

**CITY OF MURFREESBORO
BOARD OF ZONING APPEALS**

Regular Meeting, July 24, 2024, at 1:00 p.m.
City Hall, 111 West Vine Street, Council Chambers, 1st Floor

A G E N D A

1. Call to order
2. Determination of a quorum
3. Public Comments
4. Consideration of minutes for the regular meeting on June 26, 2024
5. New Business

Special Use Permit Requests

- a. **Application Z-24-031 by Ms. Davina Ikponmwosa**, requesting a special use permit in order to operate a operate a group daycare home in a Duplex Residential (RD) zone on property located at 2537 Summit Court. (Project Planner: Joel Aguilera)
- b. **Application Z-23-034 by Clyde Rountree of Huddleston Steele Engineering on behalf of Veterans Plaza, LLC.**, requesting an amendment to an existing special use permit to operate a Self-Service Storage Facility on property zoned CF at 4558 Veterans Parkway. (Project Planner: Brad Barbee).
- c. **Application Z-24-033 by Ms. Kristen Frenza**, requesting a special use permit in order to operate a family daycare home in a Single-Family Residential (RS-12) zone on property located at 2918 Roellen Road. (Project Planner: Richard Donovan)
- d. **Application Z-24-032 by Mr. Matt Taylor of SEC, Inc., representing Fellowship Bible Church of Rutherford County**, requesting an amendment to an existing special use permit for an existing institutional group assembly use to continue the use of an 8,190 square-foot temporary

modular building for an additional two years by a private school grades Kindergarten through 12 in conjunction with the existing church, in a RS-15 zone located at 4236 Veterans Parkway. (Project Planner: Joel Aguilera).

Administrative Appeals

- e. **Application Z-24-024 by Shawn R. Henry, representing AutoZone, Inc.,** is appealing the decision of the Zoning Administrator regarding whether a proposed use at 810 NW Broad Street constitutes Distribution of Automobile Parts and Components/Warehousing, Transporting/Distributing, which is not permitted in the Commercial Highway (CH) zone. (Presenters: Ben Newman and John Tully)
6. Staff Reports and Other Business
 7. Adjourn

MINUTES
OF THE CITY OF MURFREESBORO
BOARD OF ZONING APPEALS
City Hall, 111 W. Vine Street, Council Chambers

June 26, 2024, 1:00 PM

Members Present:

Ken Halliburton, Vice-Chair
Misty Foy
Julie King
Tim Tipps

Staff Present:

Ben Newman, Dir. of Planning & Land Mgmt.
Matthew Blomeley, Asst. Planning Director
Richard Donovan, Principal Planner
Joel Aguilera, Planner
Roman Hankins, Deputy City Attorney
John Tully, Assistant City Attorney
Jennifer Tag, Assistant City Attorney
Ashley Fulghum, Recording Assistant

Members Absent:

Davis Young

1. Call to Order:

Vice Chair Halliburton called the meeting to order.

2. Determination of a quorum:

Vice Chair Halliburton determined that a quorum was present.

3. Public Comments:

None

4. Consideration of Minutes:

With there being no objection by any of the Board members, the minutes of the May 22, 2024 BZA meeting were approved as submitted.

Vice Chair Halliburton announced that the application associated with AutoZone will not be discussed at this meeting. It has been agreed to move that application to the July meeting.

MURFREESBORO BOARD OF ZONING APPEALS MINUTES

June 26, 2024

5. New Business:

a. Application [Z-24-029] by Mr. Matt Taylor, representing Rutherford County Government, is requesting a special use permit in order to construct and establish an institutional group assembly use (government building) in a Medical District Residential (CM-R) zone on property located at 525 N University Street.

Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these minutes by reference.

Mr. Matt Taylor was present to answer questions.

Ms. Julie King inquired about the condition of approval. Staff explained why this condition was included.

Vice Chair Halliburton opened the public hearing.

There being no one to speak for or against the request, Vice Chair Halliburton closed the public hearing.

Mr. Tim Tipps moved to approve the special use permit subject to all recommended conditions of approval; the motion was seconded by Ms. Misty Foy and carried by the following vote:

Aye: Misty Foy
 Julie King
 Tim Tipps
 Vice-Chair Ken Halliburton

Nay: None

b. Application [Z-24-030] by Mr. Matt Taylor, representing Dan Decker and Wayne Belt, is requesting a special use permit in order to construct and establish a daycare center in a General Office (OG) zone on property located along the west side of Saint Andrews Drive, south of Oval Hesson Lane.

Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these minutes by reference.

Mr. Matt Taylor was present to answer questions.

Ms. Misty Foy asked about the location of the two other daycares in the area. Mr. Donovan stated that they are located to the north of the site and pointed them out on the plat.

Vice Chair Halliburton opened the public hearing.

MURFREESBORO BOARD OF ZONING APPEALS MINUTES

June 26, 2024

There being no one to speak for or against the request, Vice Chair Halliburton closed the public hearing.

Ms. Julie King moved to approve the special use permit subject to all recommended conditions of approval; the motion was seconded by Mr. Tim Tipps and carried by the following vote:

Aye: Misty Foy
 Julie King
 Tim Tipps
 Vice-Chair Ken Halliburton

Nay: None

6. Staff Reports and Other Business:

- a. Mr. Donovan stated that there will be a meeting in July. There are several applications expected to come before the Board next month.
- b. Mr. Donovan congratulated Ms. Foy and Ms. King on being reappointed to the Board of Zoning Appeals for another term.

7. Adjourn:

There being no further business, Vice Chair Halliburton adjourned the meeting at 1:29pm.

CHAIRMAN

SECRETARY

MURFREESBORO BOARD OF ZONING APPEALS

STAFF REPORT

JULY 24, 2024

PROJECT PLANNER: JOEL AGUILERA

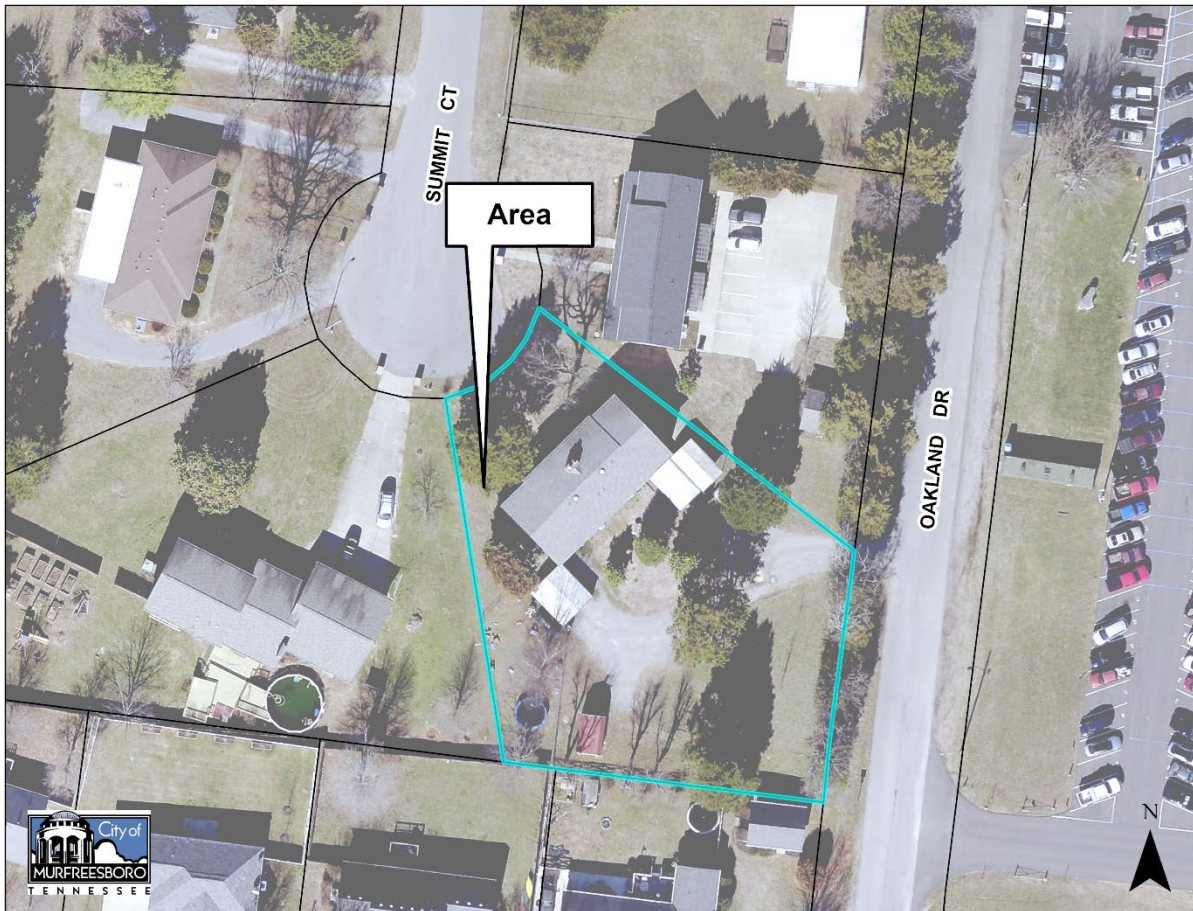
Application: Z-24-031

Location: 2537 Summit Court

Applicant: Davina Ikponmwosa

Zoning: RD (Residential Duplex)

Requests: A special use permit in order to operate a group daycare home on property located at 2537 Summit Court.



Overview of Request

Background

The applicant, Ms. Davina Ikponmwosa, is requesting a Special Use Permit (SUP) to operate a group daycare home within a duplex the applicant owns located at 2537 Summit Court. The applicant previously submitted a special use permit request to the BZA earlier in March this year for a “Family Daycare Home” and was conditionally approved by the BZA. Having been approved by the Tennessee Department of Human Services in June, Ms. Ikponmwosa now wishes to expand her business to be able to care for 12 children and have 3 part-time employees to help her operate the business.

As conditioned by the BZA in March, should Ms. Ikponmwosa wish to hire additional employees and/or increase the number of children, the applicant is required to come before the BZA to demonstrate compliance with the general standards of applicability, as well as the additional standards for a Group Daycare Home Use.

Proposed use and operation

Per the applicant’s attached letter, other than the request to increase the number of children and employees, there are no other requested modifications from the original approval in March. See the created table below. The applicant is committed to constructing the required improvements for the daycare use that were conditioned by the BZA. Similar to the previous request, no more than two employees will be on the premises at any one time, except during shift changes. The applicant will reside in the subject dwelling unit; neither of the other employees will live on the property or occupy either of the dwelling units. Similar to the previous request, no new utility connections or improvements to existing services are proposed for this family daycare use.

	Approved Family Daycare Home	Proposed Group Daycare Home
Hours of Operation	6:30am to 6:00pm (Mon-Fri)	6:30am to 6:00pm (Mon-Fri)
Number of Children	7 children	12 children
Number of Employees	2 employees	3 employees
Minimum Parking	3 spaces with circular drive	3 spaces with circular drive
Fencing	Required to improve fence to wood or vinyl	Fence will be improved to be wood or vinyl
DHS approval	Required to receive DHS approval and copy of statement	Received DHS approval (see attached approval)

Staff Analysis

The purpose of a special use permit is to allow for the review of a use in a zoning district, which, by the nature of the use and its potential intensity impact on an area, is not a use allowed by right within that zoning district. A special use permit may be approved with special conditions to minimize any adverse effects and to ensure compatibility with the surrounding area.

Staff recommended approval of the family daycare application because staff believes that based on the site plan, proposed improvements, and information provided from the applicant, there would be lesser impact on adjacent properties with only 7 children. After reviewing the criteria for group daycare home uses, this application appears to meet most of the criteria with exception of Group Daycare Home Standards of General Applicability (1) and (2). Permitting a Group Daycare Home use, with more than 7 children, an additional employee, and potentially more vehicles to the site, staff is unable to sufficiently determine what, if any, impacts there may be to adjacent property, the traffic conditions, or character of the neighborhood. These items will need further review and deliberation by the Board of Zoning Appeals to determine if the requested special use, and evidence provided by the applicant, meets the standards in question.

Relevant Zoning Ordinance Section

The following are relevant sections from the Murfreesboro Zoning Ordinance that apply to family day care homes:

Section 2, Interpretations and Definitions:

- *Group Day Care Home: A place providing, or designed to provide, care for more than seven (7), but less than thirteen (13) children, for less than twenty-four hours a day which is licensed by the Tennessee Department of Human Services.*

Chart 2 of the City of Murfreesboro Zoning Ordinance allows the “Group Daycare Home” use as a special use in the RD district. City of Murfreesboro Zoning Ordinance Section 9(D)(2)(bb) sets forth standards for day care center, family day care home, and group day care home uses in addition to the Standards of General Applicability in Section 9(C).

Standards of General Applicability with Staff Analysis:

(1) The proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare:

- The proposed group daycare home is internal to the site. The property is at the end of a cul-de-sac, in a neighborhood that is in close proximity to three school properties. The new driveway off of Summit Court will be constructed for the drop-off and pick-up of the children. The driveway will create 3 new parking spaces for the parents, while the part-time employees of the daycare will utilize the existing parking area in the back of the duplex. The applicant has stated that the circular driveway can also accommodate up to 4 additional cars. The applicant will be upgrading the existing chain-link fence to wood or vinyl to provide additional privacy and screening. However, as it is currently proposed, staff believes that with the increased number of children and employees, there may be some impact to the adjacent properties, without first understanding how the family daycare use operates and is managed. The BZA should review and deliberate further on the application, attached materials, and determine whether the proposed group daycare use meets the above standard.

(2) The proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations:

- The proposed group daycare home will not be making any changes to the exterior of the building; it will continue to look like a residential duplex. The applicant will be constructing a new driveway in the front yard to accommodate drop-off and pick up and will be creating 3 parking spaces for the proposed use. However, with the increased number of children and employees, staff believes the use will be more intense and may not be as compatible with the immediate vicinity due to the additional number of cars coming to the site, and future tenants of the other dwelling unit at 2539 Summit Court. The BZA should review and deliberate further on the application, attached materials, and determine whether the proposed group daycare use meets the above standard.

(3) The proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services:

- The property has existing services and access to public facilities. The proposed building will be served adequately by essential public facilities and does not require any new connections or improvements to existing services.

(4) The proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance:

- Staff has reviewed the subject property and the site plan and found no features of significant natural, scenic, or historic importance. However, as depicted on the site plan, one tree will be removed for the new driveway off Summit Court.

(5) The proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use:

- Additional standards for Family Daycare Home use are listed below with staff analysis.

Additional Standards for Family Day Care Home Uses with Staff Analysis:

1.) An on-site off-street area shall be provided for vehicles to load and unload passengers;

- As mentioned previously, the applicant will be constructing a new driveway off Summit Court, to accommodate at least 3 parking spaces for parents to utilize for drop-off and pick-up.

2.) Facilities for vehicular access to and from the site of the day care home shall be arranged to permit vehicles to exit from the site without backing onto the street or sidewalk;

- As depicted on the site plan, the circular driveway will be constructed to ensure that vehicles can enter the subject property and exit without backing onto Summit Court.

The applicant has provided space for vehicles to turn around in the front yard and exit without impacting the public right-of-way or adjacent residential properties.

3.) An application for a special use permit for a day care home shall be accompanied by a statement from the State of Tennessee, Department of Human Services, that such day care home can comply with all requirements of the State of Tennessee with respect to such use;

- As a condition of approval, the applicant has obtained a statement from the State of Tennessee, Department of Human Services, that the daycare home can comply with all the requirements of the State of Tennessee.

4.) Screening may be required along the lot lines of the site of the day care home to block such day care home from the view of the property classified in a residential zoning district and from the residential portion of an approved planned unit development;

- As depicted on the site plan, there is an existing chain link fence on the property that will be used for outdoor recreational activities for the children. The applicant will be upgrading portions of the fence to be wood or vinyl privacy fencing to provide for screening of the outdoor play area for the adjacent residential properties, and to also ensure the daycare and children shall have privacy from adjacent properties.

5.) Required off-street parking shall be located on-site;

- A new driveway will be constructed in the front yard off Summit Court to accommodate the drop-off and pick-up of children. The driveway has been designed to accommodate at least 3 parking spaces for parents to utilize for drop-off and pick-up.

Staff Recommendation:

Staff has reviewed the application and believes the proposed use has addressed the additional standards for group day home uses per Section 9(D)(2)(bb) with the exceptions of Standards of General Applicability (1) and (2). If the BZA decides to approve the application, staff recommends that approval of the special use permit be made subject to the following conditions and any additional conditions that the BZA may determine is necessary to meet the standards of general applicability or the specific use standards.

Recommended Conditions of Approval:

1. This special use permit for a group daycare home will allow for the care of no more than 12 children.
2. The hours of operations shall be from 6:30am to 6:00pm Monday through Friday. The family daycare home business shall not operate beyond these hours during the week and shall be closed Saturday and Sunday.
3. All child loading and unloading shall be done on the property, and no parking associated with this group daycare home use is permitted on the public right-of-way.
4. No tenants of the adjacent dwelling unit at 2539 Summit Court shall use or park on the proposed driveway off Summit Court. It shall be used only in conjunction with for the

group daycare home business. In addition, said driveway shall be properly permitted with the City and shall be constructed and pass an inspection by the Planning Department prior to the group daycare home commencing operations.

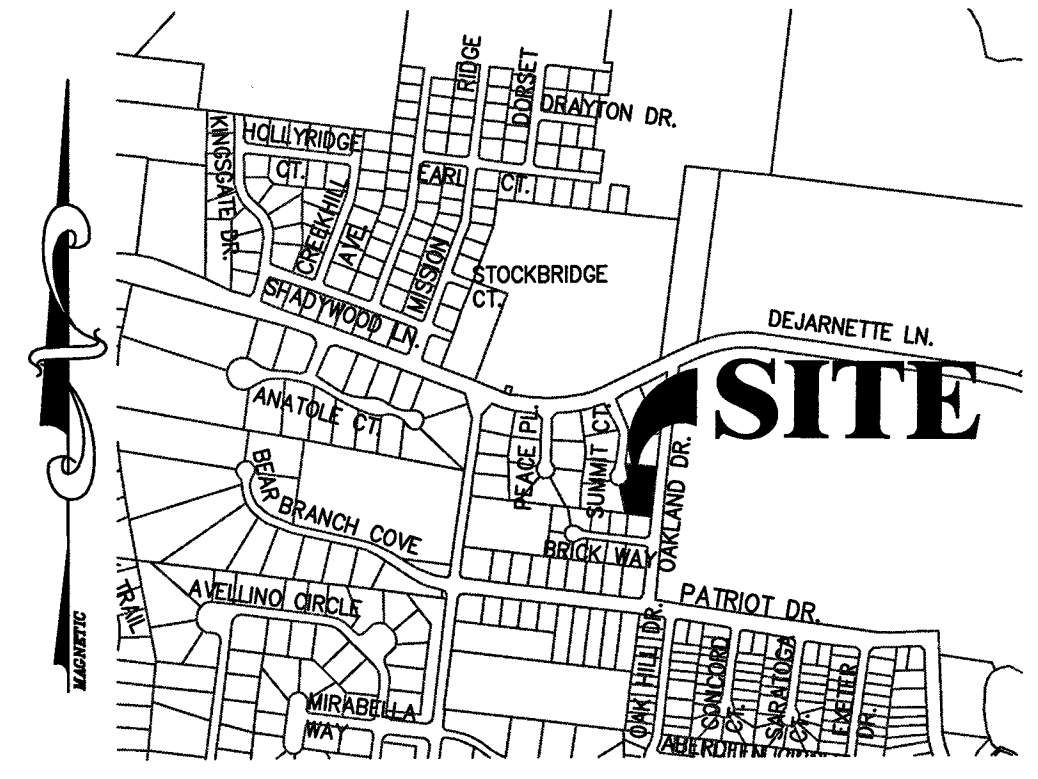
5. Applicant shall construct a solid 6'-tall privacy fence made of wood or vinyl, to replace portions of the existing chain link fence around the proposed outdoor play area in the back yard. In addition, said fence shall be properly permitted with the City and shall be constructed and pass an inspection by the Planning Department prior to the group daycare home commencing operations.
6. Applicant shall provide a copy of the required statement from the Tennessee Department of Human Services (DHS) to the City of Murfreesboro, Planning Department. The DHS statement shall conform to the requirements listed in Section 9(D)(2)(bb)(3) of the Murfreesboro Zoning Ordinance.
7. Applicant shall contact the City of Murfreesboro Building and Codes Department to obtain the required building permits for any new construction and or remodeling and pass the necessary inspections.
8. The Special Use Permit shall lapse upon sale or transfer of the property, or, if the owner, Davina Ikponmwosa, ceases to reside at the unit at 2537 Summit Court.

Attached Exhibits

- A. Site plan
- B. Letter from applicant and floor plan
- C. Procedure form
- D. Application

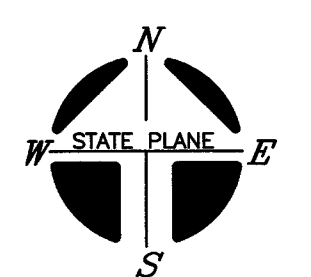
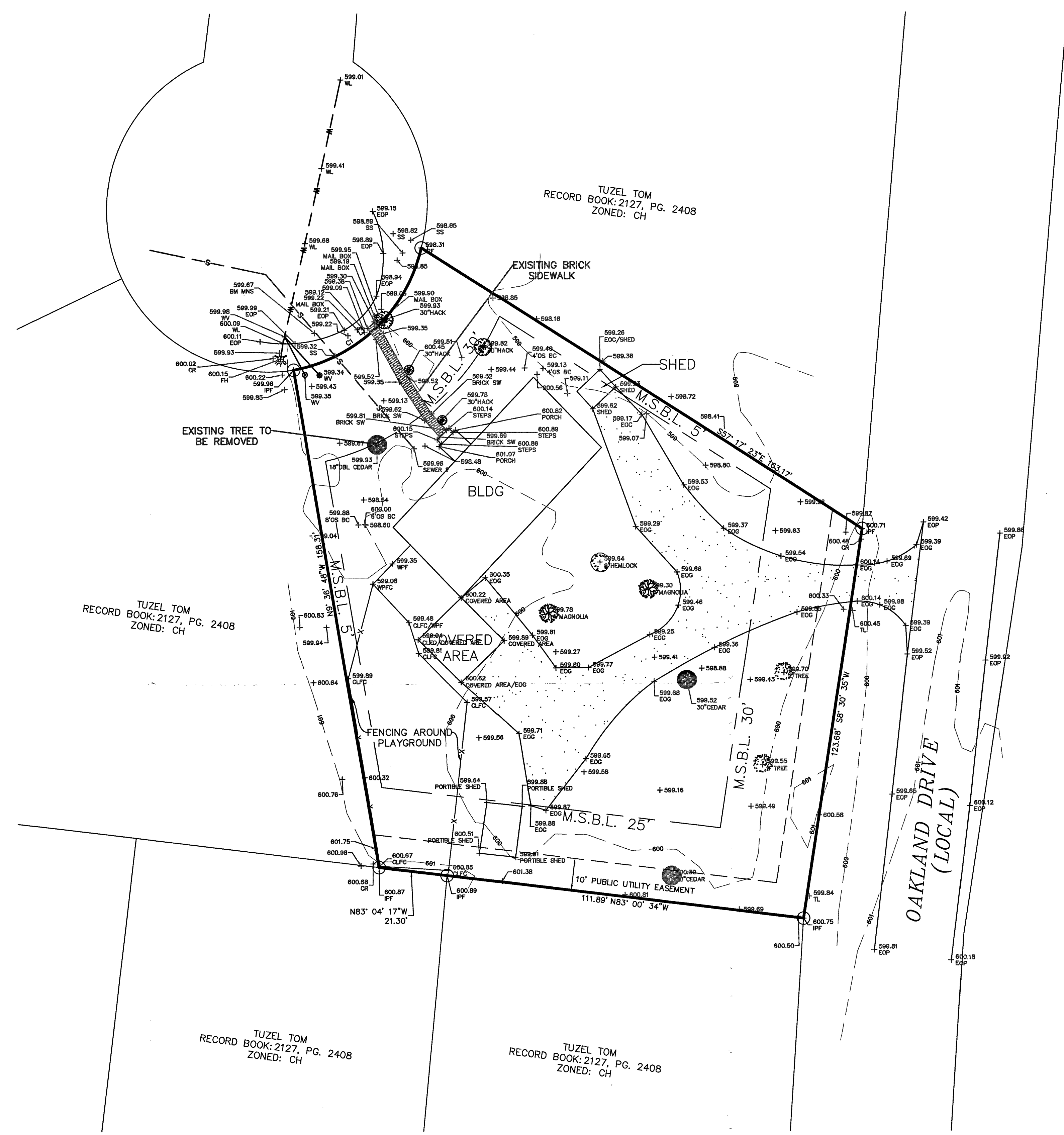
LEGEND

- ⊗ Power Pole
- ⊗ Existing Fire Hydrant
- ⊗ Proposed Fire Hydrant
- ⊗ Reducer
- ⊗ Proposed Gate Valve & Box
- ⊗ Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- Existing Manhole
- ⊗ Proposed Manhole
- CD Sewer Line Check Dam
- OO— Existing Contours
- OO— Proposed Contours
- 00.0 Existing Spot Elevations
- 00.0 Proposed Spot Elevations
- SF— Siltation Fence
(to be installed before grading and left in place until a good stand of grass is established over all disturbed areas)
- Turf Reinforcement Mat
- E— Existing Telephone & Electric Line
- UGE— Existing Underground Electric Line
- CMP— Corrugated Metal Pipe
- RCP— Reinforced Concrete Pipe



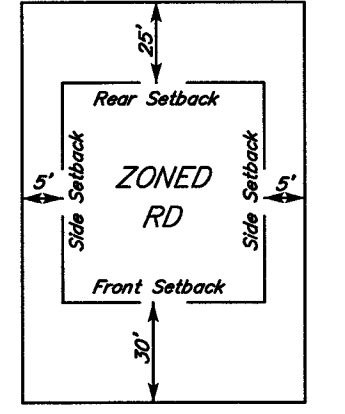
LOCATION MAP
N.T.S.

- NOTES:**
- IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
 - UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.



- LEGEND**
- IPF ○ IRON PIN SET (1/2" REBAR WITH STAMPED W-S ENGR)
 - IPF ○ IRON PIN FND.
 - CMF □ CONCRETE MONUMENT FOUND

ZONING: RD
FRONT SETBACK: 30'
SIDE SETBACK: 5'
REAR SETBACK: 25'



TYPICAL BUILDING SETBACK DETAIL
N.T.S.

CURVE TABLE					
CURVE	DELTA	RADIUS	ARC	CHORD	BEARING
C1	66°49'57"	50.00'	58.32'	55.07'	N46°03'07"E

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

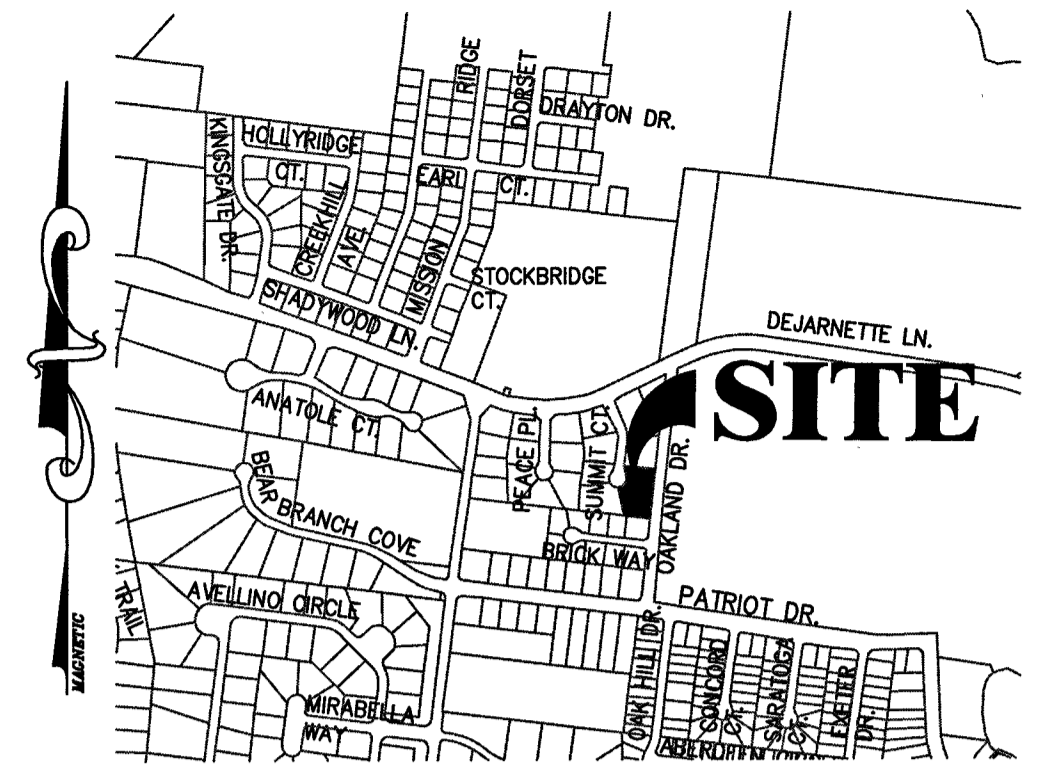
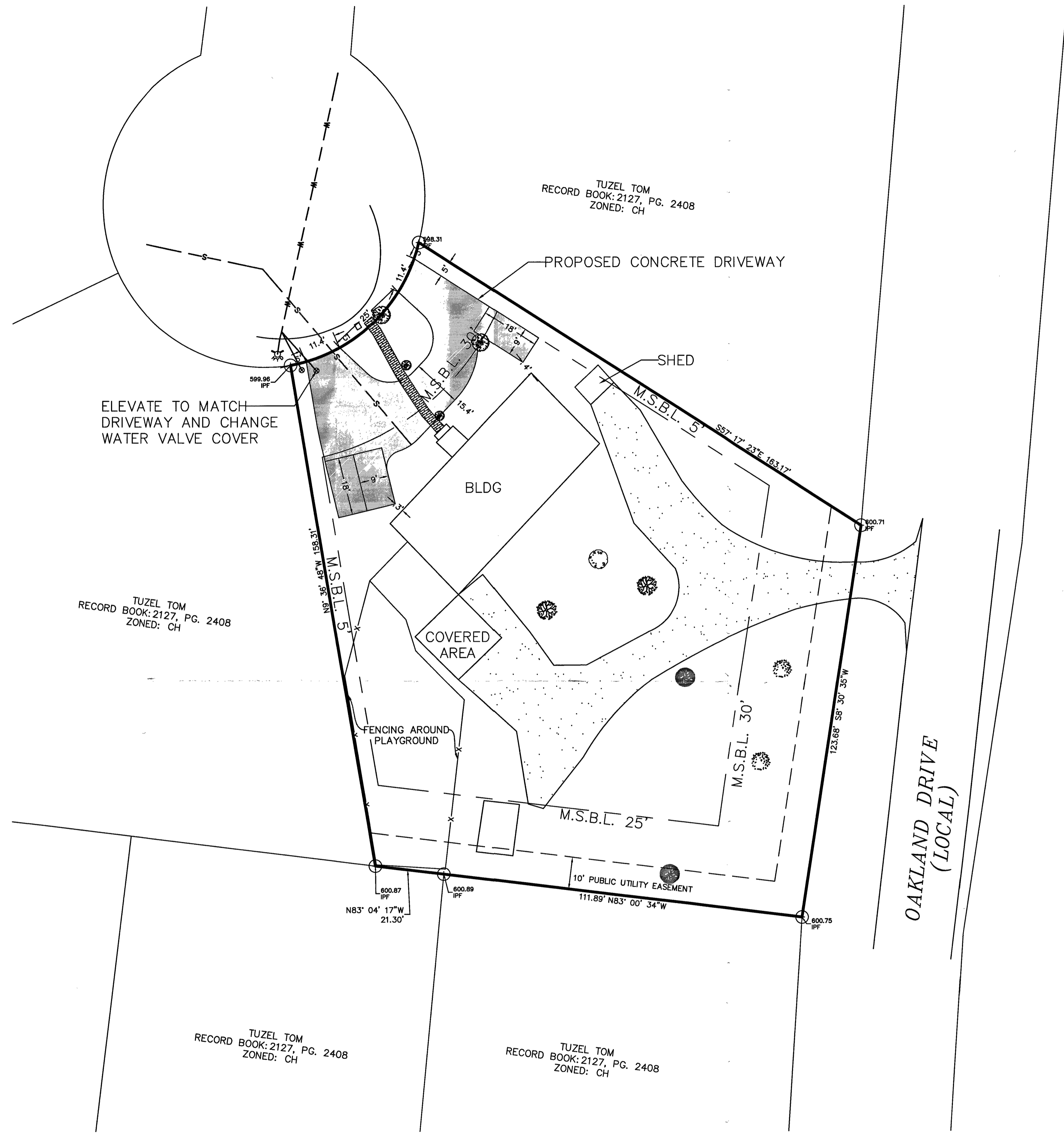
OWNER: IKPONMWO SA DAVINA G
PROPERTY ADDRESS: 2537-2539 SUMMIT CT
MURFREESBORO, TN 37130
TAX MAP: 0818, PARCEL: 016.00
RECORD BOOK: 1498, PAGE: 1906
MAP NUMBER: 47149C0163H
DATED: MAY 09, 2023 ZONE: X
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

W. H. HUDDLESTON-STEELE
ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: (615)893-4084, FAX: (615)893-0080

EXISTING CONDITIONS
2537 SUMMIT CT.

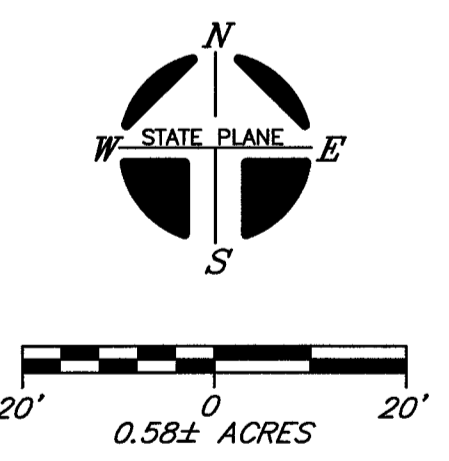
LEGEND

- ⊙ Power Pole
- ⊕ Existing Fire Hydrant
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- SF— Siltation Fence
(to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
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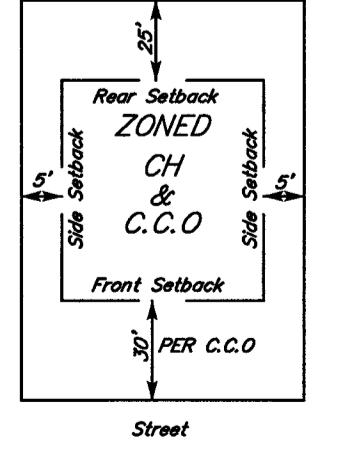
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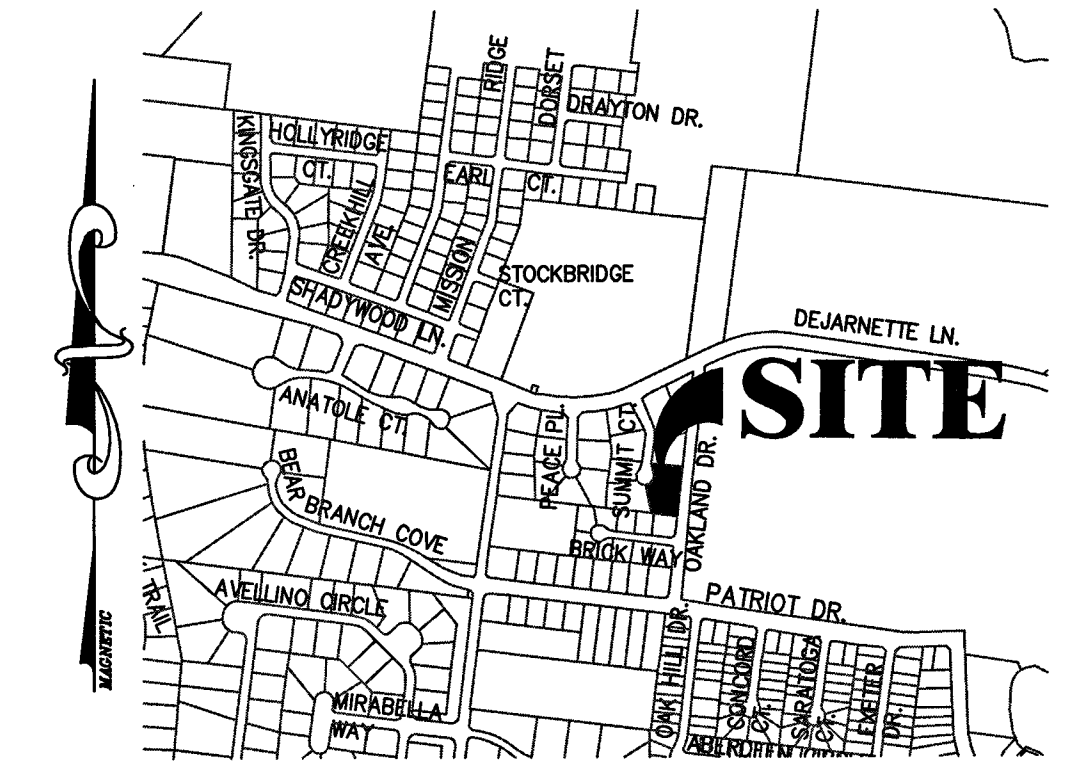
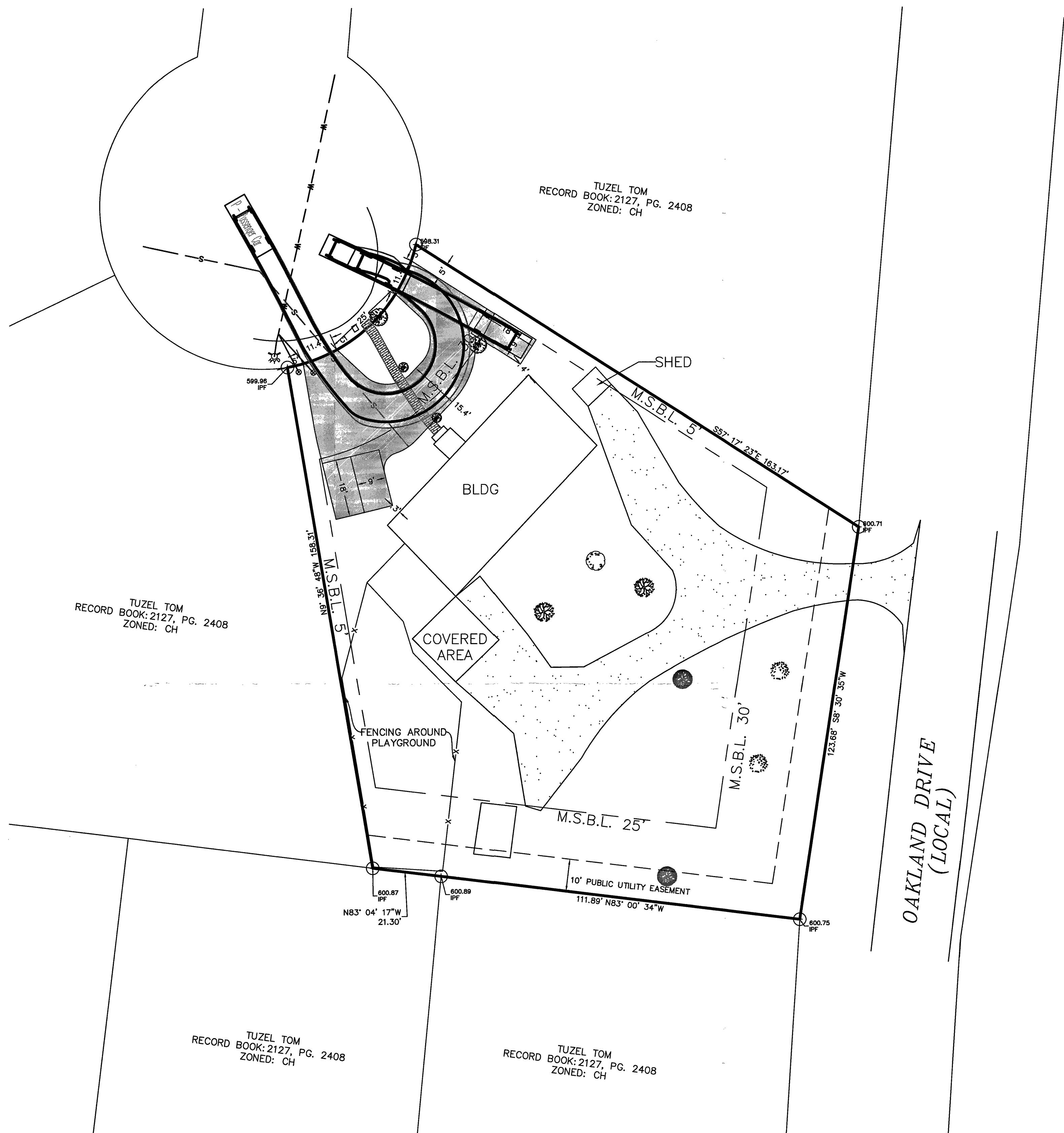
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MURFREESBORO, TN 37130
TAX MAP: 081B, PARCEL: 016.00
RECORD BOOK: 149B, PAGE: 1906
MAP NUMBER: 47149C0163H
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SITE PLAN
2537 SUMMIT CT.

