

Del Webb Community

Google



Disclaimer:
 Middle Tennessee Electric Membership Corporation makes no representation or warranty as to map accuracy, and in particular, its accuracy as to Underground Conductor locations, property boundaries, rights-of-ways, or placement and location of any map features or data. Independent verification of all information should be obtained by the User. This is NOT A LEGALLY BINDING OR CERTIFIED DOCUMENT. All data and materials Copyright © 2005. All Rights Reserved.

Job Number:

Location:

Description:

Map: 5149-E

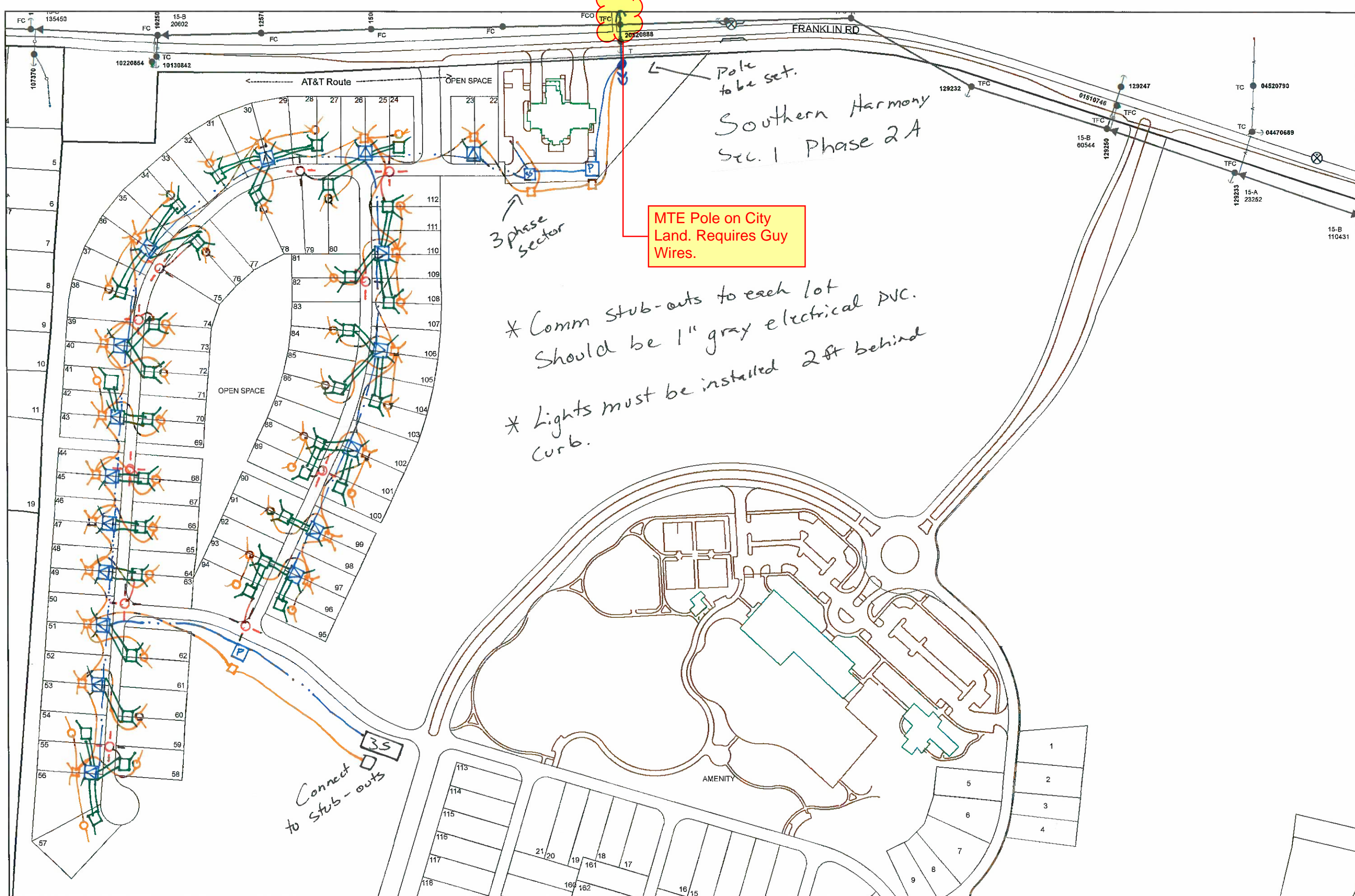
Circuit:

