

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**JULY 10, 2024
6:00 PM**

**Kathy Jones
Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Election of Chair and Vice-Chair for 2024-2025.**
- 5. Approve minutes of the June 13, 2024 and June 19, 2024 Planning Commission meetings.**
- 6. Public Hearings and Recommendations to Council:**
 - a. Zoning application [2024-407] for approximately 0.57 acres located along East Vine Street to be rezoned from RS-8 & CCO to PRD & CCO (Enclave at Vine Street PRD), Big Red Holdings, LLC applicant. (Project Planner: Holly Smyth)
- 7. Public Hearings:**
 - a. Street renaming [2024-902] request to rename a segment of Butler Drive north of Joe B Jackson Parkway to “Kenny Pipe Court”, City of Murfreesboro Administration Department applicant. (Project Planner: Matthew Blomeley)
- 8. Staff Reports and Other Business:**
 - a. Mandatory Referral [2024-715] for the dedication of an MTE electric easement on City-owned property at 324 New Salem Highway, City Administration Department applicant. (Presenter: Roman Hankins)
- 9. Adjourn.**

**MINUTES OF THE
SPECIAL JOINT WORKSHOP MEETING
MURFREESBORO CITY COUNCIL
& PLANNING COMMISSION
JUNE 13, 2024**

11:30 A.M.

AIRPORT BUSINESS CENTER

CITY COUNCIL MEMBERS

Shane McFarland, Mayor
Bill Shacklett, Vice-Mayor
Jami Averwater
Madelyn Scales Harris
Austin Maxwell
Kirt Wade
Shawn Wright

PLANNING COMMISSION MEMBERS

Kathy Jones, Chair
Jami Averwater
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

CITY REPRESENTATIVES

Sam Huddleston, Assistant City Manager
Greg McKnight, Executive Director Of Development Services
Ben Newman, Director Of Land Management & Planning
Holly Smyth, Principal Planner
Joel Aguilera, Planner
Carolyn Jaco, Recording Assistant
Jonathan Escobar-Marin, Planning Intern
Kelly Blevins Baker, Deputy City Attorney
Roman Hankins, Deputy City Attorney
John Tully, Assistant City Attorney
Chris Griffith, Executive Director Of Public Infrastructure
Randolph Wilkerson, Human Resources Director
Angela Jackson, Executive Director of Strategic Services
Melanie Joy Peterson, City Clerk
Kristy Burton, Executive Administrative Assistant
Michael Browning, Public Information Officer

1. Call to order.

a. City Council

Mayor Shane McFarland called the meeting to order for the City Council.

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b. Planning Commission

Chair Kathy Jones called the meeting to order for the Planning Commission.

2. Determination of a quorum.

a. City Council

Mayor McFarland determined a City Council quorum was present.

b. Planning Commission

Chair Kathy Jones determined a Planning Commission quorum was present.

3. Discussion regarding recent construction projects in and near the City Core Overlay CCO) District, the CCO zoning regulations, and the City's vision for the CCO. The Murfreesboro City Council, Planning Commission, and City Staff met for a Special Joint Meeting to discuss the City Core Overlay district.

Mr. Ben Newman stated that the purpose for the meeting is to review and discuss the City Core Overlay and downtown area to address policy direction and development standards on housing developments or other development types. Also, is there a need to modify development standards regarding density, setbacks, building height, parking, site layout, lot coverage, buffers, and amenities within specific City Core Overlay district? The feedback from this meeting is to create a unified vision for the CCO for both the City Council and Planning Commission.

Ms. Holly Smyth came forward to provide a PowerPoint presentation on project overviews for four different developments in the CCO which had been approved and completed.

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Mr. Joel Aguilera then began a Q & A dialog asking for feedback from the City Council and Planning Commission members on the vision for the CCO.

Mr. Ben Newman explained the next steps would be a multi-layered approach, including:

- Updating zoning regulations to reflect updated vision;
- Identify development intensity areas; and
- Further workshops with developers.

4. Adjourn.

a. City Council

There being no further business, Mayor Shane McFarland adjourned the special meeting for the City Council at 2:00 p.m.

b. Planning Commission

There being no further business, Chair Kathy Jones adjourned the special meeting for the Planning Commission at 2:00 p.m.

Chair

Secretary

BN: cj

MINUTES OF THE MURFREESBORO PLANNING COMMISSION JUNE 19, 2024

1:00

CITY HALL

MEMBERS PRESENT

Kathy Jones, Chair
Ken Halliburton, Vice-Chair
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

STAFF PRESENT

Darren Gore, City Manager
Greg McKnight, Exec. Director of Dev. Services
Ben Newman, Dir. Of Land Mngt. & Planning
Matthew Blomeley, Assistant Planning Director
Holly Smyth, Principal Planner
Richard Donovan, Principal Planner
Brad Barbee, Principal Planner
Joel Aguilera, Planner
Jennifer Knauf, Project Engineer
Katie Noel, Project Engineer
Gabriel Moore, Project Engineer
Carolyn Jaco, Recording Assistant
Roman Hankins, Deputy City Attorney
John Tully, Assistant City Attorney
Josh Upham, Stormwater Manager

1. Call to order.

Chair Kathy Jones called the meeting to order at 1:00 p.m.

2. Determination of a quorum.

Chair Kathy Jones determined that a quorum was present.

3. Public Comments.

Chair Kathy Jones announced that no one signed up to speak during the Public Comment Portion of the agenda.

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4. Approve minutes of the May 28, 2024 and June 5, 2024 Planning Commission meetings.

Mr. Shawn Wright made a motion to approve the May 28, 2024 and June 5, 2024 Planning Commission meeting minutes; the motion was seconded by Vice-Chairman Ken Halliburton and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

5. Consent Agenda:

Farrer Cumberland, Lot 1 [2024-2041] final plat for 1 lot on 2.68 acres zoned CH located along Northwest Broad Street, Fred H. Farrer Partnership developer.

Shelton Square, Resubdivision of Lots 222 & 223 [2024-2044] final plat for 2 lots and 1 common area on 7.7 acres zoned PRD located along Willoughby Way and Shelton Boulevard, David Patterson, James Kirkland, & Shelton Square Homeowners Association, Inc. developers.

South Church Retail [2024-3074] site plan for a 3,600 ft² multi-tenant commercial building on 0.47 acres zoned PCD located at 3416 South Church Street, Greg Patel developer.

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Kingdom Crest Station [2024-3084] site plan for three commercial buildings totaling 11,400 ft² on 2.59 acres zoned CH located on the corner of Veterans Parkway and Jack Byrnes Drive, Bodnar Group developer.

Robinson Meadows at Prater Farms, Section 1 [2024-1014] preliminary plat for 36 lots on 18.39 acres zoned PRD located along Veterans Parkway, Ole South Properties developer.

YMCA, 2nd Resubdivision of Lots 2 & 3 [2024-2017] final plat for 2 lots on 9.51 acres zoned CH located along North Thompson Lane, Anchor Commercial Development, LLC developer.

There being no further discussion, Mr. Chase Salas made a motion to approve the Consent Agenda subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

6. Old Business:

On Motion

Mandatory Referral [2024-714] to consider the abandonment of a portion of a drainage easement located on property along Gresham Lane, Civil Infrastructure Associates on behalf of Hensley Group applicant. Mr. Joel Aguilera presented the Staff

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Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Nathan Melson (design engineer) was in attendance representing the application.

Vice-Chairman Ken Halliburton asked what was different with this mandatory referral since the last meeting.

Ms. Katie Noel, Project Engineer, elaborated on the revised drainage improvements for the development on the subject property. She said that the Rutherford County Engineering Department had received the latest plans since the last meeting; however, they have not provided any comments regarding the drainage improvements.

There being no further discussion, Mr. Shawn Wright moved to approve the mandatory referral subject to all staff comments, including the recommended conditions listed in the staff report; the motion was seconded by Vice-Chairman Ken Halliburton and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

7. **Plats and Plans:**

On Motion

Gresham Lane, Section 2 [2024-2045] final plat for 6 lots on 4.87 acres zoned RS-15 located along Gresham Lane, Hensley Group, LLC developer. Mr. Joel Aguilera

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presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Nathan Melson (design engineer) was in attendance representing the application.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the final plat subject to all staff comments; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

The Village, Section 1 [2024-1013] master plan and preliminary plat for 39 lots and 1 common area on 6.34 acres zoned PRD and PCD located along Blackman Road, 360 Development, LLC developer. Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the master plan and preliminary plat subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

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Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Hooper [2024-1012] master plan and preliminary plat for 8 lots on 17.86 acres zoned RS-15 located along Siegel Road, W. Bruce Hooper developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to approve the master plan and preliminary plat as presented without a street connection to the existing street stub to the west and subject to all other staff comments; the motion was seconded by Vice-Chairman Ken Halliburton and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

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Hooper, Resubdivision of Lots 2 and 3 [2024-2008] final plat for 8 lots on 17.86 acres zoned RS-15 located along Siegel Road, W. Bruce Hooper developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Mr. Chase Salas made a motion to approve the final plat subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Graystone, Section 2 [2024-1015] preliminary plat for 3 lots on 16.11 acres zoned PRD located along the west side of Double Springs Road north of Veals Road, Meritage Homes developer. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

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There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the preliminary plat subject to all staff comments; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Graystone, Section 2 [2024-3078] site plan for 49 single-family detached homes on 3 lots to become part of a horizontal property regime on 16.11 acres zoned PRD located along the west side of Double Springs Road north of Veals Road, Meritage Homes developer. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to approve the site plan subject to all staff comments; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas

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Shawn Wright

Nay: None

Hidden River Estates, Section 4 [2024-3077] site plan for 134 single-family attached dwelling units (townhomes) within 18 buildings on 13.4 acres zoned PUD located along Rebecca Johns Drive north of Cason Trail, Hidden River Holding Company, LLC developer. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Brian Burns (developer) and Mr. Chris Maguire (design engineer) were in attendance at the meeting. Mr. Brian Burns addressed solid waste management and how it would be contained and picked up by a private hauler.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the site plan subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

8. New Business:

Zoning application [2024-407] for approximately 0.57 acres located along East Vine Street to be rezoned from RS-8 & CCO to PRD & CCO (Enclave at Vine Street PRD),

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Big Red Holdings, LLC applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) and Mr. Brian Grover (landscape architect) were in attendance representing the application.

Mr. Shawn Wright expressed his concerns regarding the garages being sold separately. He requested clarification on the sale of the proposed garages and how they would stay with the units.

Vice-Chairman Ken Halliburton requested for a landscape buffer to be provided along the west side of the property. Mr. Brian Grover stated they could add perimeter plantings for this development into the pattern book.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on July 10, 2024; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Annexation petition and plan of services [2024-506] for approximately 0.5 acres located along Westridge Drive, Alcorn Properties, LLC applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained

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in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. David Alcorn (developer) and Mr. Nathan Melson (design engineer) were in attendance representing the application.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on August 7, 2024; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Zoning application [2024-406] for approximately 0.42 acres located along Westridge Drive to be zoned PRD (Veterans Cove PRD) simultaneous with annexation, Alcorn Properties, LLC applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. David Alcorn (developer) and Mr. Nathan Melson (design engineer) were in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on August 7, 2024; the motion was seconded by Mr. Chase Salas and carried by the following vote:

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Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Street renaming [2024-902] to rename a segment of Butler Drive north of Joe B Jackson Parkway to “Kenny Pipe Court”, City of Murfreesboro Administration Department applicant. Mr. Matthew Blomeley presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on July 10, 2024; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

9. Staff Reports and Other Business:

Ordinance Amendment [2024-802] to amend the City’s food truck ordinance, City of Murfreesboro Planning Department applicant. Mr. Joel Aguilera presented the Staff

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Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Joel Aguilera gave a PowerPoint presentation of the proposed ordinance amendment regarding the City's food truck ordinance.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve a resolution of support for the proposed amendment to the City's food truck ordinance; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Ordinance Amendment [2024-803] to amend the City's stormwater management ordinance, City of Murfreesboro Water Resources Department applicant. Mr. Josh Upham presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Josh Upham gave a PowerPoint presentation of the proposed ordinance amendment to the City's stormwater management ordinance.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve a resolution of support for the proposed amendment to the City's stormwater

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management ordinance; the motion was seconded by Mr. Reggie Harris and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Reggie Harris
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Chair Kathy Jones announced this was Mr. Chase Salas last Planning Commission meeting and thanked him for his service.

10. Adjourn.

There being no further business the meeting adjourned at 3:00 p.m.

Chair

Secretary

BN: cj

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
JULY 10, 2024
PROJECT PLANNER: HOLLY SMYTH**

6.a. Zoning application [2024-407] for approximately 0.57 acres located along East Vine Street to be rezoned from RS-8 & CCO to PRD & CCO (Enclave at Vine PRD), Big Red Holdings, LLC applicant.

The subject property is located along the south side of East Vine Street west of South University Street involving one parcel with an existing circa 1900 home to be demolished. The site is identified as Tax Map 091M, Group L, Parcel 003.00 (also known as 542 East Vine Street) and contains approximately 24,631 square feet of lot area. This single parcel is proposed to be rezoned from Residential Single Family District (RS-8) and City Core Overlay District (CCO) to Planned Residential District (Enclave at Vine PRD) and CCO. The proposed PRD would accommodate 4 single-family attached dwelling units, equating to **7.07** dwelling units (du) to the acre.

Adjacent Zoning and Land Uses

The surrounding zone districts are primarily CCO (City Core Overlay) with RM-16 (Multi-Family Residential District) to the south, PRD (Planned Residential District) to the west, and RS-8 (Single Family Residential District) to the north and east, as more particularly shown on page 3 of the program book. The surrounding land uses are generally single-family detached on three sides. A 6-unit condo development with 8.45 du/acre density exists adjacent to the project's westerly boundary (known as East Vine Villas PRD) and a 5-unit condo development with 7.81 du/acre was recently approved west of this parcel (known as East Vine Manor PRD).

Proposed PRD

The overall layout is best seen on pages 8 & 10 of the program book, which also includes basic site data. The PRD is being requested to allow for 4 single-family attached dwelling units as part of a horizontal property regime (HPR) to allow separate home ownership. The residential units are most similar to what would be allowed in a RSA-2 zone district.

All four dwellings will be available for sale via the HPR. The developer proposes that "units shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder of the duplex style units shall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity."

Design: Each of the single-family attached dwelling units will be a minimum of 2,000 square feet and will all contain three bedrooms. The architecture is craftsman bungalow style with front and rear entry porches and one detached 4-car garage building. Each unit will have a 1-car garage and 2 surface parking spaces with 2 surplus guest parking spaces provided for the complex, as shown on page 10 of the program book. The garage

doors should incorporate a decorative window-panel at the top of each door facing the courtyard. The northerly end of the garage façade facing the street has been enhanced. A total of 12 parking spaces are required for the project with 14 being provided on site. At no time will the one-car garage be sold or leased separately from the assigned unit, which shall be recorded within the CC&Rs and enforced by the HOA, as stated on page 9 of the program book.

Greenspace: Regular landscape requirements include perimeter plantings, base of building plantings, and a 15' type D landscape buffer along the eastern edge due to the adjacent RS-8 zoning. Additionally, the CCO requires 15% overall open space and 50 square feet of private open space per unit be provided, but no formal open space is required. Page 19 of the program book depicts the proposed landscape locations to have no normal perimeter tree plantings or normal base of building plantings but proposes grouped areas of these planting types instead. The property to the west of this project has a Type "A" 10' buffer installed along the property line. A minimum of 50 square feet of private open space per unit is shown on all porches that face the central open space area. The builder will install sod in all front and secondary yards. Fencing of 6' PVC is proposed along the southerly boundary and along the easterly boundary south of the 4-car garage building in front of the surface parking. A 4' PVC privacy fence is proposed in front of the northerly surface parking area and to screen the trash carts.