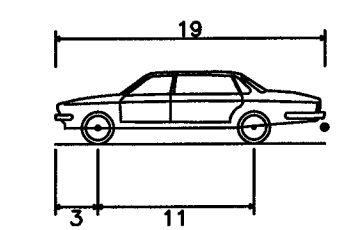
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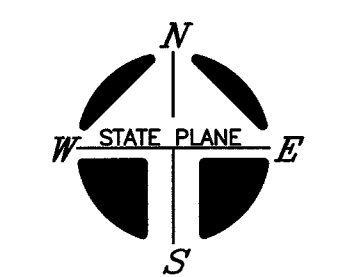


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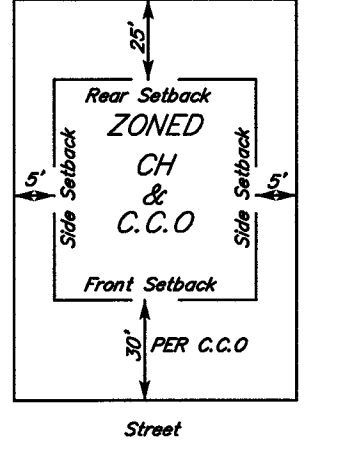


P - Passenger Car	19.000ft
Overall Length	7.000ft
Overall Width	5.101ft
Overall Body Height	1.116ft
Min Body Ground Clearance	6.000ft
Track Width	4.00s
Lock-to-lock time	24.000ft
Curb to Curb Turning Radius	



- LEGEND**
- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
 - IPF ○ IRON PIN FND.
 - CMF □ CONCRETE MONUMENT FOUND

ZONING: RD
FRONT SETBACK: 30'
SIDE SETBACK: 5'
REAR SETBACK: 25'



* IF ABUTTING RESIDENTIAL, 0' IF OTHERWISE

CURVE TABLE				
CURVE	DELTA	RADIUS	ARC CHORD	BEARING
C1	66°49'57"	50.00'	58.32'	55.07' N46°03'07"E

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

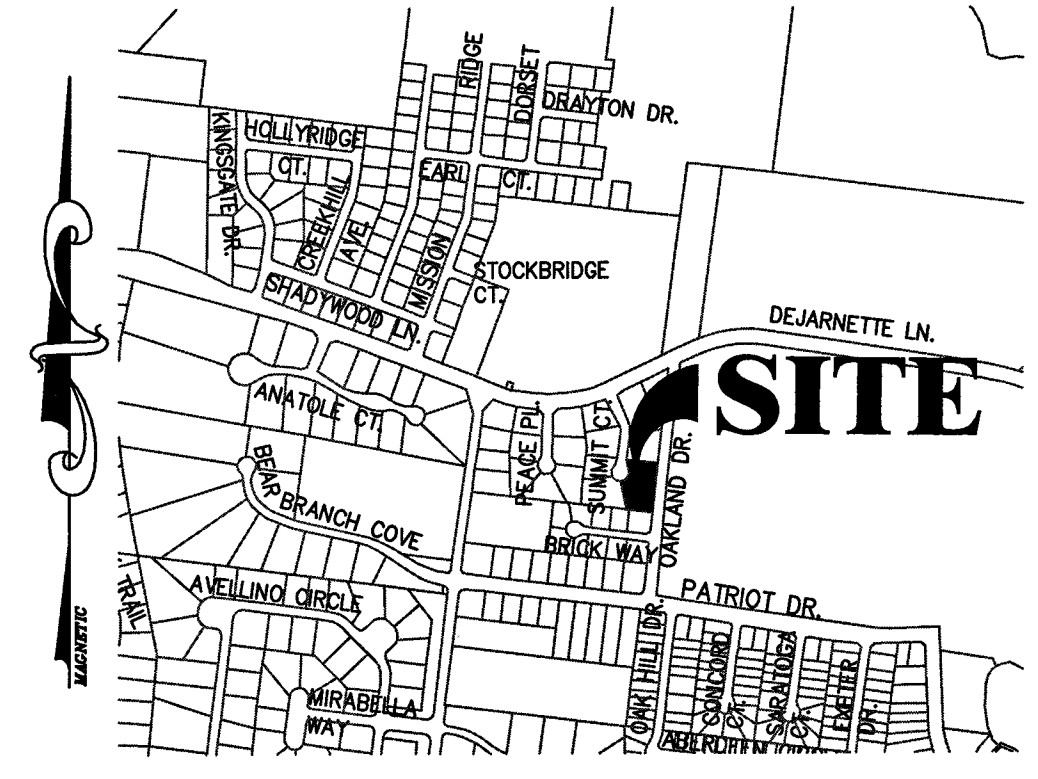
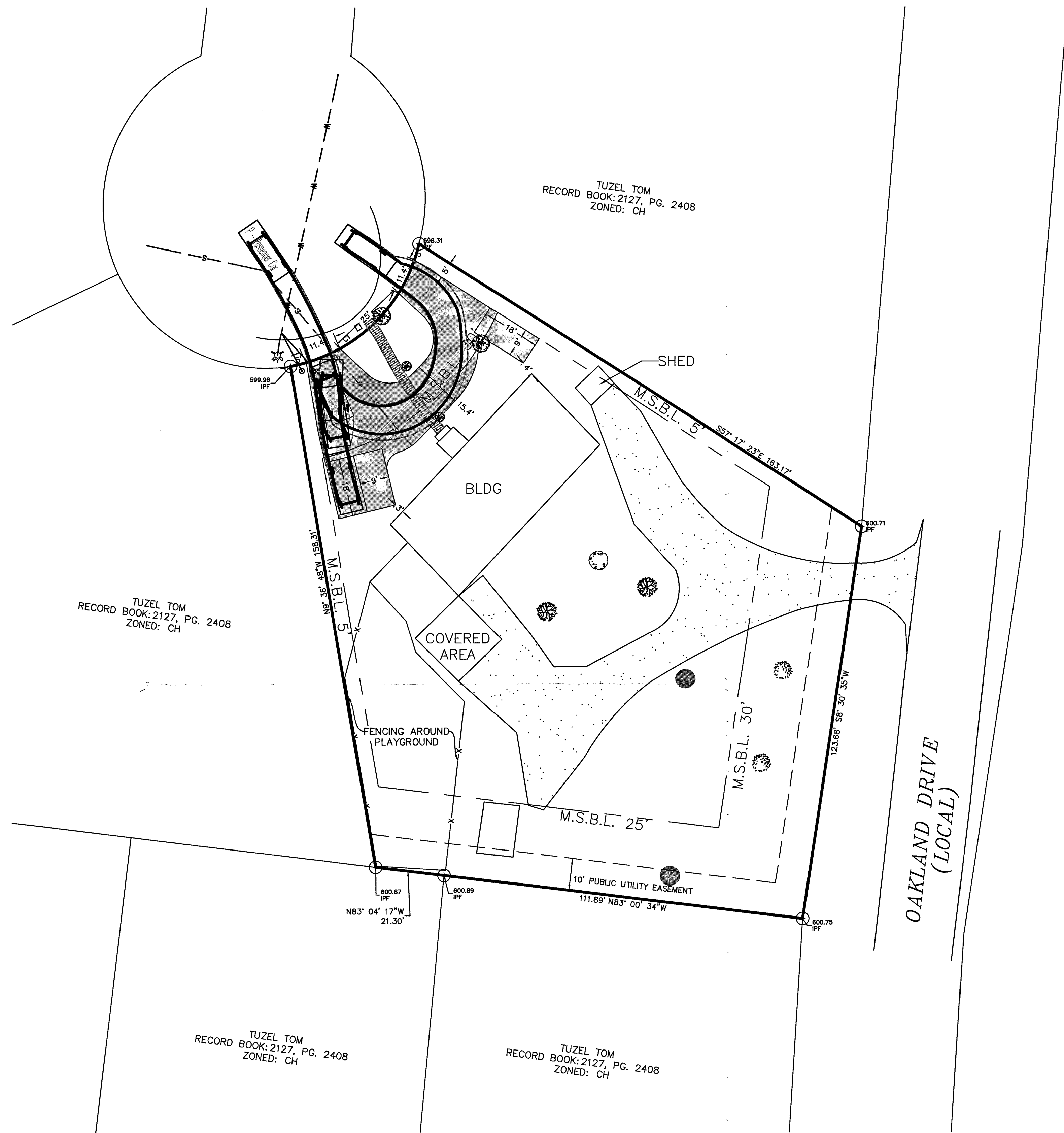
OWNER: IKPONMWOSA DAVINA G
PROPERTY ADDRESS: 2537-2539 SUMMIT CT
MURFREESBORO, TN 37130
TAX MAP: 081B, PARCEL: 016.00
RECORD BOOK: 1498, PAGE: 1906
MAP NUMBER: 47149C0163H
DATED: MAY 09, 2023 ZONE: X
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

W. H. HUDDLESTON-STEELE ENGINEERING INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: (615)893-4084, FAX: (615)893-0080

CAR TEMPLATE
2537 SUMMIT CT.

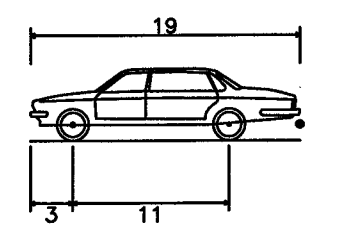
LEGEND

- ⊙ Power Pole
- ⊙ Existing Fire Hydrant
- ⊙ Proposed Fire Hydrant
- △ Reducer
- ⊙ Proposed Gate Valve & Box
- ▲ Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- Existing Manhole
- ⊙ Proposed Manhole
- CL— Sewer Line Check Dam
- 00— Existing Contours
- 00— Proposed Contours
- 00.0 Existing Spot Elevations
- 00.0 Proposed Spot Elevations
- SF— Siltation Fence
(to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Turf Reinforcement Mat
- E— Existing Telephone & Electric Line
- UGE— Existing Underground Electric Line
- CMP— Corrugated Metal Pipe
- RCP— Reinforced Concrete Pipe

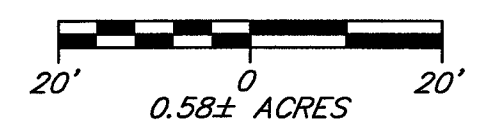
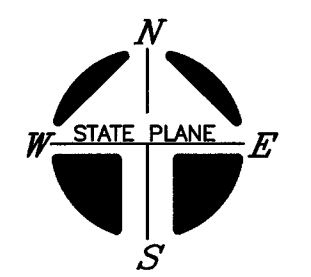


LOCATION MAP
N.T.S.

- NOTES:**
1. IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
 2. UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.

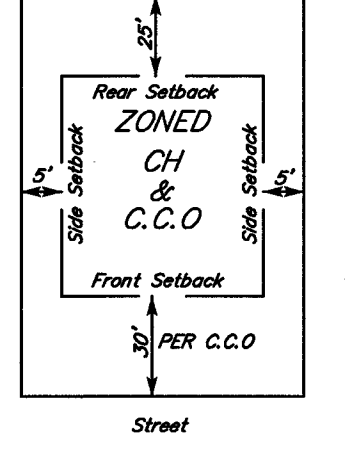


P - Passenger Car	19.000ft
Overall Length	7.000ft
Overall Width	5.101ft
Overall Body Height	1.116ft
Min Body Ground Clearance	6.000ft
Track Width	4.00s
Lock-to-lock time	24.000ft
Curb to Curb Turning Radius	



LEGEND
 IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED N-S ENGR)
 IPF ○ IRON PIN FND.
 CMF □ CONCRETE MONUMENT FOUND

ZONING: RD
 FRONT SETBACK: 30'
 SIDE SETBACK: 5'
 REAR SETBACK: 25'



* IF ABUTTING RESIDENTIAL, 0' IF OTHERWISE
 TYPICAL BUILDING SETBACK DETAIL
 N.T.S.

CURVE TABLE					
CURVE	DELTA	RADIUS	ARC	CHORD	BEARING
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OWNER: IKPONMWOSA DAVINA G
 PROPERTY ADDRESS: 2537-2539 SUMMIT CT
 MURFREESBORO, TN 37130
 TAX MAP: 081B, PARCEL: 016.00
 RECORD BOOK: 149B, PAGE: 1906
 MAP NUMBER: 47149C016.3H
 DATED: MAY 09, 2023 ZONE: X
 NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

W. H. HUDDLESTON-STEELE
 ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: (615)893-4084, FAX: (615)893-0080

CAR TEMPLATE
2537 SUMMIT CT.

4th CIVIL DISTRICT - RUTHERFORD COUNTY - TN
 Date: MARCH, 2024 Scale: 1"=20' Sheet T2 of T3



Board of Zoning Appeals Procedure Form

Request for Home Occupation

This form only pertains to *special use permit requests for the Board of Zoning Appeals*. The information contained in this document shall not be considered exhaustive and shall only serve to summarize the details of the special use permit request for the Board of Zoning Appeals and Planning Department staff. **Additional information may be requested during the review process as determined by the zoning administrator.**

Date: 6/27/2024

Applicant name & title: Ms. Davina Ikponmwosa Planner name: Joel Aguilera

Application request: Seeking a special use permit of a group daycare.

Purpose of request: I would like to open a group daycare.

Section 8 – Procedure for Uses Requiring Special Use Permits

- a) Name, address, and telephone number of the *applicant*
Davina Ikponmwosa, 2537 Summit Court Murfreesboro TN 37130, 615-556-0844

- b) Nature and extent of applicant’s ownership interest in subject property
I am the owner of the property and will be owner and operator of the group daycare.

- c) Site plan to be submitted for review by City Staff and Board of Zoning Appeals
Formal site plans by Huddleston and Steele Engineering have been included civil engineer for review for future plans.

- d) Address of the site of the proposed special use
2537 Summit Court, Murfreesboro, TN 37130
- e) Vicinity map showing the property of the proposed special use and all parcels within a five-hundred-foot radius

Please look see vicinity map that has been attached.

- f) Zoning classification the property of the proposed special use
RD (residential duplex).



- g) The property of the proposed T E N N E S S E E special use shall have the following characteristics:
- 1) Hours and days of operation
6:30am – 6:00pm

 - 2) Duration of the proposed special use
Indefinitely
 - 3) Number of expected patrons that will be expected to utilize the property of the proposed special use
12 children

 - 4) Projected traffic that will be expected to be generated by the proposed special use
Project traffic will be 1 to 3 vehicles at a time not to exceed 15 mins for pick-up and drop-off.
- h) Potentially harmful characteristics of the proposed special use for the zoning district in which it is proposed and the manner in which the applicant proposes to eliminate or minimize them
The property was newly renovated in November of 2020 so currently there are no potential harmful characteristics that exist that I am aware of.

Section 9 – Standards for Special Use Permits

Standards for General Applicability.

An applicant for a special use permit shall present evidence at the public hearing on such special permit. Please explain how you will comply with the following standards:

- 1) that the proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare;

There will be no changes to the physical structure of the home, only the use of the existing space will be occupied. The property is positioned between three schools (John Pittard Elementary, Oakland Middle and Oakland High) since I plan to follow similar schedules as the Murfreesboro City School system there should not be any adverse effects to the neighborhood. 2537 Summit Court is currently positioned on a cul-de-sac with little through traffic. I intend to have built three parking spaces and a half circle



driveway that will accommodate seven vehicles at any given time; however, we only anticipate 1 to 3 vehicles at a time in the mornings and the late afternoon. The half circle driveway will be used for traffic flow on and off the property so that there will be no vehicles parking on the roadway or backing out onto the road. Due to parents having different drop-off/pick-up times, we do not anticipate any traffic issues for the street or neighborhood. Our parents' work schedules fluctuate, and they will never all arrive at once. So, the seven spaces allotted will adequately provide parking for our group daycare.

- 2) that the proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations;

There will be no changes to the physical structure of the home, only the use of the existing space will be occupied. The property is located between three schools since I plan to follow similar schedules as the Murfreesboro City School system there should not be any adverse effects to the neighborhood. This is in an effort to be compatible with the immediate vicinity and in accordance with district regulations.

- 3) that the proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services;

The group daycare use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water, and sewer. The City of Murfreesboro already provides all items except parking, which will be addressed below. I will not build any additional buildings.

- 4) that the proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance; and,

Currently, 2537 Summit Court has not been designated as a significant natural, scenic or historical cite. Also, there will be no changes to the physical structure of the home, only the use of the existing space will be occupied. Last, the half circle driveway will be used to improve traffic flow on and off the property so that there will be no vehicles parking



on the roadway or backing out onto the road which will not result destruction, loss, or damage of any feature.

- 5) that the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use.

To my knowledge the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use.

Standards for (bb) Day care centers, family day care homes, and group day care homes

Please explain how you will comply with the following standards:

[1] an on-site off-street area shall be provided for vehicles to load and unload passengers;

2537 Summit Court is currently positioned on a cul-de-sac with little through traffic. I intend to have built three additional parking spaces and a half circle driveway that will accommodate four vehicles at any given time; however, we only anticipate 1 to 3 vehicles at a time in the mornings and the late afternoon. The half circle driveway will be used for traffic flow on and off the property so that there will be no vehicles parking on the roadway or backing out onto the road. Due to parents having different drop-off/pick-up times, we do not anticipate any traffic issues for the street or neighborhood. Our parents' work schedules fluctuate, and they will never all arrive at once. So, the seven spaces allotted will adequately provide parking for our group daycare.

[2] facilities for vehicular access to and from the site of the day care home shall be arranged to permit vehicles to exit from the site without backing onto any street or sidewalk;

Yes, the facility for vehicular access to and from the site of the group daycare home shall be arranged to permit vehicles to exit from the site without backing onto any street or sidewalk.

[3] an application for a special permit for a day care home shall be accompanied by a statement from the State of Tennessee, Department of Human Services, that such day care home can comply with all requirements of the State of Tennessee with respect to such use;



I am currently working to satisfy all requirements issued by Tennessee Department of Human Services to comply with all policies and procedure for such group daycare home.

[4] Screening may be required along the lot lines of the site of the day care home to block such day care home from the view of property classified in a residential zoning district and from the residential portion of an approved planned unit development;

I do understand that screening may be required along the lot lines of the site of the group daycare home to block such group daycare home from the view of property classified in a residential zoning district and from the residential portion of an approved planned unit development.

[5] required off-street parking shall be located on-site;

I understand park requirements and will comply with the required off-street parking shall be located on-site.

Date: 6/27/2024

Applicant signature: *Daver Jkp*

Group Daycare

To Whom This May Concern,

My name is Davina Ikponmwosa, and I have been an educator for more than ten years at the collegiate level. I have a diploma in nursing, undergraduate degrees in chemistry and health information technology, and a master's degree in health information and informatics. And now, I want to share my wealth of knowledge with little people. I want to operate a group daycare at 2537 Summit Court, Murfreesboro, TN 37130.

Operations of Business:

My home will be open from 6:30 am to 6:00 pm, Monday through Friday. I will employ four part-time workers that I will alternate to help assist me with the children during the weekly hours of operation. The maximum number of children that will be in my care is twelve.

Purpose and Curriculum:

The purpose of the group daycare is to provide and prepare children ages 2-5 with the necessary fundamental skills to enter preschool or kindergarten. The goal is to make all the children we teach proficient in language, literacy, math, and cognitive thinking. For our 2-year-olds, we focus on independence by making our toddlers autonomous, but we incorporate group play to provide structure. We help them begin learning through story time, singing, and identifying things like patterning and counting. With our 3-year-olds, we target building their critical thinking skills, memory and focus. Through hands-on learning, they will practice language, math, science, Spanish, and social skills. Last, with our four and 5-year-olds, our objectives are an enhanced focus on higher-level skills such as language and reading development, executive function, and social and emotional development. Our goal is to deepen their knowledge of language, math, science, Spanish, and social skills by building their cognitive skills through the practice of reading, simple addition, subtraction, and science predictions.

Improvement to Property:

Property Usage:

The group daycare will only occupy the first floor of 2537 Summit Ct. The garage will be the primary classroom for the children. The kitchen will be utilized for meal preparation i.e., breakfast, lunch and snacks. The laundry room will be used to wash linens and children's clothes. The half bathroom will be the main bathroom as it well positioned between the main classroom (garage space) and recreation/play area (living room). The living room will we repurposed into a recreation area for the children for the use of activities, inclement weather and for after hour pickup. The first-floor bedroom will be used as storage area for the daycare and the full bathroom will be used as an alternate bathroom when the main bathroom is in use. Currently, 2539 Summit Ct is slated to be leased and occupied by August 2024 by one tenant and is a separate entity and will have no affiliation with 2537 Summit Ct.

Garage Space:

The garage space will be converted into a preschool classroom suitable for twelve children. Please see the floorplans of the space; furniture has yet to be moved in to occupy the space. Currently, a designated fenced play area beside the garage offers more than enough space for twelve children to roam freely. The group daycare use will be served adequately by essential public facilities and services such as highways, streets,

parking spaces, drainage structures, refuse disposal, fire protection, water, and sewer. The City of Murfreesboro already provides all items except parking, which will be addressed below. I will not build any additional buildings.

Parking Accommodations:

2537 Summit Court is currently positioned on a cul-de-sac. I intend to have added in the front yard three additional parking spaces and a half circle driveway that will accommodate four vehicles at any given time; however, we only anticipate 1 to 3 vehicles at a time in the mornings and the late afternoon. The half circle driveway will be used for traffic flow on and off the property so that there will be no vehicles parked on the roadway or backing out onto the road. Due to parents having different drop-off/pick-up times, we do not anticipate any traffic issues for the street or neighborhood. Our parents' work schedules fluctuate, and they will never all arrive at once. So, the seven spaces allotted will adequately provide parking for our group daycare. The half circular driveway in the front yard will be used for the patrons to pickup children. The back entrance has a two-car covered carport and a single uncovered graveled parking spot for staff. There will only be two employees on the premises at any given time. The only time all four staff members will be on the premises at the same time will be during shift change or a staff meeting (which are not during hours of operation), but sufficient parking is available. The daycare will not interfere with parking at 2539 Summit Ct., given that the unit has two designated parking spots allocated and the unit will only be occupied by a single tenant. There is ample parking for the tenant and a guest.



Murfreesboro Fire Rescue
Community Risk Reduction Division
2140 North Thompson Lane
Murfreesboro, TN 37129,
615-893-1422
www.murfreesborotn.gov

June 26, 2024
STATE INSPECTION DAYCARE

Meant To Be Loved
2537 Summit Court
Murfreesboro, TN 37130

Business Tax Receipt :

Business Tax Receipt (BTR) ? :

This building has passed inspection by Murfreesboro Fire Rescue Community Risk Reduction Division on Jun 26, 2024,

Please do not reply to this email. If you have any questions or concerns. Please contact Community Risk at 615-893-1422

Dwajuan Howse
(Inspector)

To Whom it May Concern,

In Regards to:

Davina Parker, Meant To Be Loved Located at 2537 summit court Murfreesboro, Tn 37130.

Ms. Parker is in the process of applying for a childcare license with the Department of Human Services within the State of Tennessee. This agency will be able to comply with all the requirements with the Department of DHS once this process is completed.

Please let me know if you need any further information.

Thank you,

Lynn Spearman



**STATE OF TENNESSEE
DEPARTMENT OF HUMAN SERVICES**

JAMES K. POLK BUILDING
505 DEADERICK STREET
NASHVILLE, TENNESSEE 37243-1403

TELEPHONE: 615-313-4700 FAX: 615-741-4165
TTY: 1-800-270-1349
www.tn.gov/humanservices

BILL LEE
GOVERNOR

CLARENCE H. CARTER
COMMISSIONER

Date: 6/7/2024	Agency Name: Meant to be Loved
Agency Contact: Davina Ikponmwosa	Agency Address: 2537 summit court murfreesboro, tn 37130

Measuring Visit

- Measure classrooms to determine capacity: 12+3
- Check exterior and interior of the building for obvious safety hazards.
- Check sinks, toilets, other water sources, and number of restrooms at the agency.
- Check Playground area and discuss fencing requirements.
- Ages of children: 2 years – 6 years
- Hours of Operation: 700am-530p
- Square Footage of Facility: 875
- Discussion of Architectural Plans if required: Yes No – group home

Measurements:

Garage space 13.11 x 13.7 = 179.6/30 = 5

Living room area 17.6 x 13.11 = 230.73/30 = 7

Room 11.3 x 10.4 = 117.5/30 = 3

By signing this form below, I am acknowledging that I understand that this visit is conducted by the PreLicensure Program Specialist to ensure that there are no hazards present for the health and safety of children in this proposed location.

I understand that State Fire, and/or Local Fire, Environmental Health Department inspection requirements, and Codes and Zoning can override this visit as approvals are required from these agencies in order for a Provisional License to be issued.


Provider Signature


Program Specialist



Division of Fire Prevention
 Codes Enforcement Section
 500 James Robertson Pkwy
 Nashville, TN 37241-1162

Inspection Date: **Thursday, June 20, 2024**
 Inspector: **Robert Swader**
 County: **75 - Rutherford**
 Inspection Type: **DHS Day Care Centers**
 TFM Number: **51024-INS**
 Document Type: **Initial Inspection Follow-Up**

Building/Project Name: **Meant To Be Loved**

Street Address: **2537 Summit Court**

City: **Murfreesboro**

ZIP: **37130**

Contact Name: **Davina Ikponmwosa**

Additional Contact: **Dwanda Spearman**

Street Address: **2537 Summit Court**

Email: **dwanda.l.spearman@tn.gov**

City: **Murfreesboro**

Additional Contact:

ZIP: **37130**

Email:

Phone: **(615) 556-0844**

Additional Contact:

Email: **dikponmwosa28@gmail.com**

Email:

Additional Contact:

Email:

Additional Contact:

Email:

Additional Contact:

Email:

IBC Occupancy Type: **E**

DHS license: Children under the age of 2 1/2: **Less than 5**

NFPA Occupancy Type: **Daycare**

DHS License: Children over the age of 2 1/2: **More than 5**

Square Footage: **875**

Licensed Number of Clients: **12+3**

Recommend Approval for Licensing? **Yes**

Deficiencies found. Items below must be corrected.

Item Number	Deficiency	Code Reference	Found Date	Correction Date
1-	Fire extinguisher would need to be selected and installed. A minimum of one 5lb ABC fire rating is required.	2012-NFPA 10 & 2012 IFC 906	06/17/2024	06/20/2024
2-	A total of two additional stand alone smoke detectors need to be installed for the foyer front entrance area and garage area. The playroom leading to the bathroom are protected with one smoke detector. This smoke detector is required to be properly maintain and operational.	2012-NFPA-LSC 101.9.6.2.10	06/17/2024	06/20/2024

Item Number	Deficiency	Code Reference	Found Date	Correction Date
3.	The locking mechanism of the foyer front entrance door requires more than one releasing operations. Locks, if provided, shall not require the use of a key, a tool, or special knowledge or effort for operation from the egress side.	NFPA 101 7.2.1.5.3	06/17/2024	06/20/2024
4.	Every door latch to closets, storage areas, kitchens, and other similar spaces or areas shall be such that clients can open the door from inside the space or area.	NFPA LSC 101-16.2.2.4	06/17/2024	06/20/2024

Notes:

06/20/2024: I performed the follow up inspection of the above home today. All deficiencies have been corrected. The home is now approved for licensure.

06/17/2024: An initial inspection was performed on 6/17/24. I was advised by the operator that the request is for a daycare building of approximately 875 square footage located at 2537 Summit Court, Murfreesboro. This request is for garage space, living room, and bedroom(play room) of the home. The operator advised that the remainder of the home would not be used for anything else other than this daycare. A few deficiencies were found and noted. All deficiencies listed above must be addressed. These deficiencies shall be completed and a follow up inspection scheduled. It was requested that the address number for the building be labeled on the building for identification. It was recommended that a gate be installed at the stairs leading upstairs to prevent kids from entering into the upstairs areas. If you have any questions or concerns, please feel free to call me at (615) 788-5785. Thanks

Helpful Information:

The State Fire Marshal's Office will perform consultation inspections if requested by DHS. If you are interested in a building to use as a day care and want to know if upgrades are needed for code compliance, contact your DHS counselor to make the request. A State Fire Marshal's Office inspector will then contact you to set up an inspection.

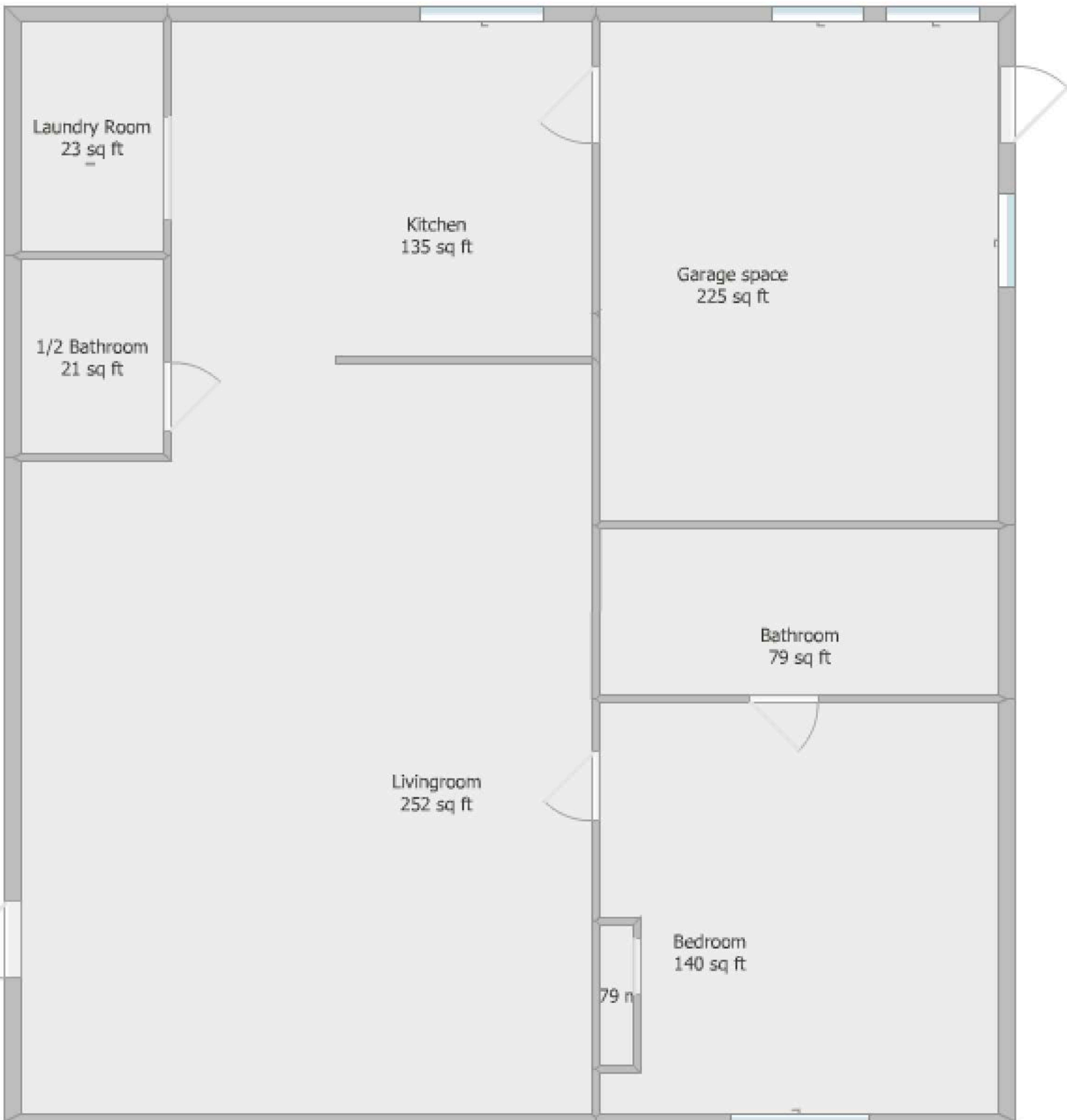
Fire Safety Specialist Email:

Robert.Swader@tn.gov

Fire Safety Specialist:

Allen Swader

Digitally signed by Allen Swader
Date: 2024.06.20 12:31:09 -05'00'



Laundry Room
23 sq ft

1/2 Bathroom
21 sq ft

Kitchen
135 sq ft

Garage space
225 sq ft

Bathroom
79 sq ft

Livingroom
252 sq ft

Bedroom
140 sq ft

79 sq ft

MURFREESBORO BOARD OF ZONING APPEALS

STAFF REPORT

July 24, 2024

PROJECT PLANNER: BRAD BARBEE

- Application:** Z-24-034
- Location:** 4546 Veterans Parkway
- Applicant:** Clyde Rountree of Huddleston Steele Engineering on behalf of Veterans Plaza, LLC./Ed Freeman
- Owner:** Veterans Plaza, LLC – Ed Freeman
- Zoning:** Commercial Fringe (CF)
- Requests:** A Special Use Permit to operate a Self-Service Storage Facility.



Richard Donovan

From: Bill Huddleston <bhudd@hsengr.com>
Sent: Thursday, July 18, 2024 1:53 PM
To: Richard Donovan; Wesley Harris
Cc: Ed Freeman; christian@noblearchitects.com; Clyde Rountree; Brad Barbee
Subject: RE: [EXTERNAL]- Veterans Plaza LLC BZA

Richard:

We hereby request to withdraw the Veterans Plaza LLC item from the July 24 BZA agenda.

Thanks you.

William H. Huddleston IV, P.E., R.L.S



From: Richard Donovan <rdonovan@murfreesborotn.gov>
Sent: Thursday, July 18, 2024 1:48 PM
To: Wesley Harris <wharris@hsengr.com>; Bill Huddleston <bhudd@hsengr.com>
Cc: Ed Freeman <ed@storplace.com>; christian@noblearchitects.com; Clyde Rountree <routree.associates@yahoo.com>; Brad Barbee <bbarbee@murfreesborotn.gov>
Subject: RE: [EXTERNAL]- Veterans Plaza LLC BZA

Bill and Wesley,

Due to the current state of the application being incomplete and lacking essential items required for staff to ascertain if all conditions have been met, we believe it is best for the applicant to voluntarily withdraw the application. Could you provide a letter to withdraw this item from the Board of Zoning Appeals (BZA) agenda?

Richard T. Donovan, Jr., AICP, CNU-A
Principal Planner
City of Murfreesboro Planning Department

From: Richard Donovan
Sent: Friday, July 12, 2024 4:30 PM
To: 'Wesley Harris' <wharris@hsengr.com>; Bill Huddleston <bhudd@hsengr.com>
Cc: Ed Freeman <ed@storplace.com>; christian@noblearchitects.com; Clyde Rountree <routree.associates@yahoo.com>; Brad Barbee <bbarbee@murfreesborotn.gov>; Matthew Blomeley <mblomeley@murfreesborotn.gov>; Ben Newman <bnewman@murfreesborotn.gov>
Subject: RE: [EXTERNAL]- Veterans Plaza LLC BZA

Bill and Wesley,

I have reviewed the documents that were sent over for in response to conversations with Brad and myself. Unfortunately, this application is to incomplete for us to proceed to the Board of Zoning Appeals in July. To get this application before the Board of Zoning Appeals in August we will need to the following items to be added to the application:

1. The photometric will need to be updated to provide appropriate lighting on site for the customers using the self-storage and well as ensuring that the light does not cause an undue adverse effect on the neighboring properties. The self-storage building has minimum lighting that leaves large dark spots that is unsafe for user of the site and non-compliance with our light standards. It is likely that the glazing on the north side of the building will allow light to spill on to adjacent properties.
2. The shadow study will need to include property lines and surrounding structures. They current shadow study prevents the BZA and Staff from reviewing and determining if neighbors will be unduly affect by the shadow.
3. The building elevation need to reflect the grading on the grading plan. The elevations have 5' of change from the west side of the building to the east while the grading plan on shows 2' of change over the same span.
4. The building elevations also need to include the proposed lighting on the elevations.

Let me know if you have any questions.

Richard T. Donovan, Jr., AICP, CNU-A
Principal Planner
City of Murfreesboro Planning Department

From: Wesley Harris <wharris@hsengr.com>

Sent: Friday, July 12, 2024 12:55 PM

To: Richard Donovan <rdonovan@murfreesborotn.gov>; Brad Barbee <bbarbee@murfreesborotn.gov>

Cc: Ed Freeman <ed@storplace.com>; christian@noblearchitects.com; Bill Huddleston <bhudd@hsengr.com>; Clyde Rountree <routree.associates@yahoo.com>

Subject: [EXTERNAL]- Veterans Plaza LLC BZA

Richard,

Thank you for taking my call. Attached is the BZA package with plans, exhibit, storplace rental agreement and rules to store by, special use permit letter, BZA Application for a special use permit. If there is anything else that is needed, please let me know.

Thank you,

Wesley D Harris, Engineering Technician



2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE : (615)893 - 4884, FAX: (615)893 - 0080

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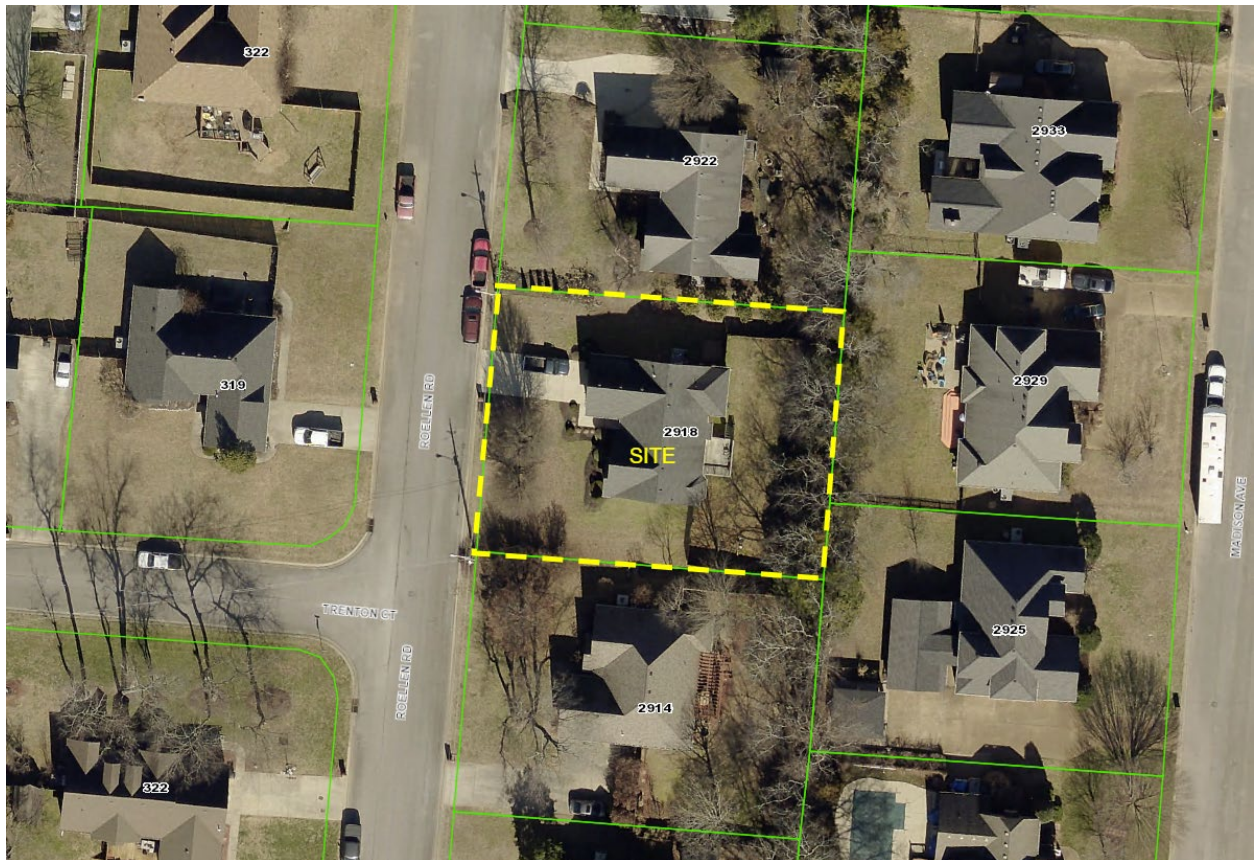
MURFREESBORO BOARD OF ZONING APPEALS

STAFF REPORT

JULY 24, 2024

PROJECT PLANNER: RICHARD DONOVAN

Application: Z-24-033
Location: 2918 Roellen Road
Applicants: Kristen Frenza
Zoning: RS-12 (Single-Family Residential, 12,000 square foot lot minimum)
Requests: A special use permit in order to operate a family daycare home



Overview of Request

Background

The applicant, Ms. Kristin Frenza, is requesting a Special Use Permit (SUP) to operate a family daycare home within a single family residence located at 2918 Roellen Road. The applicant currently operates a babysitting service, which is permitted under the definition of “Family” but wishes to expand her business to be able to care for more children. Per the Murfreesboro Zoning Ordinance, the use “Family Daycare Home” is permitted as a special use in the RS-15 (Residential Single Family) zone district and is required to go before the Board of Zoning Appeals for approval. Per the attached letter included in the agenda materials, the proposed family daycare home will only occupy the first floor of the single-family residence. No modifications are proposed for the dwelling unit at 2918 Roellen Road with this special use request.

The property is zoned RS-12 with no overlay district. The subject property is within the Brentmeade residential subdivision and borders Brookshire Estates the east. The properties in Brentmeade and Brookshire Estates are zoned RS-12 (Residential – Single Family Detached).

Proposed use and operation

According to the applicant’s letter, the proposed family daycare home will utilize the first-floor spaces of the dwelling unit and the rear yard, which has an existing privacy fence. Within this fenced area, there will be a smaller, enclosed section designated as an outdoor play area for the children. The applicant plans to dedicate a first-floor bedroom exclusively to daycare activities, while the kitchen and dining room will be used for meal preparation and mealtimes. The master bedroom will serve as a nap area for infants, and the living room will be an additional play area for indoor activities. The first-floor bathrooms will also be available for the children's use. The applicant intends to be the sole employee of the daycare. No new utility connections or improvements to existing services are proposed for this family daycare home.

The family daycare home will operate from 6:30 a.m. to 6:00 p.m., Monday through Friday. As noted in the letter, the maximum number of children to be cared for is seven (7). The applicant expects 1 to 2 vehicles at a time for morning drop-off and late afternoon pick-up. To manage this, "contracted hours" for each family will be arranged, ensuring no more than two families arrive or leave simultaneously, thus avoiding overlaps.

To meet additional standards for family daycare homes, the applicant plans to construct three new parking spaces on the north side of the existing driveway. These spaces will adequately serve the daycare and residence. However, the Zoning Ordinance mandates 22-foot drive aisles for sufficient turning space. The current 16-foot wide driveway will need an additional 6 feet to prevent vehicles from backing into the street.

Relevant Zoning Ordinance Section

The following are relevant sections from the Murfreesboro Zoning Ordinance that apply to family day care homes:

Section 2, Interpretations and Definitions:

- *Family Day Care Home: A place providing, or designed to provide, care for less than twenty-four hours a day for more than four, but less than eight, children who are*

unrelated, by blood or adoption, to the person providing such care, which may be licensed by the Tennessee Department of Human Services.

Chart 2 of the City of Murfreesboro Zoning Ordinance allows the “Family Daycare Home” use as a special use in the RS-12 district. City of Murfreesboro Zoning Ordinance Section 9(D)(2)(bb) sets forth standards for day care center, family day care home, and group day care home uses in addition to the Standards of General Applicability in Section 9(C). The applicable standards are listed below with information from staff on how the applicant intends to address them. After reviewing the criteria for family daycare home uses, this application appears to meet most of the criteria with exception of Family Daycare Home specific standard (2) that requires vehicles to exit the site without backing on the street or sidewalk.

Standards of General Applicability with Staff Analysis:

- (1) The proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare:**
 - The proposed family daycare home is internal to the site and should have minimal impact to surrounding residential properties. Three new parking spaces will be constructed off the exiting driveway for the drop-off and pick-up of the children. The applicant, who is also the only employee, will park in the garage of the residence. The applicant will not be making any changes to the exterior of the building and has an existing wood privacy fence to provide screening for adjacent properties.

- (2) The proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations:**
 - The proposed family daycare home will not be making any changes to the exterior of the building; it will continue to look like a single-family residence. Additionally, the applicant will be constructing three additional parking spaces in the front yard to accommodate drop-off and pick up. The applicant anticipates no more than 2 vehicles to be on-site at an one time during pickup and drop-off times. As previously mentioned, the applicant has an existing privacy fence around the backyard of the property to provide additional screening from the adjacent residential properties, and privacy for the children of the family daycare home.

- (3) The proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services:**
 - The property has existing services and access to public facilities. The proposed building will be served adequately by essential public facilities and does not require any new connections or improvements to existing services.

- (4) **The proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance:**
- Staff has reviewed the subject property and the site plan and found no features of significant natural, scenic, or historic importance.
- (5) **The proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use:**
- Additional standards for Family Daycare Home use are listed below with staff analysis.