Protective Device:

Switch Number:

Scale: 1 inch = 104 feet

Print Date: 10/6/2023



UG Symbol Legend

- #1 ALCNC Primary – Blue
- Secondary – Green
- Street Lighting – Red
- #1 Express Feeds – Brown
- Smart Grid – Orange

#1 Circuits

- 1 Ø 1-2" sch. 40
 - 2 Ø 2-2" sch. 40
 - 3 Ø 3-2" sch. 40
 - 3 Ø Commercial 2-4"
- *Call out each span
*note size & quantity on each span

- P** Primary Pull Box
 - 1S** 1 Ø Sector
 - 3S** 3 Ø Sector
 - 1 Ø Transformer**
 - 3 Ø Transformer**
- *Illustrate stubout direction

- Secondary**
- 1-3" sch. 40
 - 2-3" sch. 40
 - Large Sec. Pull Box**
- *Illustrate stubout direction

- Street Lighting**
- Street Light Pullbox
 - Decorative Street Light

#1 Express Feeds

- Smart Grid**
- 17 x 30 x 18 Comm Handhole
 - 10" Round Flower Pot Comm Handhole
 - 2" HDPE Orange with Red Stripe
 - 1" PVC

- Miscellaneous**
- Manhole
 - Pad Mounted Switch
 - Pole
 - Pole, Install
 - Anchor Guy
 - Anchor Guy, Install
 - Member Wire (Secondary)
 - Feeder Conductor
 - OH Primary
 - OH Powerline

Title Block

Development Name and Section _____

Address _____

Developer Name _____

WO# _____

SO# _____



Smart Grid Boxes Yes _____ No _____

Type of S.G. Conduit HDPE _____ PVC _____



5149-A

Disclaimer:
Middle Tennessee Electric Membership Corporation makes no representation or warranty as to map accuracy, and in particular, its accuracy as to Underground Conductor locations, property boundaries, rights-of-ways, or placement and location of any map features or data. Independent verification of all information should be obtained by the User. This map is NOT A LEGALLY BINDING OR CERTIFIED DOCUMENT. All data and materials Copyright © 2005. All Rights Reserved.

Right-of-Way

Easement

This instrument prepared by: MTE
555 New Salem Highway, Murfreesboro, TN 37129
____ Employee Initials



Service Location # _____ Meter Set SO # _____ WO# _____

Grantor: _____ And/by _____

Select one of the following: ☐unmarried ☐married ☐business entity

FOR GOOD AND VALUABLE CONSIDERATION, the receipt and sufficiency of which are hereby acknowledged, the Grantor, whether one or more, does hereby grant unto Middle Tennessee Electric Membership Corporation, a Tennessee not-for-profit corporation ("Grantee" or "MTE"), its affiliates, successors or assigns, a perpetual easement (the "Easement") that, except as may be otherwise indicated on Exhibit 1, if attached, shall be twenty feet (20') from the centerline (total of 40') for any overhead transmission and/or distribution line or system, including anchoring, and ten feet (10') from the centerline (total of 20') for any underground transmission and/or distribution line or system with the right to:

- install, construct, reconstruct, rephase, operate and maintain an electric transmission and/or distribution line or system;
- inspect and make such repairs, changes, alterations, improvements, removals from, substitutions and additions to its facilities as Grantee may from time to time deem advisable, including, by way of example and not by way of limitation, the right to increase or decrease the number of conduits, wires, cables, poles, guy wire and anchors, hand holes, manholes, connection boxes, transformers and transformer enclosures;
- cut, trim and control the growth by chemical means, machinery or otherwise of trees and shrubbery within the Easement, or any tree that may interfere with or threaten to endanger the operation and maintenance of said line or system;
- prohibit, prevent and restrict the planting and/or maintenance of any trees, shrubbery or vegetation not approved in writing by Grantee (except those trees that appear on MTE's approved standard planting guide) which approval may be withheld by Grantee in its sole discretion if it determines said trees, shrubbery or vegetation may in the future interfere with or threaten to endanger the operation and maintenance of said line or system;
- prohibit the planting of any trees, shrubbery or vegetation within 15' of a pole or pad-mounted equipment;
- keep the Easement clear of all buildings, structures or other obstructions;
- license, permit or otherwise agree to the joint use or occupancy of the lines, system or, if any of said system is placed underground, of the trench and related underground facilities, by any other person, association or corporation for electrification, for other utility or commercial purposes;
- install and maintain guy additions to overhead lines if any portion of the lines or system is placed underground;

over, across; and through the land owned by Grantor as further described below (the "Property");