Proposed setbacks and layout are depicted on page 10 of the program book and summarized as follows:

- 15' front "build-to" setback line along East Vine Street (CCO would require 16.5' "build-to" line ±2')
- 5' side yard setbacks
- 20' rear yard setback

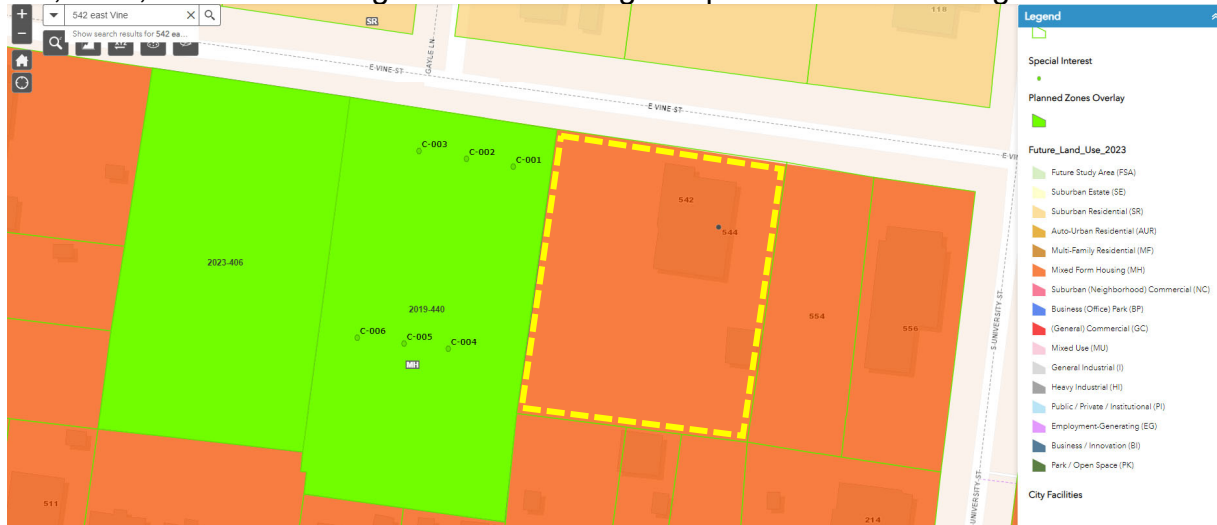
Exception(s) Requested: Page 21 of the Program Book shows the comparison for this development to the RSA-2 district with the requested **exceptions shown in red text**. The four exceptions are as follows:

- 1) Allow the rear porches to take up to 70% of the rear building façade versus the 50% CCO standard.
- 2) Allow a 5' modified planting area / fencing along the eastern property line versus a 15' wide type "D" buffer in this area.
- 3) Eliminate the 'base of building plantings' along the west side of the buildings and follow the more focused landscape near the central open space.
- 4) Eliminate 'perimeter planting' requirements, and use the alternative layout shown in the program book.

Future Land Use Map

The adopted future land use map contained in the *Murfreesboro 2035 Comprehensive Plan*, recommends that the subject property develop primarily with a *Mixed Form Housing* land use character (see excerpt map below). Mixed Form Housing is residential in character with a mixture of single-family detached and single family attached two-, three-

and four-unit residential buildings that keep in character with the surrounding neighborhood. Development in these areas should focus on forms that relate to the public street, provide architectural details, front porches, windows and awning treatments, and transition well with adjacent properties. Infill development should be designed so that two-family, three-family, and four-family residential buildings resemble traditional single-family buildings. The comprehensive plan calls out RS-10, RS-8, RS-6, RS-A1, RS-A2, RS-A3, RD, PRD, and PUD zoning districts as being compatible with this designation.



Based on the elevations provided in the PRD, the proposed PRD appears to be consistent with the *Mixed Form Housing* designation of the Future Land Use Map of the Comprehensive Plan.

Department Recommendation

Staff is supportive of this rezoning request, with its 4 exceptions discussed above because of the following reasons:

- 1) The proposal is consistent with the Mixed Form Housing land use character of the updated Murfreesboro 2035 Comprehensive Plan.
- 2) The front building resembles a single-family detached home.
- 3) The number of units per building does not exceed four.
- 4) The architecture is compatible with the existing neighborhood.
- 5) The proposed use is compatible with the existing and proposed uses in the vicinity and is similar to adjacent land uses.

Action Needed

The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should conduct a public hearing, after which it will need to formulate a recommendation to City Council.

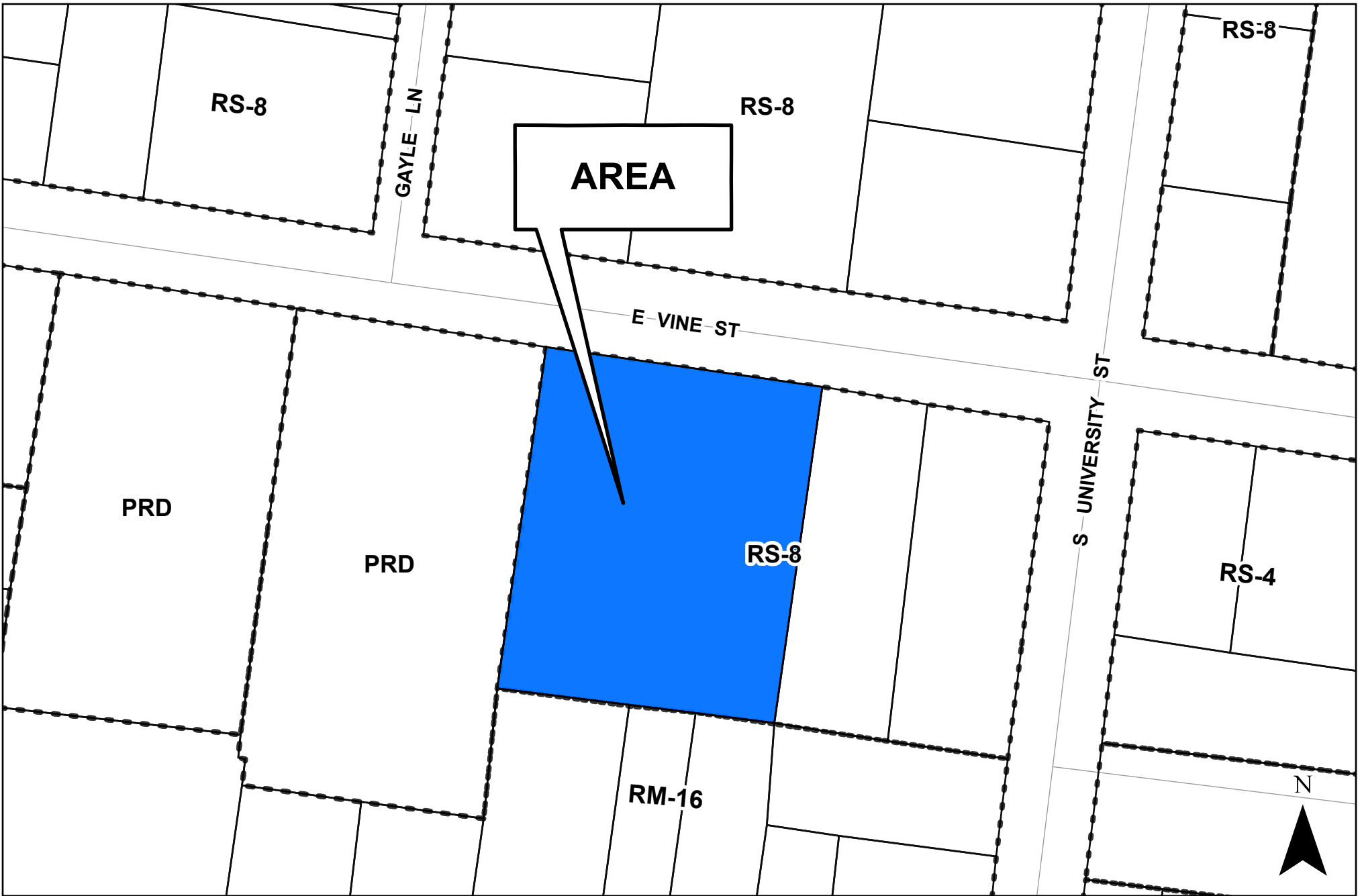
Attachments:

- NoOrtho Map
- Ortho Map
- Program Book
- Zoning Ordinance Chart 2 related to RSA-2 District

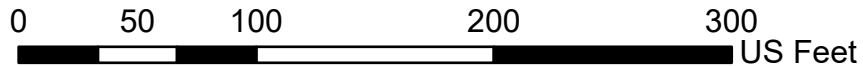
2024-407_Enclave at Vine PRD_PC_PH_Final

Chart 2
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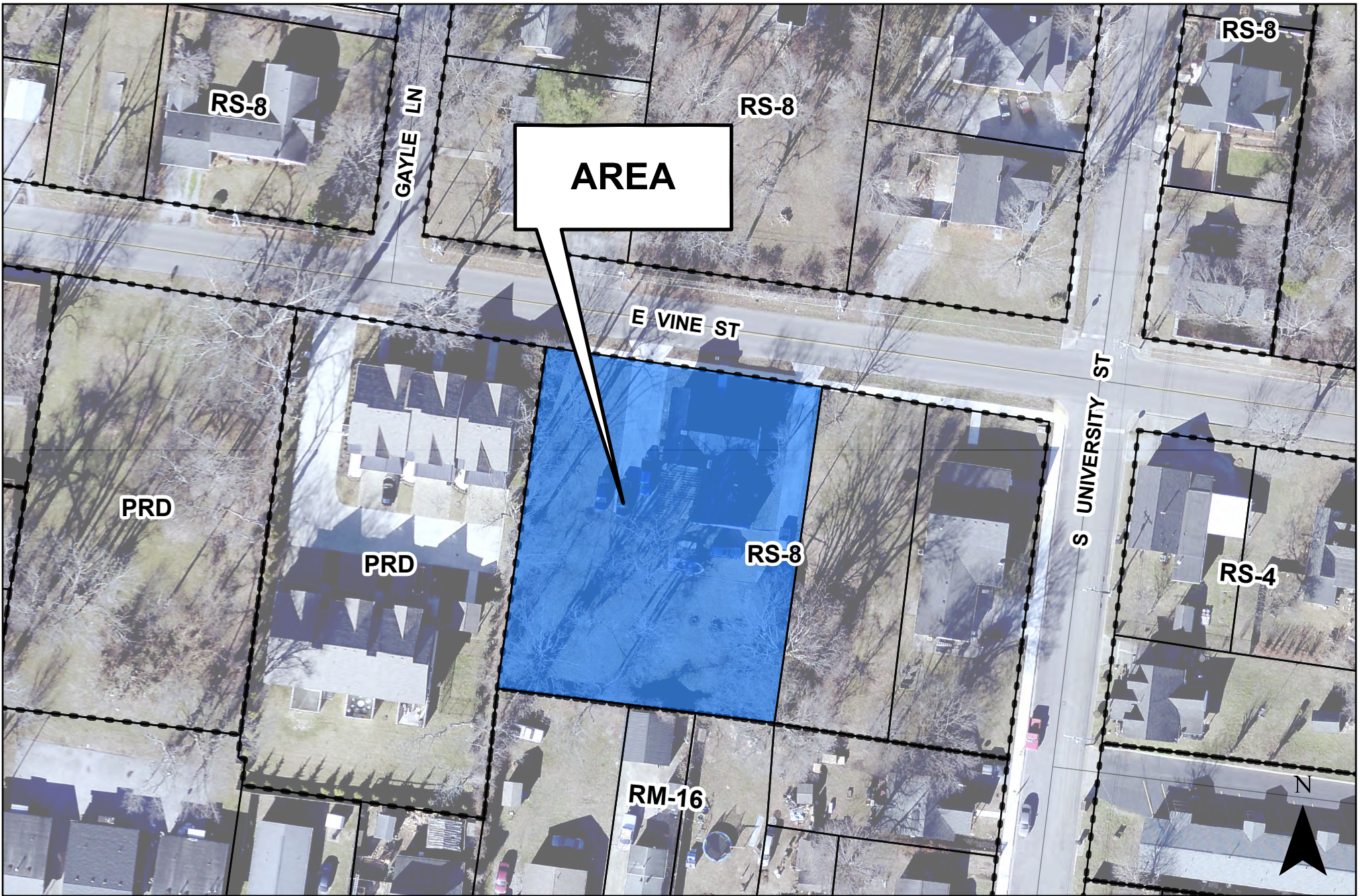
	Minimum Lot Requirements		Minimum Yard Requirements ⁽⁶⁾⁽¹⁷⁾⁽²⁵⁾			Maximum Height ⁽¹⁶⁾ (Ft.)	Maximum Gross Density ⁽²⁾ (D.U./Acre)	Land Use Intensity Ratios			Maximum Lot Coverage (percent)
	Area (Sq. Ft.)	Width (Ft.)	Front ⁽³⁸⁾ (Ft.)	Side (Ft.)	Rear (Ft.)			Maximum F.A.R.	Minimum L.S.R.	Minimum O.S.R.	
RS-A DISTRICT⁽³⁵⁾											
1. Single-family detached and single-family attached or detached with zero-lot line (max. 2 units attached) ⁽⁷⁾⁽²⁸⁾⁽³¹⁾	3,000	30 ⁽¹²⁾	35 ⁽¹⁾⁽³⁷⁾	5	20	35	14.5	none	none	none	none
2. Single-family attached townhouse on one lot or individual lots (Suburban Type) ⁽³⁰⁾⁽³²⁾⁽³³⁾	2,000 ⁽²⁶⁾	20 ⁽²⁶⁾	35 ⁽¹⁾	5	20	35	12	1	0.5	0.25	none
3. Single-family attached townhouse on one lot or individual lots (Urban Type) ⁽³⁰⁾⁽³²⁾⁽³³⁾⁽³⁴⁾	2,000 ⁽³⁶⁾	20 ⁽³⁶⁾	20 ⁽¹⁾⁽³⁴⁾	5	20	45 ⁽³⁴⁾	12	1	none	none	none
4. Other uses permitted	6,000	30 ⁽¹²⁾	30 ⁽¹⁾	10	20	35	none	none	none	none	35
R-MO DISTRICT											
1. Mobile homes	4,000	40 ⁽¹²⁾	25 ⁽¹⁾	10	15	12	10.9	none	none	none	none
CM-R DISTRICT											
1. Single-family detached	5,000	50 ⁽¹²⁾	35 ⁽¹⁾⁽²⁹⁾	10	20	35	8.7	none	none	none	none
2. Two-family dwellings	5,000	50 ⁽¹²⁾	30 ⁽¹⁾	10	20	35	16	none	none	none	none
3. Single-family attached or detached with zero lot line (max. 2 units attached) ⁽⁷⁾⁽³¹⁾	2,500	30	35 ⁽¹⁾	5	20	35	16	none	none	none	none
4. Single-family attached townhouse dwellings ⁽³⁰⁾	2,500	50 ⁽¹²⁾	30 ⁽¹⁾	10	20	35	16 ⁽⁹⁾	0.3	0.48	0.7	none
5. Four-family dwellings	15,000	50 ⁽¹²⁾	30 ⁽¹⁾	5	25 ⁽⁴⁾	35	11.6	none	none	none	30
6. Medical offices, clinics, and other related uses	none	50 ⁽¹²⁾	30 ⁽¹⁾	10	20	60	none	none	none	none	none
CM DISTRICT											
1. Medical offices, clinics, and other related uses	none	50 ⁽¹²⁾	30 ⁽¹⁾	10	20	60	none	none	none	none	none
CM-RS-8 DISTRICT											
1. Single-family detached	8,000	50 ⁽¹²⁾	35 ⁽¹⁾⁽²⁹⁾	10	20	35	5.4	none	none	none	none
2. Medical offices, clinics, and other related uses	none	50 ⁽¹²⁾	30 ⁽¹⁾	10	20	60	none	none	none	none	none
OG-R DISTRICT											
1. Offices and other uses except	5,000	50 ⁽¹²⁾	30 ⁽¹⁾	10	20	35	none	0.3	0.28	0.6	none
2. Single-family detached	5,000	50 ⁽¹²⁾	35 ⁽¹⁾⁽²⁹⁾	10	20	35	8.7	none	none	none	none
3. Two-family dwellings	5,000	50 ⁽¹²⁾	30 ⁽¹⁾	10	20	35	17.4	none	none	none	none
4. Three-family dwellings	7,500	50 ⁽¹²⁾	30 ⁽¹⁾	10	20	35	17.4	none	none	none	30
5. Four-family dwellings	12,000	50 ⁽¹²⁾	30 ⁽¹⁾	10	20	35	14.5	none	none	none	30
6. Single-family attached or detached with zero lot line (max. 2 units attached) ⁽⁷⁾⁽³¹⁾	2,500	25 ⁽¹²⁾	35 ⁽¹⁾	5	20	35	17.4	none	none	none	none
OG DISTRICT											
1. Offices and other uses	5,000	50 ⁽¹²⁾	30 ⁽¹⁾	10	20	35	none	0.3	0.28	0.6	none
CL DISTRICT											
1. All commercial uses except	none	none ⁽¹³⁾	42	10 ⁽⁶⁾	20	35	none	none	none	none	none
2. Single-family detached dwellings ⁽²⁸⁾	7,500	50 ⁽¹²⁾	35 ⁽¹⁾⁽²⁹⁾	5	25	35	5.8	none	none	none	30
3. Two-family dwellings	7,500	50 ⁽¹²⁾	30 ⁽¹⁾	5	25	35	11.6	none	none	none	30
4. Three-family dwellings	11,250	50 ⁽¹²⁾	30 ⁽¹⁾	5	25	35	11.6	none	none	none	30
5. Four-family dwellings	15,000	50 ⁽¹²⁾	30 ⁽¹⁾	5	25	35	11.6	none	none	none	30