Additional Standards for Family Day Care Home Uses with Staff Analysis:

- (1) **An on-site off-street area shall be provided for vehicles to load and unload passengers;**
- As mentioned previously, the applicant will be constructing a three parking spaces on the north side of the existing driveway to accommodate drop-off and pick-ups for the family daycare home .
- (2) **Facilities for vehicular access to and from the site of the day care home shall be arranged to permit vehicles to exit from the site without backing onto the street or sidewalk;**
- As depicted on the plot plan, three additional parking spaces are added on the north side of the driveway. These parking spaces are within a drainage easement that has a portion of stormwater system pipe within the easement. The applicant will need to sign an easement agreement form prior to installation of the parking spaces. The applicants plot plan indicates that existing driveway is 16 feet wide. The zoning ordinance requires drive aisles for 90-degree parking spaces to be 22 feet in width. The 16-foot driveway is 6 feet short of meeting this standard and will make the turning movements for backing of the parking spaces and pulling into the right-of-way difficult. The applicant will need to provide additional width to the driveway or provide a loop driveway to ensure that the sufficient space for vehicles to turn around in the front yard and exit without impacting the public right-of-way or adjacent residential properties is possible.
- 3.) **An application for a special use permit for a day care home shall be accompanied by a statement from the State of Tennessee, Department of Human Services, that such day care home can comply with all requirements of the State of Tennessee with respect to such use;**
- The applicant has provided a statement from the State of Tennessee, Department of Human Services, stating that the family daycare home can comply with all the requirements of the State of Tennessee.
- 4.) **Screening may be required along the lot lines of the site of the day care home to block such day care home from the view of the property classified in a residential zoning district and from the residential portion of an approved planned unit development;**
- As depicted on the site plan, there is an existing wood privacy fence on the property that will be used for outdoor recreational activities for the children. The existing privacy fencing is providing for screening of the outdoor play area for the adjacent

residential properties, and to also ensure the daycare and children shall have privacy from adjacent properties.

5.) Required off-street parking shall be located on-site;

- Three additional parking spaces are being added to the north side of the existing driveway for to accommodate the drop-off and pick-up of children. The applicant is the only employee for the business and will utilize parking for the residence inside of the garage.

Staff Analysis and Recommendation:

Staff recommends indefinite deferral of this application until an existing codes violation is resolved on site. Staff was informed that a pool was installed on site within a drainage easement without a permit. Staff reached out to the applicant to investigate the report and the applicant acknowledged that a pool had been installed without a permit. The Zoning Ordinance prohibits special use permits from being reviewed with an existing violation on site. In this instance the violation did not occur until after the applicant had applied. If Board decides to approve the application with an existing violation, staff recommends that approval of the special use permit be made subject to the following conditions.

Recommended Conditions of Approval:

- 1) This special use permit for a family daycare home will allow for the care of no more than 7 children.
- 2) The hours of operations shall be from 6:30am to 6:00pm Monday through Friday. The family daycare home business shall not operate beyond these hours during the week and shall be closed Saturday and Sunday.
- 3) The family daycare home shall only employ the owner in the family daycare home use. Should the applicant wish to hire additional employees and or increase the number of children enrolled in the daycare, the applicant shall amend the special use permit and be subject to the general standards, as well as additional standards for Group Daycare Home use.
- 4) All child loading and unloading shall be done on the property, and no parking associated with this family daycare home use is permitted on the public right-of-way.
- 5) Applicant shall contact the City of Murfreesboro Building and Codes Department to obtain any required permits for new construction and/or remodeling and pass the necessary inspections.
- 6) The applicant shall provide an updated plot plat that ensures adequate space, according to the Zoning Ordinance, for backing out of the proposed parking spaces and pulling into the public right-of-way.
- 7) The Special Use Permit shall lapse upon sale or transfer of the property, or, if the owner, Kristen Frenza, ceases to reside at 2918 Roellen Road.
- 8) Any code or zoning violations are resolved prior to operation of the family daycare home commencing.

Attached Exhibits

- A. Plot Plan
- B. Floor Plan

- C. Letter of explanation from applicant
- D. Procedure Form
- E. Letter from State of Tennessee, Department of Human Services
- F. Application

DRIVEWAY EXTENSION PLOT PLAN

FRENZA KENNETH J, JR
FRENZA KRISTEN

2918 ROELLEN ROAD, MURFREESBORO, TN 37130

PARCEL ID: 068H A 074.00

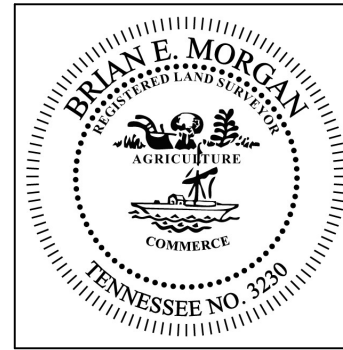
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RUTHERFORD COUNTY, TENNESSEE

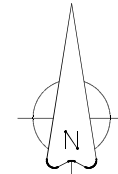
DATE OF SURVEY: 6-20-2024

DATE OF DRAWING: 6-20-2024

REV: 7-11-2024



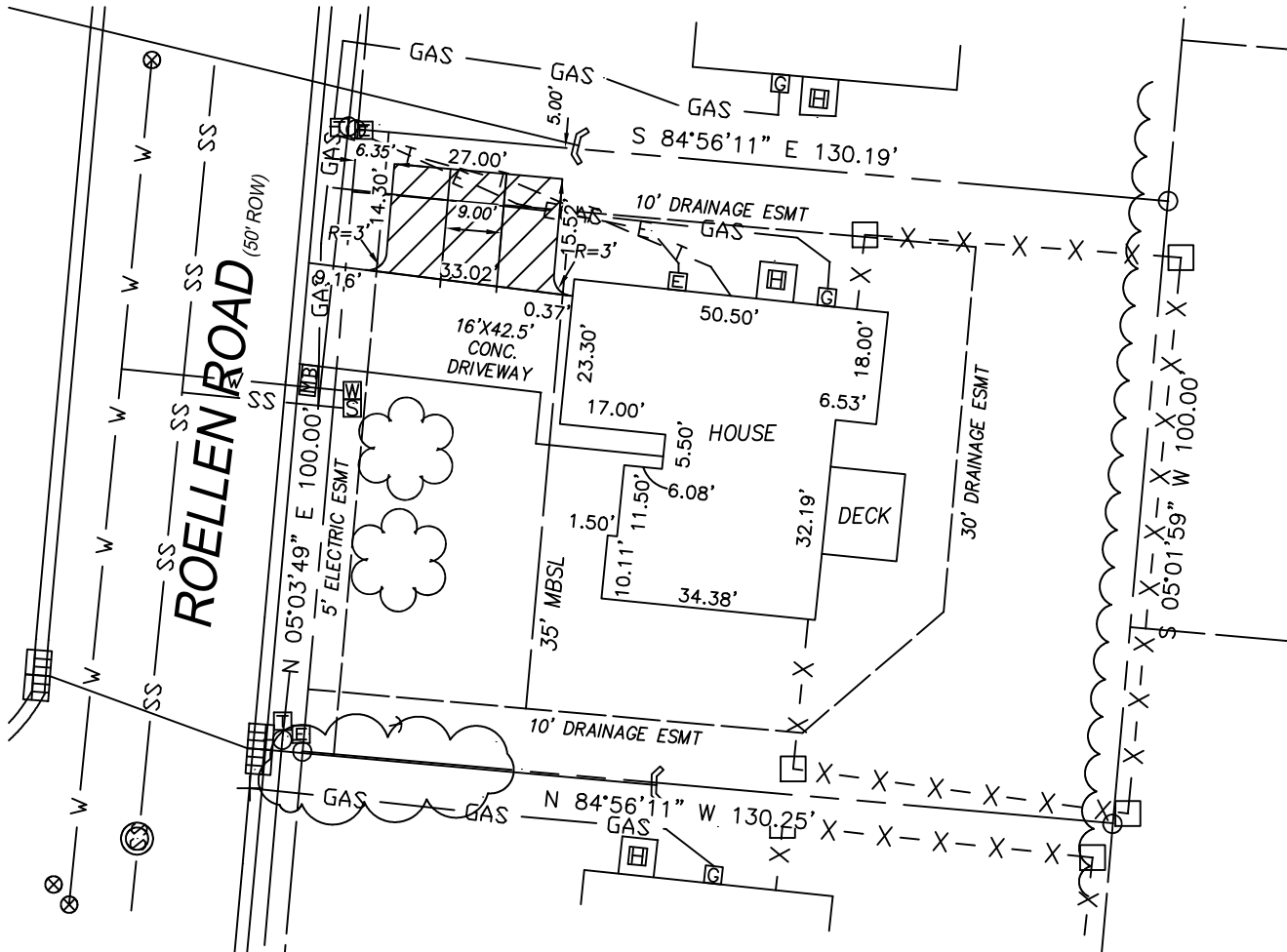
624 OSBORNE LN
MURFREESBORO, TN 37130

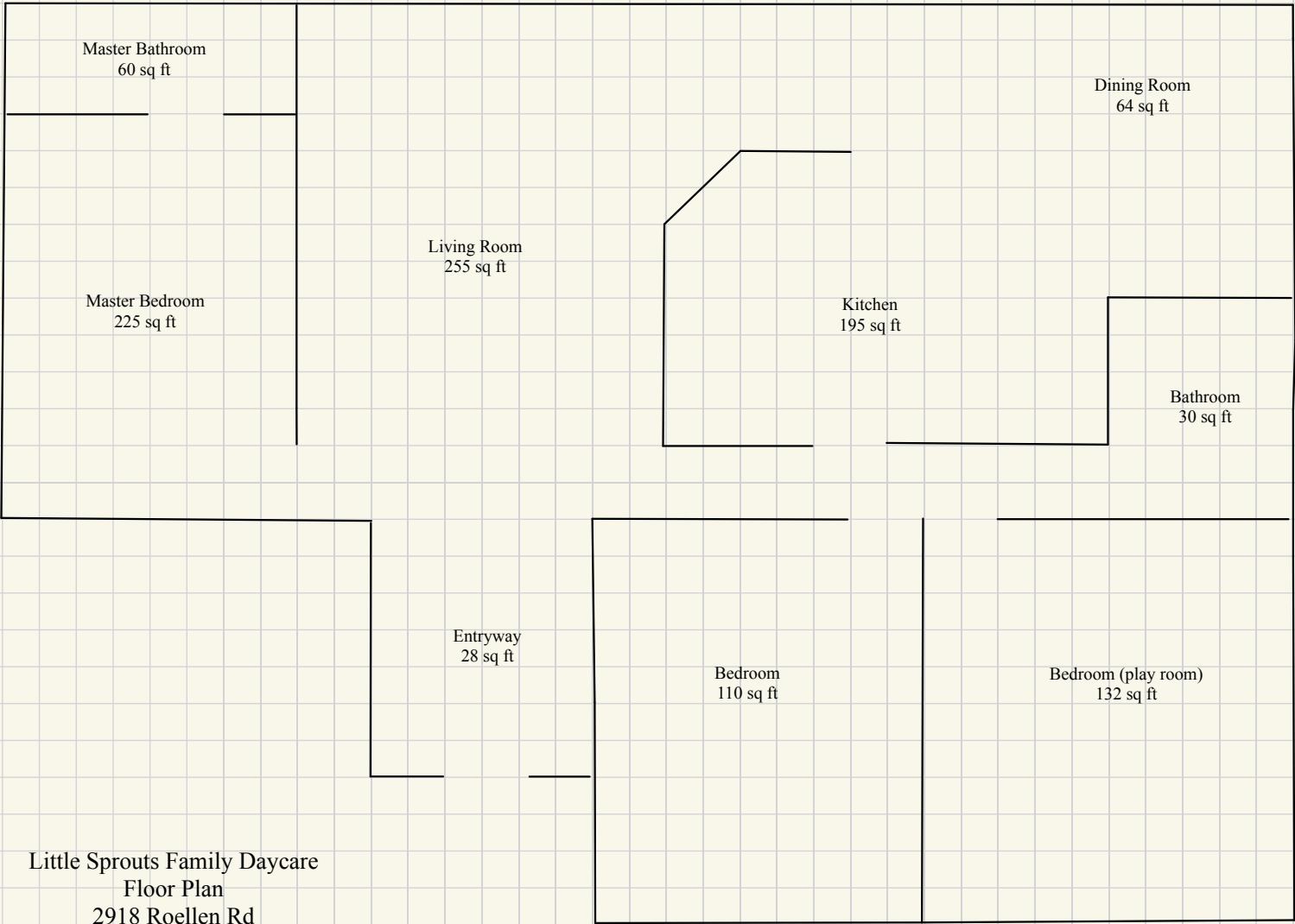


LINES	
—————	ADJACENT PROPERTY
—————	PROPERTY LINE
—————	EASEMENT
-X-X-X-X-X-X-	FENCE
-E-E-E-	ELECTRIC
-T-T-	COMMUNICATIONS
-SS-SS-	SEWER

Symbols	
○	IRON PIN FOUND (IPF)
●	IRON PIN NOT LOCATED
□	HVAC
□	ELECTRIC BOX
□	COMM. BOX
⊞	WATER METER
⊙	MANHOLE
⊞	STORM INLET
⊞	CLEANOUT
⊞	IRRIGATION CONTROL

HATCH	
	PROPOSED ADDITION





Little Sprouts Family Daycare
Floor Plan
2918 Roellen Rd
Murfreesboro, TN 37130

July 3, 2024

To Whom It May Concern,

My name is Kristen Frenza, and I have been a licensed childcare provider in Massachusetts for six years. Recently, my family and I relocated to Murfreesboro, Tennessee, so that my husband could pursue a new career opportunity. I am eager to continue my career as a home daycare provider here in Murfreesboro, where there is a noted shortage of licensed daycares. My daycare will operate from my home located at 2918 Roellen Road. The hours of operation will be from 6:00 am to 6:00 pm.

I am currently in the process of obtaining licensure through the Tennessee Department of Human Services. My home has already been inspected and approved by both state and local fire department authorities. Upon licensure, I plan to accommodate up to seven children without additional staff. My own three children will be present during daycare hours, although they do not count toward the number of children I am licensed for.

To minimize traffic and ensure a smooth drop-off and pick-up process, I will implement contracted hours for each family and schedule their arrival and departure times. I plan to enroll children with specific pick-up times in mind so that I never have more than two families arriving or departing simultaneously. To avoid late pick-ups and overlaps, I will include significant late fees in my contract to discourage tardiness. Families arriving after their contracted time of 5:30 pm will not be able to pick up their child until 5:45 pm, at which point late pick-up fees will automatically apply. Each family will have ten minutes to pick up their child, with a ten-minute gap between the next pick-up to prevent any overlap. Parking will be designated off the driveway in the proposed parking spaces, with families pulling in forward and backing out toward the garage when leaving. At no point will families need to back out onto the street. During daycare hours, my husband will be at work, and my vehicle will be parked in the garage, ensuring no additional vehicles are on the premises. If my husband is home during daycare hours, he will also park his car in the garage.

For your reference, I have included a floor plan of my home. The second bedroom will serve exclusively as a daycare playroom, facilitating activities such as free play, circle time, and arts and crafts. It will also accommodate nap times for the older children. The adjacent bathroom will be available for children to use the toilet and wash their hands. Mealtimes will be held in the kitchen and dining room areas. Infants will nap in portable cribs located in the master bedroom, while the living room will serve as an additional play area or for indoor activities on inclement days. The upstairs area above the garage, which includes two bedrooms for my own children, will not be used for daycare purposes.

Outside, we have a fully fenced-in backyard with a six-foot wooden privacy fence. This will ensure that the children do not disturb the neighbors during our 1-2 hours of outdoor activities. We also have a small fenced-in play yard to keep the children in one area of the yard.

Thank you for considering my application. I look forward to the opportunity to positively contribute to the lives of children and families in Murfreesboro.

Sincerely,

Kristen Frenza



Board of Zoning Appeals Procedure Form

Request for Daycare Center, Family, or Group Daycare

This form only pertains to *special use permit requests for the Board of Zoning Appeals*. The information contained in this document shall not be considered exhaustive and shall only serve to summarize the details of the special use permit request for the Board of Zoning Appeals and Planning Department staff. **Additional information may be requested during the review process as determined by the zoning administrator.**

Date: June 25, 2024

Applicant name & title: Kristen Frenza Planner name: Joel

Aguilera

Application request: Requesting a special use permit for a family home daycare

Purpose of request: I would like to open a licensed family home daycare

Section 8 – Procedure for Uses Requiring Special Use Permits

a) Name, address, and telephone number of the *applicant*

Kristen Frenza, 2918 Roellen Road Murfreesboro, TN 37130, 508-648-6592

b) Nature and extent of applicant's ownership interest in subject property

I am the owner of the property. I will also be the owner of the business and will have no employees.

c) Site plan to be submitted for review by City Staff and Board of Zoning Appeals

I have included a plot plan of the outside as well as a floor plan of the inside of my home.

d) Address of the site of the proposed special use

2918 Roellen Road Murfreesboro, TN 37130

e) Vicinity map showing the property of the proposed special use and all parcels within a five-hundred-foot radius
Please see the attached map.

f) Zoning classification the property of the proposed special use
Residential

g) The property of the proposed special use shall have the following characteristics:

1) Hours and days of operation

Monday – Friday, 7:00 am to 5:00

pm

2) Duration of the proposed special use

Indefinitely

3) Number of expected patrons that will be expected to utilize the property of the proposed special use

Up to 7

children

4) Projected traffic that will be expected to be generated by the proposed special use

1-2 cars at one time, not to exceed 10 minutes for pick up and drop

off.

h) Potentially harmful characteristics of the proposed special use for the zoning district in which it is proposed and the manner in which the applicant proposes to eliminate or minimize them

There are currently no known harmful characteristics at this

time.

Section 9 – Standards for Special Use Permits

Standards for General Applicability.

An applicant for a special use permit shall present evidence at the public hearing on such special permit. Please explain how you will comply with the following standards:

- 1) that the proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare;
I am committed to minimizing any adverse effects on neighboring properties. My plan includes measures to control noise levels, maintain a clean and tidy exterior, and establish appropriate hours of operation that are considerate of nearby residents.

- 2) that the proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations;

The daycare home will be designed and operated to blend harmoniously with the surrounding neighborhood and adhere to licensing regulations. I will ensure that the operations minimize disruption to adjacent properties, including managing noise levels, traffic flow, and maintaining a compatible aesthetic.

- 3) that the proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services;

My daycare home is strategically located to ensure easy access via highways and streets, with sufficient parking and reliable connections to water, sewer systems, and fire protection services. I will adhere to all waste disposal regulations and prioritize safety through security measures and emergency protocols. I am committed to maintaining these standards to support a safe and efficient environment for children and the community.

- 4) that the proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance; and,

The daycare home will be developed in accordance with regulations to ensure the preservation of any natural, scenic, or historic features deemed significant by the Board of Zoning Appeals (BZA). I am committed to conducting thorough assessments and implementing protective measures to prevent any destruction, loss, or damage to these valued elements. My goal is to contribute positively to the local environment while respecting and safeguarding its unique attributes.

- 5) that the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use.

The proposed daycare home will fully adhere to all specific standards outlined in the relevant section authorizing its use. I am committed to meeting or exceeding these standards to ensure the daycare operates in accordance with regulatory requirements. My approach will include thorough review and proactive measures to guarantee compliance.

Standards for (bb) Day care centers, family day care homes, and group day care homes

Please explain how you will comply with the following standards:

[1] an on-site off-street area shall be provided for vehicles to load and unload passengers; Each daycare family will have a specific drop-off and pick-up time. Up to 2 cars will be present at one time, and each will park in the proposed parking spaces. Each family will have up to 10 minutes to drop their child off and pick their child up.

[2] facilities for vehicular access to and from the site of the day care home shall be arranged to permit vehicles to exit from the site without backing onto any street or sidewalk; Each family will back out of the parking space towards the garage, and pull forward out of the driveway.

[3] an application for a special permit for a day care home shall be accompanied by a statement from the State of Tennessee, Department of Human Services, that such day care home can comply with all requirements of the State of Tennessee with respect to such use;

Please see the attached letter from the Department of Human Services.

[4] Screening may be required along the lot lines of the site of the day care home to block such day care home from the view of property classified in a residential zoning district and from the residential portion of an approved planned unit development;

The back yard is completely fenced in with a 6-foot privacy fence.

[5] required off-street parking shall be located on-site;
The attached plot plan shows the 2 proposed parking spaces that will be available on-site for business use.

Date: June 25, 2024

Applicant signature:

A handwritten signature in black ink, appearing to read "H. [unclear] [unclear]", written over the printed text "Applicant signature:".

To Whom it May Concern,

In Regards to:

Kristen Frenza, Little Sprouts Family Daycare located at 2918 Roellen Rd, Murfreesboro, Tn 37130.

Mrs. Frenza is in the process of applying for a childcare license with the Department of Human Services within the State of Tennessee. This agency will be able to comply with all the requirements with the Department of DHS once this process is completed.

Please let me know if you need any further information.

Thank you,

Lynn Spearman

Lynn Spearman | Pre-Licensure Program Specialist

Child and Adult Care Pre-Licensure Unit

[1711 Old Fort Parkway, Murfreesboro, TN 37129](https://www.murfreesboro.gov/1711-Old-Fort-Parkway-Murfreesboro-TN-37129)

p. 615-907-9379 c. 615-920-1108

Dwanda.L.Spearman@tn.gov

ChildCarePreLicensure.DHS@tn.gov

[TN.gov/HumanServices](https://www.tn.gov/human-services)

City of Murfreesboro
BOARD OF ZONING APPEALS

HEARING REQUEST
APPLICATION

Location/Street Address: 2918 Roellen Rd.

Tax Map: Group: Parcel: Zoning District:

Applicant: Kristen Frenza E-Mail: kristenfrenza@gmail.com

Address: 2918 Roellen Rd. Phone: 508-648-6592

City: Murfreesboro State: TN Zip: 37130

Property Owner: Kristen + Kenneth Frenza

Address: 2918 Roellen Rd. Phone: 508-648-6592

City: Murfreesboro State: TN Zip: 37130

Request: Special use permit, Family

Daycare Home

Zoning District:

Applicant Signature: *Kristen Frenza* Date: 7/3/24

Received By: AF Receipt #: 375224

Application #: 2-24-033 Date: 7/5/24

Murfreesboro
Board of
Zoning Appeals



T E N N E S S E E
HEARING APPLICATION
AND
GENERAL INFORMATION

INTRODUCTION:

The Board of Zoning Appeals hears appeals of the requirements of the Zoning and Sign Ordinances, appeals from administrative decisions, and requests for Special Exception uses listed on Chart 1 of the Zoning Ordinance.

VARIANCES:

Required yard and height variances may be granted in accordance with Section 10 of the Zoning Ordinance in cases where the strict application of the ordinance imposes hardship or practical difficulty on the property owner due to the unusual character of the property, which makes compliance extraordinarily difficult or impossible. *Financial hardships will not be considered.*

Variances of the Sign Ordinance may be granted in cases where the strict application of the ordinance imposes hardship or practical difficulties as a result of unusual characteristics of the applicant's property, which make compliance extraordinarily difficult or impossible. *Financial hardships will not be considered.*

SPECIAL USE PERMITS:

Special use permits may be granted in accordance with Sections 8 and 9 of the Zoning Ordinance for uses specified in Chart 1 of the Zoning Ordinance.

APPEALS FROM ADMINISTRATIVE DECISIONS:

The Board of Zoning Appeals has authority to hear appeals from any order, requirement, decision, or determination by any department, office, or bureau responsible for the administration of the Zoning or Sign Ordinances.

APPLICATION PROCESS:

The owner or other party having contractual interest in the affected property must file an application with the Board's secretary no later than 3:00 PM on the submittal deadline date on the official BZA Calendar.

The applicant must submit the following:

1. A completed application (included on this brochure).
2. A \$350 application fee; or in the case of a special meeting, a \$450 application fee (checks to be made payable to the City of Murfreesboro).
3. Supporting materials which should include:
 - For special use permits, a site plan indicating the location of all existing and proposed structures, parking spaces, access points, fences, driveways, and property lines. Home occupation requests should include a statement of the proposed hours of operation, the volume of traffic anticipated, and the nature of the

business. Day-care centers should include a statement from the Department of Human Services that such center can be licensed by the State.

- For yard variance requests, a site plan showing all existing and proposed structures, property lines, and the distance between structures and the property lines.

-- For appeals from administrative decisions, a statement indicating the order, requirement, decision, or determination being appealed and a statement setting forth the applicant's argument.

-- Additional information may be required at the discretion of the Board's Secretary.

MEETING TIME AND PLACE:

The Board of Zoning Appeals meets once a month at 1:00 PM in the Council Chambers located in the City Hall Building at 111 West Vine Street. See BZA Calendar for meeting dates.

MEMBERSHIP

Davis Young, Chairman	Julie R.P. King
Ken Halliburton, Vice-Chair	Tim Tippes
Misty Foy	

STAFF

Matthew Blomeley, Asst Planning Director
Teresa Stevens, Sign Administrator
David Ives, Assistant City Attorney
Brenda Davis, Recording Assistant

MURFREESBORO BOARD OF ZONING APPEALS

STAFF REPORT

JULY 24, 2024

PROJECT PLANNER: JOEL AGUILERA

- Application:** Z-24-032
- Location:** 4236 Veterans Parkway
- Applicant:** Fellowship Bible Church, represented by Matt Taylor of SEC.
- Zoning:** RS-15 (Residential Single-Family - 15,000 square feet minimum lot size)
- Request:** Requesting an amendment to an existing special use permit for an existing institutional group assembly use to continue the use of an 8,190 square-foot temporary modular building for an additional two years by a private school grades Kindergarten through 12 in conjunction with the existing church, in a RS-15 zone located at 4236 Veterans Parkway



Overview

Background

The applicant, Fellowship Bible Church, represented by Matt Taylor of SEC, is requesting an amendment to an existing special use permit for an existing institutional group assembly use to continue the use of an 8,190 square-foot temporary modular building for an additional two years for the private school, Redeemer Classical Academy. The subject property is located at 4236 Veterans Parkway. The surrounding land uses are single-family and multi-family residential to the south and east, and vacant commercial to the north.

As the board may recall, Redeemer Academy had acquired property for their permanent school campus located along Old Salem Road. However, the construction of the new school was delayed due to construction costs. Redeemer submitted a new SUP February 2019 requesting an extension of time for their modulares at Bethel Community Church to expire on July 31st, 2022. Redeemer then relocated to 4236 Veterans Parkway, where Fellowship Bible Church then assumed responsibility of the management and removal of the modulares in 2 years (July 31, 2024), as approved by the Board of Zoning Appeals in June 2022. Redeemer had acquired property in Rutherford County, and the old property in the city limits, is now under contract for purchase, and under consideration for rezoning to construct a single-family residential subdivision. Redeemer has a site plan approved with Rutherford County and are currently working through the permitting at the state and local level.

Proposed request

Per the applicant's correspondence, Fellowship wishes to extend the special use permit to August 31, 2026. Staff has confirmed with the applicant, and Redeemer, that the only requested change with this special use, is the extension of the special use permit expiration date by 2 additional years. As shown on the site plan, the temporary modular building will remain in the same location it was approved for by the BZA, on the side of the building away from public rights-of-way. The square footage of the modular building will remain the same as it was approved by the BZA, 8,190 total square feet. The hours and operation will continue to be the same Monday through Friday, from 7:00 AM (bell time of 8:00 AM) – 5:00 PM (bell time 3:00 PM). The student population will continue to be the same and has not changed, 85 total students plus teachers and administration personnel. The staging or queuing of school traffic will continue to be prohibited on Jack Byrnes Drive and will be managed on-site. There is no change to on-site parking. Additionally, the landscaping installed between the modular building and right-of-way will continue to remain as approved by the BZA.

Relevant Zoning Ordinance Section

Chart 2 of the City of Murfreesboro Zoning Ordinance allows institutional group assembly uses, such as churches and expansions thereto, as a special use in the RS-15 district. City of Murfreesboro Zoning Ordinance Section 9(D)(2)(zz) sets forth standards for institutional group assembly uses in addition to the Standards of General Applicability in Section 9(D).

The applicable standards are listed below with information from Staff on how the applicant intends to address them. After reviewing the criteria for the special use requirements for institutional group assembly uses, this project appears to meet the criteria.

Standards of General Applicability with Staff Analysis:

(1) The proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare:

- There are no changes to the modular building or current on-site conditions. The temporary modular building will continue to have minimal impact on the surrounding area. The existing parking lot will be adequate for the school operations, the modular will be installed to have ADA access and will include restrooms inside. The existing landscaping installed in 2022 will continue to screen views from Veterans Parkway. The modular will be removed by August 31, 2026. For these reasons, the proposed temporary modular and private school will not impact to the adjacent public rights-of-way or neighboring properties.

(2) The proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations:

- There are no changes to the modular building or current on-site conditions. The applicant is only requesting an extension of the special use permit deadline. The temporary modular and private school use will continue to be compatible with the existing church campus and will not impact the traffic flow and generation on-site or off-site. The school will continue to operate on days of the week and hours that will not conflict with use of the church for peak times, nor will it generate significant amounts of traffic to the site. For these reasons, the temporary modular and private school will continue to be compatible with neighboring properties and will not interfere with use or development of adjacent property.

(3) The proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services:

- The modular building will continue to be served adequately by essential public facilities, including restrooms inside the temporary building. Parking, as shown on the site plan, complies with Chart 4 of the Zoning Ordinance. There will continue to be no impacts to drainage, fire protection, water, and sewer services.

- (4) The proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be significant natural, scenic, or historic importance:**
 - Staff is not aware of any such features on-site that will be impacted by this use.
- (5) The proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use:**
 - Additional standards for institutional group assembly uses are listed below.

Additional Standards for Institutional Group Assembly Uses:

- a) Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on site. An onsite off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard;**
 - As mentioned previously, there is no change to the site other than a request to extend the deadline of the special use permit. No changes to parking are being proposed with this request due to the site already exceeding the parking requirements per Chart 4 of the Zoning Ordinance. The applicant has confirmed that no new passenger loading or unloading zone has been proposed with this request.
- b) In all residential districts an institutional group assembly use shall have a lot size not less than three times the minimum lot size permitted in the zoning district where the institutional group assembly use is proposed to be located. In the event the institutional group assembly use is proposed to be located on land that has two or more different zoning classifications, the minimum lot size shall be calculated by applying the larger required minimum lot size;**
 - The minimum lot size of the RS-15 zone requires a minimum of 15,000 ft lots thus the minimum size is 45,000 ft or 1.033 acres. The proposed site is approximately 13.96 acres in size, which exceeds the required minimum.
- c) On-site lighting for parking areas, fields for athletics, scoreboards, and grounds shall be arranged in such a manner as to minimize intrusion of lighting into areas zoned or used for residential or medical purposes. To this end, a plan depicting the proposed location of on-site exterior lighting fixtures shall be submitted for review by staff and the BZA. Such plan shall depict the arrangement of the lighting fixtures, their height, their specifications, and the direction in which lighting will be oriented. Additional information may be required by the staff or the BZA in order to verify whether the lighting will be intrusive into areas zoned or used for residential or medical purposes;**
 - As mentioned previously, the site will have no no new on-site permanent lighting has with this request.

- d) Applications for an institutional group assembly use shall indicate the proposed locations of garbage dumpsters or receptacles. These shall be located in such a manner as to minimize adverse effects upon neighboring properties and aesthetics from the public right-of-way. The use of dumpsters may be prohibited in the event the BZA determines that such would have a detrimental effect upon the adjacent property;**
- Solid waste disposal will continue to be handled via trash carts located on the northern side of the existing building. The carts are sited on a concrete pad, behind an enclosure.
- e) Areas for outdoor recreational use or outdoor group activities shall be screened or fenced in such a manner as to provide an effective buffer for adjacent uses. Screening shall be required pursuant to Section 27 of this article or as required by the BZA;**
- No new recreational areas are proposed with this special use permit extension request and the existing tree vegetation will continue to be used as buffers.
- f) The number of required parking spaces provided on-site shall be in accordance with Chart 4 of this article provided, however, if the applicant can present evidence satisfactory to the BZA that a substantial portion of the expected users will arrive at the institutional group assembly use by bus, bicycle, walking, or by carpooling or that off-street parking areas on adjacent or nearby properties will be available on a long term basis, the BZA shall have authority to determine the number of required parking spaces to be provided on-site. The BZA may require that a reserve area be retained on-site for future expansions of the parking area;**
- The total number of parking spaces currently existing on-site is a total of 184 parking spaces (plus 7 handicap). Per the Zoning Ordinance Chart 4, the site is required to have a minimum of 39 parking spaces. The site still exceeds the minimum number required by the City ordinance. The school and church will operate at different times so there would not be any conflicts for parking demand or traffic impacts from the uses.
- g) An application for a special use permit for an institutional group assembly use shall be accompanied by a description of uses or activities proposed for the facility which may be subject to separate regulation, or which may result in unusual traffic patterns, traffic volumes, or other detrimental impacts upon adjacent properties, including but not necessarily limited to those uses which would require a special permit if not a part of the institutional group assembly use:**
- The proposed use is temporary modular and a private school. The attached correspondence describes the use and assures the removal of the modular in 2 years, August 31, 2026. It is not anticipated that there will be any significant negative impacts resulting from the temporary modular and school use to the church or surrounding area.
- h) The BZA shall have authority to approve an on-site location with water, sewer, and electric utility connections for accommodations for travel trailers or R.V.s (recreational vehicles) for use by visiting or traveling speakers or guests associated with the**

institutional group assembly use. Provided, however, such location for travel trailers or R.V.s shall not be permitted for use as a permanent residential dwelling unit;

- No such uses are being requested with this special use permit application.
- i) The BZA shall have the authority to grant variances to the standards imposed by this subsection for temporary or short term uses of property for the institutional group assembly use purposes. In such cases, the BZA may impose conditions of approval to assure the compatibility of the short-term land use with other property in the vicinity of the proposed use;**
- No temporary or short-term uses are being proposed at this time; only a request to extend the special use permit.
- j) The application for a special use permit for an institutional group assembly use shall indicate any intentions for the use of systems for the external broadcast of speech, music, or other sounds. If such are proposed, the applicant shall indicate the times of day and duration of their proposed use. The BZA shall have the authority to place restrictions upon their use in order to minimize excessive noise from intruding upon neighboring properties especially those zoned or used for residential purposes. In no event shall the BZA approve the use of such which would be in violation of the City Code or ordinances regulating noise. BZA approval does not constitute a waiver of any City Code or ordinances regulating noise;**
- The applicant does not intend to have a speaker attached to the modular.

Staff Comments:

Staff analysis demonstrates that the requested use meets the standards of general applicability and the standards for establishing a new institutional group assembly use on a property zoned RS-15. Staff recommends approval of the SUP to allow the temporary modular building and the operation of a private school K-12 on the subject property, subject to the following conditions of approval.

Recommended Conditions of Approval:

1. The special use permit shall allow the use of a temporary modular building, to be used for a private school, Redeemer Academy School, grades K-12.
2. The modular building shall not exceed 8,190 square feet and shall be installed at the south side of the church building consistent with the site plan.
3. The modular building shall be removed no later than August 31, 2026.
4. The maximum number of students allowed to be enrolled at the school is 85. If the school desires to have a greater number of students, then it must apply to the BZA to amend the special use permit. A traffic study will be required at that time.
5. The days and hours of school operations shall be limited to Monday through Friday, from 7:00 AM (bell time of 8:00 AM) – 5:00 PM (bell time 3:00 PM) and shall not conflict with the church services or large events.
6. The applicant shall continue to maintain the landscaping between the buildings and in front of the modular as previously conditioned by the Board of Zoning Appeals.
7. No staging or queuing of school traffic will be allowed on Jack Byrnes Drive.

Attached Exhibits

- A. Site plan and elevations
- B. Correspondence
- C. Application

Notes:

- 1) Engineering Department Point of Contact is Katie Noel, 615-893-6441; KNoel@MurfreesboroTN.gov
- 2) Planning Department Point of Contact is Joel Aguilera, 615-893-6441; JAguilera@MurfreesboroTN.gov

Fellowship Bible Church

4236 Veterans Parkway

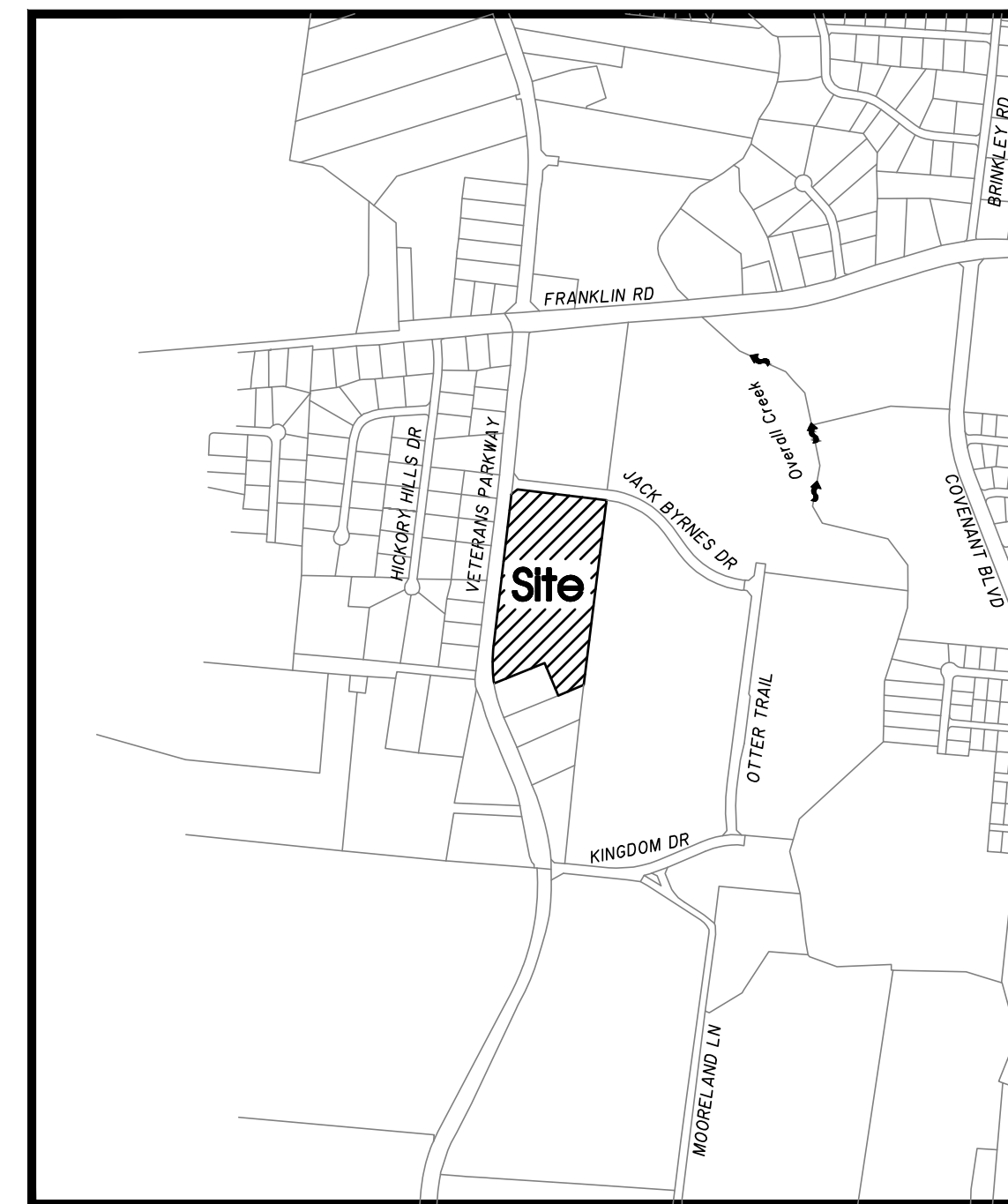
Murfreesboro, Tennessee

Special Use Application For

Temporary Classroom Portables

Drawing Index

Sheet No.	Title
1	Cover Sheet
2	Existing Conditions
3	Location Map
4	Site Plan



Site Location Map

Not To Scale

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By: _____ Date: _____
Matthew A. Taylor, P.E. TN. Reg. #112515

Watershed: Overall Creek (Fully Supporting)

Disturbed Area: \pm Ac.
Existing Impervious Area: 2.16 \pm Ac.
Proposed Impervious Area: \pm Ac.
Impervious Area: \pm Ac. (Sq.Ft.)



Owner/Developer:

Fellowship Bible Church of Rutherford County
4236 Vetrans Parkway
Murfreesboro, TN 37128

Deed Reference:

Tax Map 100, Parcel 6.04
R.Bk. 1089, Pg. 2491
P.Bk. 38, Pg. 39

Yard Requirements:

Front: 40'
Side: 12.5'
Rear: 30'

Intended Use:

Church(Existing)
Temporary Portables for Classrooms(Proposed)

Variances:

Board of Zoning Appeals Approved One Variance For This Site On June 27, 2012. Case # Z-12-038
1.)Special Use Permit Granted To Allow Construction Of A Church In RS-15 Zoning.

Land Use Data:

Zoned: RS-15
1-Story Building
Existing Building Ht.: 24'-0"
Existing Modular Ht.: 16'-8"
Existing Building Floor Area: 20,742 Sq.Ft.
Existing Modular Floor Area: 8,190 Sq.Ft.
Total Floor Area: 28,932 Sq.Ft.
1 Lot on: 13.96 \pm Acres

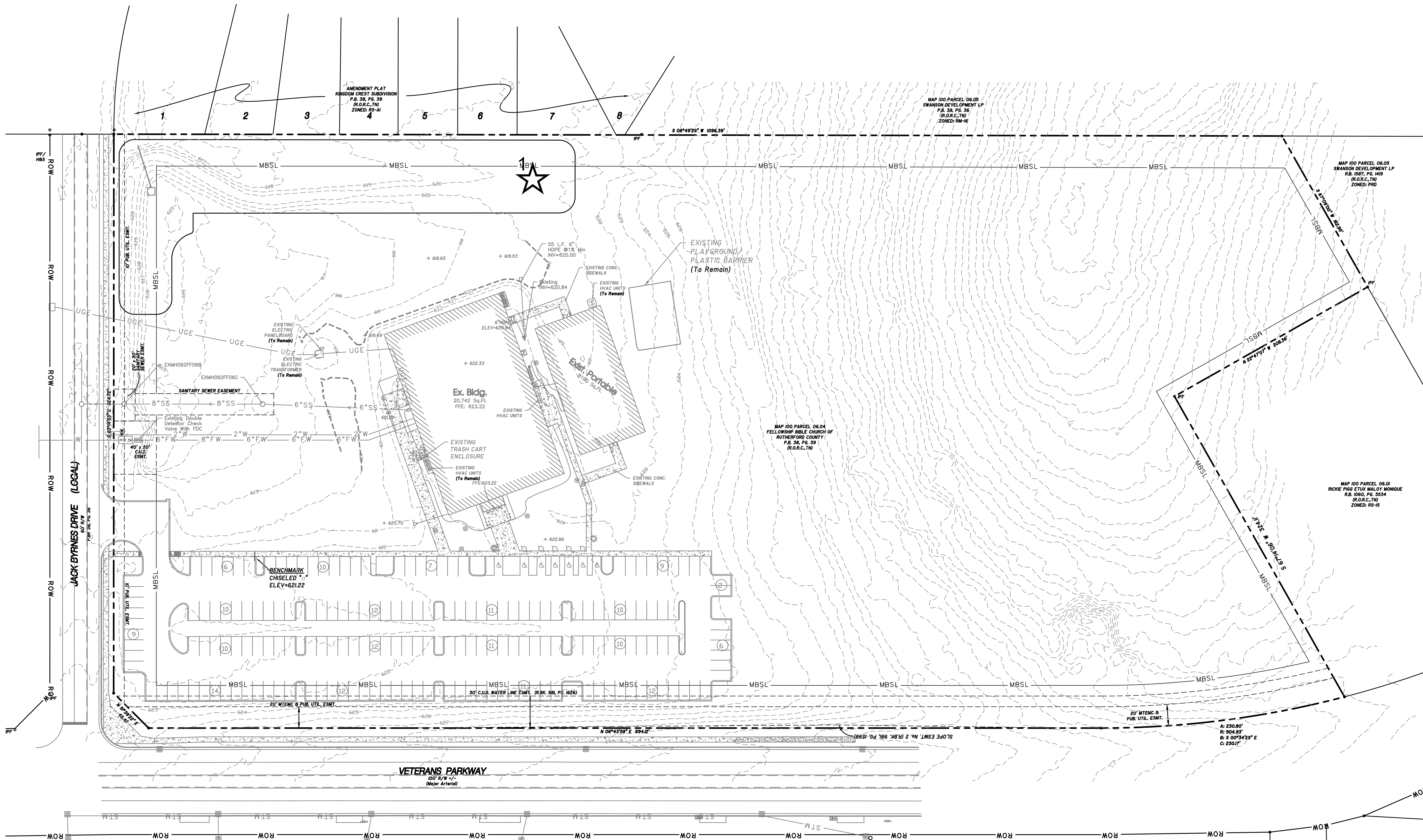
Parking Requirement:

Church: $\frac{1 \text{ Space}}{8 \text{ Seats}} \times 300 \text{ Seats} = 38 \text{ Spaces Required}$
Kindergarten: 1 Space/ 5 Students x 5 Students = 1 Spaces
Grades 1-12: 1 Space/5 Seats in Auditorium x 0 Seat Gym = 0
Required Spaces
Total Required Spaces = 39 Spaces
Existing Parking: 184 Regular + 7 H.C. = 191 Spaces

Flood Map No.:

This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C0255H dated January 5, 2007.