County _____ State of Tennessee Tax Map: _____ Group: _____ Parcel: _____

Address _____
House/building# _____ Street/Road Name _____ City _____ Zip _____

and such Property being of record in Deed Book _____, Page _____, Register's Office of the above-named county, and as may be further described according to Exhibit 1 attached hereto and incorporated herein by reference, if attached, together with the right of ingress and egress over adjacent lands of the Grantor, and Grantor's successors and assigns for the purposes of this Easement.

The Grantor agrees that all poles, wires, and other facilities, including any main service entrance equipment, installed in, upon or under the Property at Grantee's expense shall remain the property of the Grantee and removable at the option of the Grantee. The Grantor hereby expressly releases any claims, demands, actions, or causes of action for trespass related to the Grantee's use of this Easement as described herein. The grant and other provisions of this Easement shall run with the land for the benefit of the Grantee, its affiliates, successor and assigns.

IN WITNESS WHEREOF, the Grantor has executed this instrument this _____ day of _____, 202____.

Print Name/Title of Authorized Signatory

Print Name/Title of Authorized Signatory

Legal Signature

Legal Signature

STATE OF _____

STATE OF _____

COUNTY OF _____

COUNTY OF _____

On the ____ day of _____, 202____, personally appeared before me, the within named bargainor(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

On the ____ day of _____, 202____, personally appeared before me, the within named bargainor(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

Notary Signature

My Commission Expires

Notary Signature

My Commission Expires

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 6, 2023

6:00 P.M.

CITY HALL

MEMBERS PRESENT

Kathy Jones, Chair
Ken Halliburton, Vice-Chair
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

STAFF PRESENT

Greg McKnight, Exec. Director Dev. Services
Matthew Blomeley, Assistant Planning Director
Margaret Ann Green, Principal Planner
Holly Smyth, Principal Planner
Amelia Kerr, Planner
Carolyn Jaco, Recording Assistant
Roman Hankins, Assistant City Attorney

1. Call to order.

Chair Kathy Jones called the meeting to order at 6:00 p.m.

2. Determination of a quorum.

Chair Kathy Jones determined that a quorum was present.

3. Public Comments.

Chair Kathy Jones announced no one signed up to speak during the Public Comments portion of the agenda.

4. Approve minutes of the November 14, 2023, and November 15, 2023 Planning Commission meetings.

Mr. Chase Salas made a motion to approve the November 14, 2023 and November 15, 2023 Planning Commission meetings; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 6, 2023

Shawn Wright

Nay: None

Ms. Kathy Jones announced item 5.c. [2023-804] had been withdrawn from this meeting. The proposed amendment would be presented at a later date after further review.

[WITHDRAWN BY STAFF] Proposed amendment to the City Zoning Ordinance [2023-804] related to regulations for electric vehicles and pertaining to the following sections:

☐ **Section 2: Definitions;**

☐ **Section 26: Off-Street Parking, Queuing, and Loading; and**

☐ **Endnotes for Chart 2: Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios.**

City of Murfreesboro Planning Department applicant.

Murfreesboro Planning Department applicant.

5. Public Hearings and Recommendations to City Council

Zoning application [2023-417] for approximately 48.3 acres located along Old Fort Parkway to be rezoned from CH & PSO to PCD (Stones River Town Centre PCD) & PSO, Kimley-Horn representing Sterling Organization applicant. Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Ms. Mary McGowan (project engineer) with Kimley-Horn was in attendance representing the application. Ms. Mary McGowan gave a PowerPoint presentation of the Pattern Book, which Pattern Book is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 6, 2023

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the request; therefore, Chair Kathy Jones closed the public hearing.