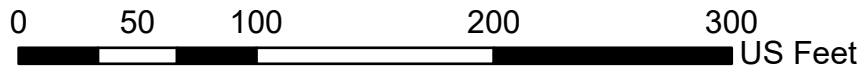
Rezoning request for property along East Vine Street
 RS-8 & CCO to PRD (Enclave at Vine Street PRD) & CCO



Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov



Rezoning request for property along East Vine Street
 RS-8 & CCO to PRD (Enclave at Vine Street PRD) & CCO



Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov

ENCLAVE AT VINE STREET

REQUEST FOR REZONING FROM SINGLE-FAMILY RESIDENTIAL (RS-8)/ CITY CORE OVERLAY (CCO) TO A PLANNED RESIDENTIAL DISTRICT (PRD)/(CCO)

Murfreesboro, Tennessee



Initial Submittal

May 16th, 2024

Resubmitted

June 7th, 2024

Resubmitted

June 11th, 2024

Resubmitted

June 27th, 2024 for the July 10th
Planning Commission Public Hearing

SEC, Inc.

SEC Project #24000

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Company Name: SEC, Inc.
 Profession: Planning.Engineering.Landscape Architecture
 Attn: Rob Molchan / Matt Taylor
 Phone: (615) 890-7901
 Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com
 Web: www.sec-civil.com

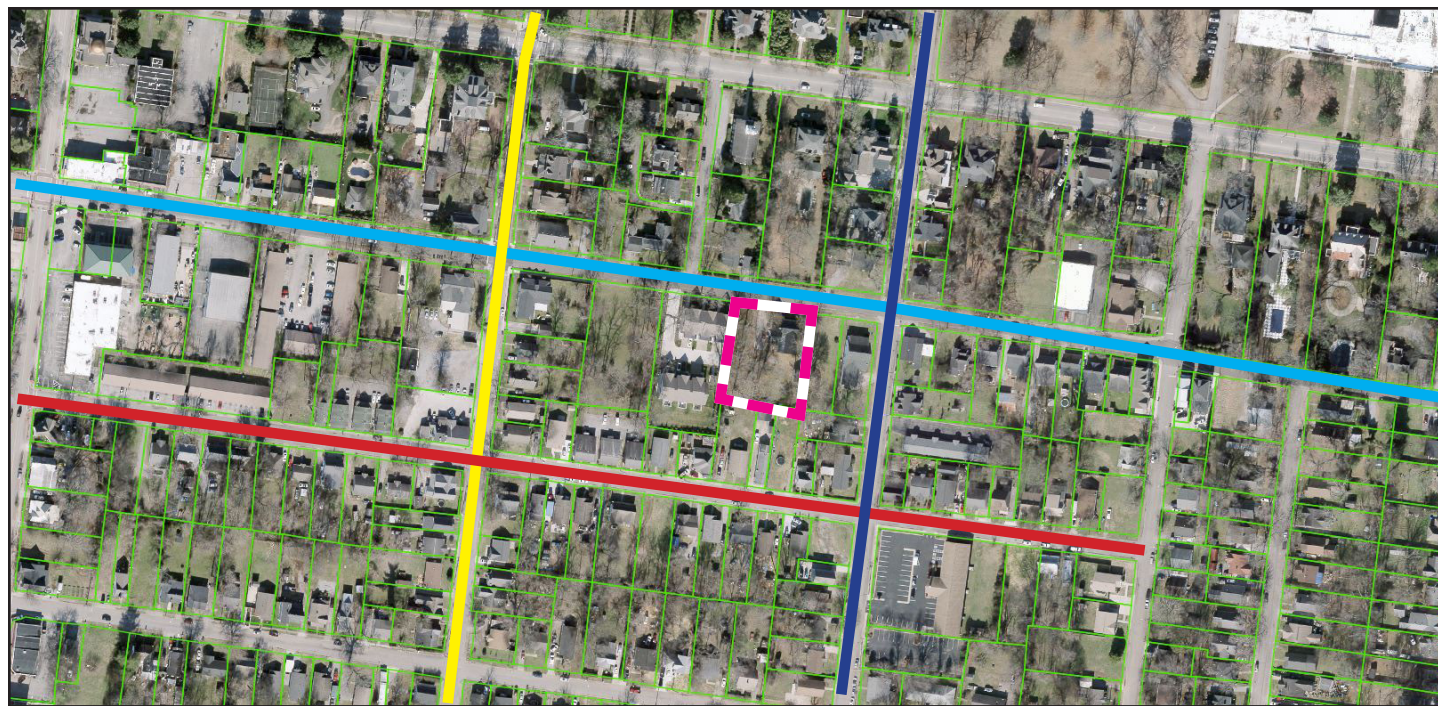
*850 Middle Tennessee Blvd.
 Murfreesboro, Tennessee 37129*

BIG RED HOLDINGS, LLC

Company Name: Big Red Holdings, LLC
 Profession: Developer
 Attn: Paul Seegert
 Email: paul.seegret@gmail.com

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AERIAL PHOTOGRAPH

Not To Scale

- East Vine Street
- South University Street
- South Highland Avenue
- East Sevier Street



Big Red Holdings LLC, respectfully requests rezoning of the 542 East Vine Street property from Single-Family Residential (RS-8) with City Core Overlay to Planned Residential District (PRD) with CCO to create the Enclave at Vine Street. The property is located on the south side of East Vine Street and west of South University Street. The site is identified as Parcel 3.00 of Tax Map 91M-L, and is approximately 0.57 acres (24,631sqft).

The development will consist of two duplexes for a total of four units on 0.57 acres, for a density of 7.02 dwelling units per acre. All homes will be created via a Horizontal Property Regime (HPR). The proposed homes will be a minimum of 2,000 square feet of living space. All homes will have a minimum of 3 bedrooms. The homes shall have shared, four-car detached garage with additional surface parking for residents and guests. Elevations will be constructed of primarily masonry materials to add quality and character to the development. The homes will include porches/stoops to emulate the surrounding neighborhood characteristics. Foundation landscaping shall be provided along the front elevation along East Vine Street and along the shared private drive. Lighting for the development shall comply with the City of Murfreesboro Zoning Ordinance. The entrance to the development will be located along East Vine Street, all drives in the development will be private. The H.O.A. will maintain all common areas, drive aisles, and driveways.



ZONING MAP

Not To Scale

- | | |
|---|--|
| RS-4 Residential Single-Family (RS-4) | CH Commercial Highway (CH) |
| RS-8 Residential Single-Family (RS-8) | CL Commercial Local (CL) |
| RS-15 Residential Single-Family (RS-15) | PRD Planned Residential District (PRD) |
| RM-16 Residential Multi-Family (RM-16) | |
| RD Residential Duplex (RD) | |



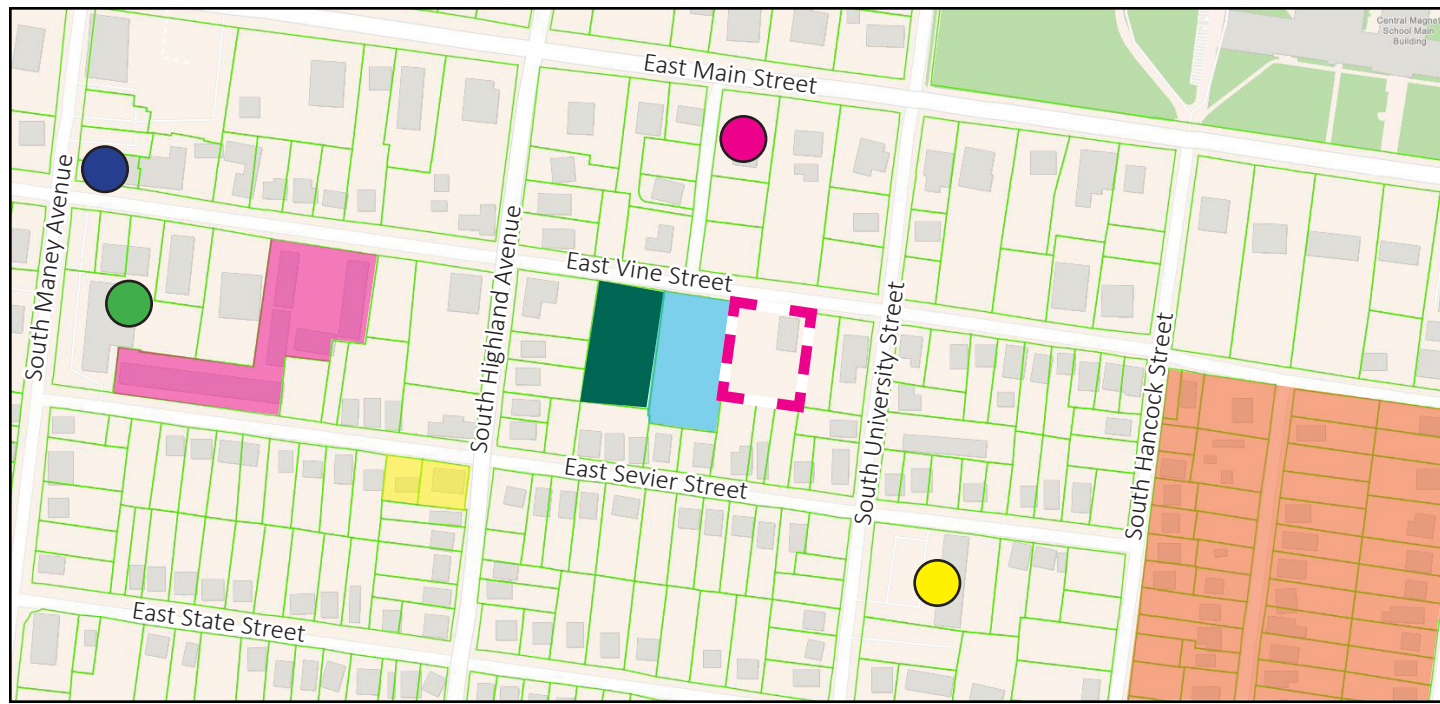
The surrounding area consists of a mixture of zoning types and uses. The lands to the west are zoned PRD. The land to the north and east is zoned RS-8. The land to the south is zoned RM-16. This development is within the City Core Overlay District.

2035 FUTURE LAND USE PLAN



The Murfreesboro Future Land Use Plan Amendment proposes this area as Mixed Form Housing (MH). The character of this land use includes a mixture of single-family detached and single-family attached residential buildings with architecture promoting a neighborhood feeling with porches, stoops, bays, and dormers. Generally compatible zoning districts include RS-10, RS-8, RS-6, RS-A1, RS-A2, RS-A3, R-D, PRD, & PUD.

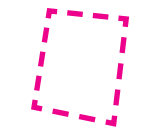
The proposed development aligns closely with the Murfreesboro Future Land Use Plan in terms of architecture, dwelling types, and proposed zoning.