Sheet C0.0
Fellowship Bible Church Portable
S.E.C. Project #20044
Submitted: 6-6-2022
Revised:



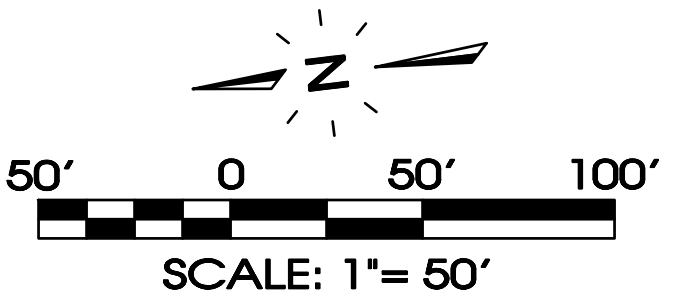
Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	•	CONCRETE BOLLARD
⊖	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊞	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊞	EXIST. GAS RISER	—	CURB & GUTTER
⊞	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊞	EXIST. WATER METER	↔	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊞	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊞	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊞	BLOW OFF VALVE	⊗	RIP RAP
⊞	REDUCER	↘	RUNOFF FLOW ARROW
⊞	REMOTE FIRE DEPT. CONNECTION	↘	INLET FILTER PROTECTION
⊞	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊞	DOUBLE DETECTOR CHECK VALVE	63.25	EXIST. SPOT ELEVATION
⊞	FIRE DEPT. CONNECTION	↘	SEWER/STORM FLOW DIRECTION
⊞	FIRE HYDRANT	⊞	CATCH BASIN
⊞	GATE VALVE & BOX	⊞	CURB INLET
⊞	WATER METER	⊞	AREA DRAIN
⊞	GAS METER	—	HEADWALL
⊞	GREASE TRAP	↘	WINGED HEADWALL
○	EXTERIOR CLEANOUT	—	CONCRETE SWALE
○	MANHOLE	⊞	TYPE- X- HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREELINE	~ ~ ~
EXISTING FENCELINE	- X - X - X - X -
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	-----
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	-601-
PROPOSED CONTOUR LINES	-601-
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W



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MATTHEW TAYLOR
REGISTERED PROFESSIONAL ENGINEER
STATE OF TENNESSEE
NO. 0000000000

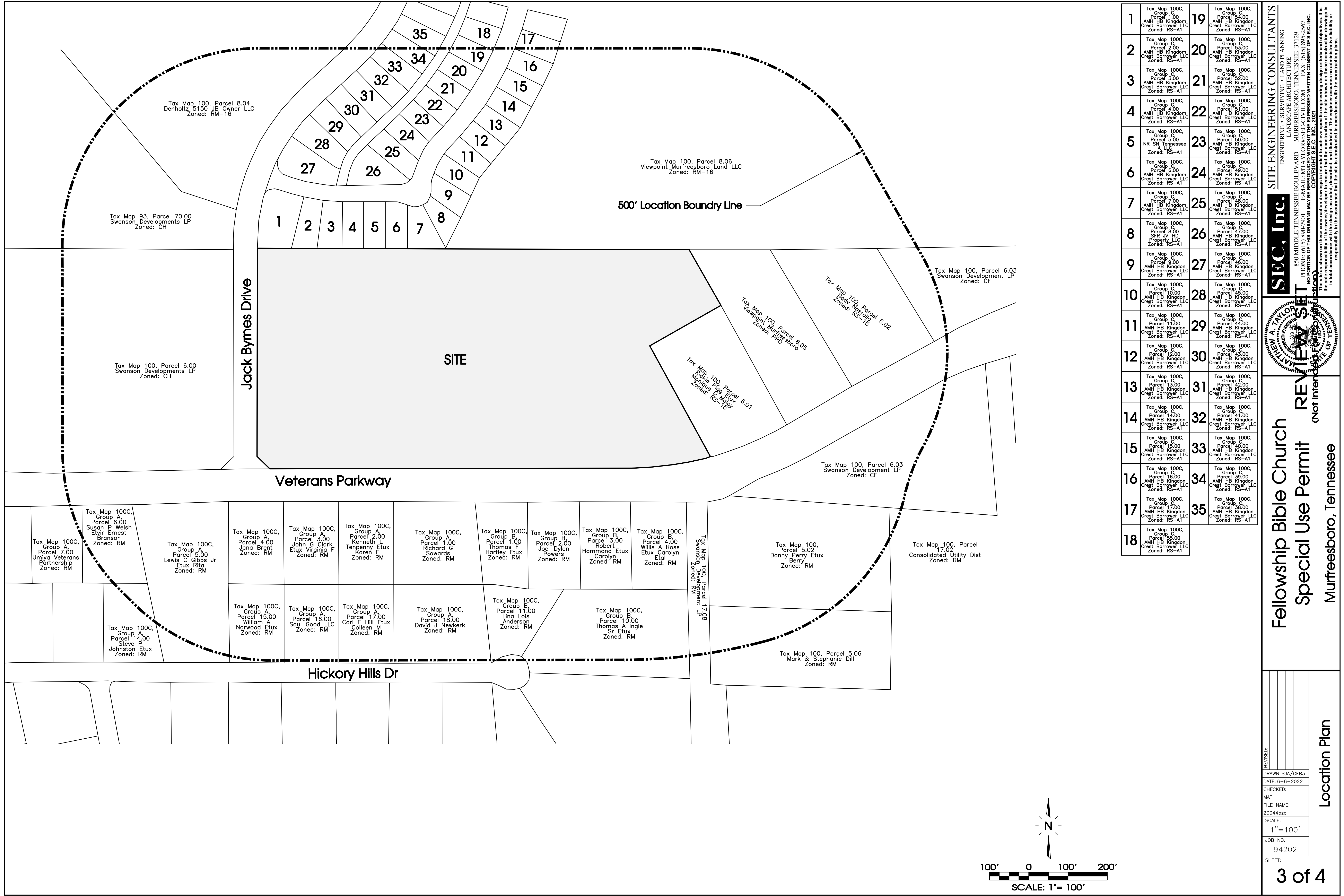
**Fellowship Bible Church
Special Use Permit**
(Not Intended for Construction)

Murfreesboro, Tennessee

REVISIONS:

DATE:	6-6-2022
CHECKED:	MAT
FILE NAME:	20044b2a
SCALE:	1"=50'
JOB NO.:	20044
SHEET:	2 of 4

**Existing Conditions
& Initial EPSC Plan**



1	Tax Map 100C, Group C, Parcel 1.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	19	Tax Map 100C, Group C, Parcel 54.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
2	Tax Map 100C, Group C, Parcel 2.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	20	Tax Map 100C, Group C, Parcel 3.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
3	Tax Map 100C, Group C, Parcel 3.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	21	Tax Map 100C, Group C, Parcel 52.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
4	Tax Map 100C, Group C, Parcel 4.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	22	Tax Map 100C, Group C, Parcel 7.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
5	Tax Map 100C, Group C, Parcel 5.00 NR SA Tennessee A, LLC Zoned: RS-A1	23	Tax Map 100C, Group C, Parcel 50.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
6	Tax Map 100C, Group C, Parcel 6.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	24	Tax Map 100C, Group C, Parcel 49.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
7	Tax Map 100C, Group C, Parcel 7.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	25	Tax Map 100C, Group C, Parcel 48.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
8	Tax Map 100C, Group C, Parcel 8.00 SFR JV-HB Prosperity LLC Zoned: RS-A1	26	Tax Map 100C, Group C, Parcel 47.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
9	Tax Map 100C, Group C, Parcel 9.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	27	Tax Map 100C, Group C, Parcel 46.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
10	Tax Map 100C, Group C, Parcel 10.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	28	Tax Map 100C, Group C, Parcel 45.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
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12	Tax Map 100C, Group C, Parcel 12.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	30	Tax Map 100C, Group C, Parcel 43.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
13	Tax Map 100C, Group C, Parcel 13.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	31	Tax Map 100C, Group C, Parcel 42.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
14	Tax Map 100C, Group C, Parcel 14.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	32	Tax Map 100C, Group C, Parcel 41.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
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16	Tax Map 100C, Group C, Parcel 16.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	34	Tax Map 100C, Group C, Parcel 39.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
17	Tax Map 100C, Group C, Parcel 17.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1	35	Tax Map 100C, Group C, Parcel 38.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1
18	Tax Map 100C, Group C, Parcel 18.00 AMH HB Kingdom Crest Borrower LLC Zoned: RS-A1		

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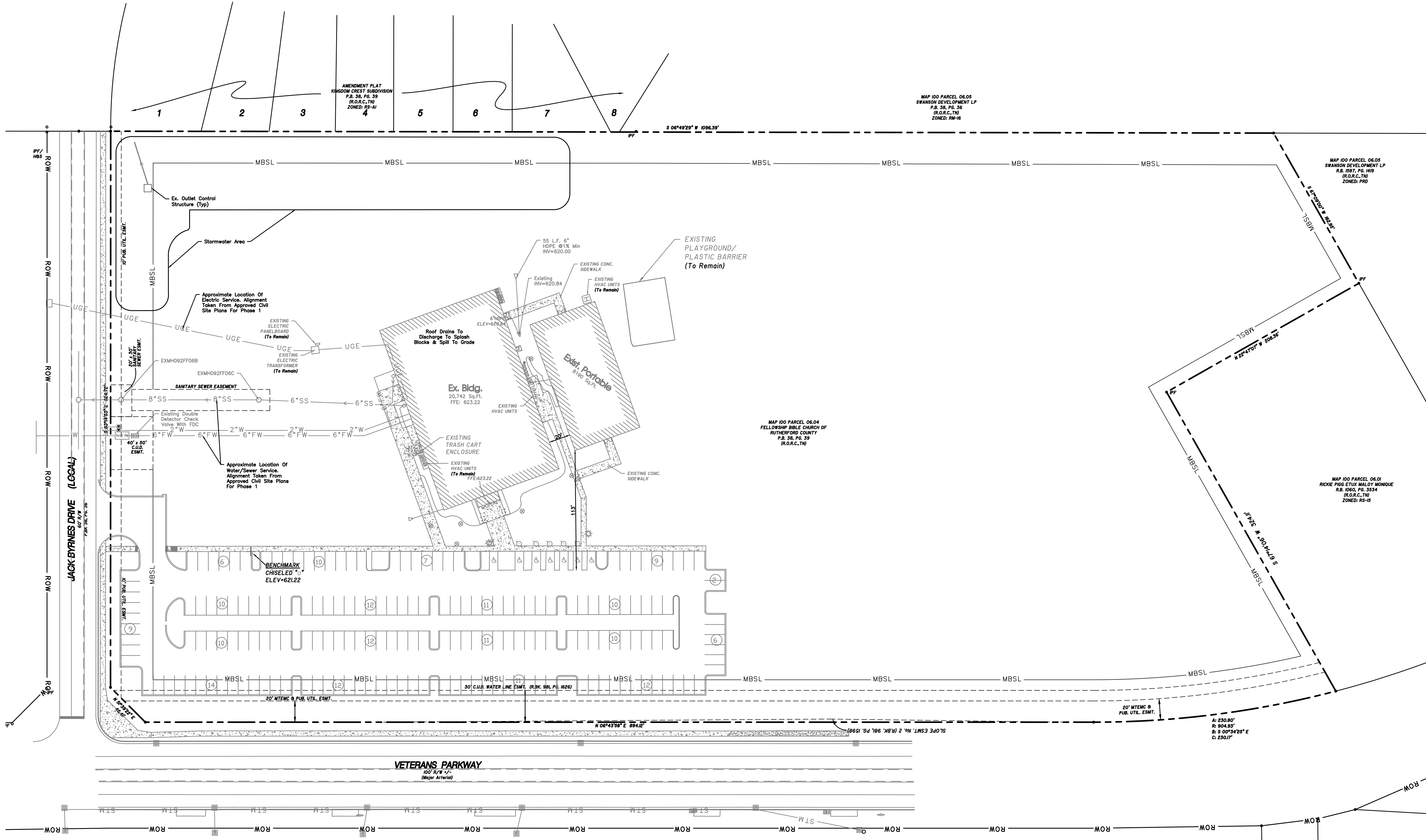
REVIEW SET
(Not intended for construction)

Fellowship Bible Church
Special Use Permit
Murfreesboro, Tennessee

Location Plan

REVISIONS:

DRAWN: SJA/CFB3
DATE: 6-6-2022
CHECKED: MAT
FILE NAME: 20044bza
SCALE: 1" = 100'
JOB NO: 94202
SHEET: 3 of 4



Legend:			
□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
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⊖	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
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⊕	EXIST. WATER METER	↔	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊗	RIP RAP
⊕	REDUCER	→	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	□	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25 X	PROPOSED SPOT ELEVATION
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⊕	FIRE DEPT. CONNECTION	∇	SEWER/STORM FLOW DIRECTION
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⊕	WATER METER	⊖	AREA DRAIN
⊕	GAS METER	—	HEADWALL
⊕	GREASE TRAP	—	WINGED HEADWALL
○	EXTERIOR CLEANOUT	—	CONCRETE SWALE
○	MANHOLE	⊗	TYPE - X - HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREELINE	~ ~ ~
EXISTING FENCELINE	- X - X - X - X
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	■ ■ ■ ■ ■
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	-601-
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W

Owner/Developer:
Fellowship Bible Church of Rutherford County
4256 Veterans Parkway
Murfreesboro, TN 37128

Deed Reference:
Tax Map 100, Parcel 6.04
R.B. 1665, Pg. 2491
P.B. 38, Pg. 39

Yard Requirements:
Front: 40'
Side: 12.5'
Rear: 30'

Intended Use:
Church(Existing)
Temporary Portables for Classrooms(Proposed)

Variance:
Board of Zoning Appeals Approved One Variance For This Site On June 27, 2012. Case # Z-12-038
1. Special Use Permit Granted To Allow Construction Of A Church In RS-15 Zoning.

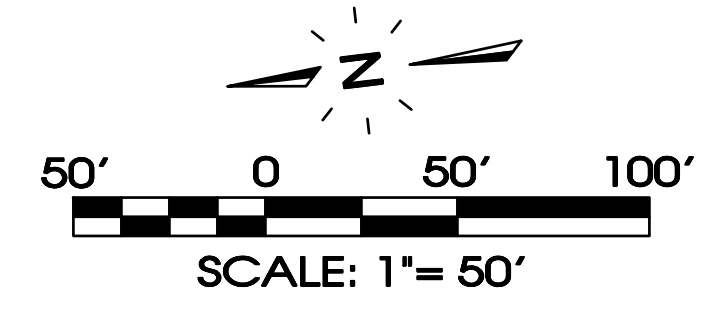
Land Use Data:
Zone: RS-15
1-Story Building
Existing Building Ht.: 24'-0"
Existing Modular Ht.: 10'-0"
Existing Building Floor Area: 20,742 Sq. Ft.
Existing Modular Floor Area: 8,190 Sq. Ft.
Total Floor Area: 28,932 Sq. Ft.
1 Lot on: 13.96± Acres

Parking Requirement:
Church Seats = 300 Seats = 38 Spaces Required
Kindergarten: 1 Space/ 5 Students x 5 Students = 1 Space
Grades 1-12: 1 Space/ 5 Seats in Auditorium x 0 Seat Gym = 0 Required Spaces
Total Required Spaces = 39 Spaces
Existing Parking: 184 Regular + 7 H.C. = 191 Spaces

Flood Map No.:
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C0255H dated January 5, 2007.

Pavement Hatch Legend

	- Concrete Pavement
	- Ex. Asphalt Pavement



SEC, Inc.
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567
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A. TAYLOR
REGISTERED PROFESSIONAL ENGINEER
STATE OF TENNESSEE
NO. 28227

**Fellowship Bible Church
Special Use Permit**
Murfreesboro, Tennessee

REVIEW SET
(Not intended for construction)

REVISIONS:

DRAWN: SJA/CFB3
DATE: 6-6-2022
CHECKED: MAT
FILE NAME: 20044b2a
SCALE: 1"=50'
JOB NO: 20044
SHEET: 4 of 4

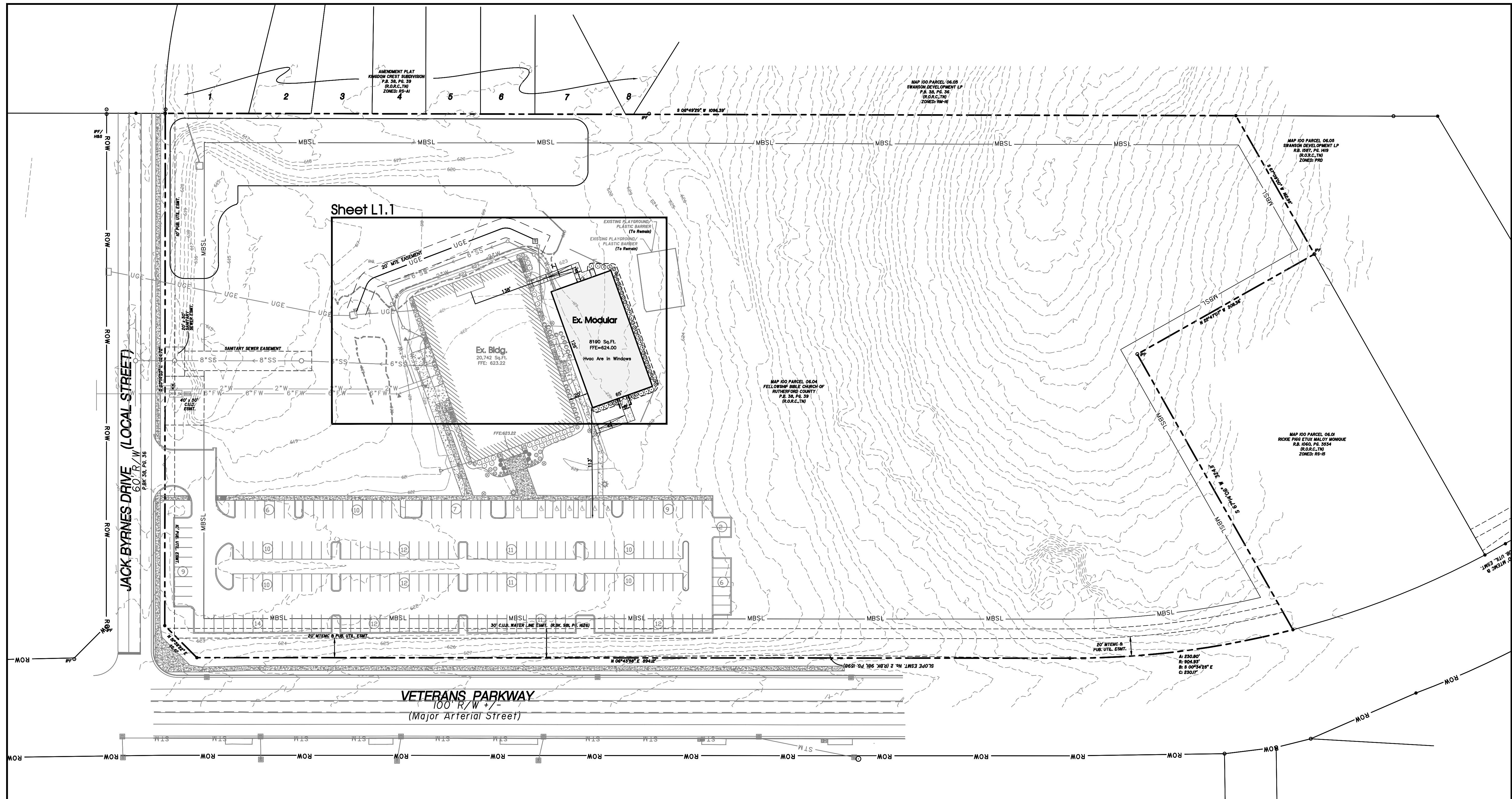


SEC, Inc.
 SITE ENGINEERING CONSULTANTS
 ENGINEERING, ARCHITECTURE, LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
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ADDITIONS & RENOVATIONS TO:
FELLOWSHIP BIBLE CHURCH PORTABLE
 4236 VETERANS PARKWAY
 MURFREESBORO, TN 37128

PROJECT #: 20-044
 ISSUE DATE: 06/16/2022
 DRAWN BY: KMG
 CHECKED BY: RSM
 REVISIONS:
 07-06-2022: Staff Comments
 08-03-2022: PTP Submittal

SHEET No.
L1.0
 Landscape Plan



FELLOWSHIP BIBLE CHURCH

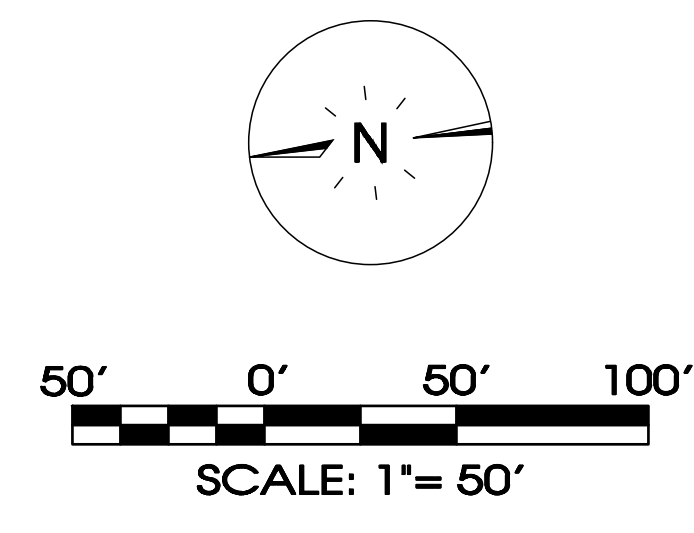
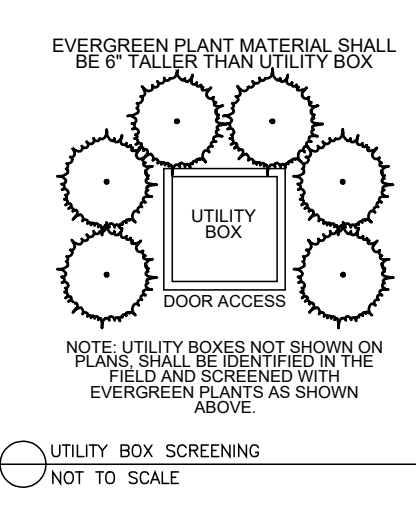
LANDSCAPE PLAN

SITE DATA
 SITE AREA: 13.96 ACRES
 SITE ZONING: RS-15

OPEN SPACE REQUIREMENTS
 20% OF OPEN SPACE (LANDSCAPE AREAS GREATER THAN 200 SF) IS REQUIRED PER PHASE.
 OPEN SPACE REQUIRED = 2.79 AC (20% X 13.96 AC)
 OPEN SPACE PROVIDED = 11.73 AC (84.03%)
 FORMAL OPEN SPACE REQUIRED = 0.42 AC (3% X 13.96 AC)
 FORMAL OPEN SPACE PROVIDED = 0 AC (0.00%)

- PLAN NOTES:**
- ANY TREES OR SHRUBS THAT ARE DEAD, DYING OR MISSING OUTSIDE THE SCOPE OF THE CURRENT WORK WILL NEED TO BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
 - ALL LANDSCAPE BEDS TO HAVE NEATLY TRENCHED BED EDGE AND HAVE 4" MINIMUM DEPTH OF HARDWOOD MULCH.
 - ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
 - ALL NEW PLANT MATERIAL AND SOD AREAS SHALL BE IRRIGATED.
 - ALL SHRUBS TO BE 3' BACK OF CURB.
 - ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SEED OR SOD.
 - ANY UTILITY STRUCTURE, LIGHT POLES, SIGN, OR OTHER FEATURE MAY NOT BE ADDED TO ANY REQUIRED LANDSCAPE ISLAND IN SUCH A MANNER THAT WOULD DISPLACE THE REQUIRED ELEMENT(S) (TREES, SHRUBS, ETC.)
 - PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING MATERIALS, INCLUDING TURF, AND IRRIGATION MATERIALS BOTH ON SITE, AND INSIDE THE ROW.

- PLANTING SCHEDULE NOTES**
- SHRUBS AND TREES SHALL BE OF THE HIGHEST QUALITY.
 - NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
 - SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
 - REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF MURFREESBORO PLANNING DEPARTMENT 615-893-6441 PRIOR TO INSTALLATION.
 - ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.



SEC#20044

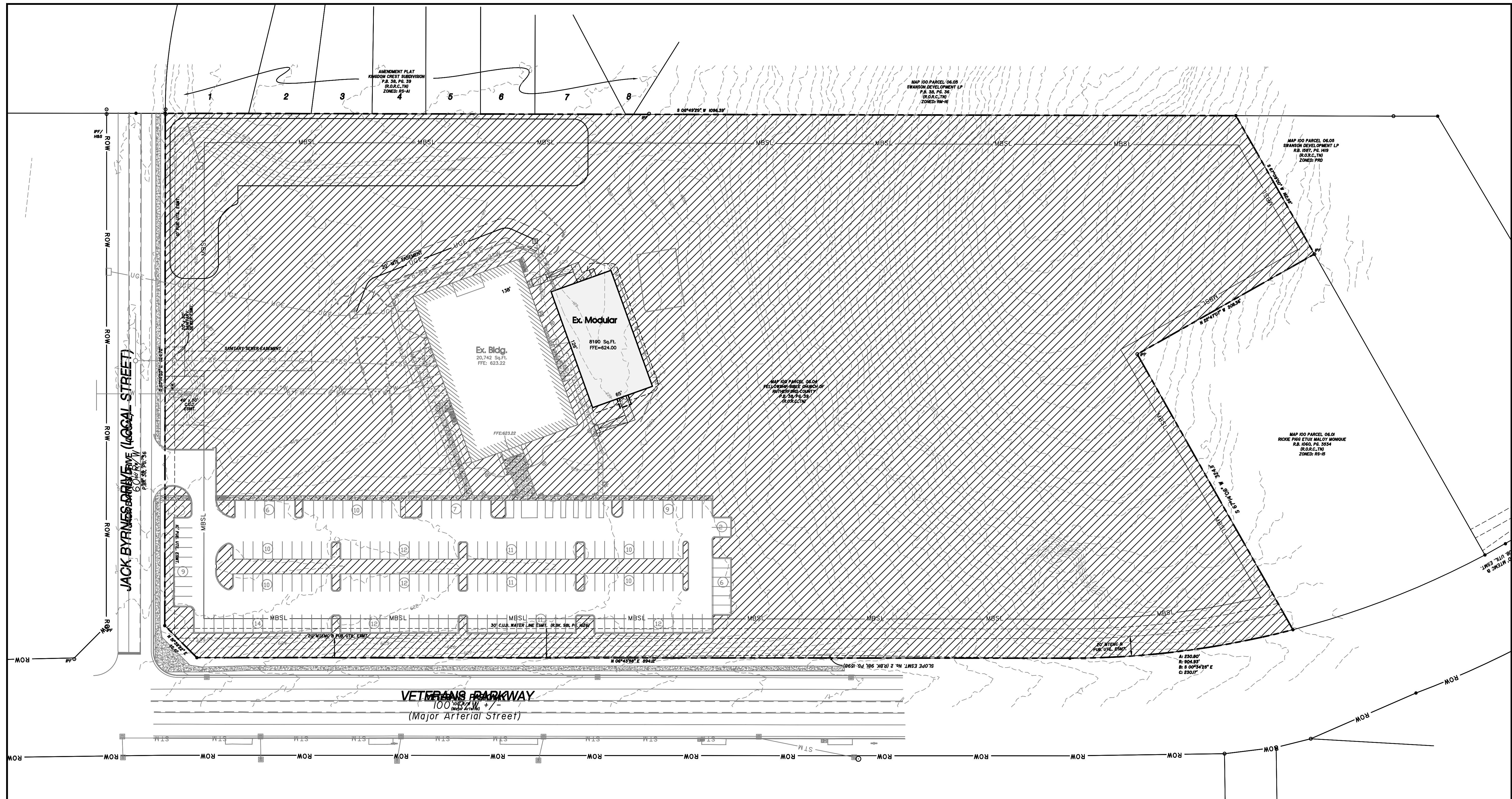


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 LANDSCAPE ARCHITECTURE
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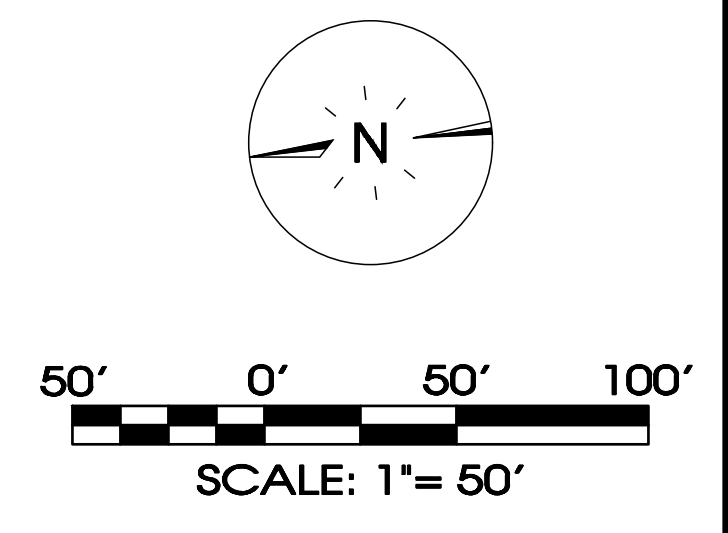
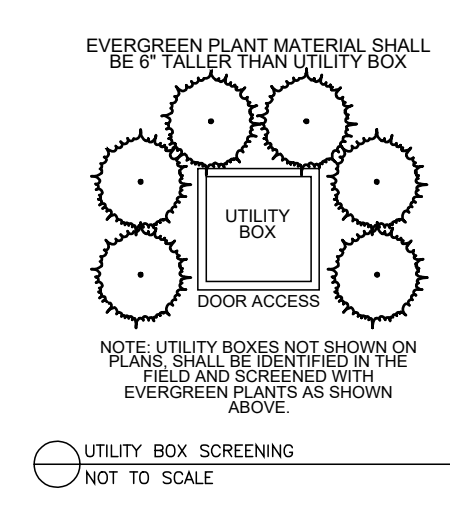
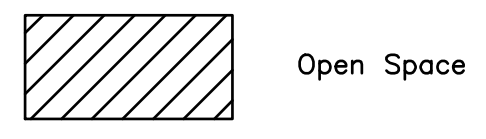
SHEET No.
L2.0
 Open Space Plan



Open Space Calculation

Open Space:
 Required: (20%)(13.96 Ac.) = 2.79 Acres (121,620 Sq.Ft.)
 Provided: 510,853 Sq.Ft. or 11.73 Acres (84.03%)

Formal Open Space:
 Required: (3%) (13.96 Ac.) = 0.42 Acres (18,243 Sq.Ft.)
 Provided: 0 Sq.Ft. or 0 Acres (0.00%)

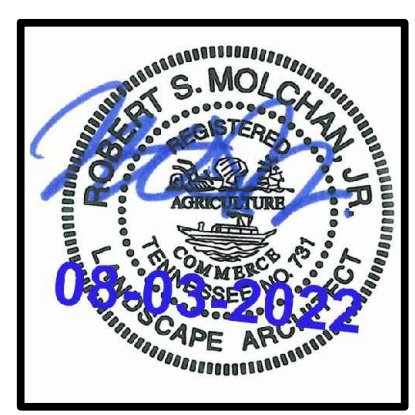
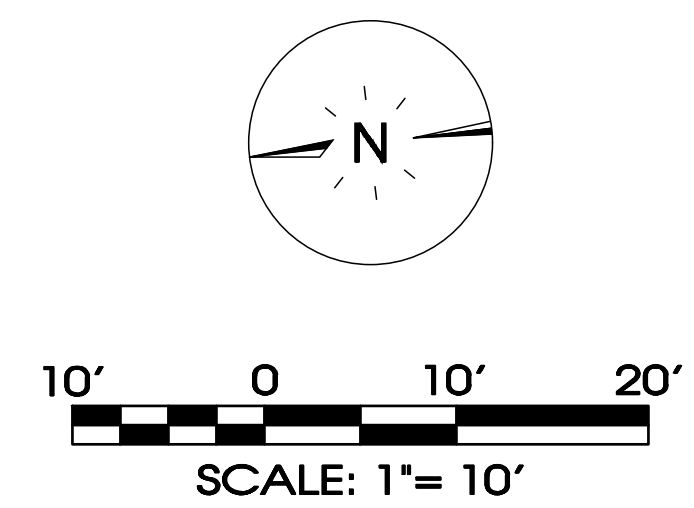


SEC#20044



 AREAS TO BE IRRIGATED

* PROPOSED AREAS TO BE IRRIGATED SHALL BE IRRIGATED BY TYING INTO AND EXPANDING THE EXISTING IRRIGATION SYSTEM.



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 LANDSCAPE ARCHITECTURE
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SHEET No.
L3.0
 Irrigation Zones

GENERAL NOTES:

- ACCESS TO BUILDING FOR PERSONS IN WHEELCHAIRS IS DESIGNED BY AND FIELD BUILT BY OTHERS AND SUBJECT TO LOCAL JURISDICTION APPROVAL. THE PRIMARY ENTRANCE MUST BE ACCESSIBLE.
- ALL DOORS SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS SHALL NOT BE USED.
- ALL GLAZING WITHIN A 24 INCH ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY.
- TEMPERED OR ACRYLIC PLASTIC SHEET FLOOR PLAN SHALL BE 1.5 INCH x 26 GA. WITH ALL STEEL STRAPS REFERENCED ON FLOOR PLAN SHALL BE 1.5 INCH x 26 GA. WITH 7 - 15 GA. x 7/16 INCH CROWN x 1 INCH STAPLES EACH END OF STRAP OR EQUIVALENT STRAP BEGAM TO COLUMN, AND COLUMN TO FLOOR.
- PORTABLE FIRE EXTINGUISHER PER N.F.P.A. - 10 INSTALLED BY OTHERS ON SITE, AND SUBJECT TO LOCAL JURISDICTION.
- PROVISIONS FOR EXT DISCHARGE LIGHTING ARE THE RESPONSIBILITY OF THE BUILDING OWNER AND SUBJECT TO LOCAL JURISDICTION APPROVAL WHEN NOT SHOWN ON THE FLOOR PLAN (INCLUDING EMERGENCY LIGHTING, WHEN REQUIRED).
- WHEN LOW SIDES OF ROOF PROVIDE LESS THAN 4" OF OVERHANG, GUTTERS AND DOWN SPOUTS SHALL BE SITE INSTALLED, DESIGNED BY OTHERS, SUBJECT TO LOCAL JURISDICTION APPROVAL.
- IN WIND-BORNE DEBRIS REGIONS, EXTERIOR GLAZING SHALL BE IMPACT RESISTANT OR PROTECTED BY AN IMPACT RESISTANT COVERING MEETING THE REQUIREMENTS OF AN APPROVED IMPACT RESISTANT STANDARD, OR ASTM E1996, WIND-BORNE DEBRIS REGIONS ARE DESIGNATED IN SECTION 1003 OF THE IBC.
- WINDOWS AND DOORS MUST BE CERTIFIED FOR COMPLIANCE WITH THE WIND DESIGN PRESSURE FOR COMPONENTS AND CLADDING.
- A FIRE ALARM MUST BE SITE INSTALLED BY OTHERS, SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION.

PLUMBING NOTES:

- TOILETS SHALL BE ELONGATED WITH NONABSORBENT OPEN FRONT SEATS.
- REST ROOM WALLS SHALL BE COVERED WITH NONABSORBENT MATERIAL TO A MINIMUM HEIGHT OF 48 INCHES ABOVE FINISHED FLOOR.
- FLOORS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE THAT EXTENDS UPWARD INTO THE WALLS AT LEAST 6 INCHES.
- THIS BUILDING SHALL BE CONNECTED TO A PUBLIC WATER SUPPLY AND SEWER SYSTEM IF THESE ARE AVAILABLE.
- ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUTOFF VALVES.
- WATER HEATER SHALL HAVE SAFETY PAN WITH 1 INCH DRAIN TO EXTERIOR.
- IF RELIEF VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 6 FEET ON A COLD WATER SUPPLY LINE.
- DHW SYSTEM SHALL BE EITHER ABS OR PVC - DWV.
- WATER SUPPLY LINES SHALL BE OF COPPER, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LIMITATIONS AND INSTRUCTIONS.
- WATER CLOSURE VALVE SHALL BE PLUMBING TANK TYPE UNLESS OTHERWISE SPECIFIED.
- BUILDING DRAIN AND CLEANOUTS ARE DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION APPROVAL.
- SHOWERS SHALL BE CONTROLLED BY AN APPROVED MIXING VALVE WITH A MAXIMUM WATER OUTLET TEMPERATURE OF 120°F (48.8°C).
- WATER CLOSURE VALVE SHALL BE OF COPPER, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LIMITATIONS AND INSTRUCTIONS.
- IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.
- THERMAL EXPANSION BELIEF IS REQUIRED BY WATER HEATER INSTALLED, AND IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.
- WATER PIPES INSTALLED IN A WALL EXPOSED TO THE EXTERIOR SHALL BE LOCATED ON THE HEATED SIDE OF THE WALL INSULATION.
- WATER, SOIL AND WASTE PIPES IN UNCONDITION SPACES SHALL BE INSULATED AND PROTECTED FROM FREEZING.
- WHEN RESTROOM FACILITIES AND/OR PLUMBING FIXTURES REQUIRED PER IBC SECTION 403 ARE NOT PROVIDED WITHIN THE BUILDING, A HANDICAPPED ACCESSIBLE FACILITY MUST BE PROVIDED ON SITE WITHIN THE ALLOWABLE DISTANCE PER CODE. THE REQUIRED FACILITY SHALL BE THE RESPONSIBILITY OF THE BUILDING OWNER AND IS SUBJECT TO THE REVIEW AND APPROVAL OF THE LOCAL JURISDICTION HAVING AUTHORITY. THIS NOTE SHALL BE RECORDED ON THE DATA PLATE.
- LAVATORY FAUCETS MUST BE OF THE METRICING TYPE.
- CUSTOMER ASSUMES ALL RESPONSIBILITY FOR REQUIRED PLUMBING FIXTURES WHEN NOT SHOWN ON PLAN.
- TEMPERATURE ACTUATED MIXING VALVES WHICH ARE INSTALLED TO REDUCE WATER TEMPERATURE TO DEFINE LIMITS SHALL COMPLY WITH ASSE 1017.
- TEMPERATURE WATER SHALL BE SUPPLIED THROUGH A WATER TEMPERATURE DEVICE THAT COMPLIES TO ASSE 1070 AND SHALL LIMIT THE TEMPERED WATER TO A MAX OF 110°F(43°C)

ELECTRICAL NOTES:

- ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODE (NEC).
- WHEN LIGHT FIXTURES ARE INSTALLED IN CLOSETS THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12 INCHES AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 6 INCHES FROM "CLOSEST STORAGE SPACE" AS DEFINED BY NEC ARTICLE 410.2.
- WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED. THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
- HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTS ALL UNGROUNDED CONDUCTORS SHALL BE PROVIDED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
- PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH ARTICLES 110.9 & 110.10 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
- THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
- ALL CIRCUITS CROSSING OVER MODELS (WALLS) SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES, OR CABLE CONNECTORS.
- ALL RECEPTACLES INSTALLED IN MET LOCATIONS (EXTERIOR) SHALL BE IN WEATHER PROOF (WP) ENCLOSURES. THE INTERIOR OF WHICH IS NOT AFFECTED WHEN AN ATTACHED PLUG CAP IS INSERTED OR REMOVED. THE RECEPT TRAYS SHALL ALSO BE LISTED FOR DAMP AND WET LOCATIONS AS PER NEC.
- EXTERIOR LIGHTS NOT INTENDED FOR 24 HOUR USE SHALL BE CONNECTED TO A PHOTOCELL OR TIMER.
- THE BUILDING FIRE ALARM SYSTEM (PROTECTIVE SIGNALING SYSTEMS, FIRE DETECTION SYSTEMS, ETC.) SHALL BE DESIGNED IN ACCORDANCE WITH NFPA 101 AND NFPA 72 AND SITE INSTALLED BY OTHERS SUBJECT TO LOCAL BUILDING OFFICIAL REVIEW AND APPROVAL. THE FIRE ALARM CONTROL PANEL MUST BE INSTALLED IN A HIGHLY VISIBLE LOCATION INSTALLED IN A CLOSET OR BATHROOM.
- TAMPER RESISTANT RECEIPTS TO BE PROVIDED IN EDUCATION BUILDING SERVING ELEMENTARY PER SCHOOL AND YOUNGER.

MECHANICAL NOTES:

- ALL SUPPLY AIR REGISTERS SHALL BE 24 INCHES x 24 INCHES ADJUSTABLE WITH 8 INCHES x 18 INCHES (INSIDE) OVERHEAD FIBERGLASS DUCT, UNLESS OTHERWISE SPECIFIED. DUCTS SHALL BE INSULATED PER THE REQUIREMENTS OF THE APPLICABLE ENERGY CODES.
- INTERIOR DOORS SHALL BE UNDERCUT 1.5 INCHES ABOVE FINISHED FLOOR FOR AIR RETURN AND/OR AS NOTED ON FLOOR PLAN (FOR UNRATED DOORS).
- HVAC EQUIPMENT SHALL BE EQUIPPED W/OUTSIDE FRESH AIR INTAKES PROVIDING 15 CFM PER PERSON PER SECTION 403.3 OF THE IBC.
- VENT FANS SHALL BE DUCTED TO THE EXTERIOR AND TERMINATE AT AN APPROVED VENT CAP.
- THERMOSTATS MUST BE PROGRAMMABLE.
- EXHAUST FANS SHALL PROVIDE A MINIMUM OF 75 CFM FOR EACH WATER CLOSET AND URINAL.
- MECHANICAL SYSTEM IS DESIGNED FOR A MAXIMUM OCCUPANT LOAD OF 240 USING 15 CFM PER PERSON BASED ON CONTINUOUS OCCUPANCY. THE OCCUPANT LOAD MAY BE INCREASED FOR INTERMITTENT OCCUPANCY BASED UPON ADDITIONAL ENGINEERING ANALYSIS IN ACCORDANCE WITH ASHRAE 62.