There being no further discussion, Mr. Shawn Wright moved to approve the zoning application subject to all staff comments; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Reggie Harris

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Zoning application [2023-418] for approximately 7.3 acres located along Northwest Broad Street and West Vine Street to be rezoned from CH & CCO to PUD & CCO, approximately 0.1 acres to be rezoned from CBD & CCO to PUD & CCO, and approximately 0.4 acres to be rezoned from CH & CCO to CBD & CCO, HRP Residential applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) and Mr. Bart Kline (architect) were in attendance representing the application.

The Planning Commission began discussing the proposal and wanted to know who would be responsible for some of the other developments adjoining this proposal.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 6, 2023

Mr. Matt Taylor explained the developments referenced by the Planning Commission, such as the pedestrian bridge and the adjacent outdoor plaza, are City projects that would have their own designers, but that his team would be working with the City to make sure that their proposal will work in conjunction with those projects. Mr. Reggie Harris wanted to know about the view of the parking garage between the library and City Hall. Mr. Matt Taylor explained the architect would be providing additional details regarding architectural enhancements during site plan review. There was also some discussion about parking.

Chair Kathy Jones opened the public hearing.

1. **Mr. Shaun Miller, 204 Northwest Broad Street** – wanted to know what happens to the properties across the street at the intersection of Vine and Broad Street.

There being no one else to speak, Chair Kathy Jones closed the public hearing.

There was additional discussion between the Planning Commission and the applicant regarding the proposed City improvements across Northwest Broad Street, the architectural design for the hotel, the phasing of the development, and the dimensions of the proposed parking stalls.

There being no further discussion, Vice-Chairman Ken Halliburton moved to approve the zoning application subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Reggie Harris

Bryan Prince

Chase Salas

Nay: Shawn Wright

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 6, 2023

Proposed amendment to the City Zoning Ordinance [2023-803] pertaining to miscellaneous revisions to the following sections:

- ☐ Section 2: Definitions;
- ☐ Section 6: Amendments;
- ☐ Section 7: Site Plan Review;
- ☐ Section 9: Standards for Special Permit Uses;
- ☐ Section 24: Overlay District Regulations, Article VI. CCO, City Core Overlay District;
- ☐ Section 25: Temporary and Accessory Structures and Uses;
- ☐ Section 26: Off-Street Parking, Queuing, and Loading;
- ☐ Section 28: Non-Conformities;
- ☐ Chart 1: Uses Permitted by Zoning District (including Chart 1 endnotes);
and
- ☐ Chart 2: Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios (including Chart 2 endnotes)

City of Murfreesboro Planning Department applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Chair Kathy Jones opened the public hearing.

1. Mr. Matt Taylor of SEC, Inc., complimented staff for reviewing the Zoning Ordinance to streamline items moving forward from Planning Commission to City Council.

Chair Kathy Jones closed the public hearing.

There being no further discussion, Mr. Chase Salas moved to approve the proposed Zoning Ordinance amendment subject to all staff comments; the motion was seconded by Vice-Chairman Ken Halliburton and carried by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 6, 2023

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

6. Staff Reports and Other Business:

Request for Outside the City Water & Sewer Service [2023-505] for approximately 288 acres located along Lebanon Pike, East Jefferson Pike, & Landfill Road, Rutherford County applicant. Mr. Matthew Blomeley presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Mike Hughes (Rutherford County Engineer), Mr. Bishop Wagener (Rutherford County Solid Waste Director), and Mr. Matt Taylor (design engineer) were all in attendance to represent the application.

The Planning Commission asked how would water be provided to this location. Mr. Matt Taylor explained there are connections to water and sewer located at Sam Jared Drive. They propose underground boring from the river to the approximate location. Currently, there is only well water at this property.

There being no further discussion, Mr. Shawn Wright moved to approve the request for Outside the City Water & Sewer Service subject to all staff comments; the motion was seconded by Mr. Chase Salas and carried by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 6, 2023

Aye: Kathy Jones

Ken Halliburton

Reggie Harris

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Mr. Matthew Blomeley reminded the Planning Commissioners who needed state mandated continuing education hours he would send several virtual links for their review.

7. Adjourned.

There being no further business the meeting adjourned at 7:30 p.m.

Chair

Secretary

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

1:00 P.M.