SUBDIVISION MAP

Not To Scale

- | | | |
|----------------------|------------------------|---------------------------|
| East Vine Villas PRD | Bilbro | New Hope Church |
| East Vine Manor PRD | Town Square Apartments | Mid-Cumberland Head Start |
| The Fergusons | Cedar Grove Church | JDS Market |



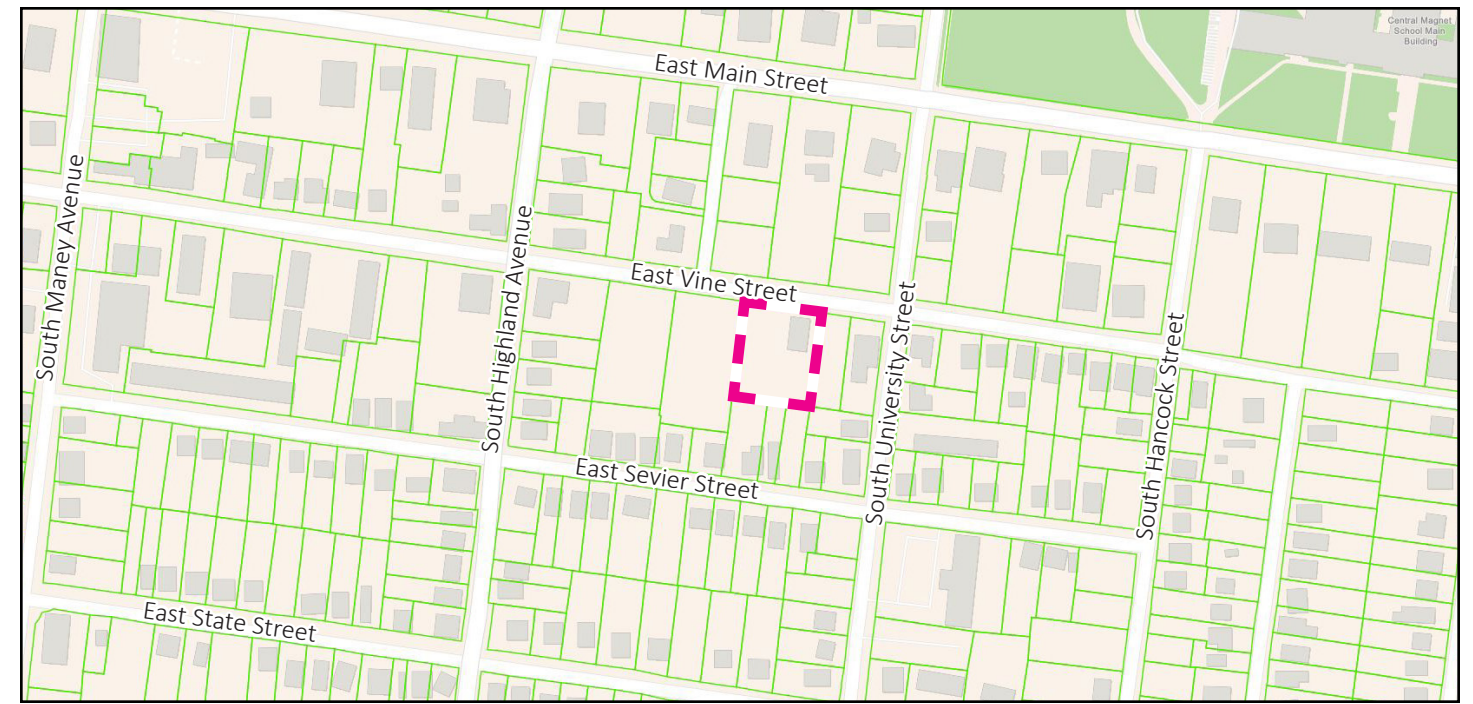
Site Boundary

The Enclave at Vine Street is primarily surrounded by a mixture of residential and institutional properties. Two properties similar to the proposed rezoning are just west of the site. East Vine Villas PRD is one of these properties consisting of six units in two single-family attached buildings. The exterior elevations consist of primarily brick and hardy board. There is one primary point of ingress/egress to the development from East Vine Street. The other similar property is East Vine Manor PRD, which was also recently approved. This property almost mirrors East Vine Villas' layout. It consist of a duplex unit along East Vine Street and a three unit townhome at the rear of the property. The buildings are proposed to be constructed of masonry materials and will be two-stories.

Town Square Apartments is an apartment complex to the west consisting of one and two-story residential units without garages. The exterior elevations consist of primarily hardy board with stone accents on the first floor. There are two main points of ingress/egress into the development; one from East Vine Street and one from East Sevier Street.

Bilbro is a large residential development to the east consisting of a mixture of one and two-story single-family detached homes. The elevations and building materials vary greatly across the development with brick, vinyl, and hardy board being the primary materials.

JDS Market is a commercial property to the west along East Vine Street. Mid-Cumberland Head Start and Central Magnet School are two educational institutions near the development which serve the surrounding neighborhoods. Several religious institutes are located near the development, such as Cedar Grove Church and New Hope Church.



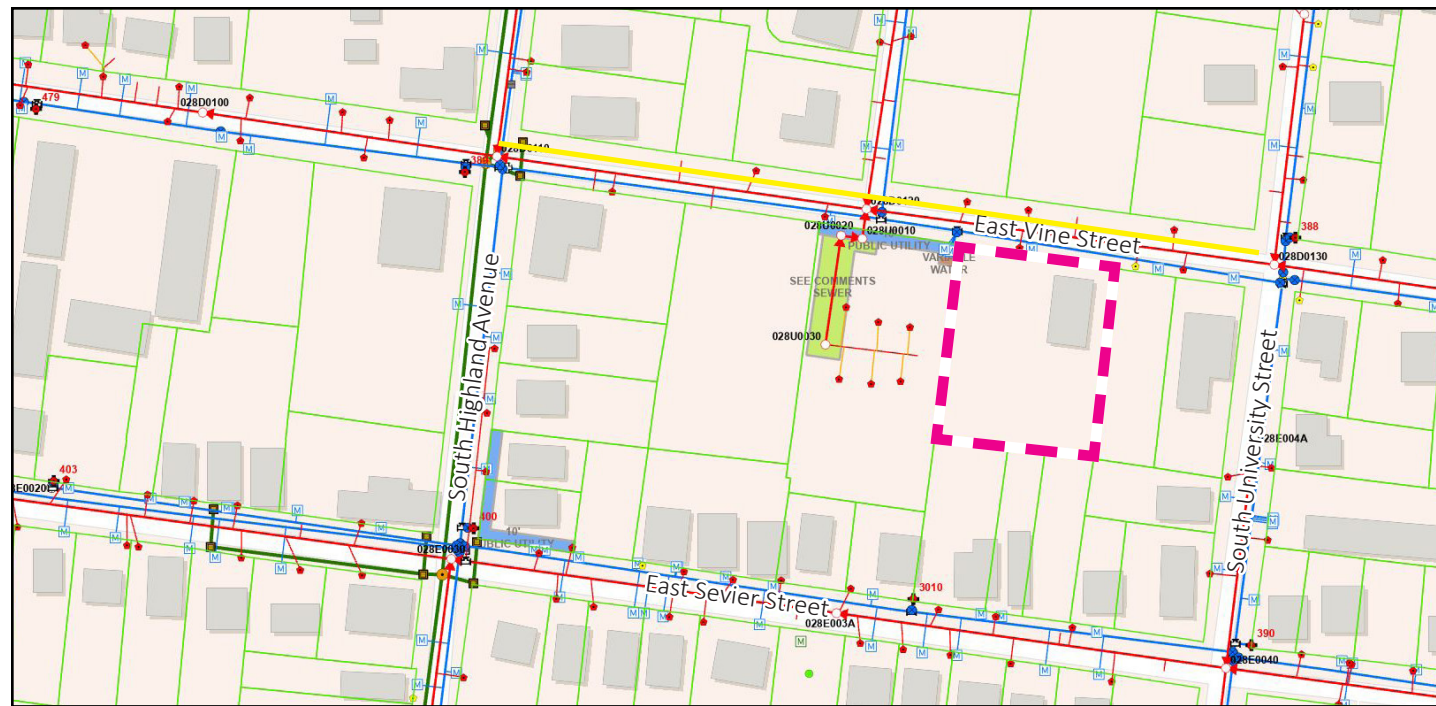
2040 MAJOR TRANSPORTATION PLAN

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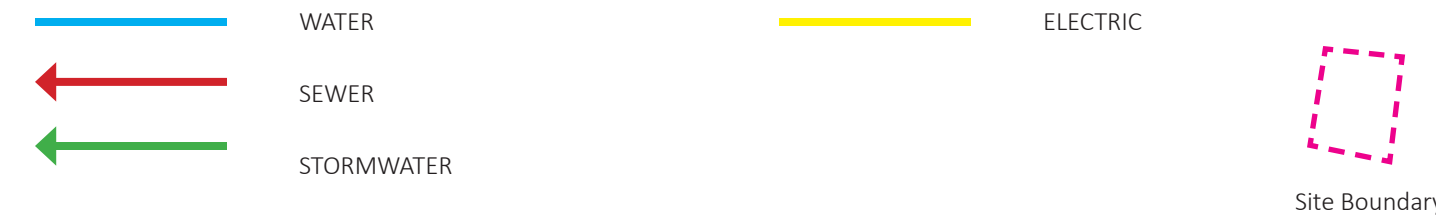
Site Boundary

The property has/will have access to the existing public rights-of-way of East Vine Street through one entrance. East Vine Street is currently up to date on the City of Murfreesboro 2040 Major Transportation Plan as a two-lane local street without curb and gutter. Sidewalks line both sides of the street and will be repaired if damaged during the construction process. A 10-ft wide public utility easement shall be provided along the site frontage.



UTILITY MAP

Not To Scale

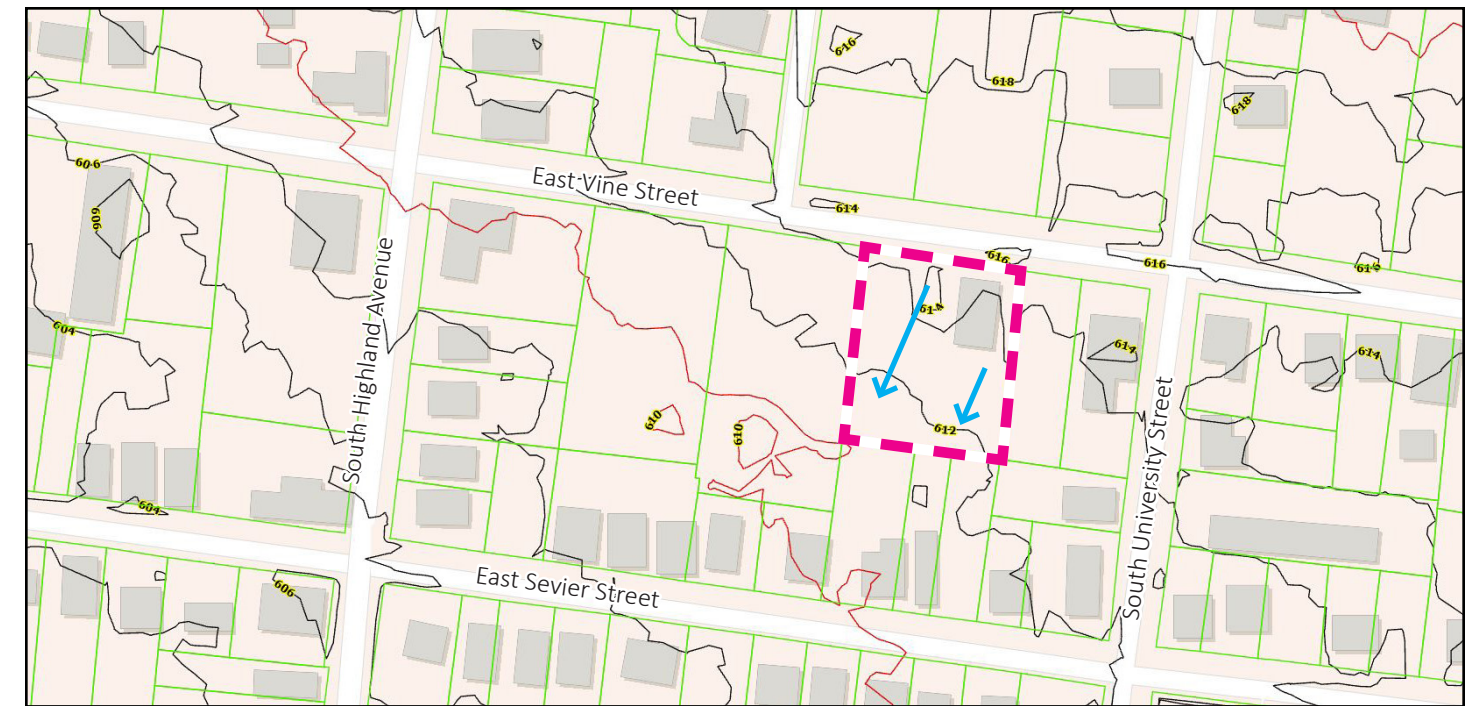


Water service will be provided by the Murfreesboro Water Resources Department. There is an existing 12 inch cast iron water line along East Vine Street for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service and setting a gang vault.

Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 8" PVC gravity sewer line within the R.O.W. of East Vine Street. There is an existing 6" PVC service line into the property from East Vine Street. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property. If the sewer main is extended into the site by more than 150 feet, a 30 foot wide sewer easement shall be required. Manhole must be set on existing line in street, requiring a road cut permit and mill, and overlay requirements. No doghouse manholes are allowed. Existing service to be cut and capped at the wye. Alternatives must be approved through the MWRD.



Electric service will be provided by Middle Tennessee Electric. Service will be extended from the north side of East Vine Street. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY AND TOPOGRAPHY

Not To Scale



The topographic map above shows the site's topographic high point generally at the northeast corner of the property. From this high point, the property drains towards the southwest. Stormwater that drains off this site flows to the west before ultimately ending up in Lytle Creek.

No portions of this development are within a recorded floodway or floodplain per FEMA Flood Panel 47149C0260J eff. 05/09/2023.

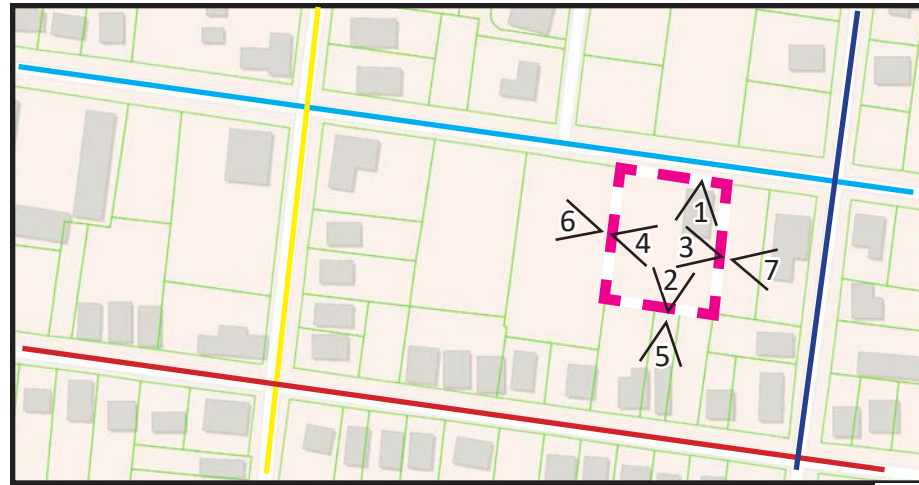


PHOTO DIRECTION MAP

Not To Scale

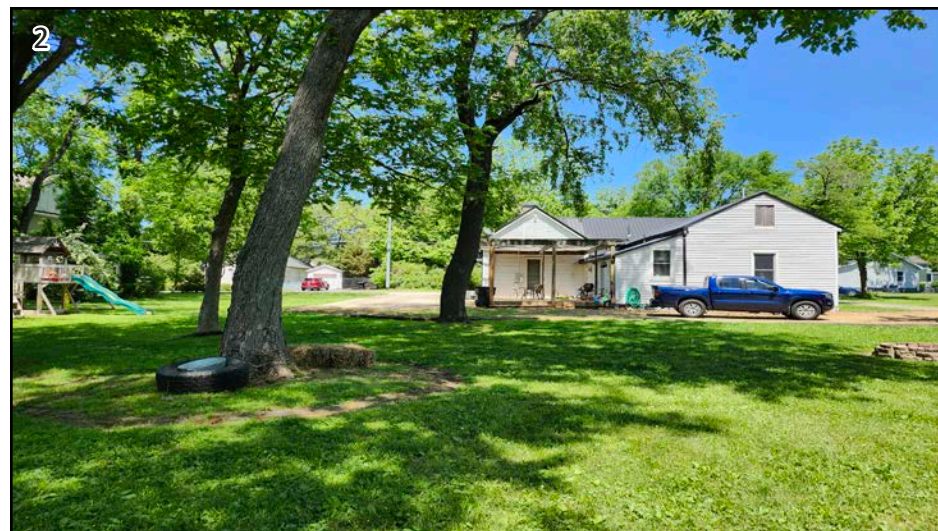
- East Vine Street
- South Highland Avenue
- East Sevier Street
- South University Street