WINDOW & DOOR SPECIFICATIONS

- DLI, PANE WINDOWS ARE REQUIRED FOR ALL CLIMATE ZONES. SEE THE COMCHECK ENERGY CALCULATIONS FOR THE MAXIMUM ALLOWED U-FACTOR AND SHGC.
- THE MAXIMUM ALLOWABLE AIR LEAKAGE RATE FOR WINDOWS IS 0.3 CFM PER SQUARE FEET OF WINDOW AREA.
- THE MAXIMUM ALLOWABLE AIR LEAKAGE RATE FOR EXTERIOR DOORS IS 0.5 CFM PER SQUARE FEET OF DOOR AREA.

ATTENTION LOCAL INSPECTIONS DEPARTMENT

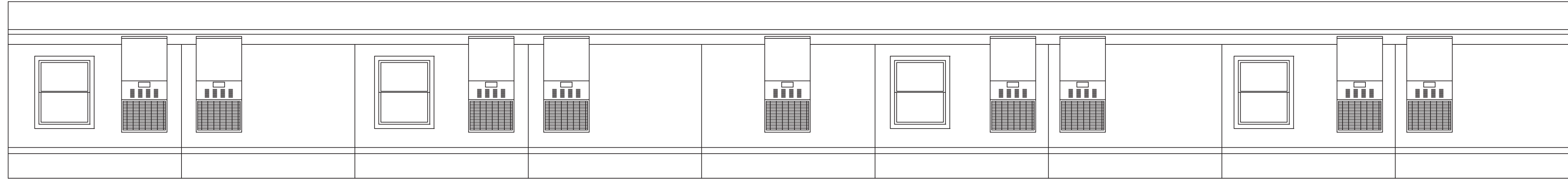
- SITE INSTALLED ITEMS**
- THE FOLLOWING ITEMS HAVE NOT BEEN COMPLETED BY THE MANUFACTURER, HAVE NOT BEEN INSPECTED BY EMC AND ARE NOT CERTIFIED BY THE STATE MODULAR LABEL NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIAL THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL. CODE COMPLIANCE MUST BE DETERMINED AT THE LOCAL LEVEL.
- THE COMPLETE FOUNDATION SUPPORT AND THE DOWN SYSTEM.
 - RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
 - BUILDING DRAIN, CLEANOUTS, AND HOOD-UP TO PLUMBING SYSTEM.
 - ELECTRICAL SERVICE HOOD-UP (INCLUDING FEEDERS) TO THE BUILDING.
 - THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS.
 - CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODELS (WALLS) - (MULTI-UNIT ONLY).
 - CIRCULAR AND AESTHETIC INTERCONNECTIONS BETWEEN MODELS (MULTI-UNIT ONLY).
 - FIRE INSPECTION.
 - FIRE ALARM.

STRUCTURAL LOAD LIMITATIONS

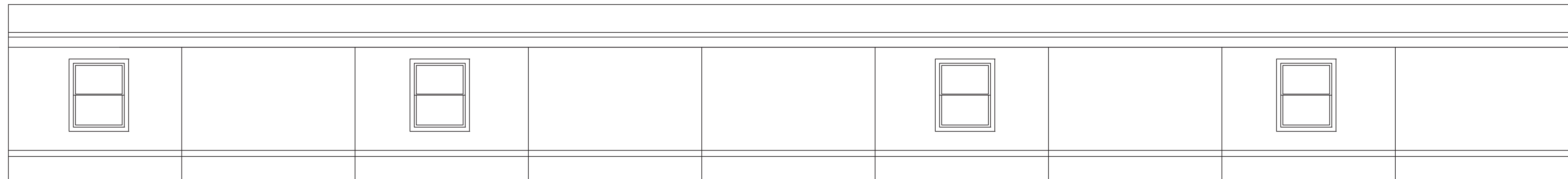
- OCCUPANCY CATEGORY: III
- FLOOR LIVE LOAD:
 A. 40 PSF, 100 PSF CORRIDOR
 B. 100 LB CONCENTRATED LOAD OVER 30 INCH x 30 INCH AREA LOCATED ANYWHERE ON FLOOR
- ROOF LIVE LOAD:
 A. 20 PSF
- SNOW LOAD:
 A. P_g = 35 PSF GROUND SNOW LOAD
 B. P_f = 20.65 PSF FLAT ROOF SNOW LOAD
 C. C_e = 1.0 SNOW EXPOSURE FACTOR
 D. M = 1.1 SNOW IMPORTANCE FACTOR
 E. C_t = 1.1 SNOW THERMAL FACTOR
- WIND LOAD: ASCE 7-05
 A. 130 WIND SPEED
 B. W = 1.15 WIND IMPORTANCE FACTOR
 C. C_e = 0.18 WIND EXPOSURE CATEGORY
 D. G_o = 0.18 INTERNAL PRESSURE COEFFICIENT
- PSF:
 Zone 1: 39.79 PSF
 Zone 2: 63.48 PSF
 Zone 3: 108.63 PSF
- SEISMIC LOAD:
 A. S_s = 1.25 SEISMIC IMPORTANCE FACTOR
 B. S₁ = 0.18 SITE CLASS
 C. D₁ = 0.415 SEISMIC FORCE RESISTING SYSTEM
 D. E₁ = 0.10 EQUIVALENT LATERAL FORCE ANALYSIS PROCEDURE
 F. S₁ = 0.537 MAPPED SPECTRAL RESPONSE COEFF.
 G. S₁ = 0.285 MAPPED SPECTRAL RESPONSE COEFF.
 H. S₁ = 0.49 SPECIAL RESPONSE COEFFICIENT
 I. S₁ = 0.16 SPECIAL RESPONSE COEFFICIENT
 J. V = 2628 LB DESIGN BASE SHEAR
 K. R = 6.5 RESPONSE MODIFICATION COEFFICIENT
 L. C_d = 0.09 SEISMIC RESPONSE COEFFICIENT
- FLOOD LOAD:
 THIS BUILDING IS NOT DESIGNED TO BE LOCATED IN A FLOOD HAZARD AREA.

ACCESSIBILITY NOTES:

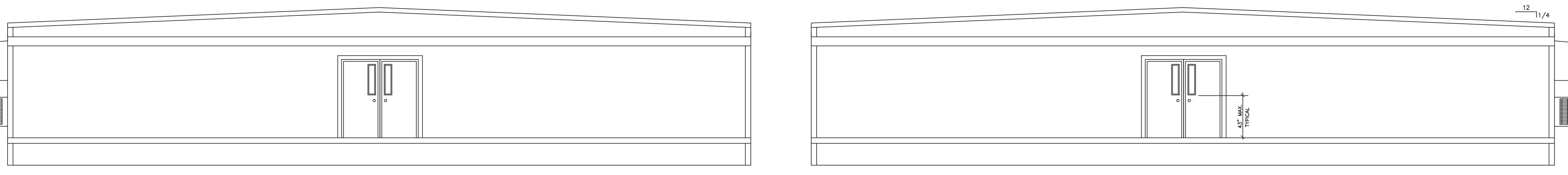
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN SHALL BE DISPLAYED AT ALL ACCESSIBLE RESTROOM FACILITIES AND AT ACCESSIBLE BUILDING ENTRANCES UNLESS ALL ENTRANCES ARE ACCESSIBLE. INACCESSIBLE ENTRANCES SHALL HAVE AN ACCESSIBLE ENTRANCE.
- ACCESSIBLE ENTRANCES SHALL HAVE A SLOPE HIGHER THAN 20 INCHES ABOVE THE FLOOR AND A SLOPE HIGHER THAN 1:4 INCHES ABOVE THE FLOOR FOR INDIVIDUALS IN WHEELCHAIRS. ADDITIONALLY, DRINKING WATER PROVISIONS SHALL BE MADE FOR INDIVIDUALS WHO HAVE DIFFICULTY BOWLING.
- WHERE STORAGE FACILITIES SUCH AS CABINETS, SHELVES, CLOSETS AND DRAWERS ARE PROVIDED AT LEAST ONE THE PROVIDED SHALL CONTAIN STORAGE SPACE OPERATING WITH THE FOLLOWING DOORS ETC. TO SUCH SPACES SHALL BE ACCESSIBLE (I.E. TOUCH LATCHES, U-SHAPED PULLS). SPACES SHALL BE 15 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR FOR FORWARD REACH OR SIDE REACH. CLOTHES RODS OR COAT HOOKS SHALL BE A MAXIMUM OF 48 INCHES ABOVE THE FLOOR (48 INCHES MAXIMUM FOR TOILET ROOMS SHALL BE 40 INCHES MAXIMUM AND 48 INCHES MAXIMUM ABOVE IN FLOOR).
- CONTROL OPERABLES, RECEPTABLES AND OTHER OPERABLE EQUIPMENT SHALL BE NO HIGHER THAN 48 INCHES ABOVE THE FLOOR. RECEPTABLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15 INCHES ABOVE THE FLOOR. OPERATOR HEIGHT LIMITATIONS DO NOT APPLY WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE OR WHERE ELECTRICAL ACCESSIBLE ARE NOT NORMALLY INTENDED FOR USE BY BUILDING OCCUPANTS.
- WHERE EMERGENCY WARNING SYSTEMS ARE PROVIDED, THEY SHALL INCLUDE BOTH AUDIBLE AND VISUAL ALARMS. THE VISUAL ALARMS SHALL BE LOCATED THROUGHOUT INCLUDING RESTROOM AND PLACED 80 INCHES ABOVE THE FLOOR OR 6 INCHES BELOW CEILING/WOOL-LEN OR LOWER.
- ALL DOORS SHALL BE OPENABLE BY A SINGLE EFFORT. DOOR CLOSERS SHALL BE ADJUSTED TO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A FULLY CLOSED POSITION IS 5 SECONDS MINIMUM. THE MAXIMUM FORCE REQUIRED FOR PUSHING OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL NOT EXCEED 5 LBS FOR ALL SLIDING, FOLDING, AND INTERIOR HINGED DOORS.
- FLOOR SURFACES SHALL BE STABLE, FIRM, AND SLIP-RESISTANT. CHANGES IN LEVEL BETWEEN 0.25 INCH AND 0.5 INCH SHALL BE BEVELLED WITH A SLOPE NO GREATER THAN 1:3. CHANGES IN LEVEL GREATER THAN 0.5 INCH REQUIRE RAMP. CARPET FLE THICKNESS SHALL BE 0.25 INCH. GRATING IN FLOOR SHALL HAVE SPACES NO GREATER THAN 0.5 INCH IN ONE DIRECTION. DOORWAY THRESHOLDS SHALL NOT EXCEED 0.5 INCH IN HEIGHT.
- ACCESSIBLE WATER CLOSETS SHALL BE 17 INCHES TO 18 INCHES MEASURED FROM THE FLOOR TO THE TOP OF THE SEAT. GRAB BARS SHALL BE 36 INCHES LONG MINIMUM WHEN LOCATED IN TOILET ROOMS AND 42 INCHES MINIMUM WHEN LOCATED ALONG THE SIDE OF WATER CLOSET AND SHALL BE MOUNTED 33 INCHES TO 36 INCHES ABOVE THE FLOOR. IN ADDITION, A VERTICAL GRAB BAR 18 INCHES MINIMUM IN LENGTH SHALL BE MOUNTED ON THE SIDE WALL WITH THE BOTTOM OF THE BAR LOCATED BETWEEN 39 AND 41 INCHES ABOVE THE FLOOR, AND WITH THE CENTER LINE OF THE BAR LOCATED BETWEEN 39 INCHES AND 41 INCHES FROM THE REAR WALL.
- ACCESSIBLE URINALS SHALL BE STALL-TYPE OR WALL HUNG WITH ELONGATED RIMS AT A MAXIMUM OF 17 INCHES ABOVE THE FLOOR.
- ACCESSIBLE LAVATORIES AND SINKS SHALL BE MOUNTED WITH THE FRONT NO MORE THAN 34 INCHES ABOVE THE FLOOR (THIS EXCLUDES SINKS IN CABINETRY). KNEE CLEARANCE OF AT LEAST 27 INCHES HIGH MUST BE PROVIDED WITH A MINIMUM DEPTH OF 8 INCHES BENEATH THE FUTURE. THE KNEE SPACE MUST BE AT LEAST 30 INCHES WIDE.
- HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED TO PREVENT BURNING. INSULATION SHALL BE INSTALLED AGAINST CONTACT INSULATION OR PROTECTION MATERIALS MAY BE SITE INSTALLED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER ACCESSIBLE LAVATORIES AND SINKS.
- ACCESSIBLE LAVATORIES AND SINKS SHALL HAVE ACCESSIBLE FAUCETS (I.E. LEVER-OPERATED, PUSH-TYPE, ELECTRONICALLY CONTROLLED).
- MIRRORS LOCATED ABOVE LAVATORIES, SINKS OR COUNTERS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTIVE SURFACE A MAXIMUM OF 40 INCHES ABOVE THE FLOOR. OTHER MIRRORS IN TOILET ROOMS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTIVE SURFACE 30 INCHES MAXIMUM ABOVE THE FLOOR.
- GRAB BARS HAVING A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1.25 INCHES MINIMUM AND 2.0 INCHES MAXIMUM. THE SPACE BETWEEN THE GRAB BAR AND THE WALL SHALL BE 1.5 INCHES.
- WATER CLOSET FLUSH CONTROL SHALL BE INSTALLED A MAXIMUM OF 36 INCHES ABOVE THE FLOOR AND SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.
- DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HARDWARE (I.E. LEVER - OPERATED, PUSH-TYPE, U-SHAPED) MOUNTED WITH OPERABLE PARTS BETWEEN 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR.
- TOILET STALL DOORS SHALL BE THE SELF-CLOSING TYPE.
- A TOWEL DISPENSER SHALL BE LOCATED ADJACENT TO ALL ACCESSIBLE LAVATORIES.



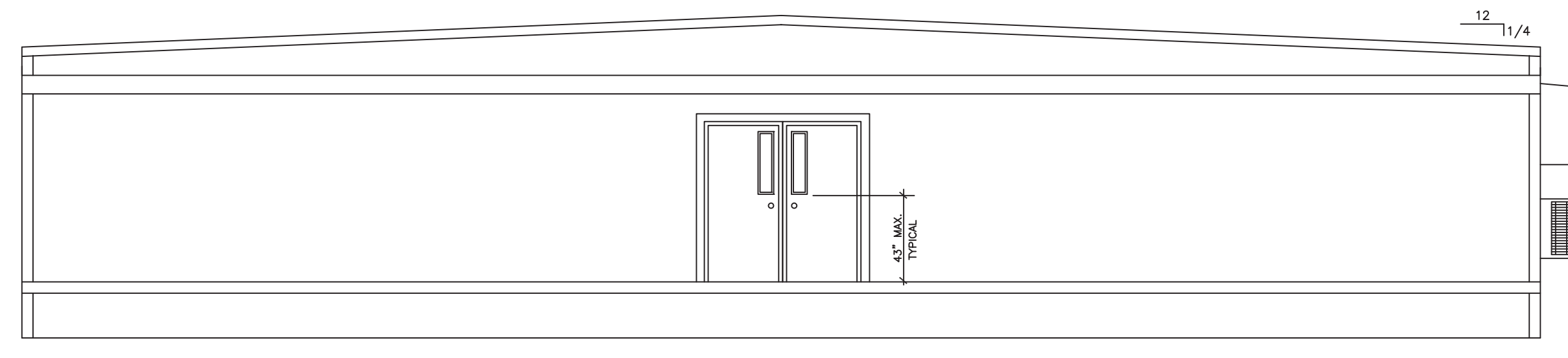
RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION



FRONT ELEVATION

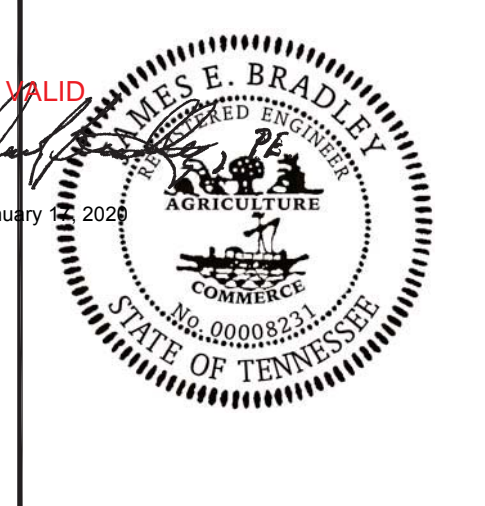
ELEVATION NOTES: TYPICAL

SEE-CROSS SECTION FOR METHOD OF ROOF VENTILATION

FOUNDATION ENCLOSURE (WHEN PROVIDED) MUST HAVE 1 SQUARE FOOT NET VENT AREA PER 1/150TH OF THE FLOOR AREA, AND AN 18" X 24" MINIMUM CRAWL SPACE ACCESS, SITE INSTALLED BY OTHERS SUBJECT TO LOCAL JURISDICTION.

BUILDING DESIGN PARAMETERS

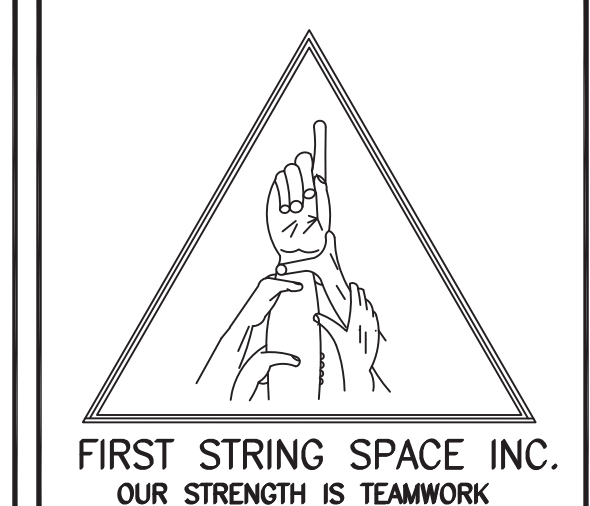
1. USE/OCCUPANCY:	EDUCATION
2. CONSTRUCTION TYPE:	WB
3. SPRINKLER SYSTEM:	NO
4. BUILDING AREA:	7995 SF
5. BUILDING HEIGHT:	< 15 FEET
6. NUMBER OF STORES:	1
7. NUMBER OF MODULES:	8
8. OCCUPANT LOAD 288 BASED ON 222 NET SF/PERSON	
9. EXTERIOR WALL FIRE RATING:	NOT RATED
10. THIS BUILDING MUST BE INSTALLED WITH THE FIRE SEPARATION DISTANCES REQUIRED BY 2006 IBC SECTION 704.3.	
11. ENERGY CODE COMPLIANCE: SEE ATTACHED ENERGY CALCULATIONS.	
12. MANUFACTURERS DATA PLATE, STATE LABELS AND EMC LABELS ARE TO BE LOCATED ADJACENT TO ELECTRICAL PANEL.	



CODE SUMMARY:

STATE	BUILDING	ELECTRICAL	MECHANICAL	PLUMBING	ACCESSIBILITY	ENERGY
TENNESSEE	2006 IBC SAFETY GLAZING MAT. TITLE 68, CHAPTER 120 PART 3 2006 LIFE SAFETY CD	2008 NEC W/AMEND	2006 IMC	2006 IPC	2010 ADASAD	2006 IECC
	FIRE					
	2006 IFC					

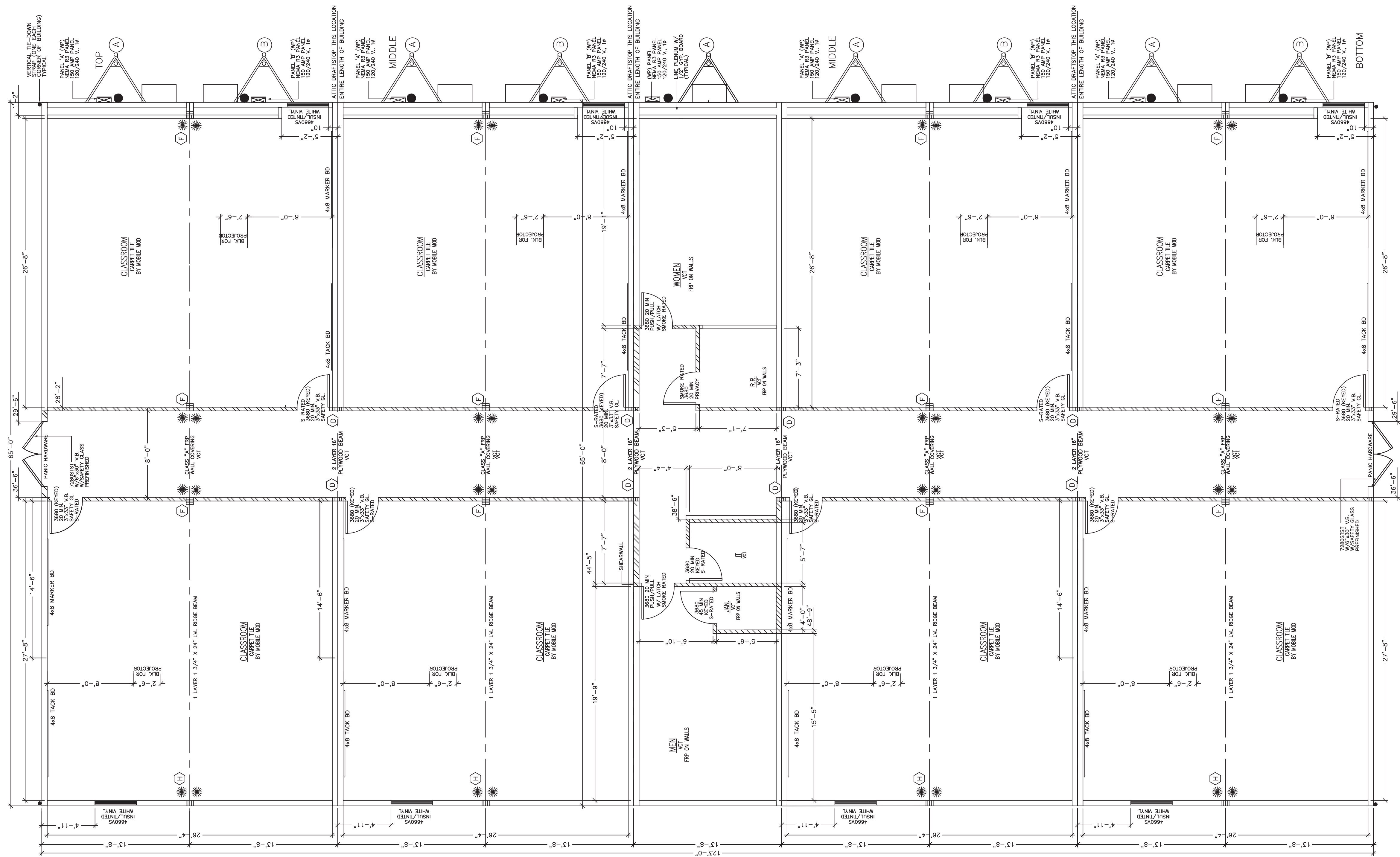
CONSULTING ENGINEER-SOLE PROPRIETORSHIP JAMES BRADLEY, P.E. - 799 HALLECK CANYON ROAD - WHEATLAND, WY. 82201



FIRST STRING SPACE

892 RAILROAD AVE. EAST
 PEARSON, GEORGIA 31642 (912) 422-6455

DATE: 1-4-20	REVISIONS:
SCALE: 3/16"=1'-0"	
CODES: SEE NOTES	
STATES: TN	BY: J.B.
REFERENCE: 8160-64 & 8172	
FSS 126x65 MODPOD (2020) STOCK EDUCATION	SHEET 1 OF 6
COVER SHEET	TN. PLAN NO. FSS-288



COLUMN STRAPPING SCHEDULE:

(A) (2) 2x4 SYP #2 THIS HALF.	(B) (2) 2x4 SYP #2 EACH HALF.
(C) (3) 2x4 SYP #2 THIS HALF.	(D) (3) 2x4 SYP #2 EACH HALF.
(E) (4) 2x4 SYP #2 THIS HALF.	(F) (4) 2x4 SYP #2 EACH HALF.
(G) (5) 2x4 SYP #2 THIS HALF.	(H) (2) 2x6 SYP #2 EACH HALF.

● WITH RIDGE BEAM BEARING STIFFENER

NOTES:

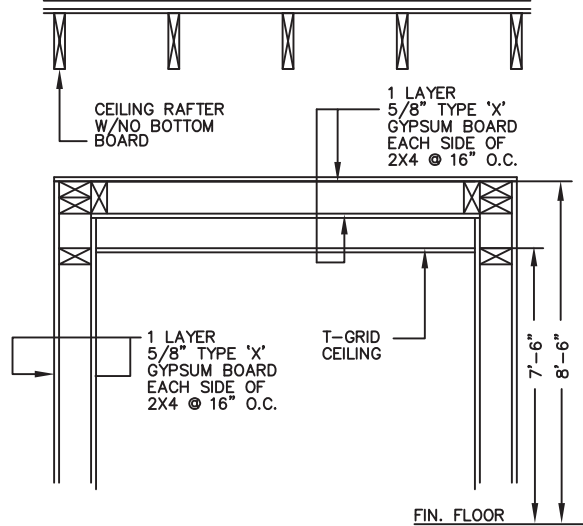
- ALL COLUMN STUDS SHALL BE GLUE/NAILED TOGETHER.
- PVA GLUE WITH 100% COVERAGE SHALL BE USED.
- INSTALL TWO STEEL STRIPS AT EACH STUD OF EACH COLUMN.
- COLUMN STUDS SHALL NOT BE NOTCHED OR BORED.

NOTES:
MANUFACTURERS DATA PLATE, STATE LABELS AND EMC LABELS ARE TO BE LOCATED ADJACENT TO ELECTRICAL PANEL.

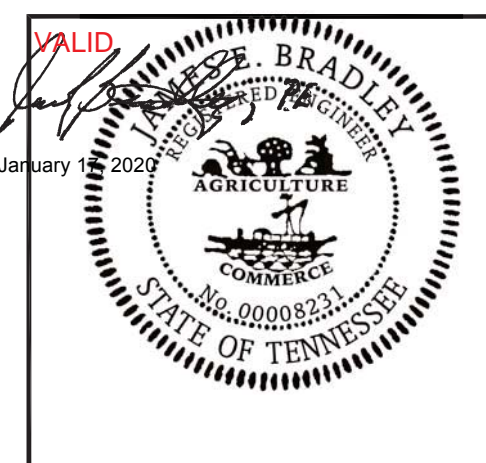
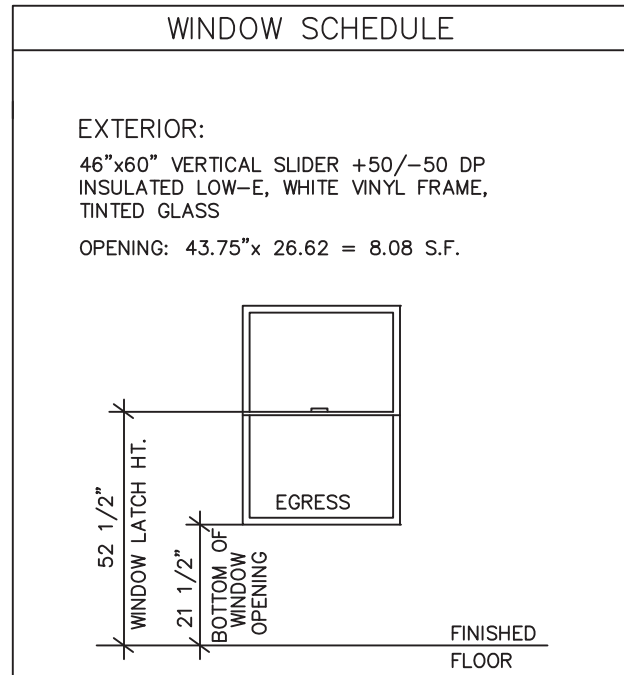
PENETRATION OF FIRE RESISTANT WALLS AND CEILING:

- CONCRETE SHALL MEET WITH FIRE RESISTANT PENETRATION SYSTEMS AND PART OF THE FIRE RESISTANT ASSEMBLY OF WALLS SHALL HAVE SPECIFIED FIRE RATING. PENETRATION SYSTEMS LISTED AND APPROVED AS PER ASTM E-814 LISTED AND APPROVED FOR PENETRATION OF WALLS SHALL BE INSTALLED WITH THE EXISTING WALL AND SHALL BE RATED OF AT LEAST 1 HOUR BUT NOT LESS THAN THE RATING OF THE ASSEMBLY.
- CABLES AND WIRING SHALL BE PROTECTED BY CONCRETE OR PROTECTED BY APPROVED FIRE RATED PENETRATION SYSTEMS. PENETRATION SYSTEMS SHALL BE INSTALLED WITH THE EXISTING WALL AND SHALL BE RATED OF AT LEAST 1 HOUR BUT NOT LESS THAN THE RATING OF THE ASSEMBLY.
- ELECTRICAL BOXES SHALL BE METAL OR LISTED FOR USE IN FIRE RESISTANT ASSEMBLY AND SHALL NOT EXCEED 16 SQUARE INCHES. BOXES SHALL BE APPROVED FOR PENETRATION OF WALLS AND SHALL BE RATED OF AT LEAST 1 HOUR BUT NOT LESS THAN THE RATING OF THE ASSEMBLY.
- ALL CEILING PENETRATIONS SHALL BE SURFACE MOUNTED.
- DUCTS PENETRATING FIRE RESISTANT CEILING SHALL HAVE AN ACCESSIBLE LISTED FIRE DAMPER LOCATED AT THE CEILING LINE.
- ALL FIRE RATED DOORS SHALL HAVE LISTED ROOF FRAME AND HARDWARE. NO LEAK SHALL BE THE RESULT OF THE DOOR FRAME AND HARDWARE. IN ADDITION, THE DOOR SHALL BE COVERED WITH SELF-CLOSERS AND POSITIVE LATCHING HARDWARE.
- WOOD STUD WALLS: 1 HOUR PER GA FILE NO. WP3320/MP3005 (2x4 AND 2x6) 1 LAYER 5/8" TYPE "X" GYPSUM BOARD EACH SIDE OF WALL.
- DROP CEILING: 1 HOUR PER GA FILE NO. WP3605
- CORRIDOR DAMPERS MUST BE FIRE AND SHOCK DAMPERS IN ACCORDANCE WITH 2018 IBC SECTION 7103.4.1 FOR ALL LOCATIONS THAT ADJOINT THE 2018 IBC.
- ALL PENETRATIONS ON 1 HOUR RATED CORRIDOR WALLS AND CEILING SHALL BE FIRE CALKED WITH METACALX 1000 OR EQUAL.
- ALL WALL TO WALL AND WALL TO CEILING JOINTS IN THE 1 HOUR RATED CORRIDOR WALLS AND CEILING SHALL BE FIRE CALKED WITH METACALX 1000 OR EQUAL.

NOTE:
FLOOR PANELS IN 20 MIN. RATED DOORS MUST COMPLY WITH THE FOLLOWING REQUIREMENTS:
A. THE GLAZING MUST BE SAFETY GLAZED.
B. THE GLAZING MUST BE 20 MINUTE RATED.
C. THE BOTTOM OF THE GLAZED PANEL MUST BE A MAXIMUM OF 4 INCHES ABOVE FINISHED FLOOR.



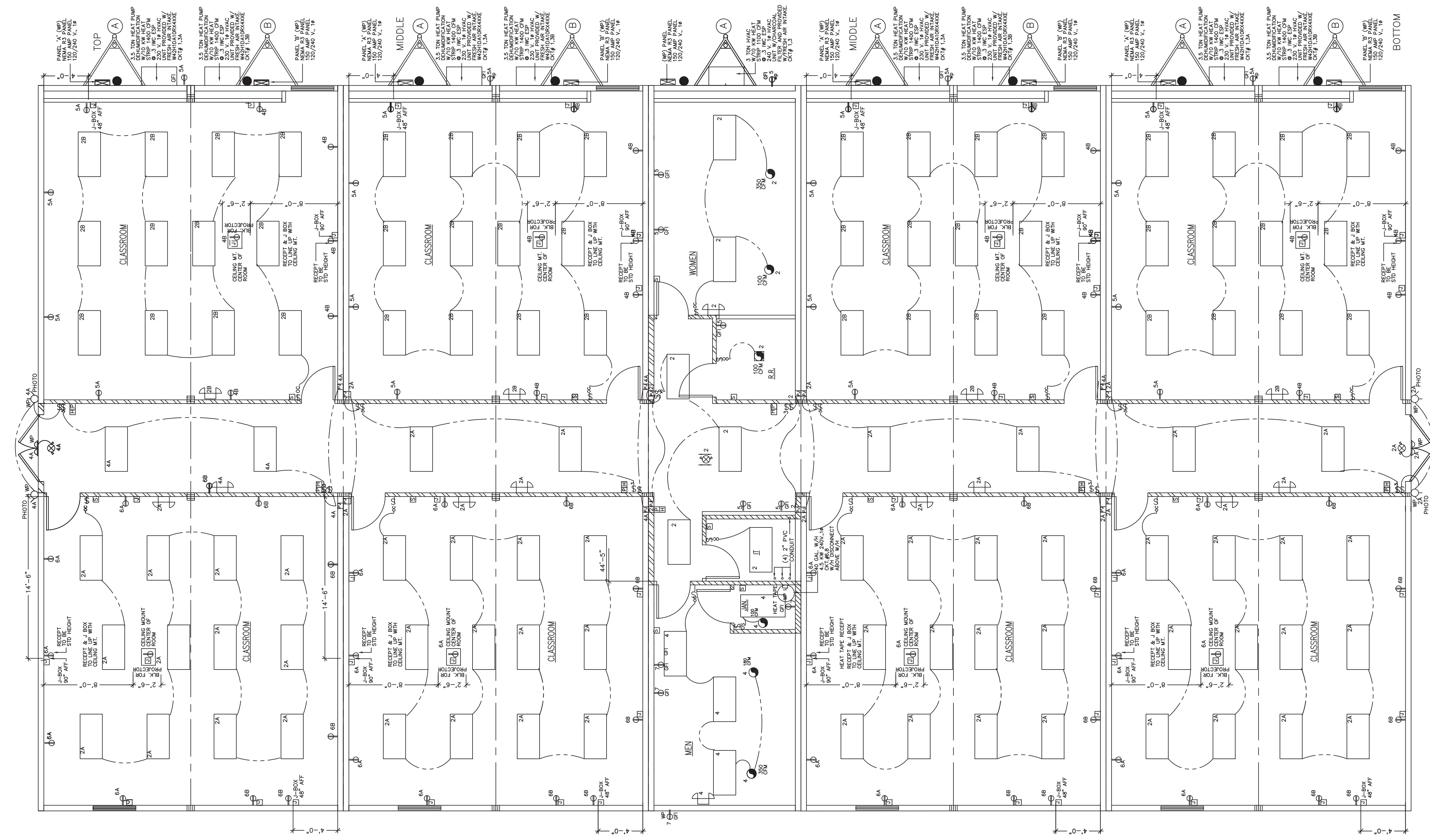
ONE HOUR CONSTRUCTION



CONSULTING ENGINEER-SOLE PROPRIETORSHIP JAMES BRADLEY, P.E. - 799 HALLECK CANYON ROAD - WHEATLAND, WY. 82201

FIRST STRING SPACE
892 RAILROAD AVE. EAST
PEARSON, GEORGIA 31642 (912) 422-6455

DATE: 1-4-20	REVISIONS:
SCALE: 3/16"=1'-0"	SEE NOTES
CODES: TN	J.B.
STATES: TN	SHEET
REFERENCE: 8160-64 & 8172	FSS 126x65 MODPOD (2020) STOCK EDUCATION
FLOOR PLAN	TN PLAN NO: FSS-288
	2 OF 6



SYMBOLS	
	FLUORESCENT FIXTURE WITH 2-28 TUBES
	EMERGENCY COMBO W/BATTERY BACKUP
	EMERGENCY COMBO W/NOTICE HEAD W/BATTERY BACKUP
	EMERGENCY COMBO W/BATTERY BACKUP
	DIT SON W/BATTERY BACKUP
	EMERGENCY LIGHT WITH BATTERY BACKUP
	TRUSSING JACK
	SWITCH & 3 WAY SWITCH
	OCCUPANCY SENSOR
	FIRE EXTINGUISHER
	RETURN AIR REGISTER
	SUPPLY AIR REGISTER

NOTES:
MANUFACTURERS DATA PLATE, STATE LABELS AND EMC LABELS ARE TO BE LOCATED ADJACENT TO ELECTRICAL PANEL.

BOTTOM			
ELECTRICAL SCHEDULE 'A'			
GROUP	MANUFACTURE	QUANTITY	WATT
L.1	WAC	102 X 2 1/2" X 2 1/2"	210
L.2	WAC	102 X 2 1/2" X 2 1/2"	210
L.3	WAC	102 X 2 1/2" X 2 1/2"	210
L.4	RESPONSE	20 A	121.3 W
L.5	WAC	20 A	121.3 W
ELECTRICAL PANEL SIZING:			
DESCRIPTION: PANEL 'A' KVA			
GENERAL LIGHTING: 2000 WATT X 100 FT X 1.25= 250			
11-RECEPTS AT 180W/100W= 22			
11-RECEPTS AT 180W/100W= 22			
WATER HEATER 45 KW X 1.25= 56.25			
TOTAL: 27.8 KW			
TOTAL PANEL LOAD: 115 AMPS			
METAL: 100 AMP PANEL			
120/240 V 3 PH			
ELECTRICAL SCHEDULE 'B'			
GROUP	MANUFACTURE	QUANTITY	WATT
L.1	WAC	102 X 2 1/2" X 2 1/2"	210
L.2	WAC	102 X 2 1/2" X 2 1/2"	210
L.3	WAC	102 X 2 1/2" X 2 1/2"	210
L.4	RESPONSE	20 A	121.3 W
L.5	WAC	20 A	121.3 W
ELECTRICAL PANEL SIZING:			
DESCRIPTION: PANEL 'B' KVA			
GENERAL LIGHTING: 2000 WATT X 100 FT X 1.25= 250			
11-RECEPTS AT 180W/100W= 22			
11-RECEPTS AT 180W/100W= 22			
WATER HEATER 45 KW X 1.25= 56.25			
TOTAL: 27.8 KW			
TOTAL PANEL LOAD: 115 AMPS			
METAL: 100 AMP PANEL			
120/240 V 3 PH			

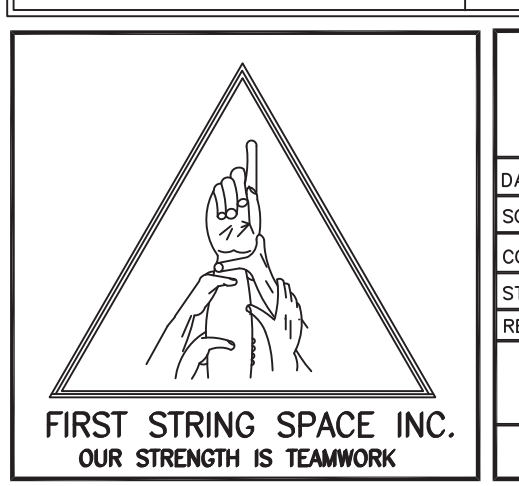
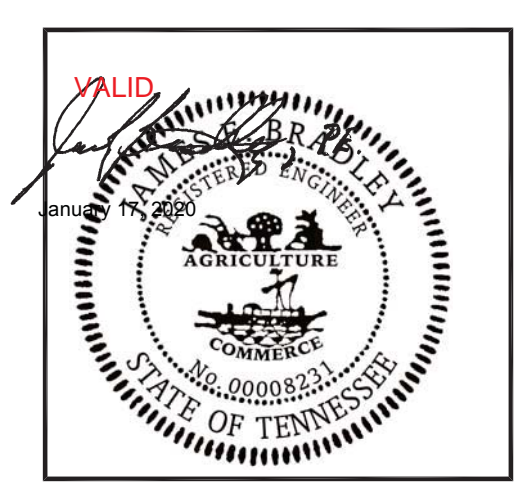
RESTROOM			
ELECTRICAL SCHEDULE 'A'			
GROUP	MANUFACTURE	QUANTITY	WATT
L.1	WAC	102 X 2 1/2" X 2 1/2"	210
L.2	WAC	102 X 2 1/2" X 2 1/2"	210
L.3	WAC	102 X 2 1/2" X 2 1/2"	210
L.4	RESPONSE	20 A	121.3 W
L.5	WAC	20 A	121.3 W
ELECTRICAL PANEL SIZING:			
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11-RECEPTS AT 180W/100W= 22			
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TOTAL: 27.8 KW			
TOTAL PANEL LOAD: 115 AMPS			
METAL: 100 AMP PANEL			
120/240 V 3 PH			
ELECTRICAL SCHEDULE 'B'			
GROUP	MANUFACTURE	QUANTITY	WATT
L.1	WAC	102 X 2 1/2" X 2 1/2"	210
L.2	WAC	102 X 2 1/2" X 2 1/2"	210
L.3	WAC	102 X 2 1/2" X 2 1/2"	210
L.4	RESPONSE	20 A	121.3 W
L.5	WAC	20 A	121.3 W
ELECTRICAL PANEL SIZING:			
DESCRIPTION: PANEL 'B' KVA			
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11-RECEPTS AT 180W/100W= 22			
11-RECEPTS AT 180W/100W= 22			
WATER HEATER 45 KW X 1.25= 56.25			
TOTAL: 27.8 KW			
TOTAL PANEL LOAD: 115 AMPS			
METAL: 100 AMP PANEL			
120/240 V 3 PH			

MIDDLE			
ELECTRICAL SCHEDULE 'A'			
GROUP	MANUFACTURE	QUANTITY	WATT
L.1	WAC	102 X 2 1/2" X 2 1/2"	210
L.2	WAC	102 X 2 1/2" X 2 1/2"	210
L.3	WAC	102 X 2 1/2" X 2 1/2"	210
L.4	RESPONSE	20 A	121.3 W
L.5	WAC	20 A	121.3 W
ELECTRICAL PANEL SIZING:			
DESCRIPTION: PANEL 'A' KVA			
GENERAL LIGHTING: 2000 WATT X 100 FT X 1.25= 250			
11-RECEPTS AT 180W/100W= 22			
11-RECEPTS AT 180W/100W= 22			
WATER HEATER 45 KW X 1.25= 56.25			
TOTAL: 27.8 KW			
TOTAL PANEL LOAD: 115 AMPS			
METAL: 100 AMP PANEL			
120/240 V 3 PH			
ELECTRICAL SCHEDULE 'B'			
GROUP	MANUFACTURE	QUANTITY	WATT
L.1	WAC	102 X 2 1/2" X 2 1/2"	210
L.2	WAC	102 X 2 1/2" X 2 1/2"	210
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L.4	RESPONSE	20 A	121.3 W
L.5	WAC	20 A	121.3 W
ELECTRICAL PANEL SIZING:			
DESCRIPTION: PANEL 'B' KVA			
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TOTAL: 27.8 KW			
TOTAL PANEL LOAD: 115 AMPS			
METAL: 100 AMP PANEL			
120/240 V 3 PH			

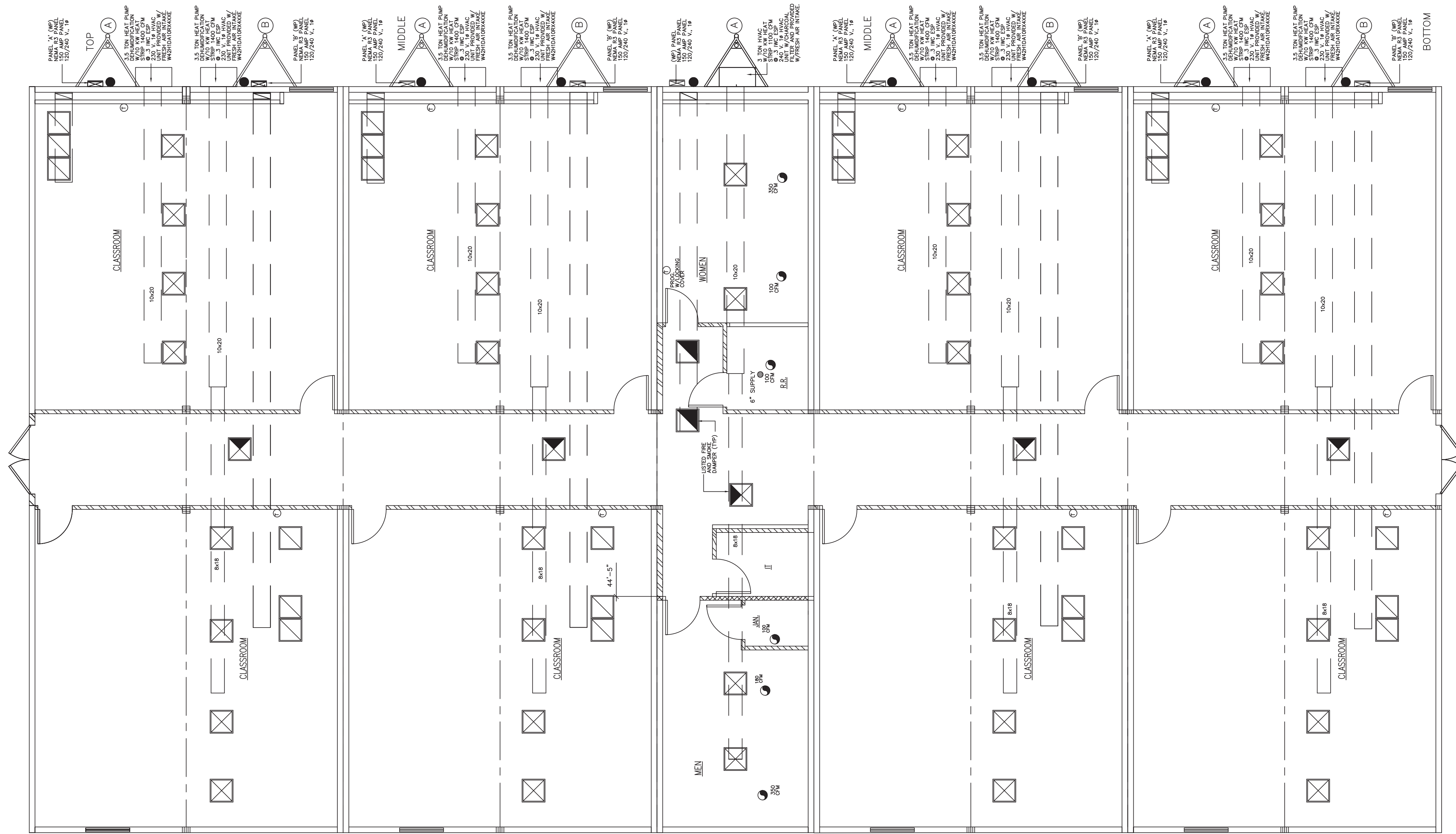
MIDDLE			
ELECTRICAL SCHEDULE 'A'			
GROUP	MANUFACTURE	QUANTITY	WATT
L.1	WAC	102 X 2 1/2" X 2 1/2"	210
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TOTAL: 27.8 KW			
TOTAL PANEL LOAD: 115 AMPS			
METAL: 100 AMP PANEL			
120/240 V 3 PH			

TOP			
ELECTRICAL SCHEDULE 'A'			
GROUP	MANUFACTURE	QUANTITY	WATT
L.1	WAC	102 X 2 1/2" X 2 1/2"	210
L.2	WAC	102 X 2 1/2" X 2 1/2"	210
L.3	WAC	102 X 2 1/2" X 2 1/2"	210
L.4	RESPONSE	20 A	121.3 W
L.5	WAC	20 A	121.3 W
ELECTRICAL PANEL SIZING:			
DESCRIPTION: PANEL 'A' KVA			
GENERAL LIGHTING: 2000 WATT X 100 FT X 1.25= 250			
11-RECEPTS AT 180W/100W= 22			
11-RECEPTS AT 180W/100W= 22			
WATER HEATER 45 KW X 1.25= 56.25			
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TOTAL PANEL LOAD: 115 AMPS			
METAL: 100 AMP PANEL			
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ELECTRICAL SCHEDULE 'B'			
GROUP	MANUFACTURE	QUANTITY	WATT
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L.2	WAC	102 X 2 1/2" X 2 1/2"	210
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11-RECEPTS AT 180W/100W= 22			
WATER HEATER 45 KW X 1.25= 56.25			
TOTAL: 27.8 KW			
TOTAL PANEL LOAD: 115 AMPS			
METAL: 100 AMP PANEL			
120/240 V 3 PH			

EMC APPROVED
01 20 2020



FIRST STRING SPACE			
892 RAILROAD AVE. EAST			
PEARSON, GEORGIA 31642 (912) 422-6455			
DATE: 1-4-20	REVISIONS:		
SCALE: 3/16"=1'-0"			
CODES: SEE NOTES			
STATES: TN			BY: J.B.
REFERENCE: 8160-64 & 8172			
FSS 126x65 MDDPOD (2020)			SHEET
STOCK EDUCATION			
ELECTRICAL	TN PLAN NO: FSS-298	3 OF 6	

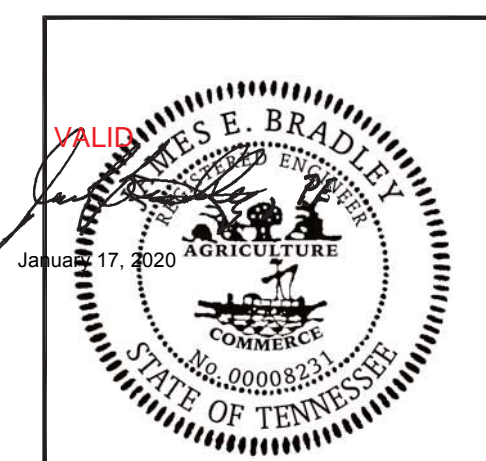


NOTES:
 MANUFACTURERS DATA PLATE, STATE LABELS AND EMC LABELS ARE TO BE LOCATED ADJACENT TO ELECTRICAL PANEL.