CITY HALL

MEMBERS PRESENT

Kathy Jones, Chair
Ken Halliburton, Vice-Chair
Jami Averwater
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

STAFF PRESENT

Matthew Blomeley, Assistant Planning Director
Margaret Ann Green, Principal Planner
Holly Smyth, Principal Planner
Amelia Kerr, Planner
Brad Barbee, Planner
Joel Aguilera, Planner
Katie Noel, Project Engineer
Gabriel Moore, Project Engineer
Jennifer Knauf, Project Engineer
Carolyn Jaco, Recording Assistant
Roman Hankins, Assistant City Attorney
Greg McKnight, Exec. Dir. Of Dev't Services

1. Call to order.

Chair Kathy Jones called the meeting to order.

2. Determination of a quorum.

Chair Kathy Jones determined that a quorum was present.

3. Public Comments.

Chair Kathy Jones announced that no one signed up to speak during the Public Comments portion of the agenda.

4. Consent Agenda:

King's Landing Villas, Section 1 [2023-2098] final plat for 23 lots on 6.5 acres zoned PRD located along West Thompson Lane, Black Diamond Construction, LLC developer.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

Waites Creek Crossing, Resubdivision of Lots 47 and 48 [2023-2100] final plat for 4 lots on 0.4 acres zoned RS-A, Type 1 located along Barringer Lane, O'Brien Loyd Venture developer.

Parkway Place, Section 5 and the Resubdivision of Lot 11 and Section 2 Common Area [2023-2102] final plat for 3 lots on 10.1 acres zoned PID located along Logistics Way, Swanson Development, LP developer.

Creekwood, Resubdivision of Lot 33 [2023-2072] final plat for 2 lots on 1.2 acres zoned RD located along Carriage Drive and Caroline Drive, Elizabeth Ray developer.

There being no further discussion, Mr. Shawn Wright moved to approve the Consent Agenda subject to all staff comments; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

5. GDO:

On Motion

The Avenue Murfreesboro, 3rd Resubdivision of Lot 1 [2023-2101] final plat for 8 lots on 96.2 acres zoned PCD & GDO-1 located along Medical Center

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

Parkway, Big V Property Group developer. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Ms. Jami Averwater moved to approve the final plat subject to all staff comments; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Clari Park, Lot 13 (Drake's) [2023-6012 & 2023-3146] final design & site plan review of a 6,381 ft2 restaurant located on 2.3 acres zoned CH and GDO-1 along Medical Center Parkway and Silohill Lane, BHG Murfreesboro 1, LLC developer. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

The design team was in attendance representing the application.

There being no further discussion, Mr. Shawn Wright moved to approve the final design and site plan review subject to all staff comments; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Robert Rose Village West, Lot 5 [2023-6010 & 2023-3149] final design & site plan review of a 14,500 ft2 grocery store located on 2.4 acres zoned PUD and GDO-1 located along Medical Center Parkway and Robert Rose Drive, TDEC Land, LLC developer. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright moved to approve the final design and site plan review subject to all staff comments; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

Robert Rose Village West, Common Area Lot [2023-6015 & 2023-3152] initial design review of an access drive with parallel parking & landscaping located on 1.3 acres zoned PUD and GDO-1 along Medical Center Parkway and Robert Rose Drive, TDK Land, LLC developer. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright moved to approve both the initial and final design review and site plan review subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

6. **Plats and Plans:**

On Motion

Westlawn Pavilion, Lots 5 & 6 [2023-3161] site plan review of access drive located on 3.6 acres zoned PUD located north of Shores Road, MAE American Management, LLC developer. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

Mr. Bryan Prince wanted to know who would be responsible for maintaining the private drive.

Mr. Matt Lackey (project engineer) was in attendance representing the application. He explained the master developer would be responsible for maintaining the drive and the sidewalks.

There being no further discussion, Vice-Chairman Ken Halliburton moved to approve the site plan subject to all staff comments; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Bryan Prince
Chase Salas
Shawn Wright

Nay: Reggie Harris

Mr. Matthew Blomeley requested that the Watkins Glen [2023-1025] preliminary plat be moved to Staff Reports and Other Business to allow the developer and the design engineer additional time to arrive at the meeting.

Northridge Park [2023-1026] preliminary plat for 82 lots on 39.9 acres zoned PRD located west of Memorial Boulevard, Brightland Homes developer. Mr.

Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Chris Maguire (design engineer) was in attendance to represent the application.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

There being no further discussion, Mr. Shawn Wright moved to approve the preliminary plat subject to all staff comments; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

7. New Business:

Zoning application [2023-421] for approximately 31.3 acres located along Medical Center Parkway, Williams Drive, and Tune Avenue to be rezoned from MU, GDO-3, and PSO to PUD (Fountains at Gateway), GDO-3, and PSO, Hearthstone Properties applicant. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Kevin Guenther (landscape architect), Mr. Scott Graby (developer), Mr. Tyler Thayer (architect), Mr. Preston Ayers (project engineer), and Mr. Matt Hamilton (project manager) were all in attendance representing the application. Mr. Matt Hamilton gave a brief presentation regarding the Pattern Book, which Pattern Book is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference. In addition, Mr. Tyler Thayer gave an overview of the architecture.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on January 10, 2024; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Annexation petition and plan of services [2023-507] for approximately 21.4 acres located along Blackman Road, including approximately 1,265 linear feet of Blackman Road right-of-way, Bob Parks applicant. Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was present to represent the application.

There being no further discussion, Mr. Chase Salas made a motion to schedule a public hearing on January 10, 2024; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton (abstained he had stepped away)
Jami Averwater
Reggie Harris

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Zoning application [2023-420] for approximately 19.6 acres located along Blackman Road to be zoned PRD (The Village PRD - approx. 14.91 acres) and PCD (The Village PCD - approx. 4.71 acres) simultaneous with annexation, 360 Development applicant. Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was present to represent the application.

The Planning Commissioners began discussing their concerns for the exceptions of setbacks for commercial buildings, driveway length, sidewalks, a drive-thru near residential properties, and whether there be room for emergency vehicles. In addition, the uses listed needed to be revised to remove any outdoor uses or overnight stays for dogs.

Mr. Matt Taylor stated he would look further into the concerns mentioned.

Mr. Shawn Wright requested that the developer make known to potential home buyers that commercial uses would be part of the development.

There being no further discussion, Mr. Bryan Prince made a motion to schedule a public hearing on January 10, 2024; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

Jami Averwater

Reggie Harris

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Annexation petition and plan of services [2023-506] for approximately 112.5 acres located along Veterans Parkway, including approximately 1,475 linear feet of Veterans Parkway right-of-way, Kathy Davis, Howard Barley Yeargan, and Randall Robinson, Jr. applicants. Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer), Mr. John Floyd (developer), and Mr. Dan Bobo (developer) were in attendance for the meeting.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on January 10, 2024; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Reggie Harris

Byran Prince

Chase Salas

Shawn Wright

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

Zoning application [2023-419] for approximately 106.4 acres located along Veterans Parkway to zoned PRD (Prater Farms PRD) simultaneous with annexation, Ole South Properties applicant. Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer), Mr. John Floyd (developer) and Mr. Dan Bobo (developer) were in attendance for the meeting.

Mr. Shawn Wright and Ms. Jami Averwater acknowledged how much they were in favor of this development being predominantly detached residential homes. Ms. Kathy Jones voiced her concerns with the dominant view of the garages. Mr. Matt Taylor explained that there would be a mixture of residential homes similar to Mankin Pointe off Manchester Pike.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on January 10, 2024; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Mandatory Referral [2023-730] to consider the abandonment of a segment of Archer Avenue right-of-way, Huddleston-Steele Engineering, Inc. on behalf of

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

Brightland Homes applicant. Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Mr. Chase Salas made a motion to schedule a public hearing on January 10, 2024; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

8. Staff Reports and Other Business

Watkins Glen [2023-1025] preliminary plat for 38 lots on 16.3 acres zoned RS-10 located along Sandstone Circle and Laurelstone Drive, Jeramie Taber developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Jeramie Taber (developer) and Mr. Bill Huddleston (design engineer) were in attendance for the meeting.

There being no further discussion, Mr. Shawn Wright moved to approve the preliminary plat subject to all staff comments; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 13, 2023

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Mr. Matthew Blomeley reminded the Planning Commissioners the TAPA virtual training would need to be completed before the end of the calendar year.

9. Adjourn.

There being no further business the meeting adjourned at 3:10 p.m.

Chair

Secretary

GM: cj