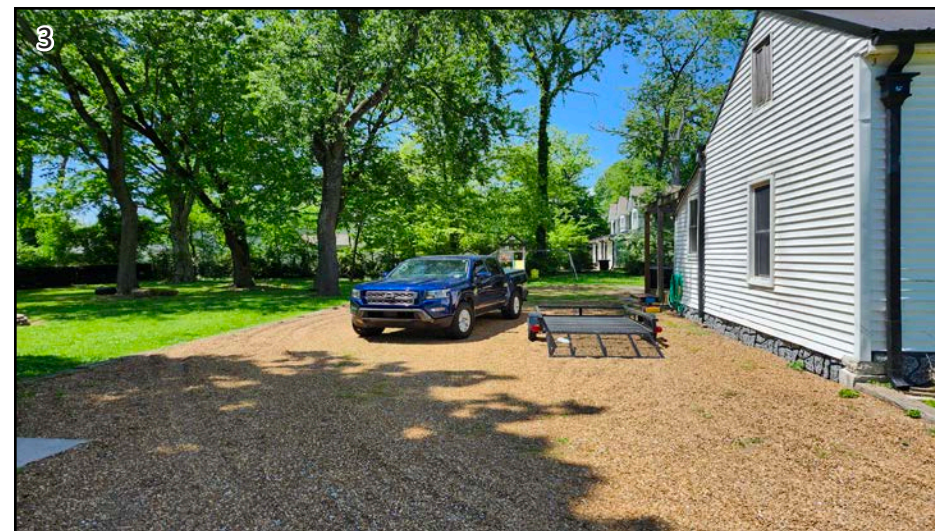
Site



VIEW EXISTING HOME FROM EAST VINE STREET LOOKING SOUTH



VIEW FROM EAST VINE STREET LOOKING SOUTH ON-SITE



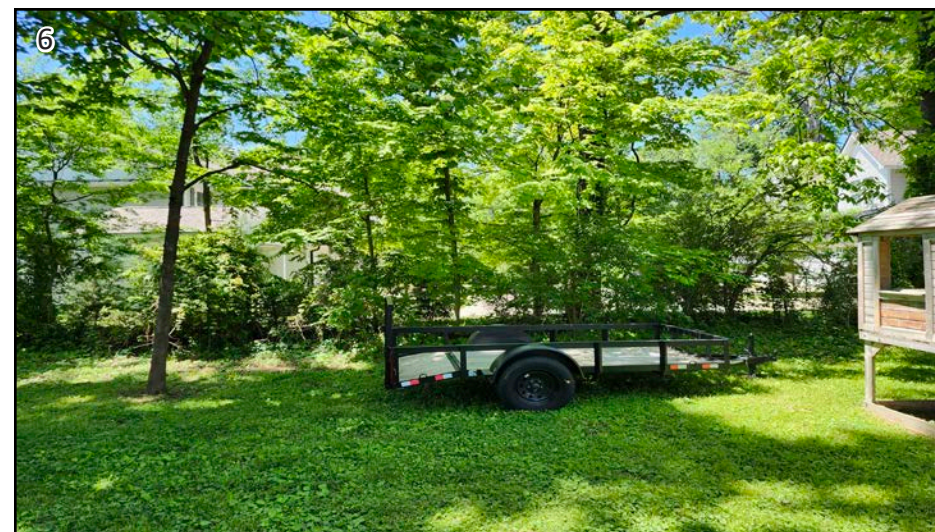
VIEW FROM MIDDLE OF SITE LOOKING WEST AT EXISTING NEIGHBOR'S FENCE



VIEW FROM MIDDLE OF SITE LOOKING WEST AT EXISTING NEIGHBOR'S FENCE



VIEW FROM SOUTHERN PERIMETER LOOKING SOUTH ONTO ADJACENT PROPERTY



VIEW FROM NEIGHBORING PROPERTY LOOKING WEST ON-SITE



VIEW FROM SOUTHERN BOUNDARY LOOKING NORTH TOWARDS EAST VINE STREET

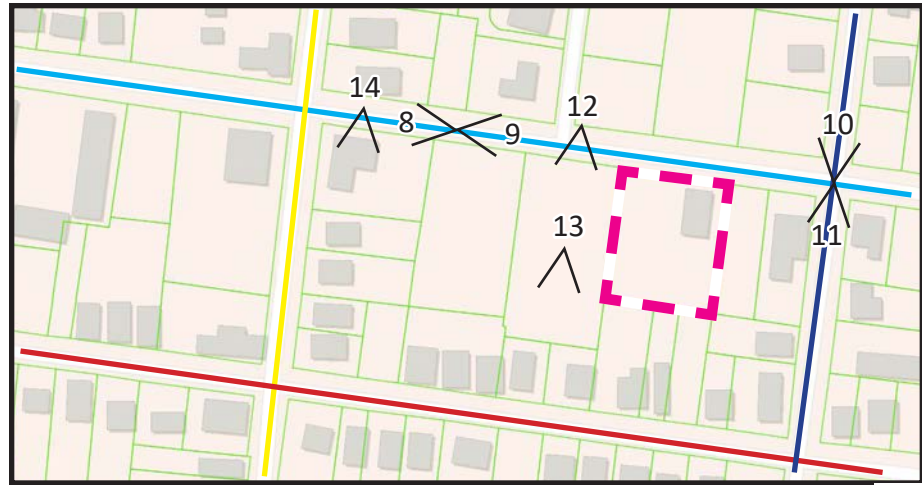


PHOTO DIRECTION MAP

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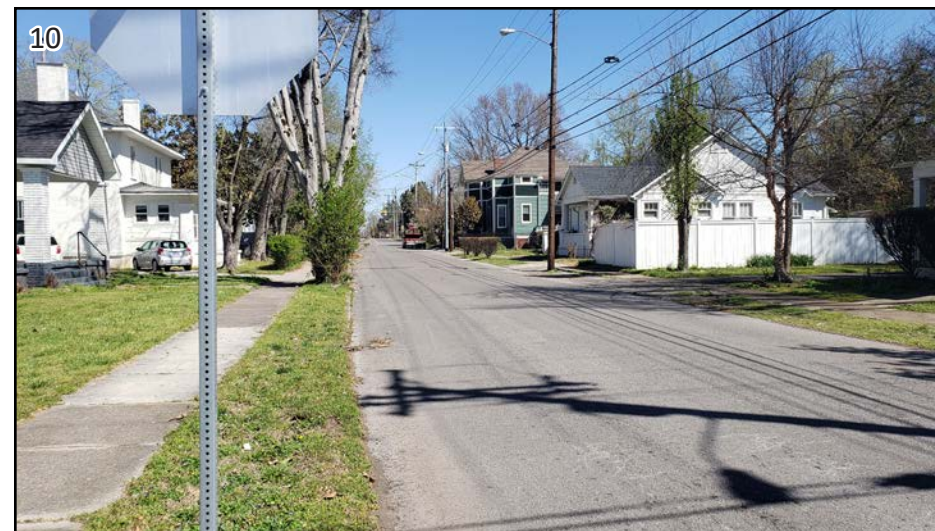
- East Vine Street
- South Highland Avenue
- East Sevier Street
- South University Street



VIEW FROM EAST VINE STREET ENTRANCE LOOKING WEST



VIEW FROM EAST VINE STREET ENTRANCE LOOKING EAST



VIEW FROM EAST VINE STREET/SOUTH UNIVERSITY STREET INTERSECTION LOOKING NORTH



VIEW FROM EAST VINE STREET/SOUTH UNIVERSITY STREET INTERSECTION LOOKING SOUTH



VIEW OF EXISTING EAST VINE STREET ELEVATION ON ADJACENT PROPERTY



VIEW OF EXISTING REAR ELEVATION ON ADJACENT PROPERTY



VIEW OF EXISTING FRONT ELEVATION ON ADJACENT PROPERTY

Site Data:







Total Land Area: ±0.57 Acres
 Total Number of Units: 4 Units
 Density: 5 Units/0.64 Acres = ±7.02 Units/Acre
 Maximum Lot Coverage Allowed: 50%
 Lot Coverage Provided: 29.5%

Required Open Space: ±0.10 Acres (15%)
 Min Provided Open Space: ±0.10 Acres (15%)
 Required Private Open Space: 200 SF (50 per Unit)
 Min Provided Private Open Space: 200 SF (50 per Unit)

Parking Requirements:

Number of Bedrooms Per Unit= 3 bedrooms
 (3 BR x 1 Space per BR) x 4 Units = 12 Spaces

Parking Provided:
 Surface Spaces = 8 Spaces
 Garage Spaces = 4 Spaces
 Visitor Spaces = 2 Spaces
 Total Parking Provided: 14 Spaces (of which 2 are surplus)

-  Duplex Units
-  Open Space
-  Roadway
-  Sidewalk
-  6' PVC Privacy Fence
-  4' PVC Privacy Fence

Site Setbacks

Front Build-to-Line (East Vine Street): 15-feet*
 Side Setbacks: 5-feet
 Rear Setback (Southern Perimeter): 20-feet**

*Front Build-to-Line shall apply to porches.
 **Rear Porches shall be permitted to encroach up to 5-ft into rear setbacks.





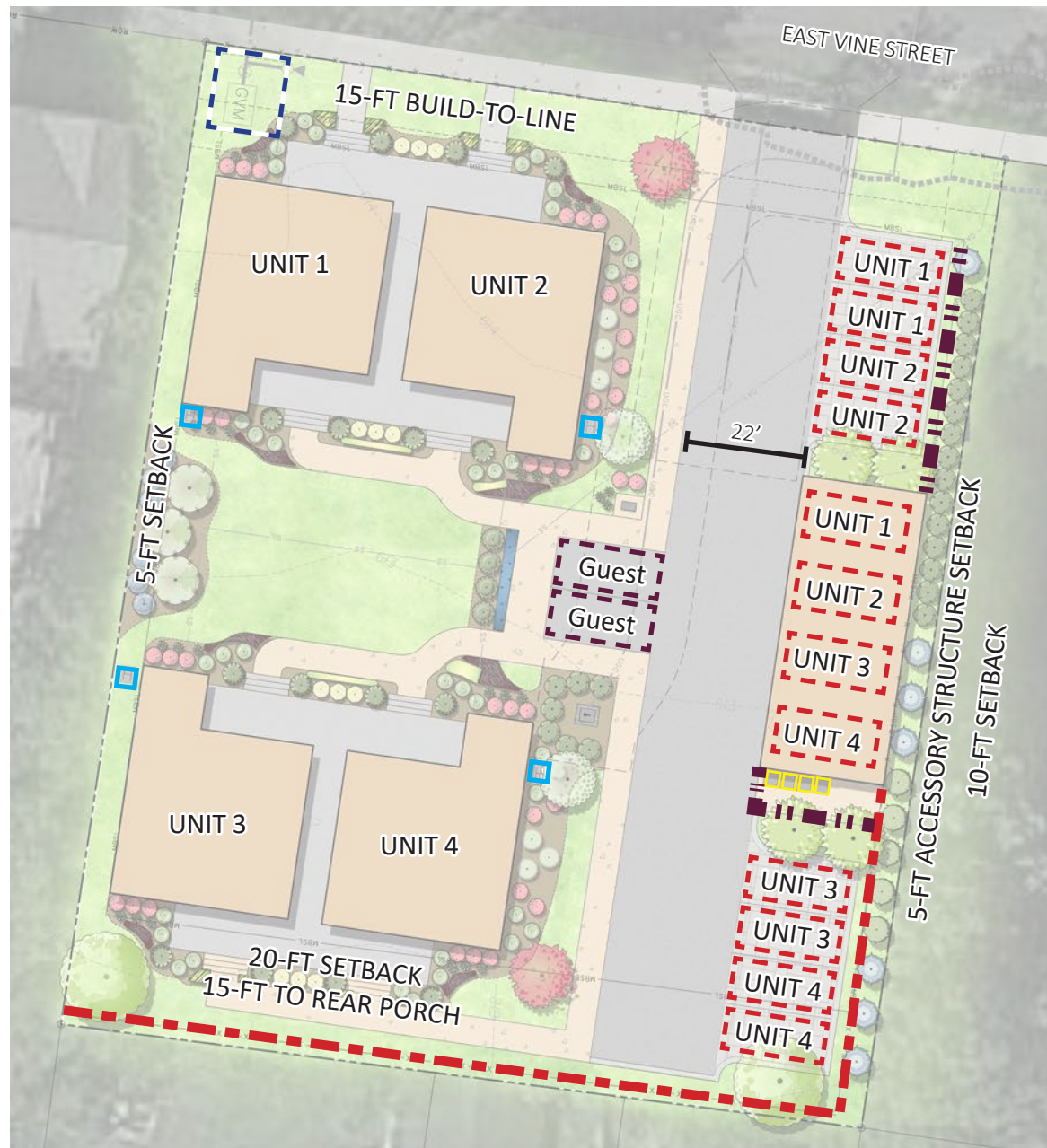
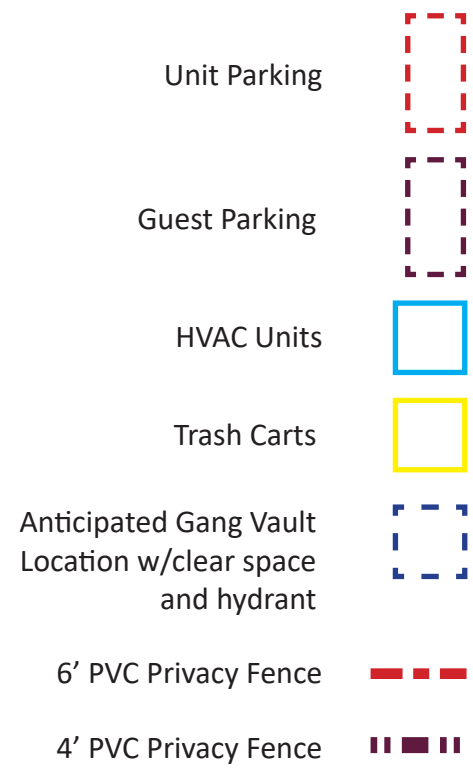
EXAMPLE OF CENTRALIZED MAIL KIOSK



EXAMPLE OF ON-SITE LIGHTING

Development Standards:

- 4 duplex units with 3 bedrooms each.
- Duplex units within this development shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder of the duplex units within the development shall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity.
- Home occupations, accessory to a principal residential use, shall be permitted in this planned development if they demonstrate that they will comply with the administrative home occupation standards in the Murfreesboro Zoning Ordinance, as they may be amended from time to time. Home occupations that do not comply with said administrative home occupation standards shall not be permitted in this planned development.
- The garage spaces/units shall be assigned to a duplex unit. At no time will the garage be sold or leased separately from the assigned unit. This shall be recorded within the CC&Rs and enforced by the HOA.
- The units will be a minimum of 2,000 feet of living area.
- Each unit shall be recorded via a Horizontal Property Regime.
- An enhanced Landscape Planting Area will be constructed along the length of the eastern perimeter. The landscape shall consist of a single row of evergreen tree. The proposed landscape area, at garage locations, shall be modified to a single row of evergreen shrubs to accent the garages. Trees and shrubs planted in this buffer shall adhere to the plant size standards at initial installation per the City of Murfreesboro zoning ordinance.
- There shall be a minimum 3-ft wide landscape bed located along the front elevation facing East Vine Street and along the side elevations facing the access drive.
- All mechanical equipment (i.e. HVAC and transformers) to be screened via shrubs or fencing.
- HVAC units will be located at the rear or side of each unit.
- All on-site utilities will be underground.
- Solid waste shall be handled via individual trash bins stored between the garages. Bins shall be rolled out to the street on the day of trash pick-up and rolled back after pick-up.
- Trash bins shall be screened from adjacent parcels via buildings, landscaping, or fencing.
- Mail service will be provided via a mail kiosk for all postal deliveries.
- On-site lighting shall comply with the City of Murfreesboro ordinance.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed, but is anticipated to utilize permeable pavers as shown in the site layout.
- All home owners will be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by a 3rd party management company.
- HOA will be managed by independent 3rd party management company.
- The common areas will be owned and maintained by an H.O.A.
- The shared main drive, surface parking, and storm water system will be private and maintained by the H.O.A.