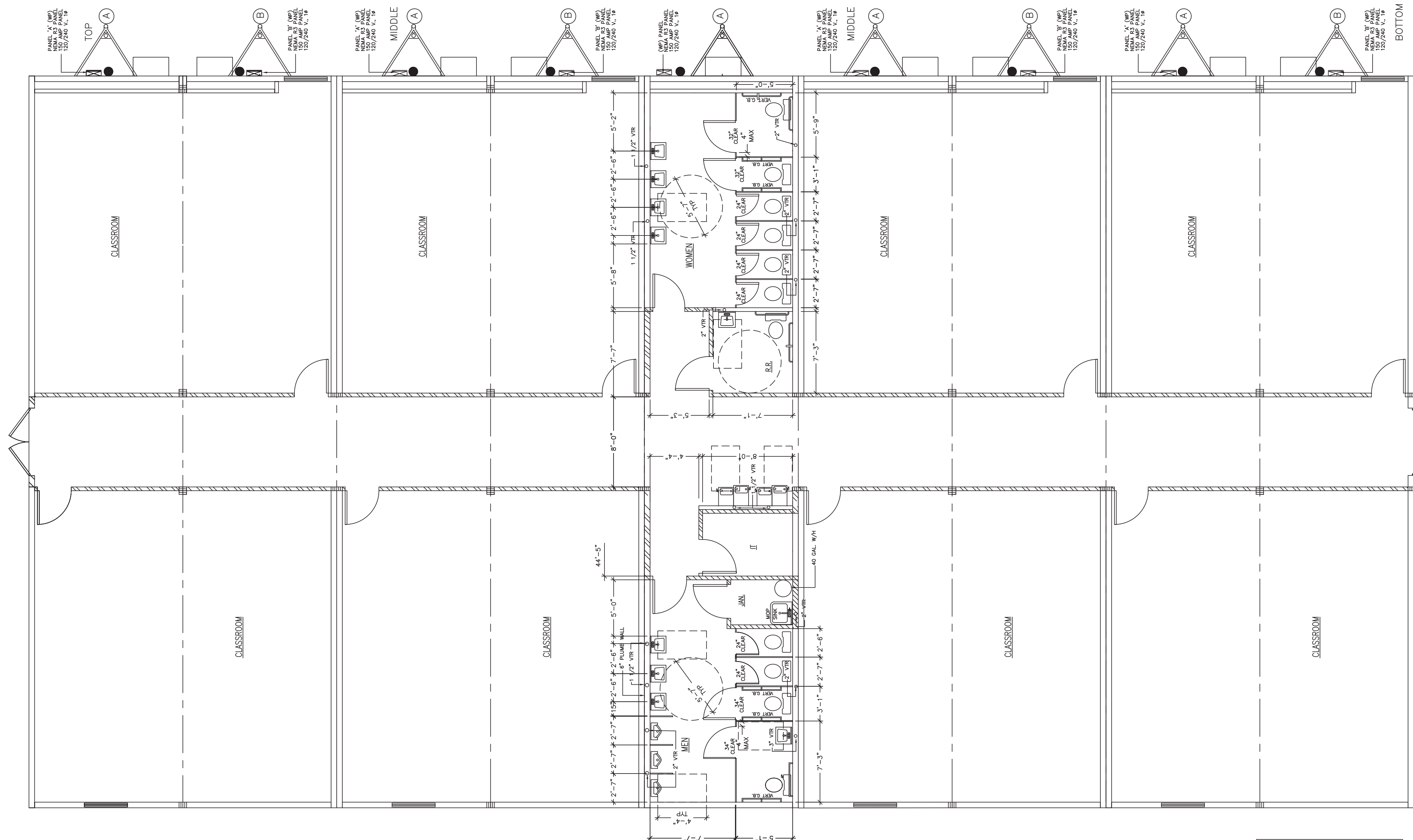
LEGEND

- 24"x24" RETURN AIR GRILLE
- 24"x24" SUPPLY AIR GRILLE
- EXHAUST FAN
- PROGRAMMABLE
- 6" SUPPLY

NOTES:
 ACOUSTICAL CEILING TILE INSTALLED PER MANUFACTURERS SPECIFICATIONS (MOISTURE RESISTANT IN RESTROOMS) BY OTHERS.
 FLEX DUCT FOR SUPPLY IS 8" AND FLEX DUCT FOR RETURN IS 10"
 SEE ATTACHED BARD SPECIFICATIONS FOR ALL REQUIREMENTS AND INFORMATION REGARDING HVAC INSTALLATION AND OPERATING PROCEDURES

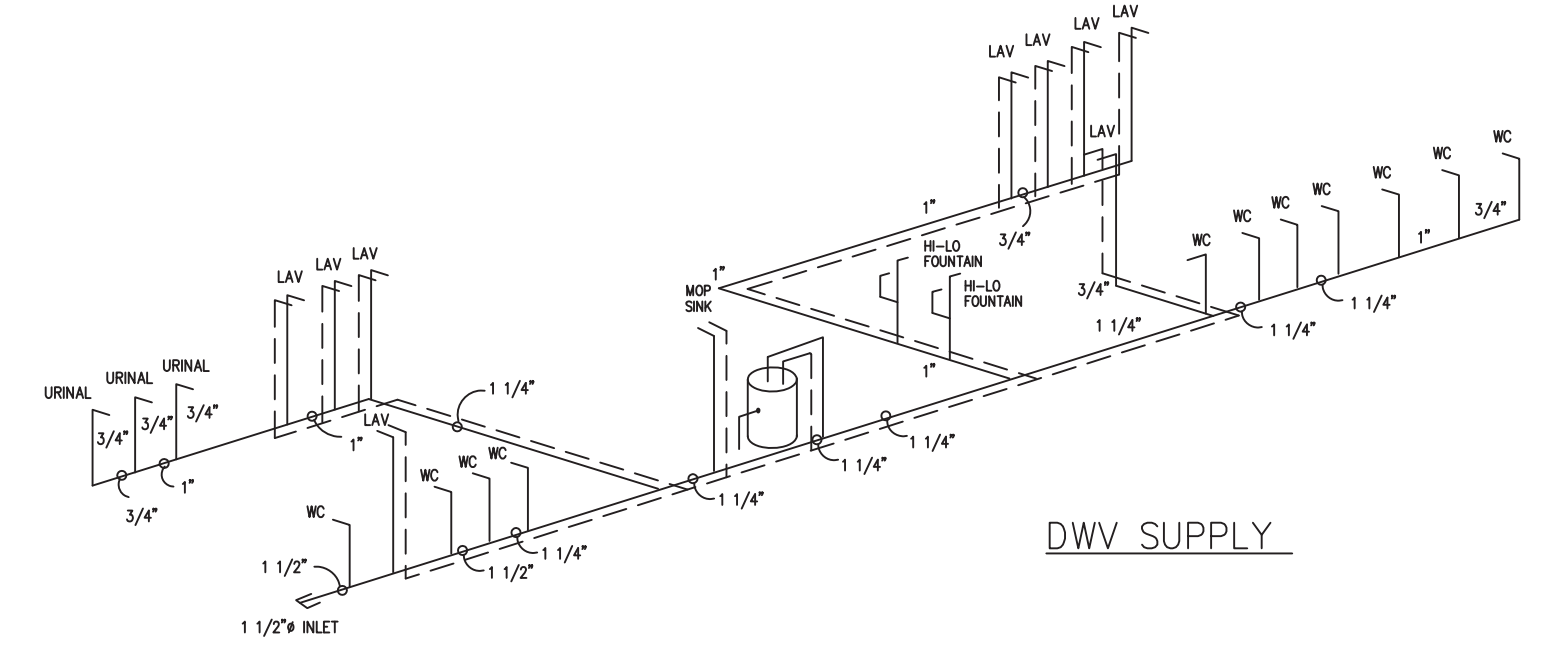
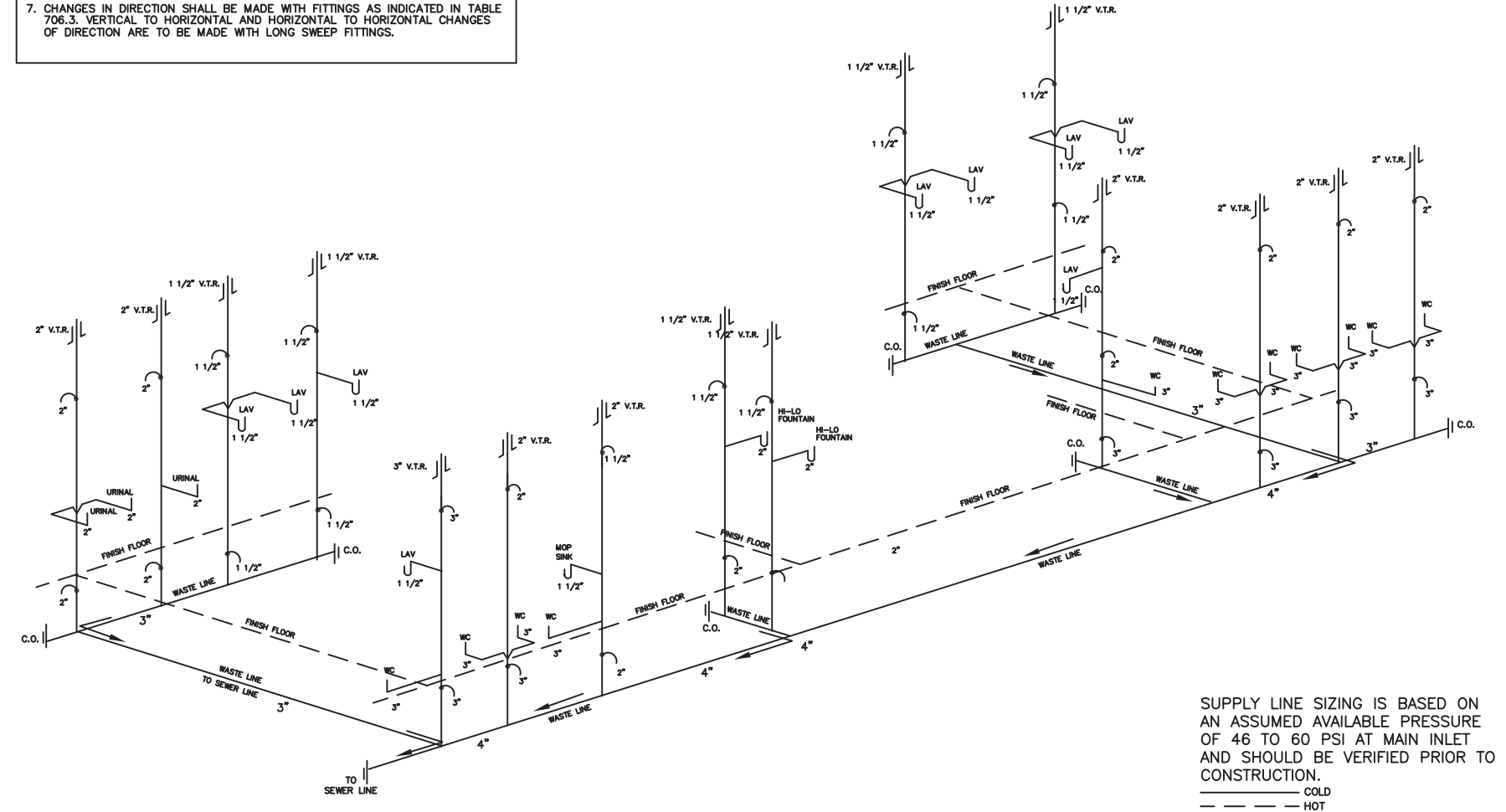


CONSULTING ENGINEER—SOLE PROPRIETORSHIP JAMES BRADLEY, P.E. — 799 HALLECK CANYON ROAD — WHEATLAND, WY. 82201	
FIRST STRING SPACE	
882 RAILROAD AVE. EAST PEARSON, GEORGIA 31642 (912) 422-6455	
DATE: 1-4-20	REVISIONS:
SCALE: 3/16"=1'-0"	
CODES: SEE NOTES	
STATES: TN	BY: J.B.
REFERENCE: 8160-84 & 8172	
FSS 126x65 MODPOD (2020) STOCK EDUCATION	SHEET 4 OF 6
MECHANICAL	TN. PLAN NO: FSS-288



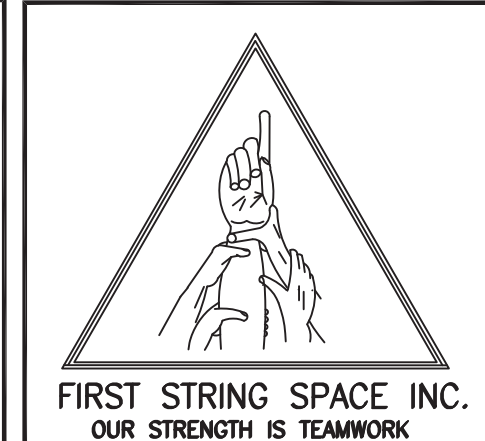
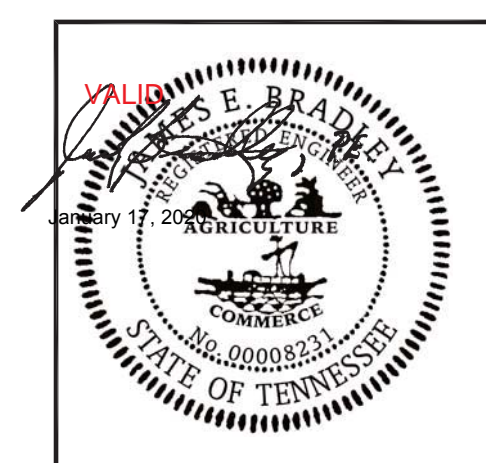
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 AND EMC LABELS ARE TO BE LOCATED
 ADJACENT TO ELECTRICAL PANEL.

- DWV RISER NOTES:**
1. THE DWV RISER INDICATES ONE METHOD OF INSTALLING THE BELOW THE FLOOR RISER. OTHER APPROVED METHODS MAY BE USED AS NEEDED TO ACCOMMODATE THE ACTUAL SITE CONDITIONS.
 2. ALL BELOW FLOOR PIPING AND FITTINGS ARE TO BE SUPPLIED AND INSTALLED ON SITE BY OTHERS.
 3. 1.5 INCH AND 2 INCH HORIZONTAL DRAIN LINES SHALL BE INSTALLED WITH INDICATED OVERHEAD.
 4. 3 AND 4 INCH HORIZONTAL DRAIN LINES SHALL BE INSTALLED WITH A SLOPE OF 1/8 INCH PER FOOT.
 5. BELOW FLOOR HORIZONTAL DRAIN LINES ARE 3 INCH MINIMUM DIAMETER UNLESS INDICATED OTHERWISE.
 6. MAXIMUM OF 3 WATER CLOSETS MAY DISCHARGE INTO A 3 INCH LINE.
 7. CHANGES IN DIRECTION SHALL BE MADE WITH FITTINGS AS INDICATED IN TABLE 1003.1, TABLE 1003.2, AND TABLE 1003.3.
 8. CHANGES IN DIRECTION SHALL BE MADE WITH FITTINGS AS INDICATED IN TABLE 1003.1, TABLE 1003.2, AND TABLE 1003.3.



SUPPLY LINE SIZING IS BASED ON AN ASSUMED AVAILABLE PRESSURE OF 45 TO 60 PSI AT MAIN INLET AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

ALL SUPPLY LINES SHALL BE 3/4\"/>



CONSULTING ENGINEER—SOLE PROPRIETORSHIP		JAMES BRADLEY, P.E. — 799 HALLECK CANYON ROAD — WHEATLAND, WY. 82201	
FIRST STRING SPACE			
892 RAILROAD AVE. EAST			
PEARSON, GEORGIA 31642		(912) 422-6455	
DATE: 1-4-20	REVISIONS:		
SCALE: 3/16"=1'-0"			
CODES: SEE NOTES			
STATES: TN	BY: J.B.		
REFERENCE: 8160-64 & 8172			
FSS 126x65 MODPOD (2020)			
STOCK EDUCATION			
PLUMBING PLAN	TN. PLAN NO. FSS-288	5 OF 6	

EXTERIOR FINISH MATERIAL:

ROOF - MULE-HIDE 45 MIL (WHITE) EPDM FULLY ADHERED IN ACCORDANCE WITH ESR-1776 OVER 7/16" MULE-HIDE FR DECK PANEL 'C' INSTALLED PER MANUFACTURERS SPECIFICATIONS.

WALL - 7/16" HARDI-PANEL SIDING (STUCCO) OVER APPROVED MOISTURE BARRIER OVER 7/16" OSB SHEATHING INSTALLED PER MANUFACTURERS SPECIFICATIONS.

INTERIOR FINISH MATERIAL:

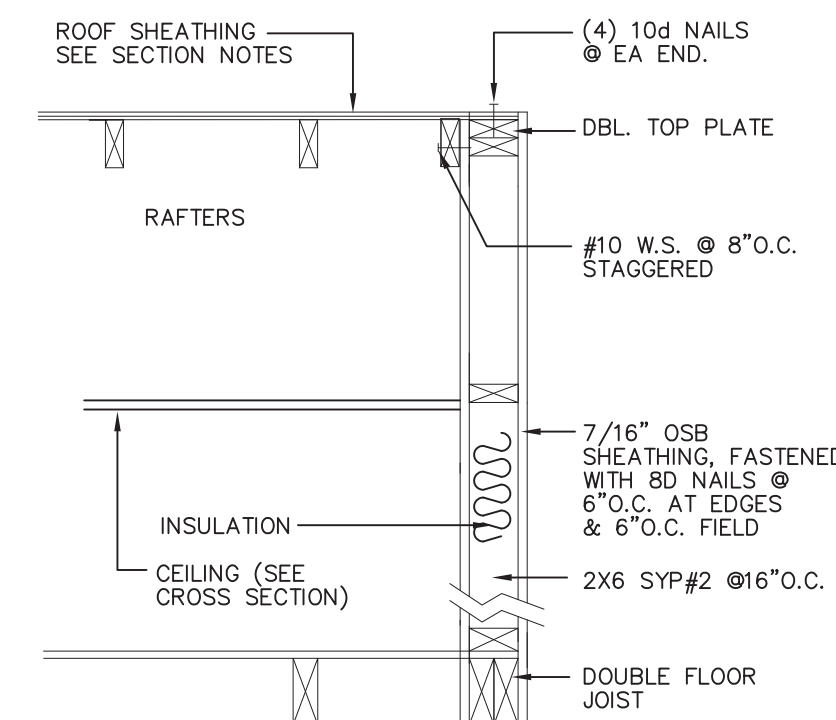
CEILING - T-GRID CEILING INSTALLED PER MANUFACTURER'S SPECIFICATIONS

WALL - 5/8" TYPE 'X', GYP. BOARD (VCG THROUGHOUT) INSTALLED PER MANUFACTURERS SPECIFICATIONS

CORRIDOR RESTROOMS JAN, MECH CL. - FRP OVER GYP. BOARD INSTALLED PER MANUFACTURERS SPECIFICATIONS

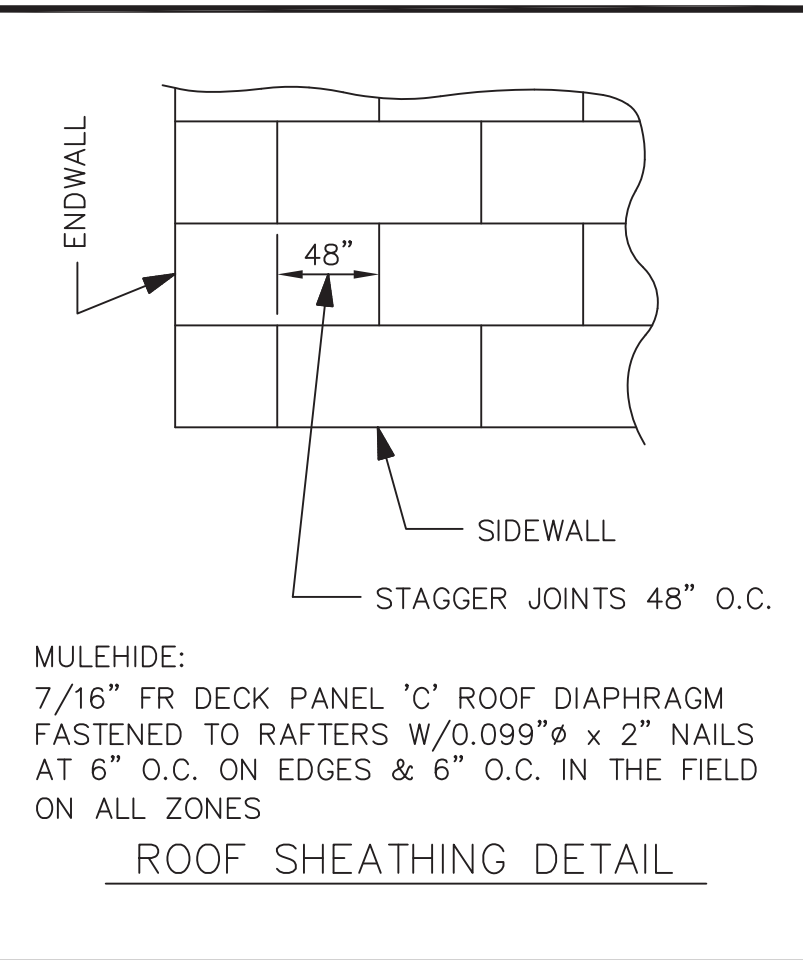
FLOOR - AS NOTED ON PLAN

NOTE: INTERIOR WALL AND CEILING FINISH SHALL BE CLASS B OR BETTER IN CORRIDORS AND CLASS C OR BETTER IN ROOMS AND ENCLOSED SPACES. FLOOR FINISHES SHALL BE CLASS II OR BETTER.

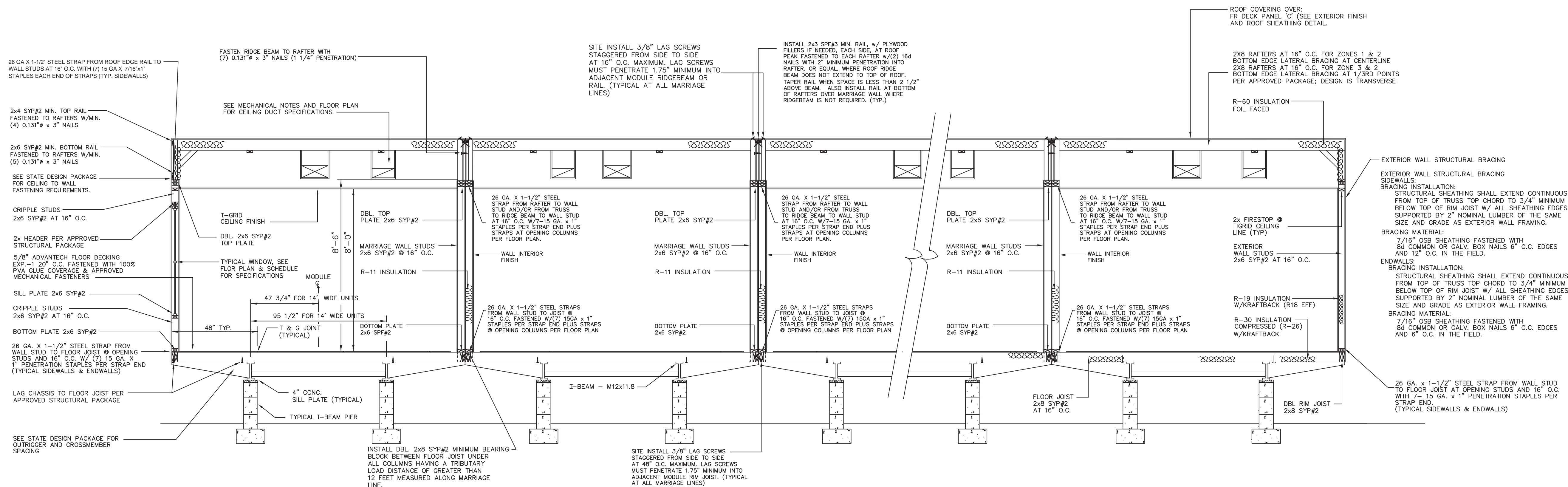


BALLOON END WALL DETAIL

NTS



SEE FSS DESIGN PACKAGE PAGES C33.0-33.3 FOR DIAGONAL BRACING AND ROOF JOIST GUSSET DETAILS



GENERAL CROSS-SECTION NOTES:

- UNLESS OTHERWISE SPECIFIED, ALL STEEL MUST COMPLY W/ ASTM A36, YIELD STRENGTH = 36 KSI.
- ALL LAG SCREWS MUST COMPLY W/ ANSI/ ASME B18.2.1. F_y = 60 KSI MINIMUM.
- SEE FOUNDATION PLAN FOR PIER AND TIE-DOWN STRAPPING LOCATIONS, ORIENTATIONS, AND SPECIFICATIONS.

RIDGE BEAM CONSTRUCTION:

(SEE FLOOR PLAN) 3/4" PLYWOOD, RATED SHEATHING, EXP.-1, STRUCT.-1, 5 PLY/5 LAYER, 48/24 EACH HALF CONTINUOUS ENTIRE LENGTH OF CLEARSPAN.

NOTES:

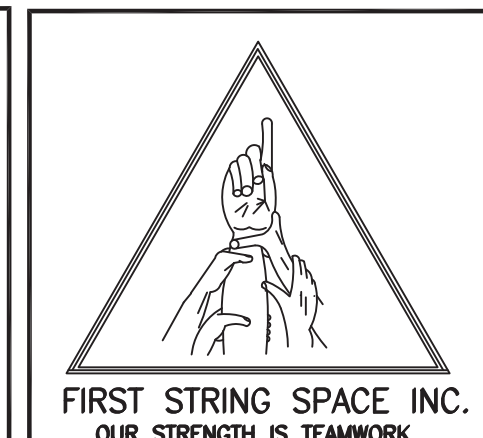
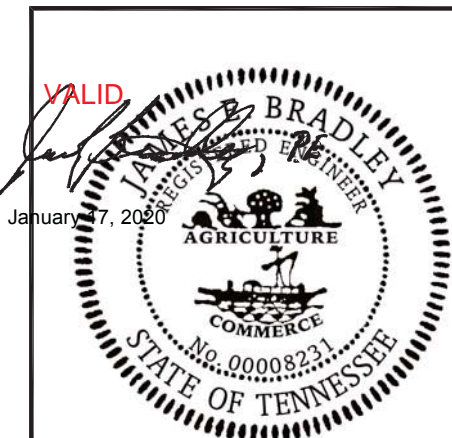
- PLYWOOD FACE GRAIN MUST BE PARALLEL TO THE RIDGE BEAM SPAN.
- ALL PLYWOOD BUTT JOINTS MUST BE STAGGERED 24" MINIMUM.
- ALL RIDGE BEAM PLYWOOD LAMINATIONS MUST BE THE SAME DEPTH, THICKNESS, AND GRADE OF PLYWOOD. NO LUMBER OR PLYWOOD FLANGES ARE PERMITTED.
- PLYWOOD MUST BE MANUFACTURED IN ACCORDANCE W/ PS-195.
- PLYWOOD LAMINATIONS IN EACH HALF OF THE UNITS MUST BE GLUE NAILED TO ADJACENT LAYERS IN ACCORDANCE W/ PDS SUPPLEMENT #5, W/ AN ADHESIVE COMPLYING W/ ASTM D2306, OR G232-A.
- PLYWOOD MUST NOT BE TREATED W/ A FIRE RETARDANT PROCESS.
- MOISTURE CONTENT MUST BE LESS THAN 16%.
- BEAMS SUPPORTED BY ENDWALL COLUMNS MUST EXTEND CONTINUOUS OVER COLUMNS TO EXTERIOR FACE OF ENDWALL.
- INSTALL (2x4) X 20" SYP#3 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLUMNS, WHEN SPECIFIED ON FLOOR PLAN; FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM W/ 100% GLUE COVERAGE AND (6) 16 GA X 2-1/2" STAPLES.

MICROLAM BEAM CONSTRUCTION

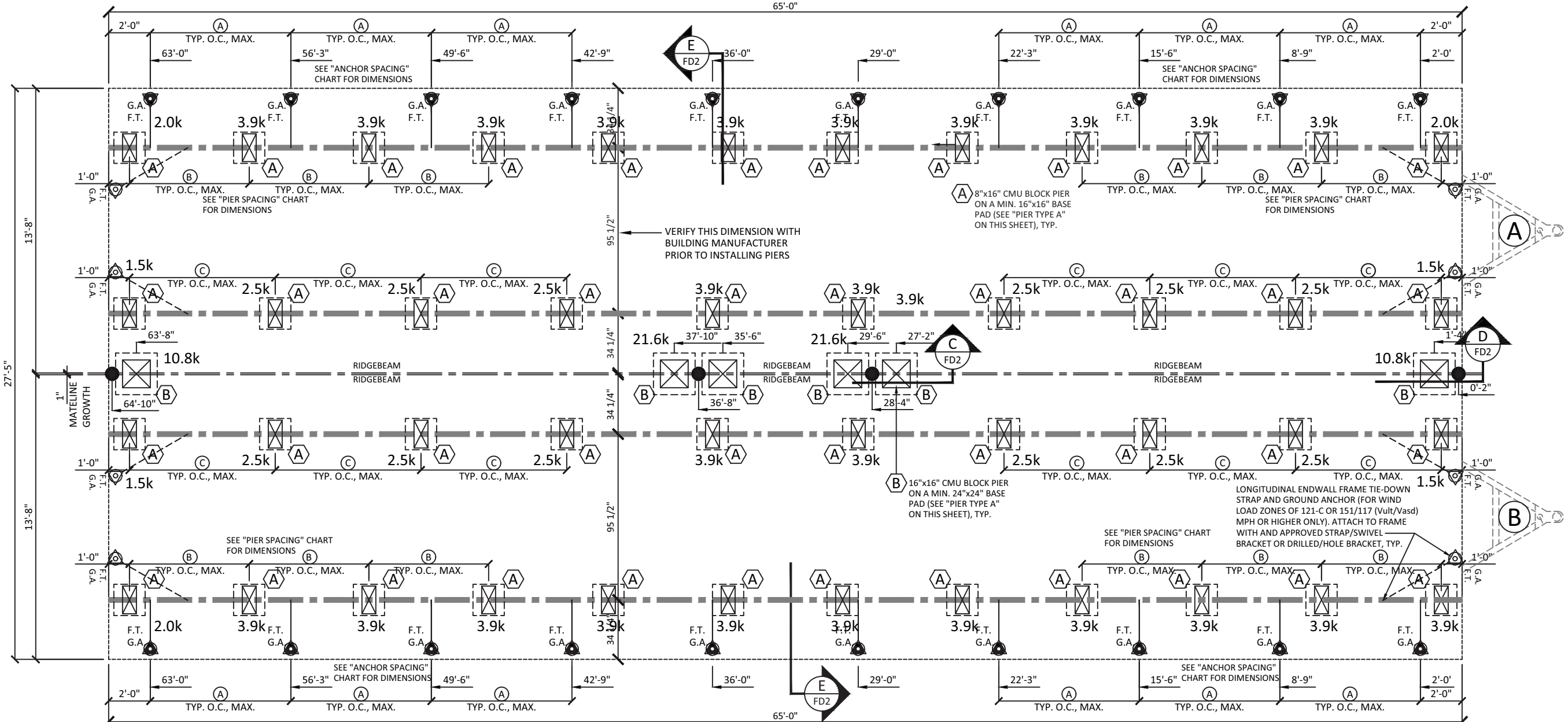
1 LAYER(S) 1/2" x 24" MICROLAM, EACH MODULE.

NOTES:

- MICROLAM F = 2750 PSI
- MICROLAM MUST BE CONTINUOUS OVER CLEARSPANS.
- BEAMS SUPPORTED BY ENDWALL COLUMNS MUST EXTEND CONTINUOUS OVER COLUMNS TO EXTERIOR FACE OF ENDWALL.
- FASTEN ROOF SHEATHING INTO TOP EDGE OF MICROLAM TO PROVIDE CONTINUOUS LATERAL SUPPORT OF BEAM.
- INSTALL (2 X 4) X 20" SYP#3 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLUMNS WHEN SPECIFIED ON FLOOR PLAN; FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM WITH 100% GLUE COVERAGE AND 6-8 GA STAPLES WITH 3/4" MINIMUM PENETRATION INTO MICROLAM BEAM.
- WHEN MORE THAN ONE LAYER OF MICROLAM IS INSTALLED ON EITHER SIDE OF THE MATING LINES, LAYERS ON THAT SIDE OF THE MATING LINE MUST BE FASTENED TOGETHER WITH 16 GA STAPLES X 7/16" MINIMUM CROWN INSTALLED PARALLEL TO BEAM SPAN WITH 1/4" MINIMUM PENETRATION INTO CONNECTING LAYER; STAPLES SHALL BE PLACED AT 6" O.C. MAXIMUM VERTICALLY AND HORIZONTALLY WITH FIRST AND LAST ROW OF STAPLES LOCATED 1" FROM TOP AND BOTTOM EDGE OF BEAM RESPECTIVELY.



CONSULTING ENGINEER-SOLE PROPRIETORSHIP JAMES BRADLEY, P.E. - 799 HALLECK CANYON ROAD - WHEATLAND, WY. 82201	
FIRST STRING SPACE	
892 RAILROAD AVE. EAST PEARSON, GEORGIA 31642 (912) 422-6455	
DATE: 1-4-20	REVISIONS:
SCALE: NO SCALE	
CODES: SEE NOTES	
STATES: TN	BY: J.B.
REFERENCE: 8160-54 & 8172	
FSS 126x65 MODPOD (2020)	SHEET
STOCK EDUCATION	6 OF 6
CROSS SECTION	PL. IN PLAN NO: FSS-288



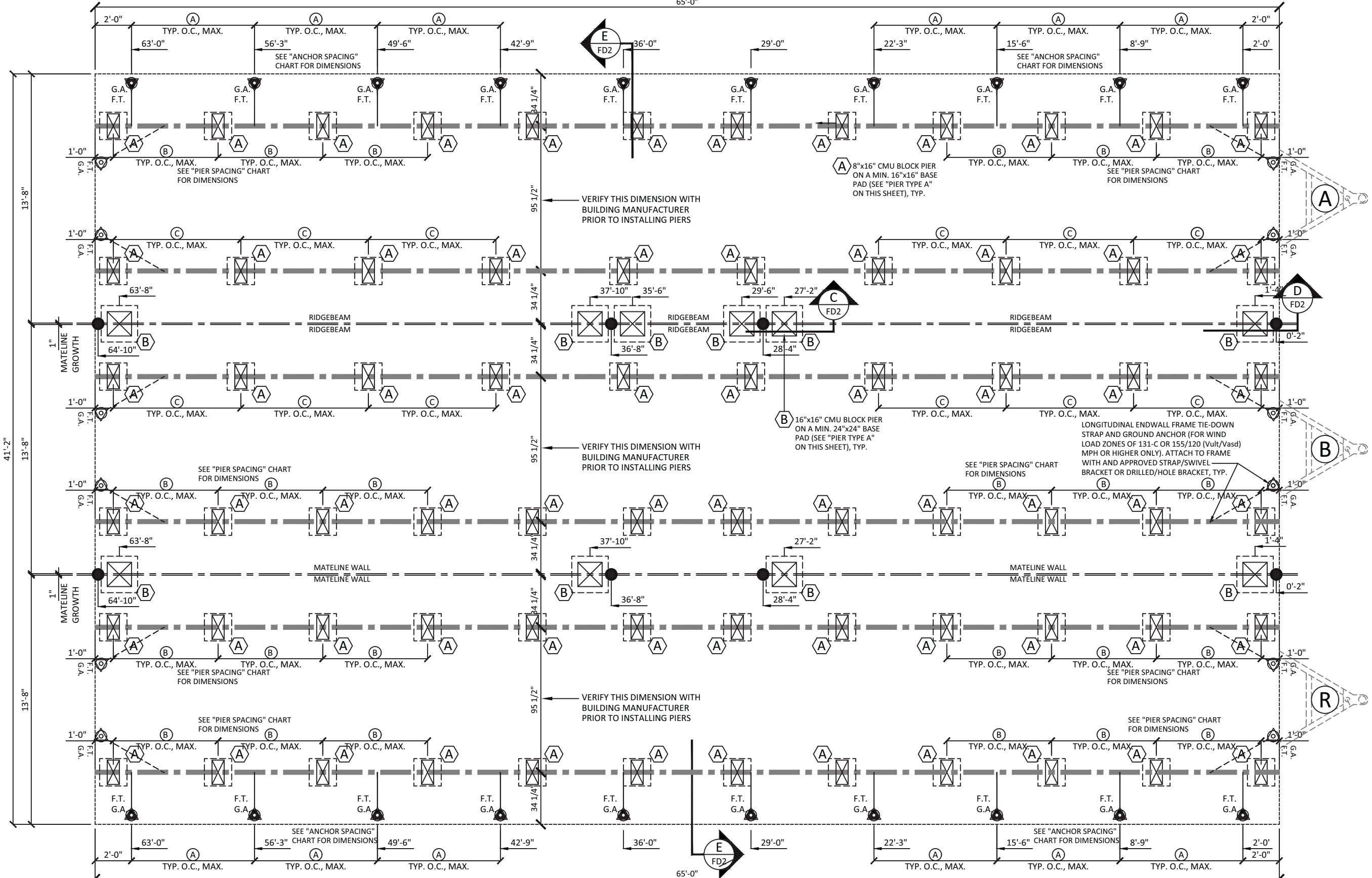
FOUNDATION PLAN - (2-PLEX)
 SCALE: 3/16"=1'-0"
 WIND: 115/89 to 160/124 (Vult/Vasd) MPH - EXP. C
 SOIL: 2000 P.S.F. (SHOWN) ; 3000 PSF (SEE CHART)

NOTE: ALL MATELINE WALL MODULES AND ALL RIDGEBEAM SPAN MODULES NEED TO BE PROPERLY IDENTIFIED AND THE PROPER PIER SPACING NEEDS TO BE DETERMINED AND PLACED PRIOR TO FOUNDATION INSTALLATION.

NOTE: THIS FOUNDATION PLAN SHOWS ALL PIER AND ANCHOR LOCATIONS FOR THE WIND ZONE 150/116 MPH (EXP. C). IF THE BUILDING IS TO BE LOCATED IN A WIND ZONE AREA OTHER THAN 150-C PLEASE REFERENCE THE CHART ON THIS PAGE FOR THE PROPER PLACEMENT OF BOTH THE PIERS AND THE ANCHORS.

NOTE: SEE PIER SPACING CHART THIS SHEET FOR DIFFERENT SIZE PAD OPTIONS AND THE REQUIRED SPACING. (16"x16" PAD SHOWN)

OCCUPANCY: EDUCATIONAL
 FLOOR DESIGN LIVE LOAD: 50/100 PSF
 ROOF LIVE LOAD: 30 PSF
 GROUND SNOW LOAD: 30 PSF
 CONSTRUCTION: TYPE V-B



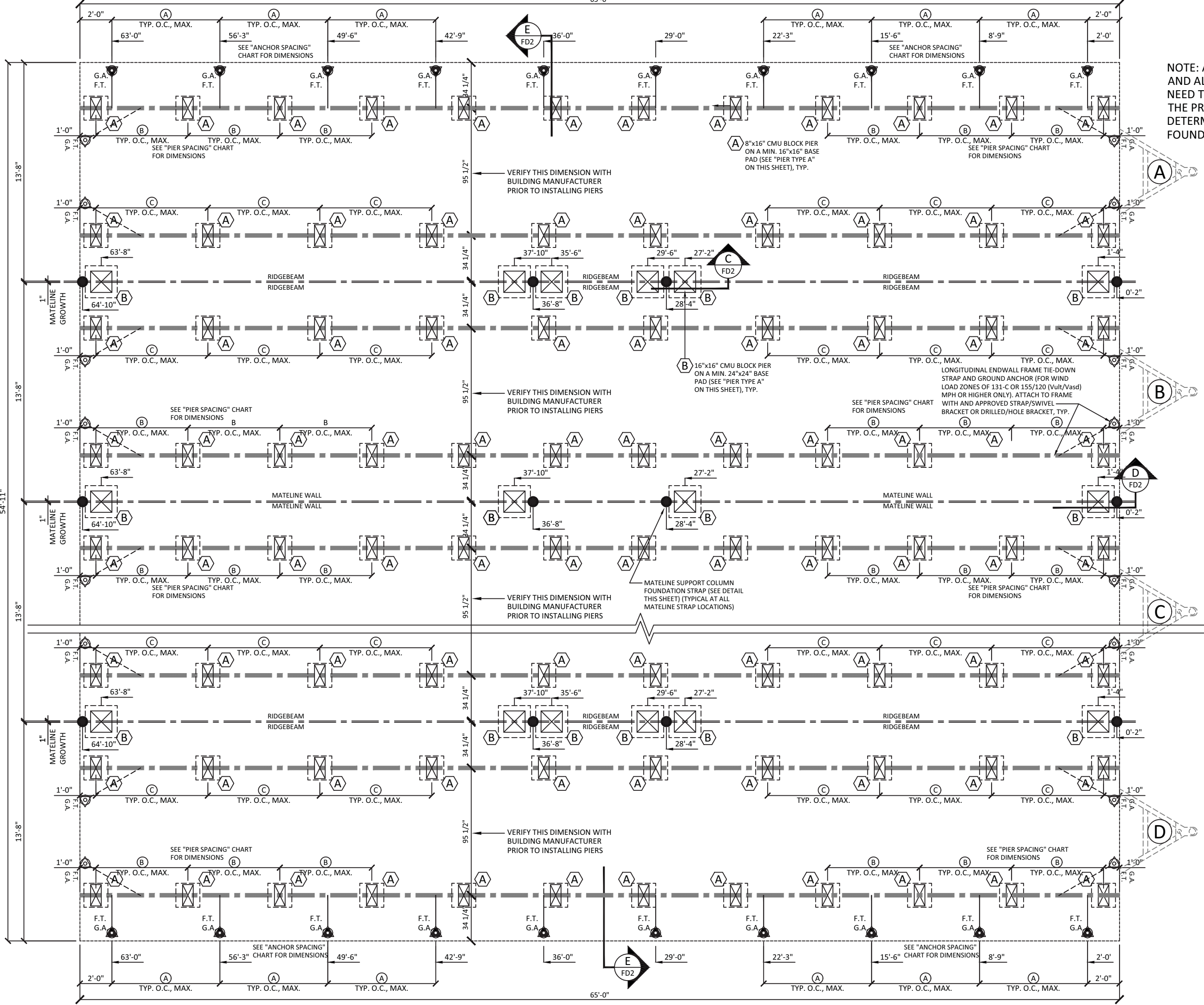
FOUNDATION PLAN - (3-PLEX)
 SCALE: 3/16"=1'-0"
 WIND: 115/89 to 160/124 (Vult/Vasd) MPH - EXP. C
 SOIL: 2000 P.S.F. (SHOWN) ; 3000 PSF (SEE CHART)

NOTE: ALL MATELINE WALL MODULES AND ALL RIDGEBEAM SPAN MODULES NEED TO BE PROPERLY IDENTIFIED AND THE PROPER PIER SPACING NEEDS TO BE DETERMINED AND PLACED PRIOR TO FOUNDATION INSTALLATION.

NOTE: THIS FOUNDATION PLAN SHOWS ALL PIER AND ANCHOR LOCATIONS FOR THE WIND ZONE 150/116 MPH (EXP. C). IF THE BUILDING IS TO BE LOCATED IN A WIND ZONE AREA OTHER THAN 150-C PLEASE REFERENCE THE CHART ON THIS PAGE FOR THE PROPER PLACEMENT OF BOTH THE PIERS AND THE ANCHORS.

NOTE: SEE PIER SPACING CHART THIS SHEET FOR DIFFERENT SIZE PAD OPTIONS AND THE REQUIRED SPACING. (16"x16" PAD SHOWN)

OCCUPANCY: EDUCATIONAL
 FLOOR DESIGN LIVE LOAD: 50/100 PSF
 ROOF LIVE LOAD: 30 PSF
 GROUND SNOW LOAD: 30 PSF
 CONSTRUCTION: TYPE V-B



FOUNDATION PLAN - (4-PLEX +)
 SCALE: 3/16"=1'-0"
 WIND: 115/89 to 160/124 (Vult/Vasd) MPH - EXP. C
 SOIL: 1500 P.S.F. (SEE CHART) ; 2000 P.S.F. (SHOWN) ; 3000 PSF (SEE CHART)

NOTE: ANY NUMBER OF UNITS FROM (4) TO (15) CAN BE LOCATED SIDE-BY-SIDE AS SHOWN.

NOTE: ALL ANCHORS AND PADS MUST BE STATE OF ALABAMA APPROVED.

NOTE: THIS FOUNDATION PLAN SHOWS ALL PIER AND ANCHOR LOCATIONS FOR THE WIND ZONE 150/116 MPH (EXP. C). IF THE BUILDING IS TO BE LOCATED IN A WIND ZONE AREA OTHER THAN 150-C PLEASE REFERENCE THE CHART ON THIS PAGE FOR THE PROPER PLACEMENT OF BOTH THE PIERS AND THE ANCHORS.

NOTE: SEE PIER SPACING CHART THIS SHEET FOR DIFFERENT SIZE PAD OPTIONS AND THE REQUIRED SPACING. (16"x16" PAD SHOWN)

OCCUPANCY: EDUCATIONAL
 FLOOR DESIGN LIVE LOAD: 50/100 PSF
 ROOF LIVE LOAD: 30 PSF
 GROUND SNOW LOAD: 30 PSF
 CONSTRUCTION: TYPE V-B

STATE(S):		ALABAMA	MARYLAND	SOUTH CAROLINA	TENNESSEE
BUILDING:	2015 IRC	2018 IRC w/MD AMENDS	2015 IRC w/SC AMENDS	2012 IRC (EXCEPT CH 11 & CH 34)	
PLUMBING:	2015 IPC	2018 NFPA 101 w/MD AMENDS	2015 IPC w/SC AMENDS	2012 IPC / 2013 DPC	
MECHANICAL:	2015 IMC	2018 IMC w/MD AMENDS	2015 IMC w/SC AMENDS	2012 IPC / 2013 DPC	
LIFE SAFETY:	NFPA 101	2018 NFPA 101 w/MD AMENDS	2015 IMC w/SC AMENDS	2012 IPC / 2013 DPC	
ELECTRICAL:	2015 NEC	2018 NEC	2015 NEC	2012 NEC	
ENERGY:	2015 IECC	2018 IECC	2015 IECC	2012 IECC	
ACCESSIBILITY:	ADAAG - 2010	ADAAG/2012 MD ACCESSIBILITY CODE	ADA/ICC / ANS I117.1-2017	2010 ADA/ANSI/ICC/ANSI A117.1-2010	
GEORGIA		NORTH CAROLINA	VIRGINIA	WASHINGTON, D.C.	
BUILDING:	2018 IRC w/20 GA AMENDS	2018 NCBC	2015 VA CONSTRUCTION CODE	2012 IRC / 2013 DPC	
FIRE:	2012 IRC w/14,15,17,18 GA AMENDS	2018 NFPA 101	2015 VA STATEWIDE FIRE PREVENTION CODE	2012 IPC / 2013 DPC	
PLUMBING:	2018 IMC w/20 GA AMENDS	2018 NCPC	2015 VA PLUMBING CODE	2012 IPC / 2013 DPC	
MECHANICAL:	2018 IMC w/20 GA AMENDS	2018 NCPC	2015 VA MECHANICAL CODE	2012 IPC / 2013 DPC	
LIFE SAFETY:	Chapter 120 - 1.3 GA State Minimum Fire Safety Standards / 2012 Life Safety Code	2018 NCC	2015 VA MECHANICAL CODE	2012 IECC / 2013 DCEC	
ACCESSIBILITY:	Chapter 120 - 1.3 GA Accessibility Code / 2010 ADA Standards	2018 NEEC	2015 VA ENERGY CONSERVATION CODE	2012 IECC / 2013 DCEC	
ENERGY:	2015 IECC w/20 AMENDS	2015 NEC	2010 ADA/ANSI 117.1-10	ICC/ADA/ANSI A-117-10	
ELECTRICAL:	2015 NEC	2012 NEC			

ANCHOR SPACING			
MPH	EXP.	A	# OF ANCHORS
115/89	C	10'-2"	7 (@ EA. SIDEWALL)
120/93	C	10'-2"	7 (@ EA. SIDEWALL)
130/101	C	8'-9"	8 (@ EA. SIDEWALL)
140/108	C	7'-8"	9 (@ EA. SIDEWALL)
150/116	C	6'-9"	10 (@ EA. SIDEWALL)
160/124	C	6'-9"	10 (@ EA. SIDEWALL w/ENDWALL)
170/132	C	6'-1"	12 (@ EA. SIDEWALL w/ENDWALL)

SYMBOLS:			
	F.T. G.A.	FRAME TIE-DOWN FASTENED TO GROUND ANCHOR	
	HURRICANE STRAP	HURRICANE STRAP FASTENED TO GROUND ANCHOR	
	CMU BLOCK PIER AND PAD	CMU BLOCK PIER AND PAD BELOW	

PIER SPACING			
1500 P.S.F. SOIL BEARING CAPACITY	2000 P.S.F. SOIL BEARING CAPACITY		
PAD SIZE	B	C	# OF PIERS
16"x18"	-	-	13 (UNDER OUTSIDE I-BEAM)
18"x18"	4'-10"	5'-3"	11 (UNDER INSIDE I-BEAM)
20"x20"	5'-9"	6'-5"	10 (UNDER INSIDE I-BEAM)
24"x24"	7'-11"	11'-7"	6 (UNDER INSIDE I-BEAM)

PIER SPACING			
3000 P.S.F. SOIL BEARING CAPACITY	3000 P.S.F. SOIL BEARING CAPACITY		
PAD SIZE	B	C	# OF PIERS
16"x18"	6'-5"	8'-3"	8 (UNDER INSIDE I-BEAM)
18"x18"	7'-3"	10'-6"	7 (UNDER INSIDE I-BEAM)
20"x20"	8'-3"	8'-3"	8 (UNDER INSIDE I-BEAM)
24"x24"	12'-7"	12'-7"	5 (UNDER INSIDE I-BEAM)

NOTE: ALL MATELINE WALL MODULES AND ALL RIDGEBEAM SPAN MODULES NEED TO BE PROPERLY IDENTIFIED AND THE PROPER PIER SPACING NEEDS TO BE DETERMINED AND PLACED PRIOR TO FOUNDATION INSTALLATION.

ALABAMA REGISTERED ENGINEER
 No. 36517
 WALTER E. WOOD
 VALID March 20, 2020

GEORGIA REGISTERED ENGINEER
 No. PE013043
 WALTER E. WOOD
 VALID March 20, 2020

MARYLAND REGISTERED ENGINEER
 No. 086946
 WALTER E. WOOD
 VALID March 20, 2020

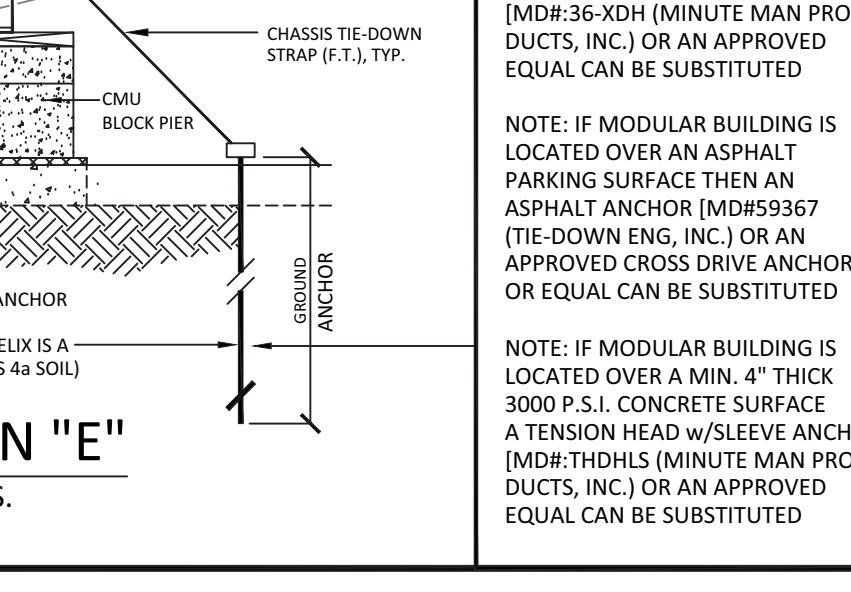
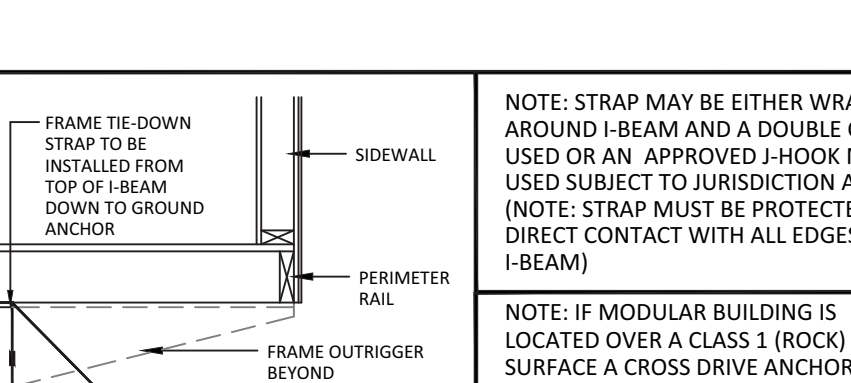
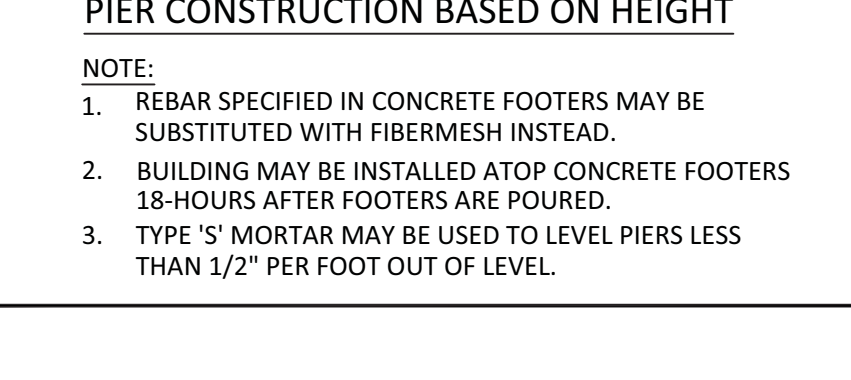
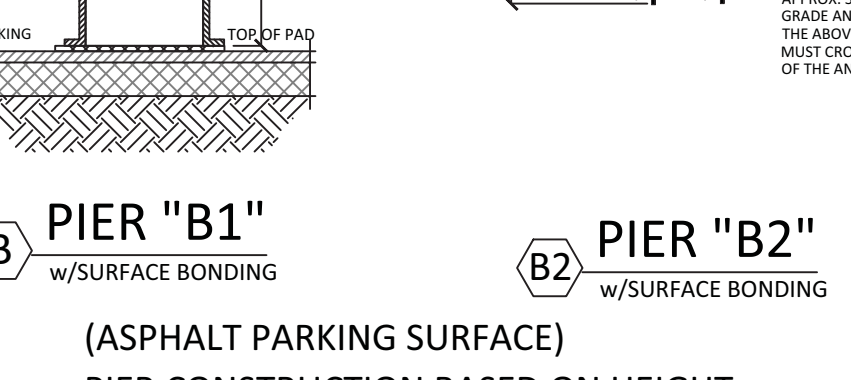
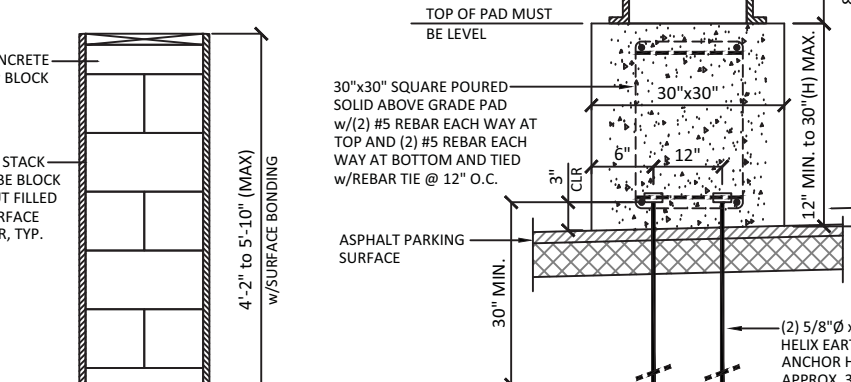
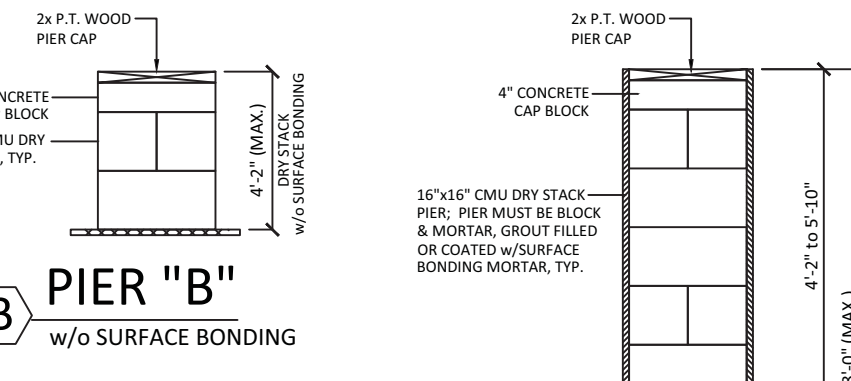
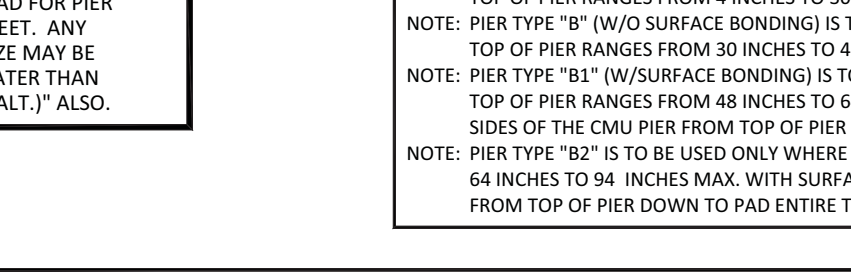
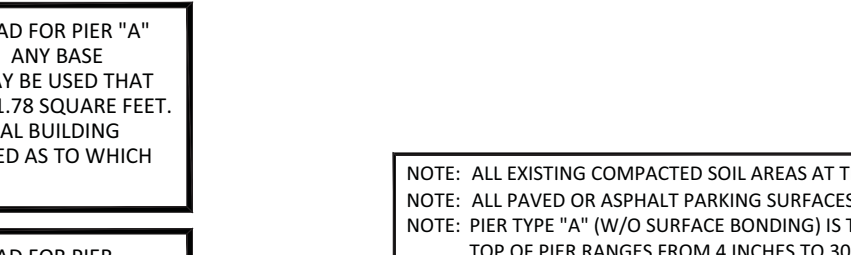
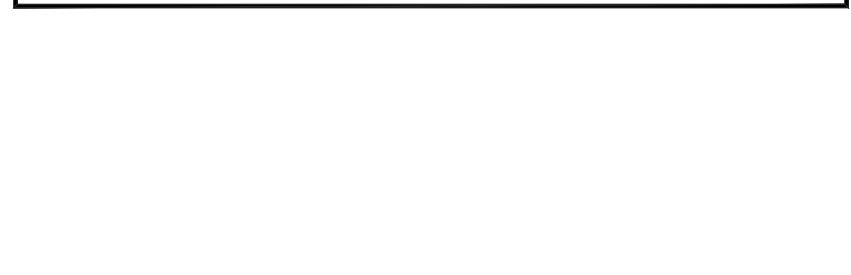
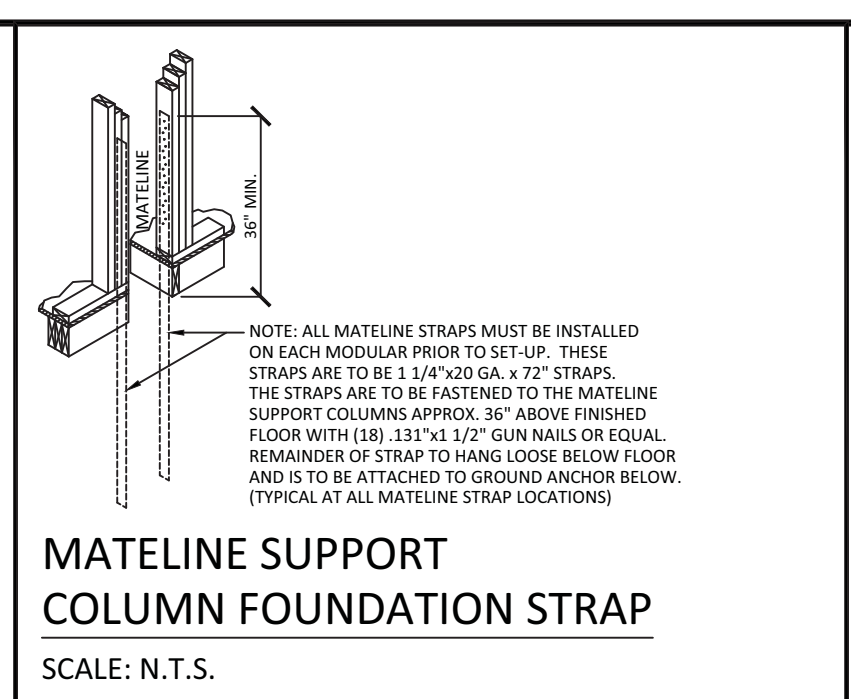
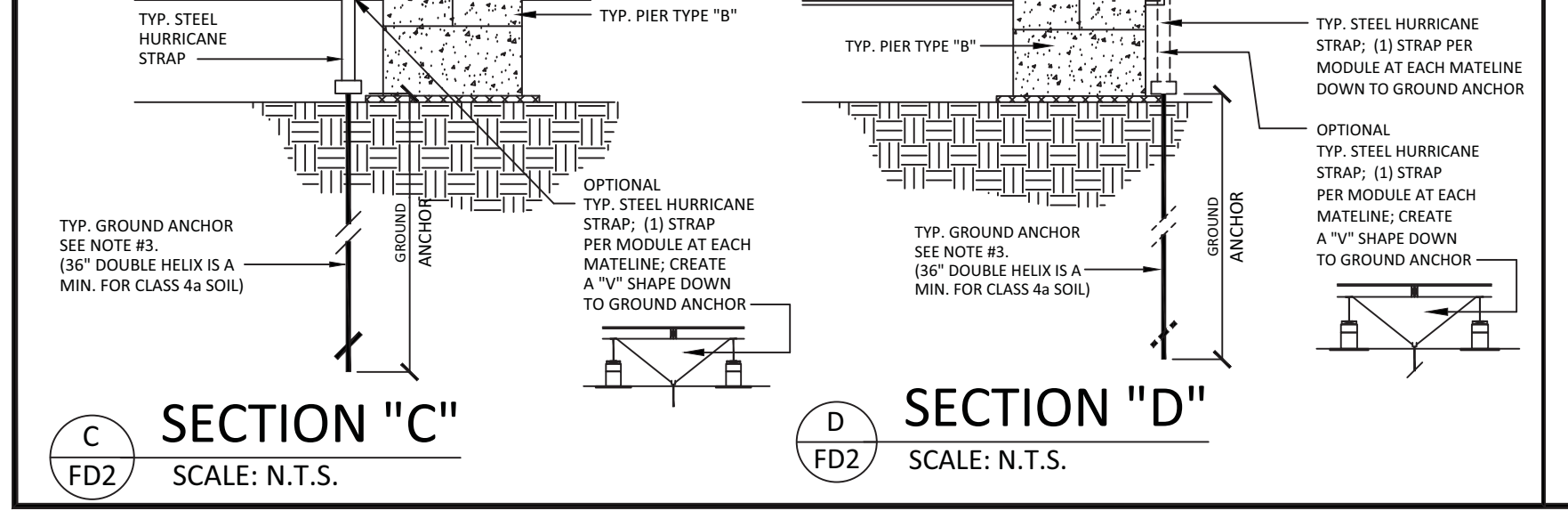
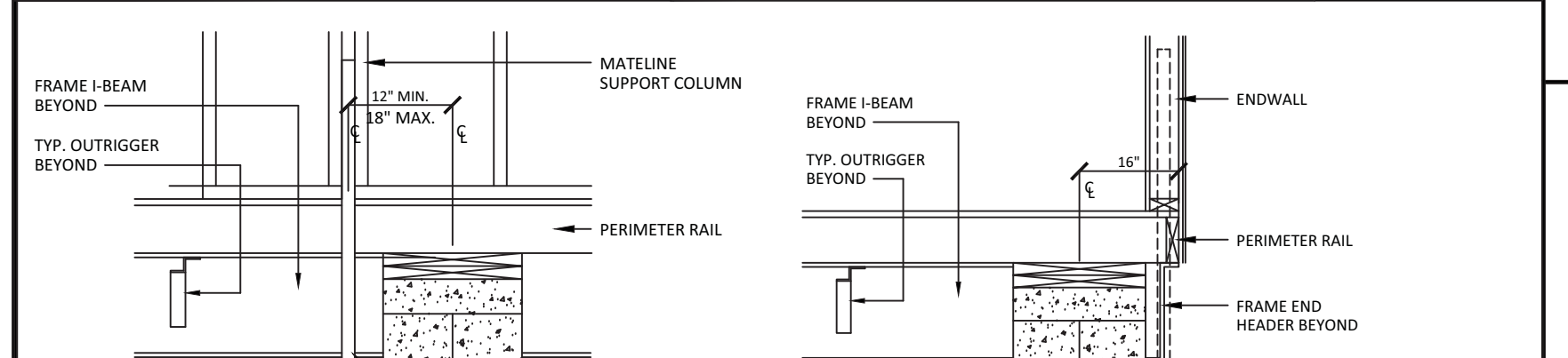
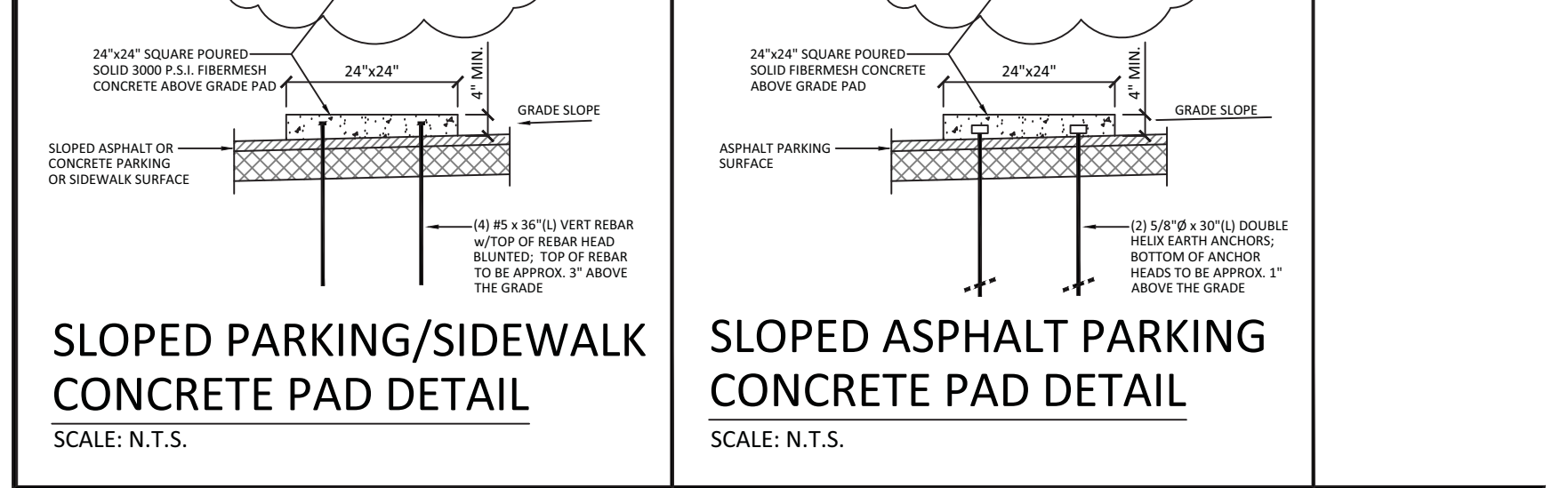
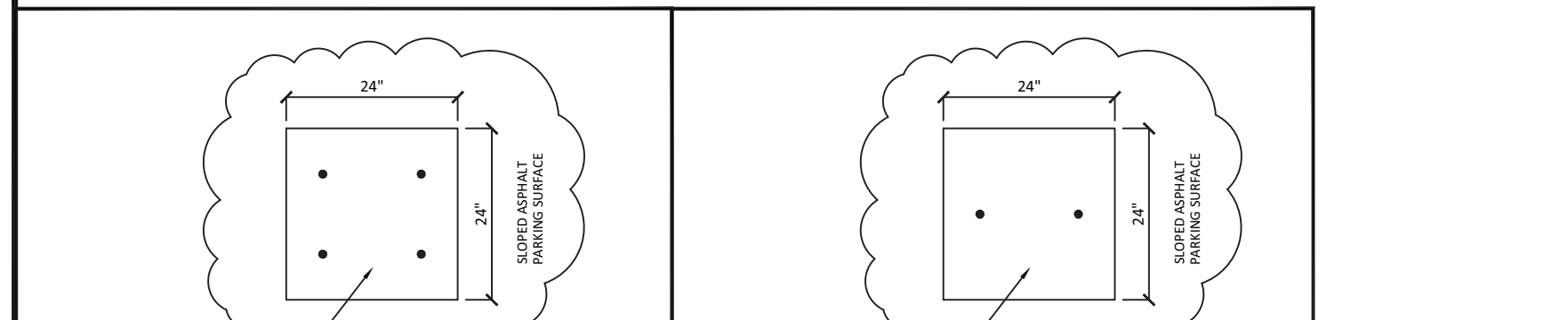
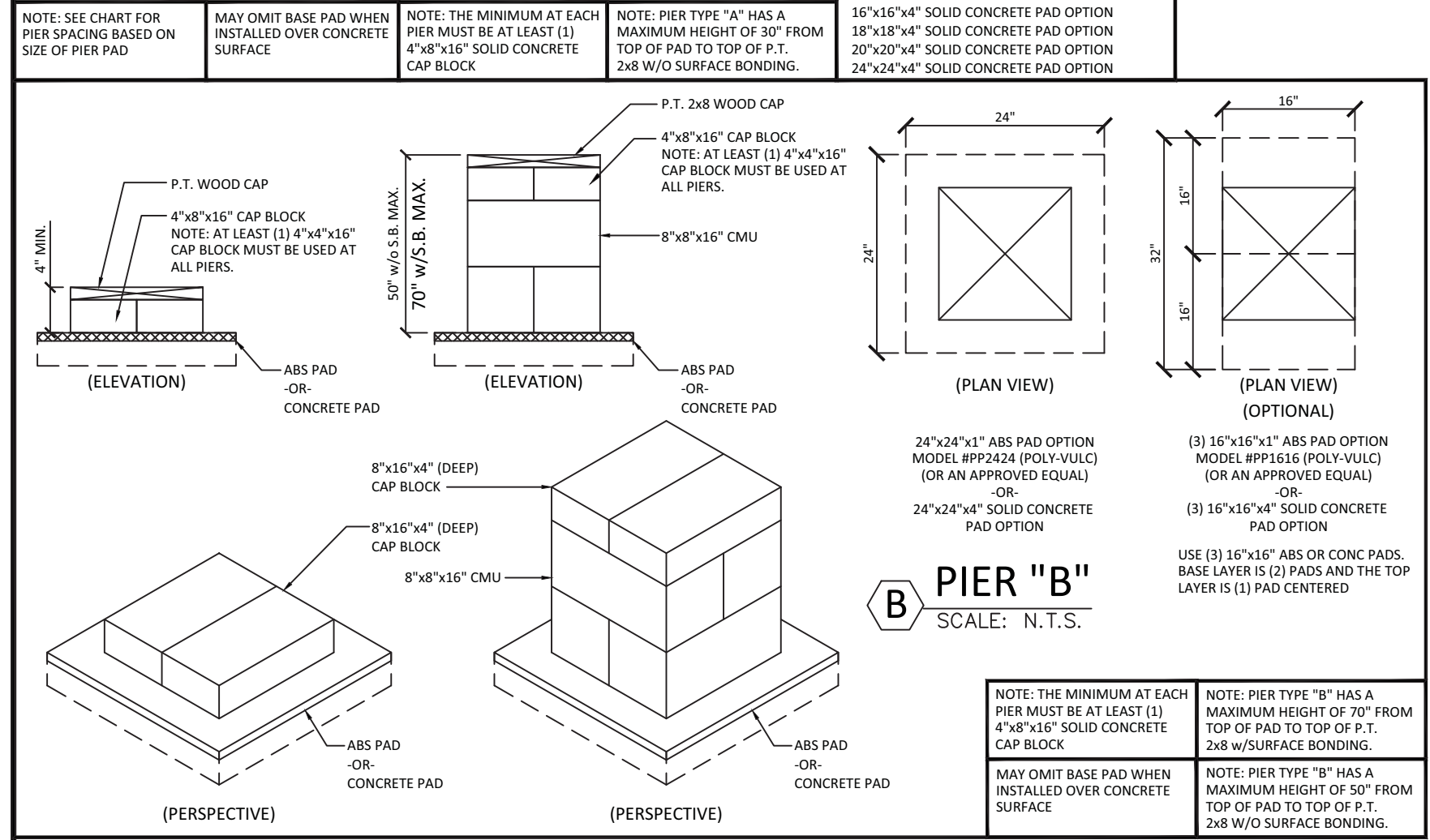
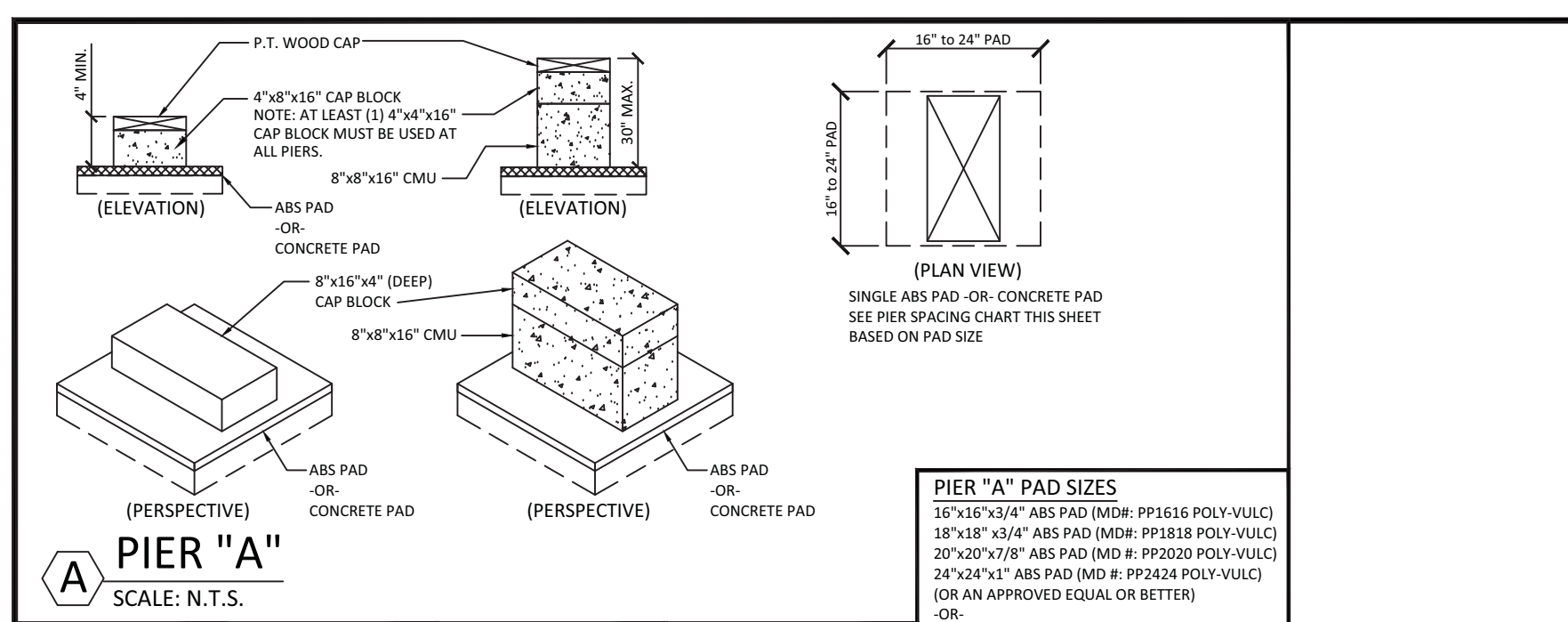
NORTH CAROLINA REGISTERED ENGINEER
 SEAL 044853
 WALTER E. WOOD
 VALID March 20, 2020

SOUTH CAROLINA REGISTERED ENGINEER
 No. 34180
 WALTER E. WOOD
 VALID March 20, 2020

TENNESSEE REGISTERED ENGINEER
 No. 11993
 WALTER E. WOOD
 VALID March 20, 2020

COMMONWEALTH OF VIRGINIA REGISTERED ENGINEER
 Lic. No. 57881
 WALTER E. WOOD
 VALID March 20, 2020

FOUNDATION PLAN			
DATE:	BUILDING SIZE:	SERIAL NO.:	STOCK
3-20-2020	VARIABLES		
SCALE: 3/16"=1'-0"	DESTINATION:	JLB-2019-0036	
DRAWN BY:	LABEL(S):		
REV	DATE	BY	DESCRIPTION
W.E.W. CONSULTING ENGINEER 100 WEST LONGLEAF DR. SYLVESTER, GA 31791			PLAN NO. 1 OF 2
AL PE LIC #36517-E; DC PE LIC #PE921100; GA PE LIC #PE013043; MD PE LIC #57881; NC PE LIC #57881; SC PE LIC #57881; TN PE LIC #57881; VA PE LIC #57881			OCCUP: E



STRUCTURAL LOAD LIMITATIONS: 2012/2015

BUILDING OCCUPANCY CATEGORY: II

A. 100 PSF (CORRIDORS)
50 PSF (OFFICES)
2000 LB. (CONCENTRATED)

ROOF LIVE LOAD:
A. 20 PSF.

ROOF SNOW LOAD:
A. Pg = 30 PSF
B. Pf = 23.10 PSF
C. Ce = 1.1
D. Is = 1.0
E. Ct = 1.0

WIND LOAD:
1. 115 / 160 MPH (VULT) WIND SPEED
89 / 124 MPH (VASD) WIND SPEED
BUILDING RISK CATEGORY: II (ASCE 7-10)
2. WIND EXPOSURE CATEGORY:
3. ENCLOSURE CLASSIFICATION: ENCLOSED
GcPf = 0.18 INTERNAL PRESSURE COEFFICIENT.

5. COMPONENT & CLADDING LOAD:
(ROOFS)
P1 = 7.20 / 26.90 PSF ZONE 1
P2 = 34.30 / 66.40 PSF ZONE 2
P3 = 49.50 / 95.50 PSF ZONE 3
(WALLS / WINDOWS / DOORS):
Pw = 15.20 / 29.50 PSF ZONE 4
Pw = 29.10 / 56.30 PSF ZONE 5

6. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.

SEISMIC LOAD:
A. Is = 1.0
B. Cs = 0.13
C. D = C
D. E = EQUIVALENT ANALYSIS PROCEDURE
E. Se = 0.537
F. S1 = 0.285
G. S2 = 0.130
H. S3 = 0.064
I. S4 = 0.031
J. S5 = 0.016
K. R = 6
L. Cs = 0.02

FLOOD LOAD:
THIS BUILDING IS NOT DESIGNED TO BE SUBMERGED OR SUBJECTED TO WAVE ACTION WHEN LOCATED IN A FLOOD PRONE OR ZONE AREA. THE FINISH FLOOR ELEVATION MUST BE LOCATED ABOVE THE BUILDING SITE FLOOD PLANE LEVEL FOR THIS BUILDING TO BE LOCATED IN A FLOOD PRONE OR ZONE AREA SUBJECT TO LOCAL JURISDICTION.

STRUCTURAL LOAD LIMITATIONS: 2018 IBC

BUILDING OCCUPANCY CATEGORY: II

A. 100 PSF (LOBBIES / CORRIDORS)
50 PSF (OFFICES)
2000 LB. (CONCENTRATED)

ROOF LIVE LOAD:
A. 20 PSF.