Example of 6' White PVC Privacy Fence



Example of 4' White PVC Privacy Fence

Site Setbacks

Front Build-to-Line (East Vine Street): 15-feet*
 Side Setbacks: 5-feet
 Rear Setback (Southern Perimeter): 20-feet**

* Front Build-to-Line shall apply to porches.
 ** Rear Porches shall be permitted to encroach up to 5-ft into rear setbacks.

Parking Requirements:

Number of Bedrooms Per Unit= 3 bedrooms
 (3 BR x 1 Space per BR) = 12 Spaces

Parking Provided:
 Surface Spaces = 6 Spaces
 Garage Spaces = 6 Spaces
 Visitor Spaces = 2 Spaces
 Total Parking Provided: 14 Spaces (of which 2 are a surplus)

Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- All buildings will be 2-story
- All units will have a maximum of 3 bedrooms
- All units will have eaves
- Garages will have decorative doors with windows that will complement the building architecture.

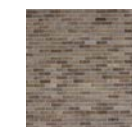
Building Materials:

All Elevations: Masonry Materials (Brick, Stone, Fiber Cement Board, etc.)
 Painted brick will only be allowed in base of front and rear porch columns

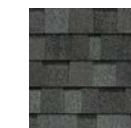
All Elevations: Vinyl Only Permitted in Trim & Soffit Areas



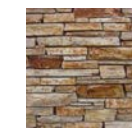
Example of Fiber Cement Board
 (Different colors will be allowed at water table)



Example of Brick
 (Different colors, cuts, patterns will be allowed at water table)



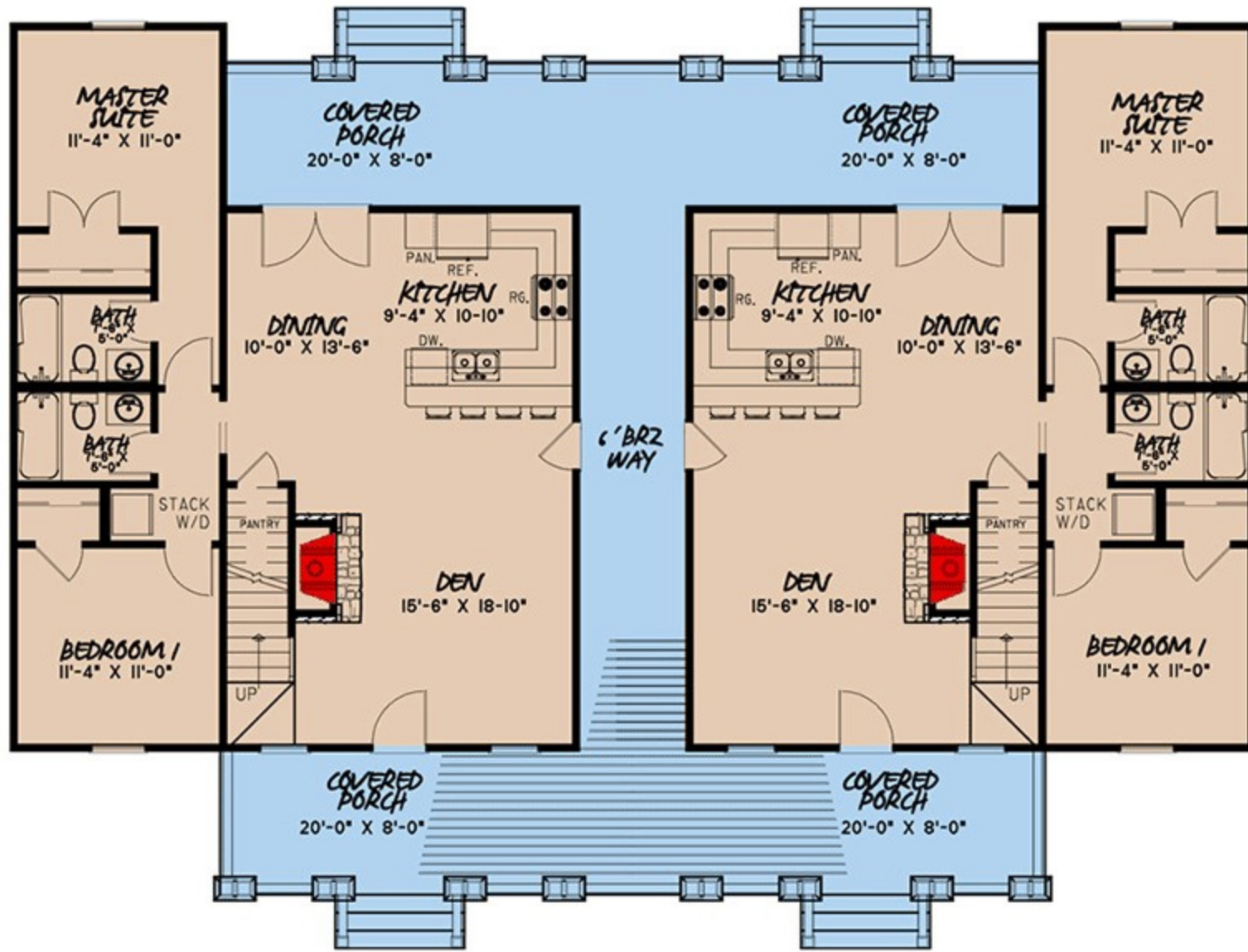
Example of Garage Asphalt Shingles
 (Different colors will be allowed)



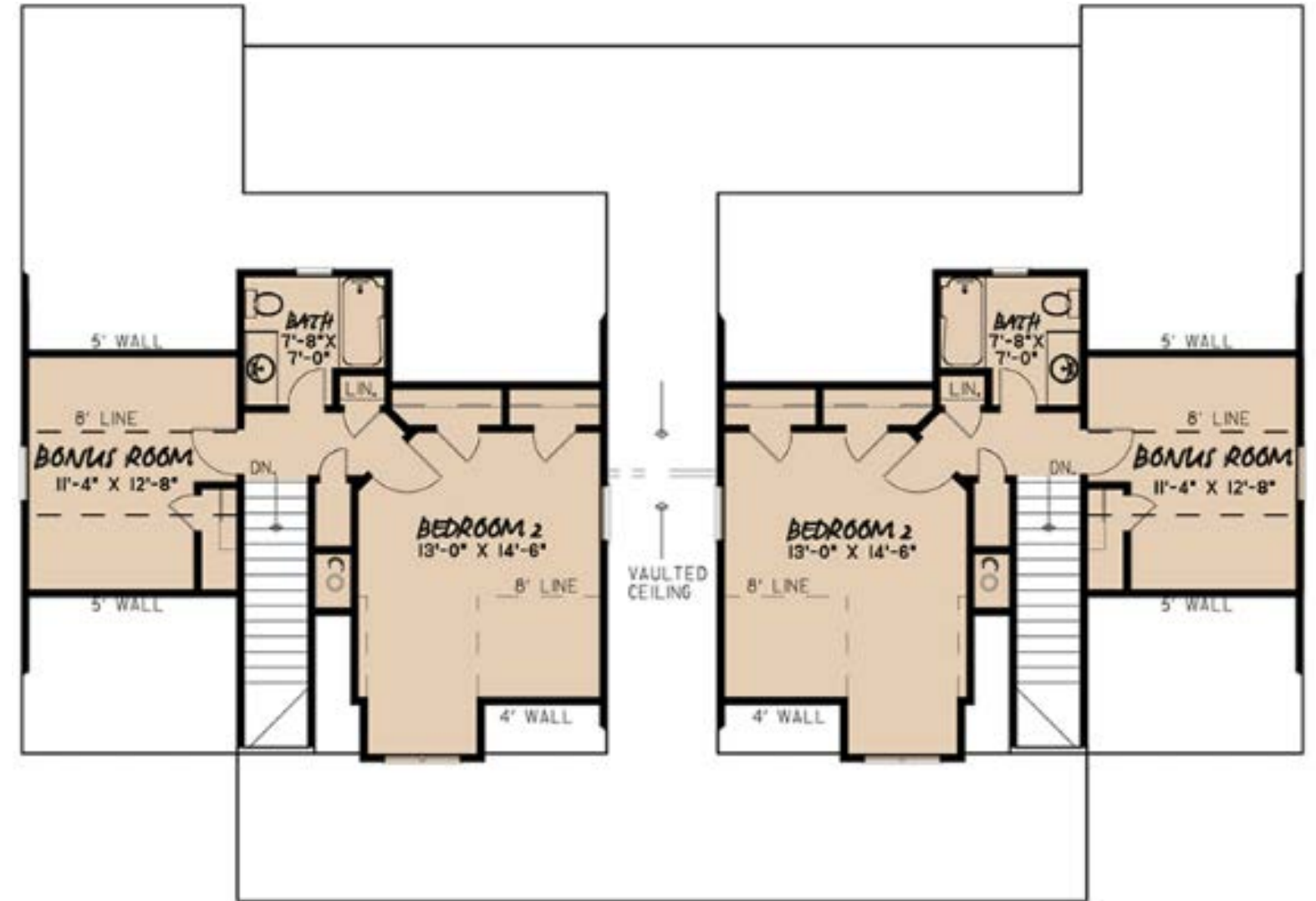
Example of Stone Veneer
 (Different colors, cuts, patterns will be allowed at water table)



Example of Standing Metal Seam Roof
 (Different colors will be allowed)



Example 1st Floor Plan



Example 2nd Floor Plan



Raised porch along East Vine Street shall include a min 18" water table.

Front elevation as seen from East Vine Street



Rear elevation as seen from center courtyard



Side elevation as seen from shared private drive



Rear elevation as seen from western property



Garage Elevation facing private drive shall include a min 24" water table.

Example of front garage elevation as seen from hared private drive garage



Rear garage elevation as seen from adjacent property



Side elevation as seen from East Vine Street

Side Garage Elevations shall include a min 24" water table.



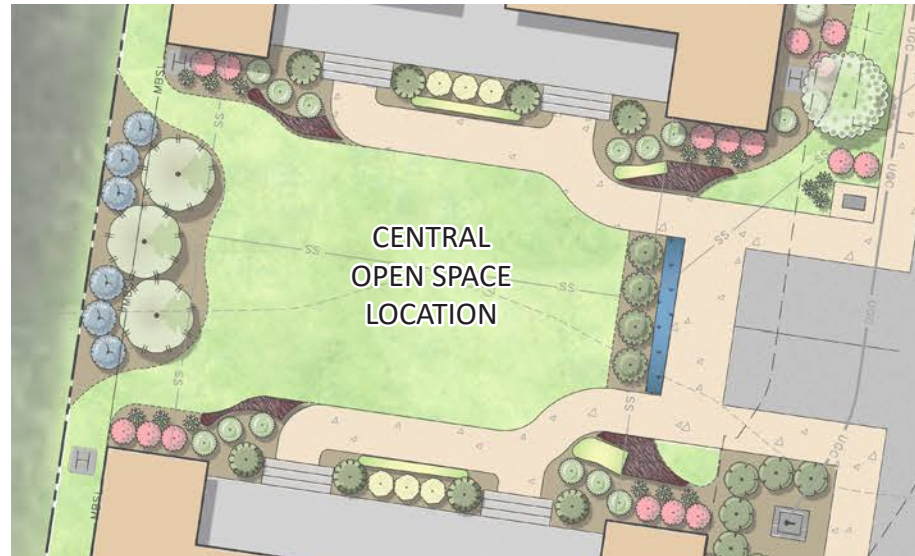
Pursuant to the City of Murfreesboro’s 2040 Major Transportation Plan (MTP), none of the roadways around or within this development are slated for improvements. East Vine Street is a local roadway where all of the vehicular trips generated by this development will impact. It is currently built as a 2-lane cross-section without curb and gutter, however existing sidewalk is along the southern side of the street in front of this development.

As stated above, the primary means of ingress/egress from this site will be onto East Vine Street. The entrance is proposed to incorporate two travel lanes with a 22-ft asphalt width for proper circulation into and out of the development onto East Vine Street. There will be one lane for traffic entering this development as well as a single lane for traffic exiting the development. The illustration above shows the proposed entrance to the development. The illustration on the right shows the proposed vehicular and pedestrian circulation paths through the development.

The drives and parking areas within the development will be private, and built in accordance with Murfreesboro standards.



VEHICULAR CIRCULATION ———
 PEDESTRIAN CIRCULATION ———



With this request, The Enclave at Vine Street will be dedicating 0.09 acres (15% of the site) to open space. The open space areas will be comprised of usable open space and the yard along East Vine Street. Tenants, upon mutual agreement and HOA approval, will have the ability to add additional features in the Central Open Space. Such additions may consist of a community fire pit, an open play lawn, outdoor seating, grilling area, or pavilion. Additional amenities can be approved, pending tenant agreement and HOA approval within the Central Open Space.

LOCATION MAP - AMENITIES

Not To Scale



Example of Community Pavilion



Example of Community Fire Pit



Example of Open Play Lawn



Example of Outdoor Seating



- Enhanced Landscape Planting (Evergreen Trees)
- Enhanced Landscape Planting (Evergreen Shrubs)
- 3-ft Wide Foundation Plantings
- Private Open Space (50 sqft per unit)
- Central Open Space
- 6' PVC Privacy Fence
- 4' PVC Privacy Fence

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below.

Landscaping Characteristics:

- A minimum 5 feet of landscape area between parking and all adjacent property lines.
- Public rights-of-way screened from parking by use of landscaping.
- An enhanced Landscape Planting Area will be constructed along the length of the eastern perimeter in lieu of a Type 'D' Buffer. The landscape shall consist of evergreen trees and shrubs. The proposed landscape, at garage locations, shall provide a single row of evergreen shrubs to accent the garages, locations not along the garages shall utilize evergreen trees. Trees and shrubs shall adhere to the plant size standards at initial installation per the City of Murfreesboro zoning ordinance.
- All above ground utilities and mechanical equipment screened with landscaping and/or fences.
- Solid waste shall be handled via individual trash cans stored between the garages. Cans shall be rolled out to the street on the day of trash pick-up.
- Builder shall install sod in all front and secondary front yards. Seed and straw will be installed in all side and rear yards.
- There shall be a minimum 3-ft wide landscape bed located along the front elevation facing East Vine Street and the side elevation facing the private drive. Foundation plantings shall not be required along any other foundation.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.
- A minimum of 50 square feet of private open space shall be provided for each unit in the form of front or rear porches per the City Core Overlay (CCO) standards.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: The exhibits shown on Pages 3-7 provide the required materials.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: The exhibits shown on Pages 3-7 provide the required materials.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: The exhibits shown on Pages 3-7 provide the required materials.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: The exhibits shown on pages 8-9 provide the required materials.

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: The exhibits shown on pages 8-9 provide the required materials.

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

Total Site Area	24,631 sqft
Total Maximum Floor Area	6,400 sqft
Total Lot Area	24,631 sqft
Total Building Coverage	5,000 sqft
Total Drive/Parking Area	5,526 sqft
Total Right-Of-Way	N/A
Total Livable Space	19,105 sqft
Total Open Space	4,926 sqft
Floor Area Ratio (F.A.R.)	0.26
Livability Space Ratio (L.S.R.)	0.57
Open Space Ratio (O.S.R.)	0.80

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned RS-8 with CCO. The surrounding area has a mixture of residential properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in one phase.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Page 9.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: See Page 17 for requested exceptions and setbacks.

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is within the City Core Overlay District and the Airport Overlay District. This property is not in the Gateway Design Overlay District, Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). A portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0260J Eff. Date 05/09/2023.

12.) The location and proposed improvements of any street depicted on the Murfreesboro 2040 Major Transportation Plan as adopted and as it may be amended from time to time.

Response: Pages 4 & 14 discusses the 2040 Major Transportation Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is 520 Vine Street, LLC. Contact info for both is provided on Page 2.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 10-13 show the architectural character of the proposed buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: No signage is being proposed for this development.

RSA-2 & CCO COMPARISON

Land Use Parameters and Building Setbacks				
Zoning (Existing vs Proposed)	RSA-2	City Core Overlay District	Proposed PRD (SFA) Townhomes	Difference
Residential Density				
Maximum Dwelling Units Multi-Family	12 Units / Acre	N/A	7.02 / Acre	0
Minimum Lot Area	2,000 sqft per unit	N/A	6,000 sqft per unit	+6,000 sqft
Minimum Lot Width	20'	N/A	N/A	N/A
Minimum Setback Requirements				
Minimum Front Setback/Build-To-Line from East Vine Street	35'/NA	NA/16.5' (±2')	15'	0'
Front Porch Encroachment	5'	5'	0'	-5'
Minimum Side Setback	5'	5'	5'	0'
Minimum Rear Setback to Southern Property Line	20'	20'	20'	0'
Land Use Intensity Ratios				
MAX F.A.R.	1.0	1.0	None	N/A
Minimum Livable Space Ratio	0.5	0.5	.57	+.07
Minimum Open Space Ratio	.25	N/A	.80	N/A
Open Space Requirements				
Minimum Open Space Requirement	20%	15%	15% Per CCO	NA
Minimum Private Open Space Requirement	N/A	50 sqft a unit	50 sqft a unit	0 sqft
Minimum Formal Open Space Requirement	5%	0%	0%	0
Max Height	45'	35'	35'	0'
Lot Coverage	N/A	Maximum of 50%	Maximum of 50%	0%

REQUESTED EXCEPTIONS:

1. Requesting an exception to allow encroaching porches to impact up to 70% of the buildings façade versus the 50% CCO Standard.
2. Allow a 5' modified planting area / fencing along the eastern property line versus a 15' wide type "D" buffer in this area.
3. Eliminate the 'base of building plantings' along the west side of the buildings and follow the more focused landscape near the central open space.
4. Eliminate 'perimeter planting' requirements, and use the alternative layout shown in the program book.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
JULY 10, 2024
PROJECT PLANNER: MATTHEW BLOMELEY**

7.a. Street renaming [2024-902] to rename a segment of Butler Drive north of Joe B Jackson Parkway to “Kenny Pipe Court”, City of Murfreesboro Administration Department applicant.

Section 5.2 of the Subdivision Regulations states that “The Planning Commission shall have final authority over street names.” It also states that “The proposed name of a subdivision, or street within the subdivision, shall not duplicate or closely approximate phonetically, the name of any other subdivision or street within the limits of the City of Murfreesboro or the jurisdictional area of Rutherford County.”

When the Joe B Jackson Parkway/I-24 interchange was originally constructed in the early 2000s, Butler Drive had to be realigned to the west to avoid the interchange. However, the design of the intersection of Butler and Joe B Jackson was less than ideal, as it is very near the I-24 on- and off-ramps. The City is currently constructing a realignment of the Butler Drive/Joe B Jackson Parkway intersection to move it west, further from the interstate ramps. The substantial completion date of this project is February 2025. Likewise, Elam Road’s intersection with Joe B Jackson Parkway to the south is being realigned with the Buc-ee’s development. The Elam realignment is anticipated to be completed this fall. Eventually, at an undetermined point in the future, the Butler/Elam/Joe B Jackson intersection will be signalized.

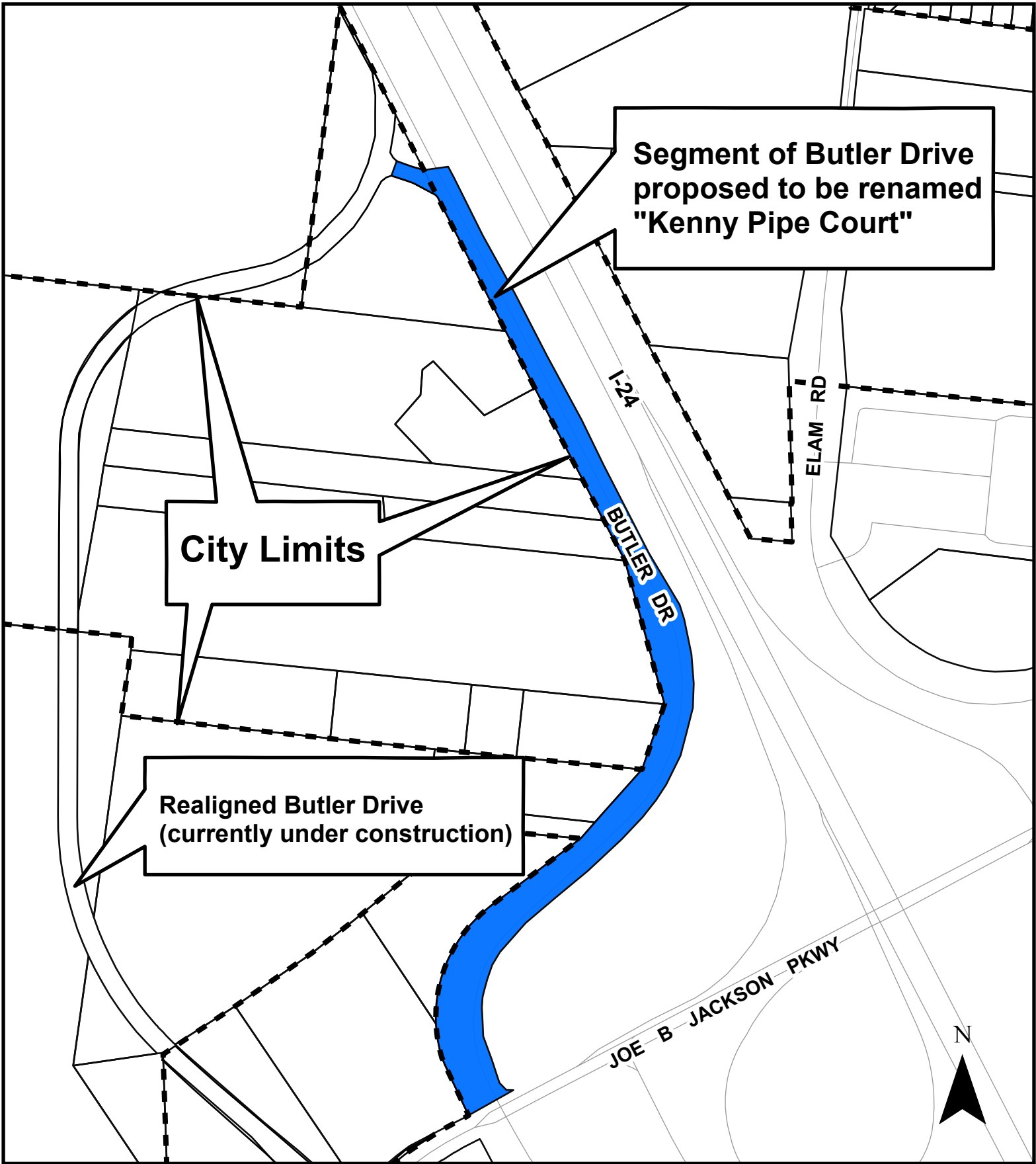
As a part of the Butler Drive realignment, the southernmost segment of the existing Butler Drive will intersect with the realigned Butler Drive in a “T” intersection adjacent to the Mahle property at 906 Butler Drive. This remnant segment of Butler Drive, which is approximately 3,300’ in length, will terminate in a cul-de-sac just north of Joe B Jackson Parkway. Because it will be a separate street from the realigned Butler Drive and there cannot be two streets with the same street name, it needs to be renamed.

City Administration proposes that the Planning Commission consider renaming the segment of Butler Drive in question to “Kenny Pipe Court.” Kenny Pipe and Supply is a Nashville-based plumbing supply business with locations in Tennessee, Alabama, and Georgia. Kenny Pipe and Supply built a 104,000 ft² distribution center along this segment of Butler Drive in 2019. Rutherford County E-911 has reviewed the proposed “Kenny Pipe Court” street name and has approved its use for this location. Staff has reviewed the existing conditions and determined that there are six addresses that will be affected by this renaming, including addresses

for the Kenny Pipe facility, a daycare center, and four houses.

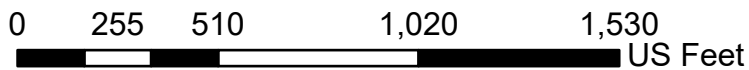
Action Needed:

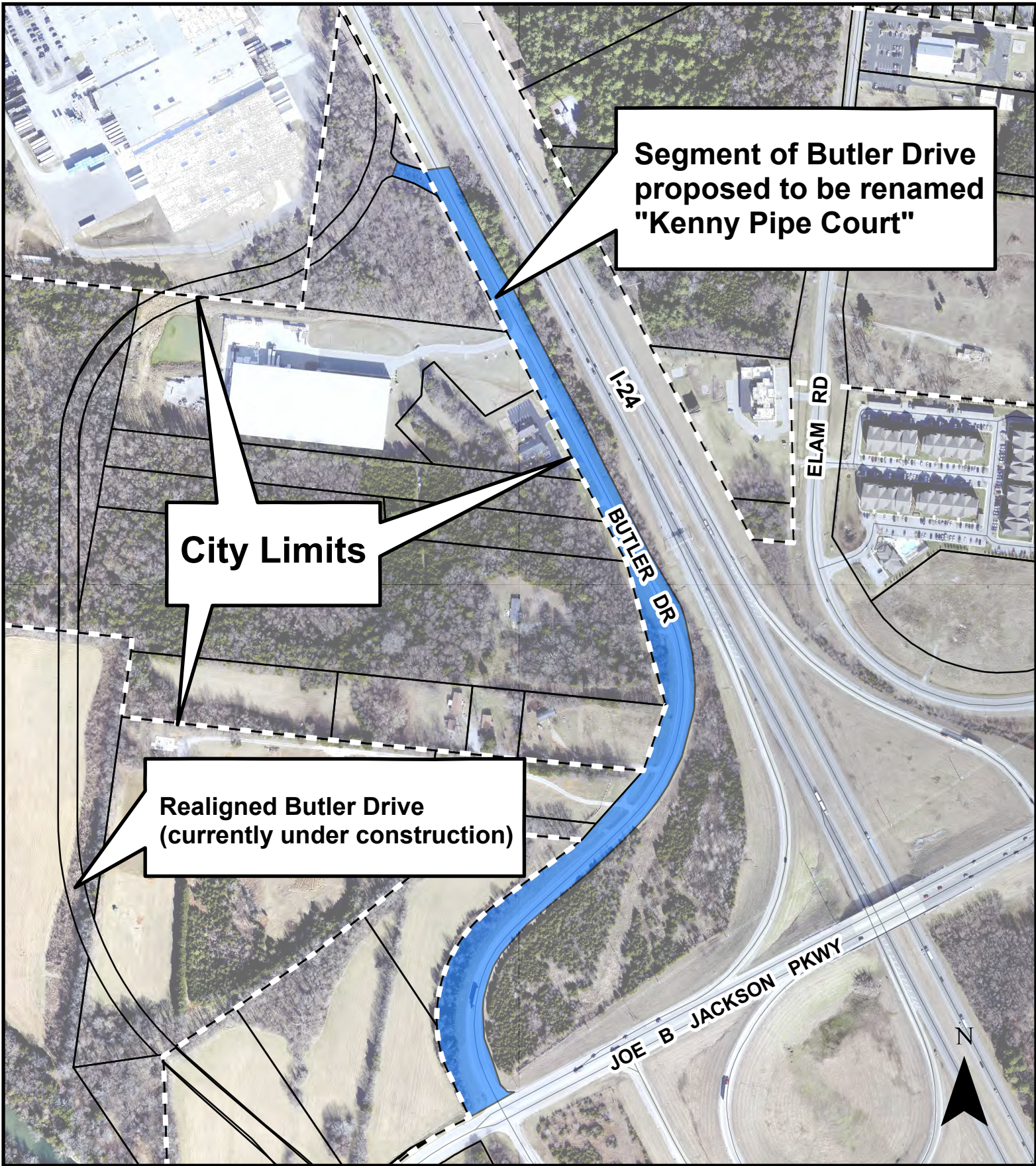
The Planning Commission will need to conduct a public hearing and then vote on this matter.



Request to rename a segment of Butler Drive to "Kenny Pipe Court"

Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov





**Segment of Butler Drive
proposed to be renamed
"Kenny Pipe Court"**

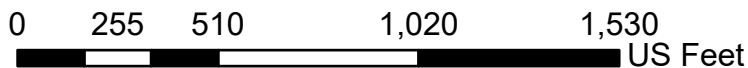
City Limits

**Realigned Butler Drive
(currently under construction)**



**Request to rename a segment of
Butler Drive to "Kenny Pipe Court"**

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov





**MEMORANDUM
CITY OF MURFREESBORO
LEGAL DEPARTMENT**

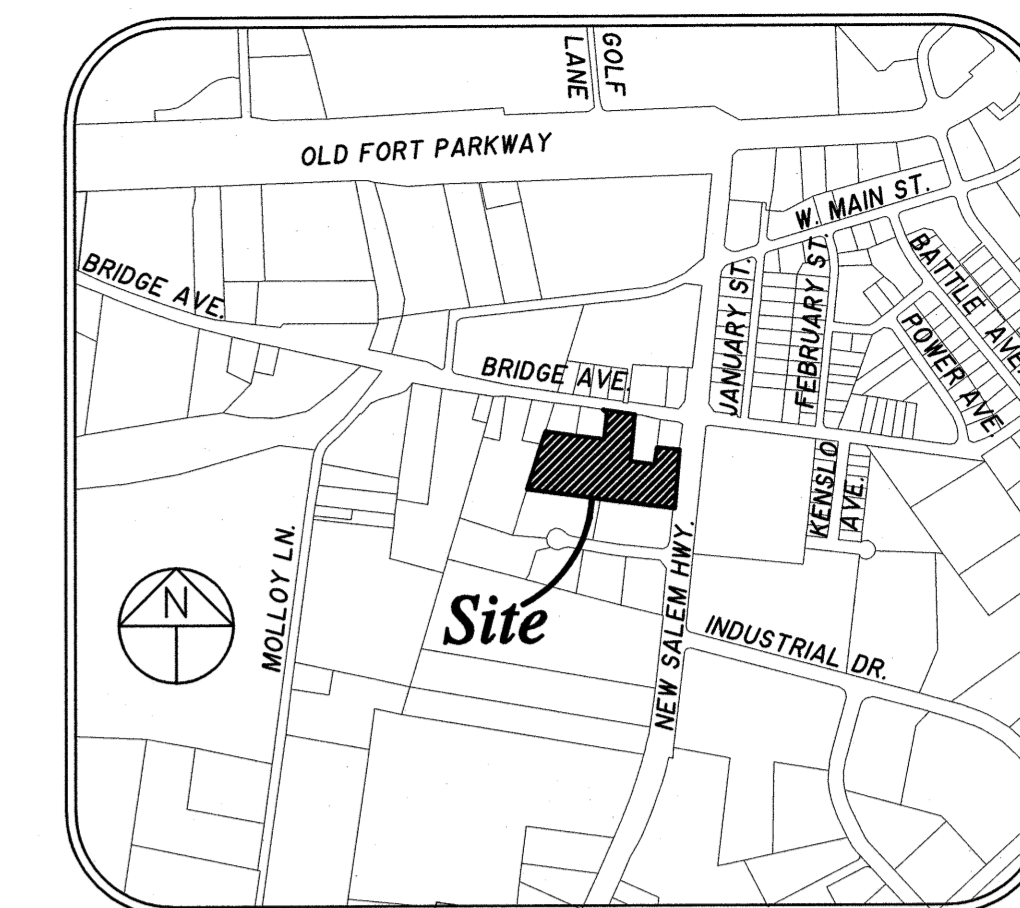
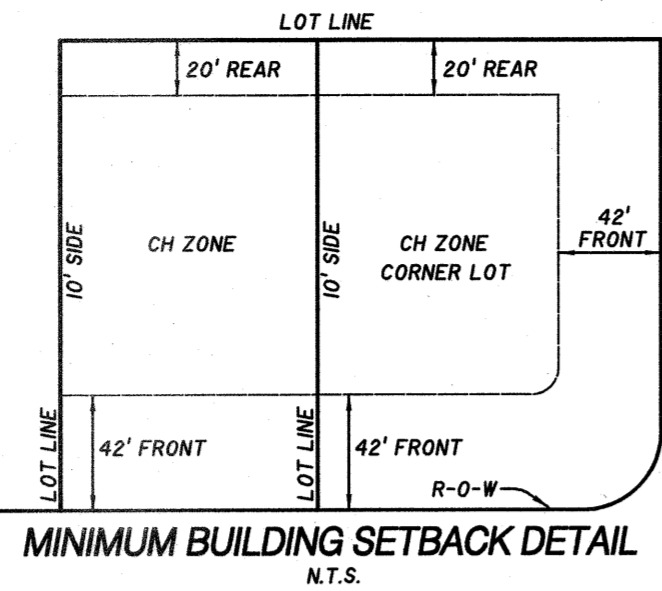
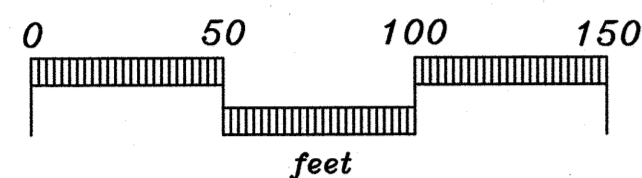
TO: Members of the Planning Commission
CY: Jim Kerr, Scott Elliott
FROM: Roman S. Hankins
DATE: July 2, 2024
RE: Mandatory Referral: Proposed Electric Easement to MTE

MANDATORY REFERRAL

The Transportation Department is requesting an underground electric easement to Middle Tennessee Electric ("MTE") over City-owned property located at 324 New Salem Highway to provide power to the City's new Transit Center.

The easement area has been surveyed and a copy of the drawing is attached.

I will be available if you have any questions.



CERTIFICATE OF OWNERSHIP AND DEDICATION

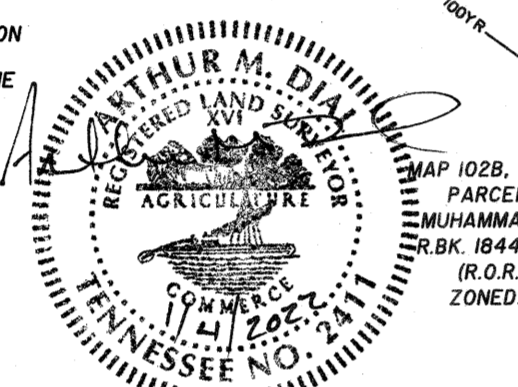
I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____ CITY OF MURFREESBORO
RECORD BOOK 2035, PAGE 2745

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC. NO. 147022
DATE: 11/14/2022
REGISTERED SURVEYOR
TENN. R.L.S. No. 2411



CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE

I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE: _____ CITY ENGINEER

CERTIFICATE FOR APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE: _____ CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DESIGN CRITERIA FOR SEWER WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: _____ MURFREESBORO WATER RESOURCES OFFICIAL

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

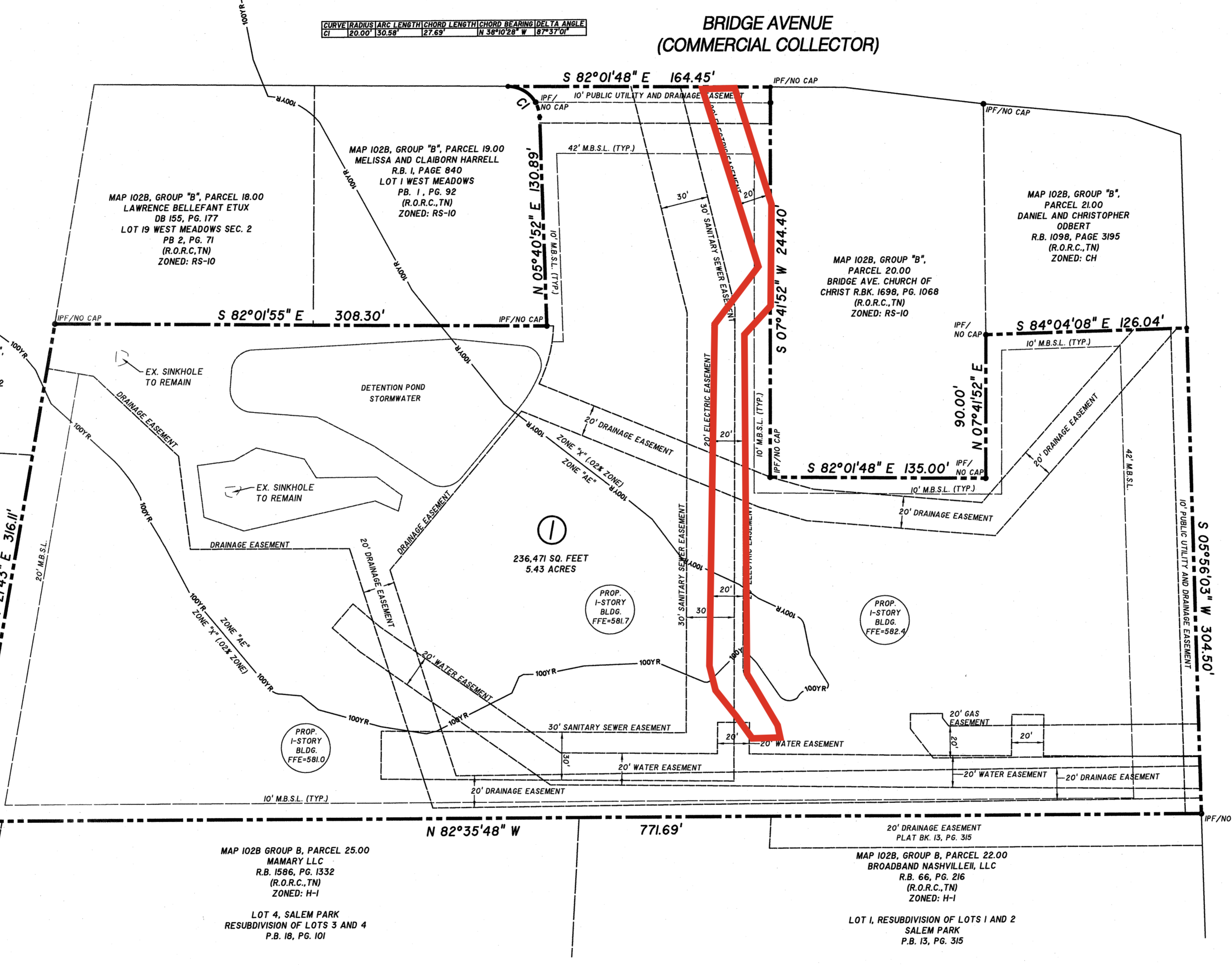
MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BYLAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEB SITE AT WWW.MTEMC.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.

DATE: _____ MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORP. OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE: _____ PLANNING COMMISSION SECRETARY



OWNER/DEVELOPER:
CITY OF MURFREESBORO
111 WEST VINE ST.
MURFREESBORO, TN 37130
CONTACT: JIM KERR

DEED REFERENCE:
TAX MAP 102B GROUP B PARCEL 21.01
R.B.K. 2035, PG. 2745

YARD REQUIREMENTS:
FRONT: 42'
SIDE: 10'
REAR: 20'

INTENDED USE:
TRANSIT CENTER
LAND USE DATA:
ZONED: PND

1 LOT ON: 5.43± ACRES

FLOOD MAP NO.:
A PORTION THIS SITE LIES WITHIN ZONE AE, IN THE
100 YEAR FLOODPLAIN, PER COMMUNITY PANEL
4749C0260H DATED JANUARY 5, 2007.

- GENERAL NOTES**
- THE PURPOSE OF THIS PLAT IS TO CREATE ONE LOT OF RECORD AND TO DEDICATE EASEMENTS, AS SHOWN.
 - BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENTS UG802-202 (MAD 83-96).
 - THIS PROPERTY LIES WITHIN ZONE AE, A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. 4749C0260H, EFFECTIVE DATE JANUARY 5, 2007.
 - ANY MINIMUM FINISHED FLOOR ELEVATION (MIN. FFE) SHOWN INCLUDES THE MAIN BUILDING, GARAGES AND ACCESSORY STRUCTURES.
 - THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
 - NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR. THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
 - SUBJECT PROPERTY IS ZONED PND. MINIMUM BUILDING SETBACKS FOR THIS PROPERTY ARE: FRONT = 42 FT. / SIDE = 10 FT. / REAR = 20 FT.
 - PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, AT&T, CONSOLIDATED UTILITY DISTRICT, CABLE TELEVISION SERVICES AND OTHERS.
 - EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
 - THIS SITE CONTAINS POST-CONSTRUCTION BEST MANAGEMENT PRACTICES UTILIZED IN TREATING STORMWATER RUNOFF IN ORDER TO COMPLY WITH MURFREESBORO CITY CODE. A STORMWATER MAINTENANCE AGREEMENT IS RECORDED WITH THIS PROPERTY AND OBLIGATES ALL SUBSEQUENT OWNERS TO ADHERE TO THE STORMWATER MAINTENANCE PLAN ON FILE WITH THE CITY OF MURFREESBORO.
 - CONSOLIDATED UTILITY DISTRICT MAY REQUIRE AN AMENDMENT PLAT OR SURVEY METES AND BOUNDS DESCRIPTION WITH EXHIBIT TO DEDICATE ANY NECESSARY EASEMENTS WITH THE DEVELOPMENT CONSTRUCTION IS COMPLETE.
 - UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOMEOWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE BUILDER AND/OR HOMEOWNER SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THIS REQUIREMENT.

NEW SALEM HIGHWAY / STATE HIGHWAY 99
(MAJOR ARTERIAL)

FINAL PLAT

CITY OF MURFREESBORO

TRANSIT CENTER

SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE
7th CIVIL DISTRICT OF RUTHERFORD COUNTY

SEC, Inc. SITE ENGINEERING CONSULTANTS

ENGINEERING • SURVEYING • LAND PLANNING

850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 1512214	DATE: 12-8-2021 REV: 1-3-2022	FILE:	DRAWN BY: ATS	SCALE: 1" = 50'	SHEET 1 OF 1
--------------------	----------------------------------	-------	------------------	--------------------	-----------------

- LEGEND**
- IRON PIN (FOUND)
 - IRON PIN SET (NEW)

Right-of-Way

Easement

This instrument prepared by: MTE
555 New Salem Highway, Murfreesboro, TN 37129
_____ Employee Initials



Service Location # _____ Meter Set SO # _____ WO# _____

Grantor: _____ And/by _____

Select one of the following: unmarried married business entity

FOR GOOD AND VALUABLE CONSIDERATION, the receipt and sufficiency of which are hereby acknowledged, the Grantor, whether one or more, does hereby grant unto Middle Tennessee Electric Membership Corporation, a Tennessee not-for-profit corporation ("Grantee" or "MTE"), its affiliates, successors or assigns, a perpetual easement (the "Easement") that, except as may be otherwise indicated on Exhibit 1, shall be twenty feet (20') from the centerline (total of 40') for any overhead transmission and/or distribution line or system, including anchoring, and ten feet (10') from the centerline (total of 20') for any underground transmission and/or distribution line or system with the right to:

- install, construct, reconstruct, rephase, operate and maintain an electric transmission and/or distribution line or system;
- inspect and make such repairs, changes, alterations, improvements, removals from, substitutions and additions to its facilities as Grantee may from time to time deem advisable, including, by way of example and not by way of limitation, the right to increase or decrease the number of conduits, wires, cables, poles, guy wire and anchors, hand holes, manholes, connection boxes, transformers and transformer enclosures;
- cut, trim and control the growth by chemical means, machinery or otherwise of trees and shrubbery within the Easement, or any tree that may interfere with or threaten to endanger the operation and maintenance of said line or system;
- prohibit, prevent and restrict the planting and/or maintenance of any trees, shrubbery or vegetation not approved in writing by Grantee (except those trees that appear on MTE's approved standard planting guide) which approval may be withheld by Grantee in its sole discretion if it determines said trees, shrubbery or vegetation may in the future interfere with or threaten to endanger the operation and maintenance of said line or system;
- prohibit the planting of any trees, shrubbery or vegetation within 15' of a pole or pad-mounted equipment;
- keep the Easement clear of all buildings, structures or other obstructions;
- license, permit or otherwise agree to the joint use or occupancy of the lines, system or, if any of said system is placed underground, of the trench and related underground facilities, by any other person, association or corporation for electrification, for other utility or commercial purposes;
- install and maintain guy additions to overhead lines if any portion of the lines or system is placed underground; over, across, and through the land owned by Grantor as further described below (the "Property")

County _____ State of Tennessee Tax Map: _____ Group: _____ Parcel: _____

Address _____
House/building# _____ Street/Road Name _____ City _____ Zip _____

and such Property being of record in Deed Book _____, Page _____, Register's Office of the above-named county, and as may be further described according to Exhibit 1 attached hereto and incorporated herein by reference, if attached, together with the right of ingress and egress over adjacent lands of the Grantor, and Grantor's successors and assigns for the purposes of this Easement.

The Grantor agrees that all poles, wires, and other facilities, including any main service entrance equipment, installed in, upon or under the Property at Grantee's expense shall remain the property of the Grantee and removable at the option of the Grantee. The Grantor hereby expressly releases any claims, demands, actions, or causes of action for trespass related to the Grantee's use of this Easement as described herein. The grant and other provisions of this Easement shall run with the land for the benefit of the Grantee, its affiliates, successor and assigns.

IN WITNESS WHEREOF, the Grantor has executed this instrument this _____ day of _____, 202_____.

Print Name/Title of Authorized Signatory

Print Name/Title of Authorized Signatory

Legal Signature

Legal Signature

STATE OF _____

STATE OF _____

COUNTY OF _____

COUNTY OF _____

On the ___ day of _____, 202___, personally appeared before me, the within named bargainer(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

On the ___ day of _____, 202___, personally appeared before me, the within named bargainer(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

Notary Signature

My Commission Expires

Notary Signature

My Commission Expires