ROOF SNOW LOAD:
A. Pg = 30 PSF
B. Pf = 23.10 PSF
C. Ce = 1.1
D. Is = 1.0
E. Ct = 1.1

WIND LOAD:
1. 115 / 160 MPH (Vbasic) WIND SPEED
89 / 124 MPH (Vavg) WIND SPEED
BUILDING RISK CATEGORY: II (ASCE 7-16)
2. WIND EXPOSURE CATEGORY:
3. ENCLOSURE CLASSIFICATION: ENCLOSED
GcPf = 0.18 INTERNAL PRESSURE COEFFICIENT.

5. COMPONENT & CLADDING LOAD:
(ROOFS)
P1 = 7.20 / 26.90 PSF ZONE 1
P2 = 34.30 / 66.40 PSF ZONE 2
P3 = 49.50 / 95.50 PSF ZONE 3
(WALLS / WINDOWS / DOORS):
Pw = 15.20 / 29.50 PSF ZONE 4
Pw = 29.10 / 56.30 PSF ZONE 5

6. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.

SEISMIC LOAD:
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B. Cs = 0.13
C. D = C
D. E = EQUIVALENT ANALYSIS PROCEDURE
E. Se = 0.537
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I. S4 = 0.031
J. S5 = 0.016
K. R = 6
L. Cs = 0.02

FLOOD LOAD:
THIS BUILDING IS NOT DESIGNED TO BE SUBMERGED OR SUBJECTED TO WAVE ACTION WHEN LOCATED IN A FLOOD PRONE OR ZONE AREA. THE FINISH FLOOR ELEVATION MUST BE LOCATED ABOVE THE BUILDING SITE FLOOD PLANE LEVEL FOR THIS BUILDING TO BE LOCATED IN A FLOOD PRONE OR ZONE AREA SUBJECT TO LOCAL JURISDICTION.

FOUNDATION NOTES:

NOTE: ALL REQUIRED BUILDING AND/OR CONSTRUCTION PERMITS MUST BE APPLIED FOR AND OBTAINED FROM THE LOCAL AUTHORITIES HAVING JURISDICTION PRIOR TO ANY WORK BEING DONE ON THE ABOVE SHOWN FOUNDATION DESIGN.

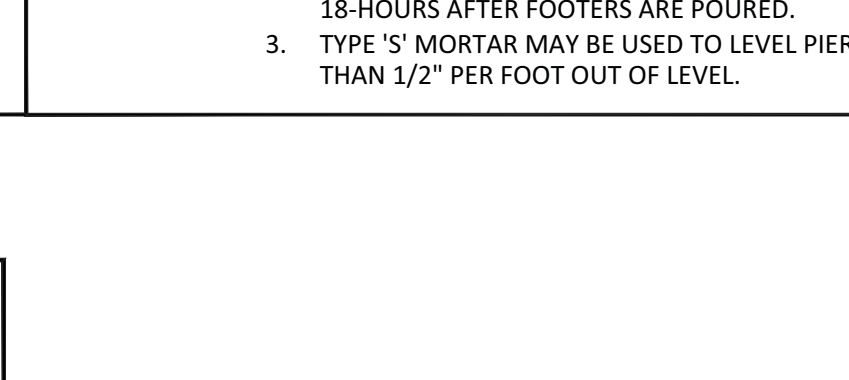
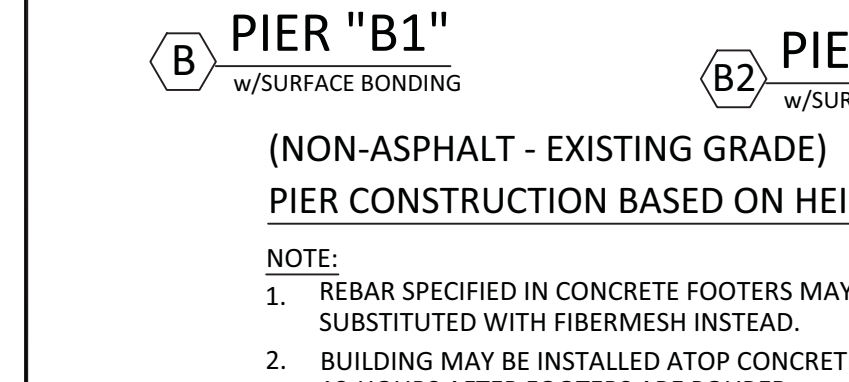
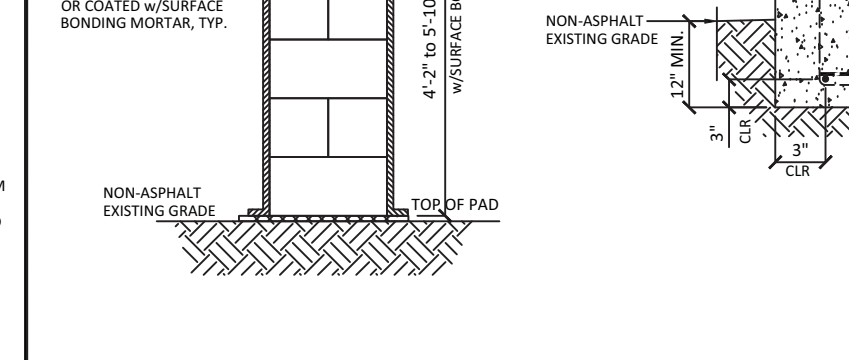
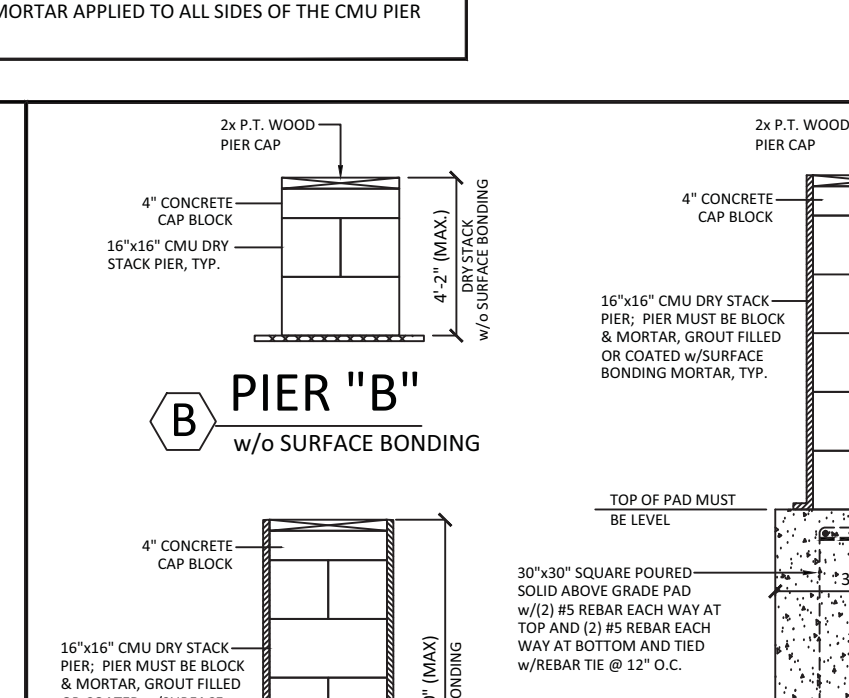
- ALL FOUNDATION CONSTRUCTION, MATERIALS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES. THIS DESIGN MEETS OR EXCEEDS THE WIND LOAD AND SOIL BEARING REQUIREMENTS OF THESE CODES. THE APPROVAL OF THIS FOUNDATION IS SUBJECT TO THE LOCAL JURISDICTION HAVING AUTHORITY.
- TIEDOWN STRAPS TO BE 3/4" X JOBS GALVANIZED STEEL FEDERAL SPECIFICATION QCS-781-H TYPE 1 FRESH B GRANGE 1. TIE-DOWN STRAPS AND CONNECTING HARDWARE TO HAVE A 4.75R MINIMUM ULTIMATE CAPACITY (3,150R X 1.5).
- ALL TIE-DOWN ANCHORS SHALL HAVE A 4.75R MINIMUM ULTIMATE CAPACITY (3,150R X 1.5) AND SHALL BE INSTALLED AS PER THEIR MANUFACTURER'S SPECIFICATIONS. THE TYPE OF GROUND ANCHOR, INCLUDING SHAFT LENGTH, NUMBER AND DIAMETER OF HELDIES, ETC. TO BE SPECIFIED BY THE GROUND ANCHOR MANUFACTURER FOR THE ACTUAL SOIL TYPE THAT IS ENCOUNTERED AT THE SITE.
- SEE ABOVE FOUNDATION LAYOUT FOR THE DOWN STRAP SPACING.
- ALL PIERS SHALL BE 8"x8"x16" MASONRY BLOCKS OR EITHER AN 16"x16"x34" (DEEP) ABS PADS, OR 16"x16"x4" SOLID CONCRETE PADS, MIN. EXCEPT AS OTHERWISE NOTED ON THIS SHEET. SEE PIER SPACING CHART FOR ADDITIONAL SIZE OPTIONS.
- MINIMUM SOIL BEARING CAPACITY IS 2,000 PSF. TO BE VERIFIED BY BUILDING'S OWNER. SOIL BEARING CAPACITY SHOWN AND IS BASED ON UNIT WIDTH NUMBER OF UNITS. ACTUAL OVERALL WIDTH MAY INCREASE DUE TO SITE CONDITIONS, MATERIAL TOLERANCES, FAILURE TO REMOVE CLOSE-UP MATERIAL AND/OR OTHER FACTORS BEYOND THE CONTROL OF THE ENGINEER AND/OR BUILDING MANUFACTURER.
- ALL PIERS SHALL BE CAPPED WITH 4 INCHES OF SOLID MASONRY OR CONCRETE OR THE CAVITIES SHALL BE FILLED WITH CONCRETE OR GROUT. PIERS SHALL PROVIDE A TRUE AND EVEN BEARING SURFACE.
- PIER A: FIELD CONDITIONS WITH DRY STACK PIERS GREATER THAN 30" SHALL REQUIRE THE PIER TO BE CHANGED TO A PIER TYPE "B" (SEE THIS SHEET FOR DETAILS)
- PIER B: FIELD CONDITIONS WITH DRY STACK PIERS GREATER THAN 50" SHALL REQUIRE THE PIERS TO BE CHANGED TO PIER TYPE "B2" (SEE THIS SHEET FOR DETAILS)
- ANY PIERS OVER 70" HIGH WILL REQUIRE ENGINEERING BEYOND THE DESIGN OF THIS FOUNDATION.)
- ALTHOUGH NOT SHOWN IN THIS DESIGN WHERE/WHEN REQUIRED BY LOCAL JURISDICTION ALL MASONRY PIERS MAY BE LAID IN TYPE "M" OR "S" MORTAR IN COMPLIANCE W/ASTM C887 OR SHALL HAVE SURFACE BONDING MORTAR IN COMPLIANCE W/ASTM C946.
- THE FOUNDATION DIMENSIONS SHOWN ARE NOMINAL. AN INCREASE IN WIDTH WOULD BE DEFECTIVE DUE TO MODULUS EXPANSION, SETTING TOLERANCES, ETC. THE FOUNDATION CONSTRUCTION SHOULD CONSIDER WITH THE MANUFACTURER OF THE MODULES PRIOR TO CONSTRUCTION OF THE FOUNDATION TO DETERMINE THE AMOUNT OF INCREASED WIDTH TO BE ADDED TO THE NOMINAL DIMENSIONS SHOWN ABOVE.
- I-BEAM SUPPORT PIERS MAY BE INSTALLED LATERALLY 180° FROM THE ORIENTATION SHOWN ON THE FOUNDATION PLAN. CENTERLINE OF EACH PIER MUST BE LOCATED DIRECTLY BELOW THE I-BEAM CENTERLINE.
- FOUNDATION REVIEW AND INSPECTION IS TO BE PERFORMED BY THE LOCAL OFFICIALS HAVING JURISDICTION.
- PROVIDE POSITIVE DRAINAGE UNDER UNIT.
- UNDERGROUND UTILITY LOCATIONS ARE THE RESPONSIBILITY OF OTHERS. ALL UNDERGROUND UTILITY LOCATIONS MUST BE VERIFIED PRIOR TO ANY EXCAVATION.

ALTERNATE POURED CONCRETE FOOTERS

- MINIMUM FOOTING CONCRETE STRENGTH 2,500 PSI AT 28 DAYS.

ALTERNATE PIER METAL STANDS

- STEEL PIERS MAY BE SUBSTITUTED FOR CMU BLOCK PIERS. STEEL PIERS ARE TO BE INSTALLED PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS OVER AN APPROVED ABS PAD AS INDICATED ON THE FOUNDATION PLAN.
- STEEL PIERS ARE TO BE MINUTE MAN MDR-MMP-12 OR AN APPROVED EQUAL.



Professional Engineer stamps for Walter E. Wood, No. 36517 (Alabama), No. PE013043 (Georgia), No. 11939 (Maryland), No. 34180 (South Carolina), and No. 57881 (Virginia).

ABS PADS / CMU PIERS

MOBILE MODULAR
4301-C STUART ANDREW BLVD
CHARLOTTE, NC 28217
(704) 519-4003

FOUNDATION PLAN DETAILS

DATE: 3-20-2020 BUILDING SIZE: VARIES SERIAL NO.: STOCK
SCALE: NONE DESTINATION: DRIVING W/O.
DRAWN BY: NONE LABEL(S): JLB-2019-0036

REV DATE BY DESCRIPTION SHEET: FD2

W.E.W. WALTER E. WOOD, P.E. CONSULTING ENGINEER 158 WEST GUNDEL DR SILVERSTEIN, GA 31791

AL PE LIC # 36517; E; DC PE LIC # PE921100; GA PE LIC # PE013043; MD PE LIC # 11939; NC PE LIC # 57881; SC PE LIC # 34180; TN PE LIC # 57881; VA PE LIC # 57881

MOD-POD

STATE(S): AL, DC, GA, MD, NC, SC, TN, VA

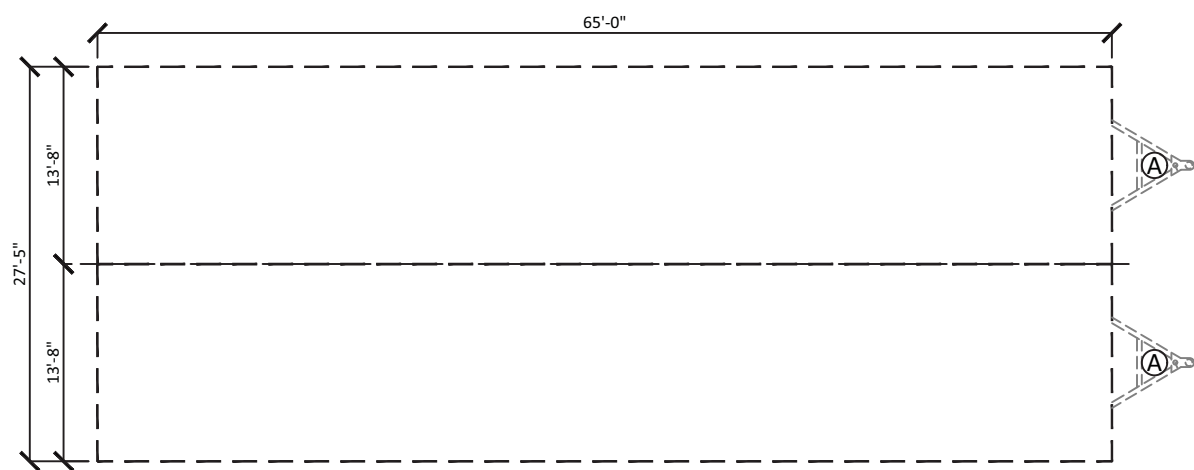
PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 50946, EXP. DATE: 5/19/2022 (IN MARYLAND ONLY)

AL PE LIC # 36517; E; DC PE LIC # PE921100; GA PE LIC # PE013043; MD PE LIC # 11939; NC PE LIC # 57881; SC PE LIC # 34180; TN PE LIC # 57881; VA PE LIC # 57881

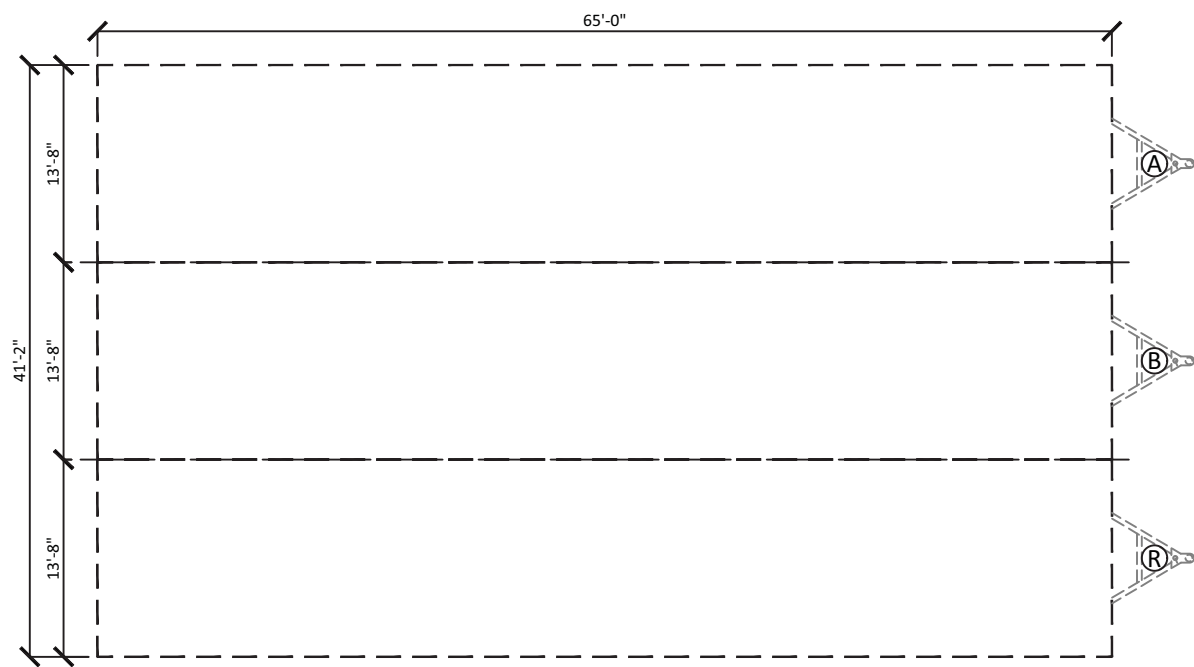
PLANNING: FD2

PAGE: 2 of 2

OCCUP: E



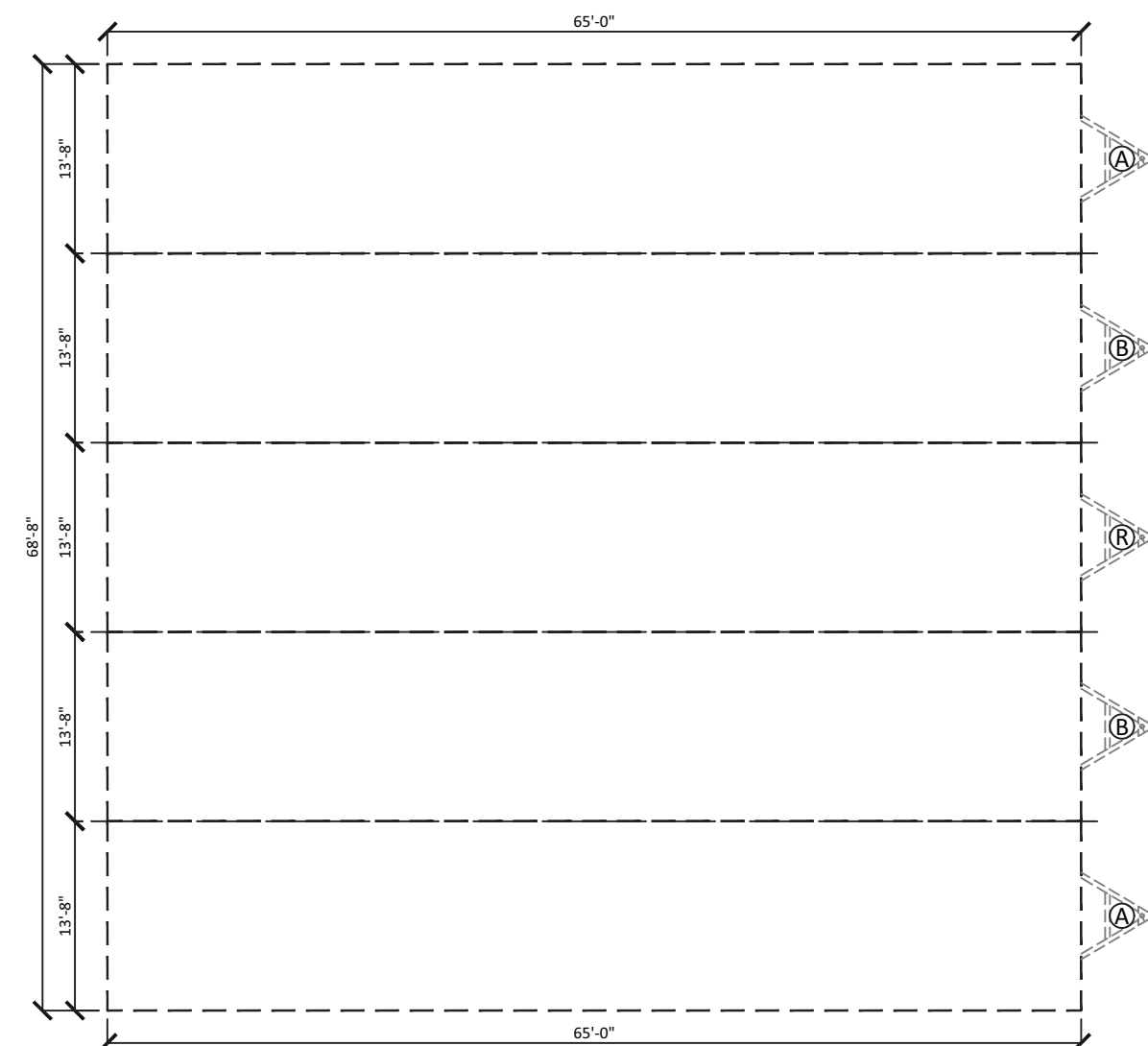
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SCALE: N.T.S.



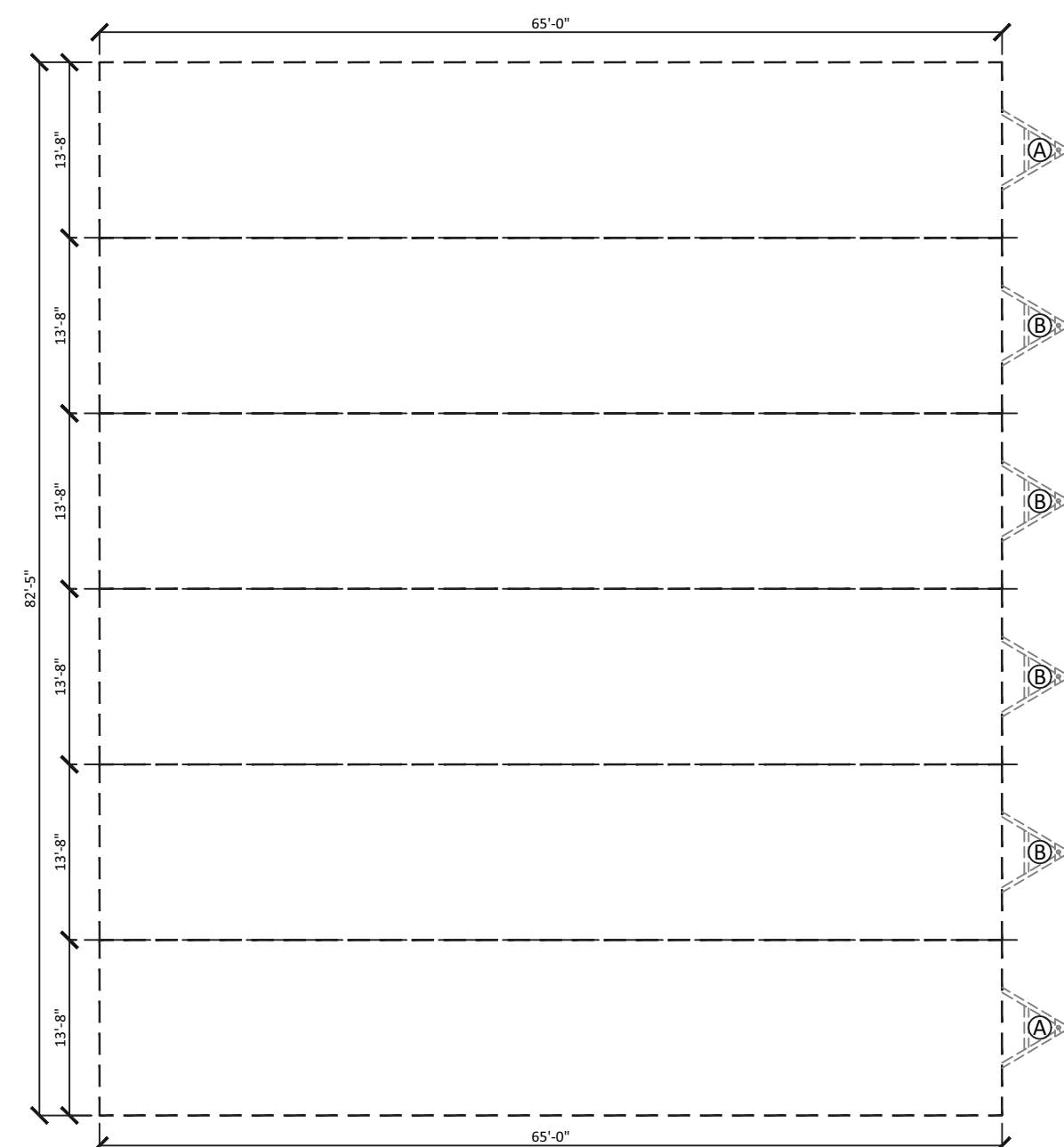
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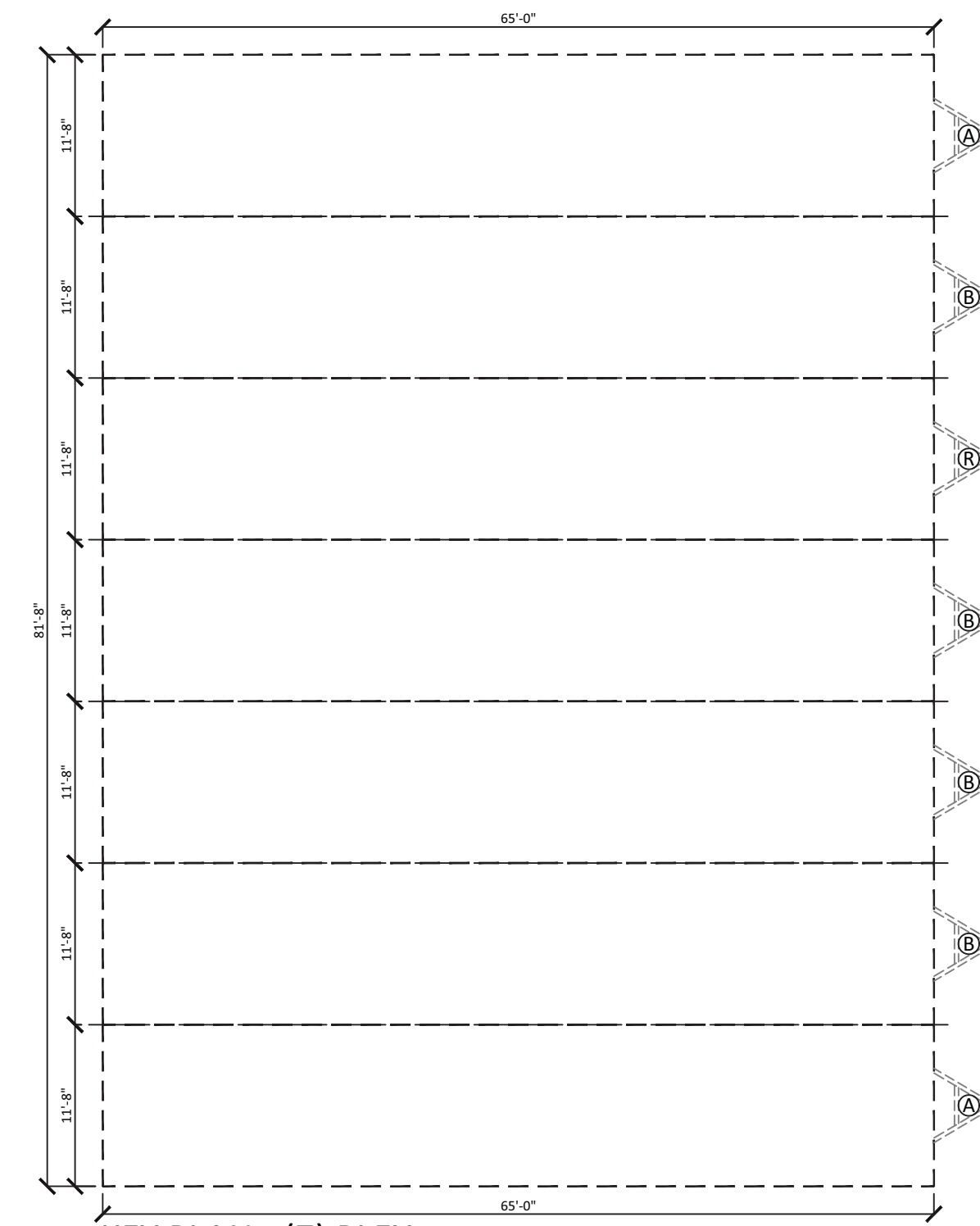
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SCALE: N.T.S.



KEY PLAN - (5) PLEX
SCALE: N.T.S.

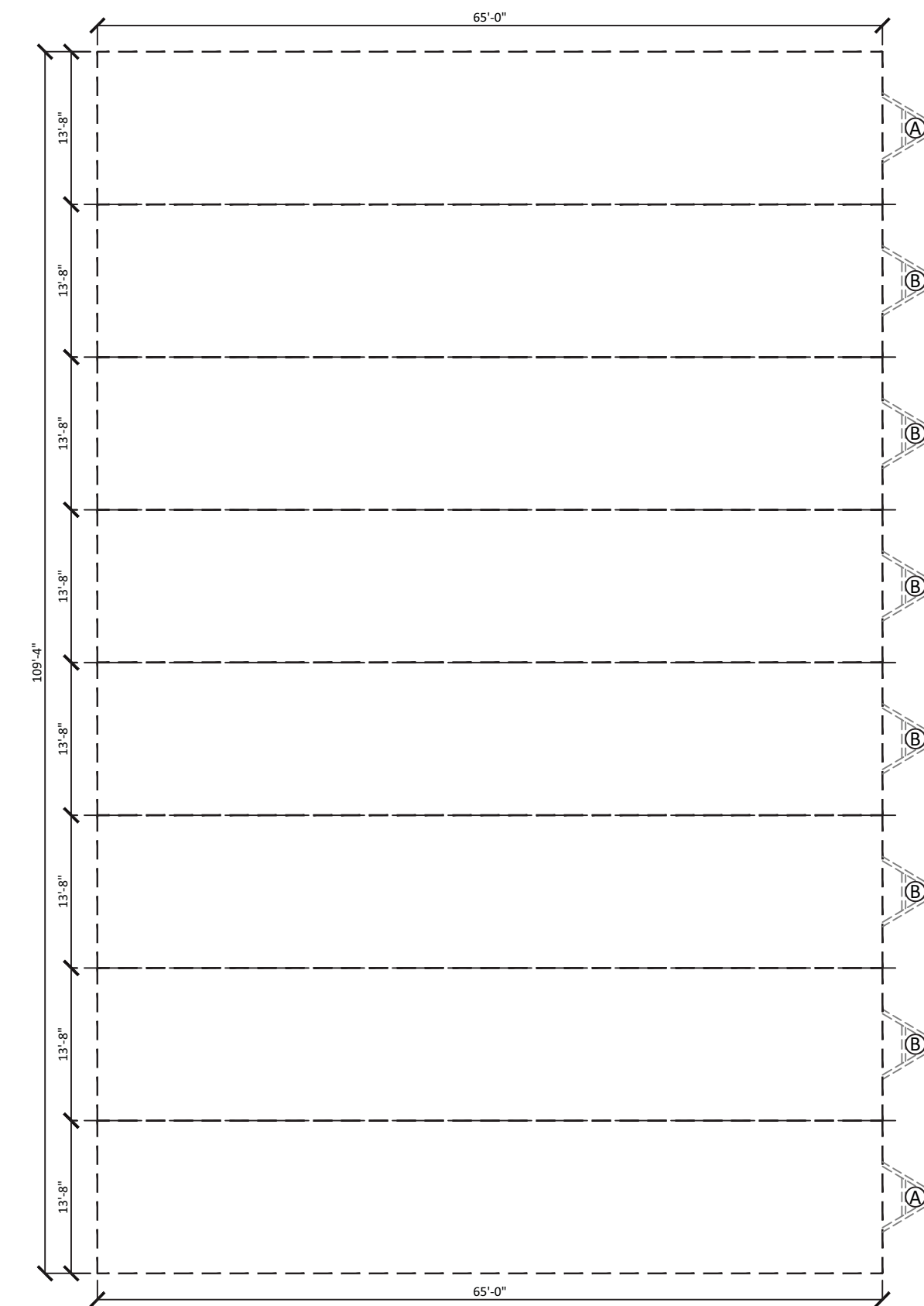


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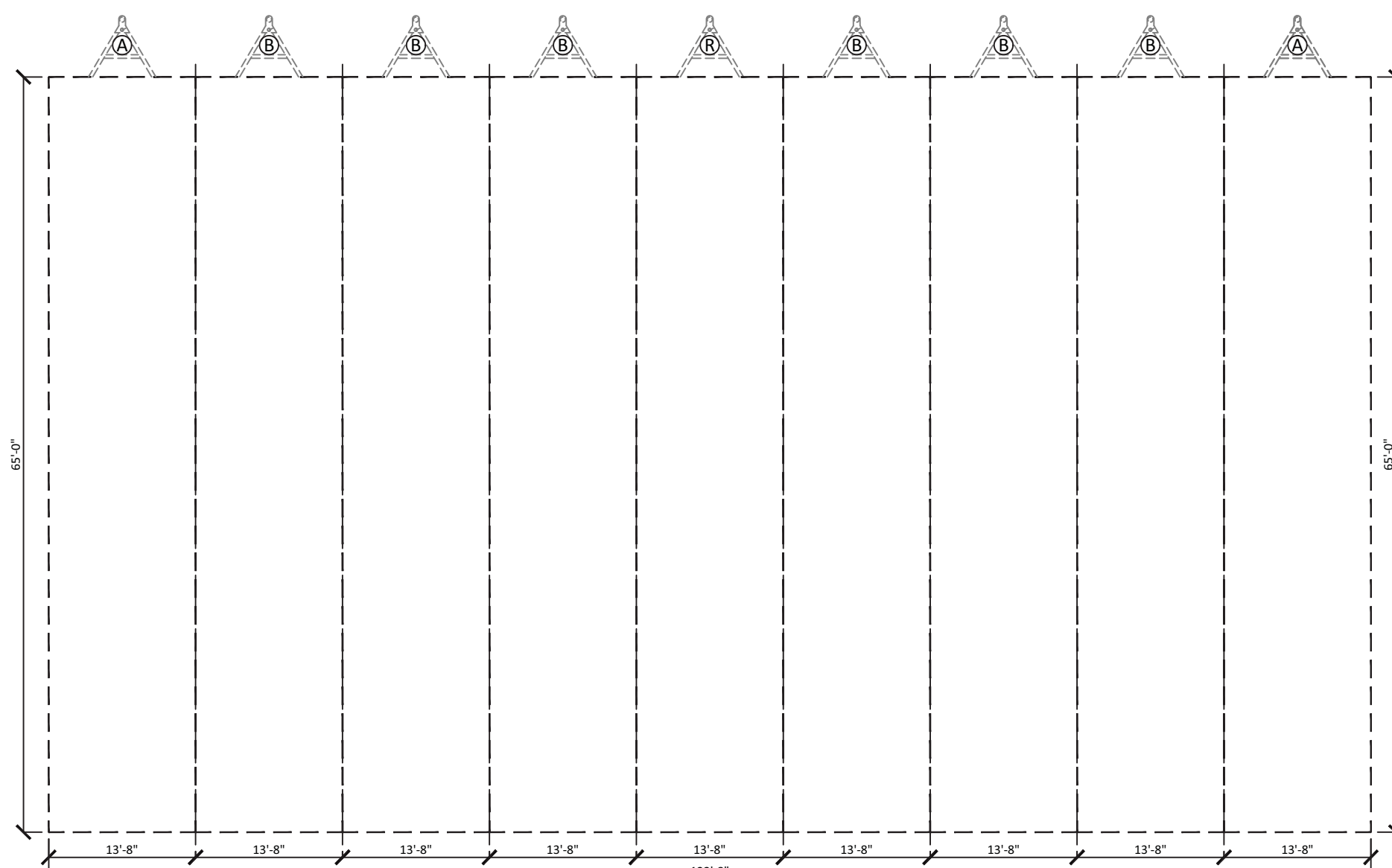


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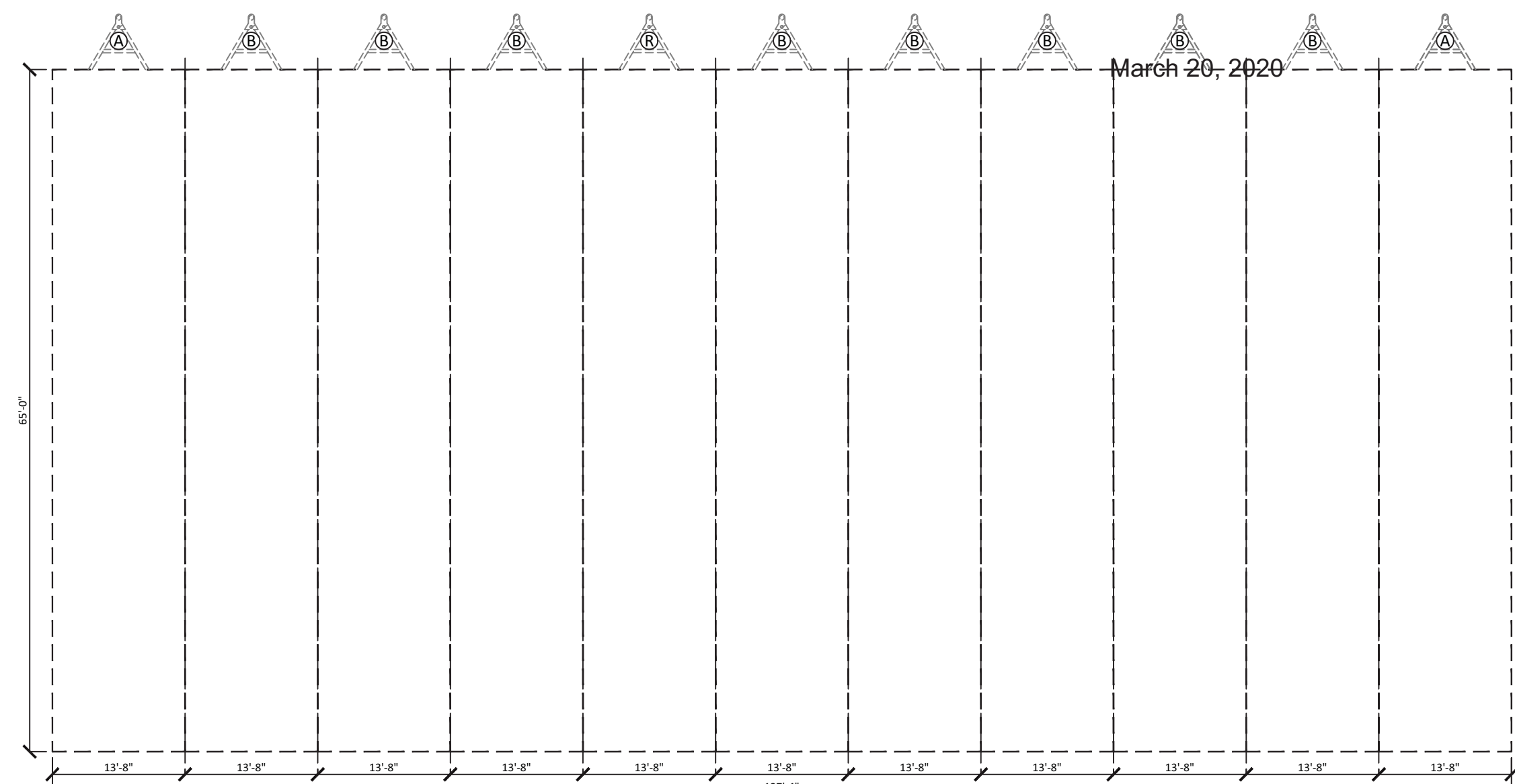
NOTE: ALL METALINE WALL MODULES AND ALL RIDGEBEAM SPAN MODULES NEED TO BE PROPERLY IDENTIFIED, AND THE PROPER PIER SPACING NEEDS TO BE DETERMINED AND PLACED PRIOR TO FOUNDATION INSTALLATION.



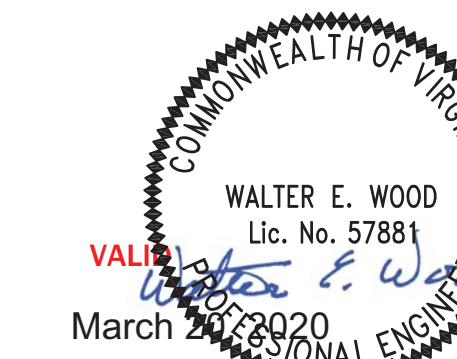
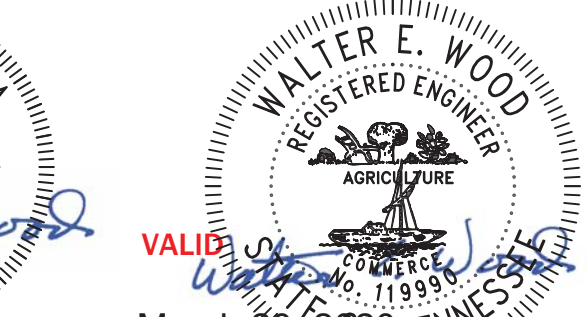
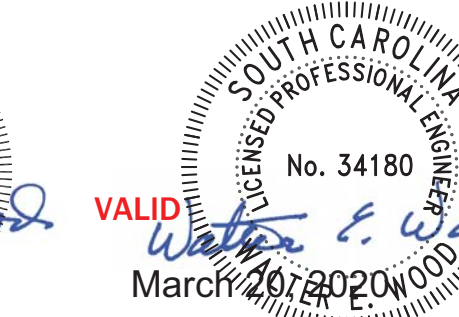
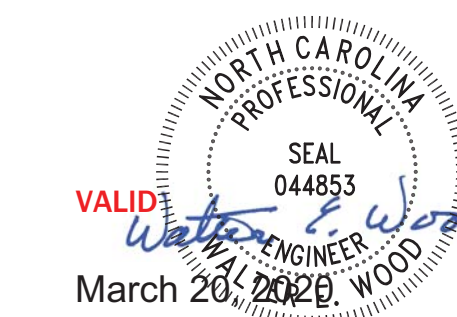
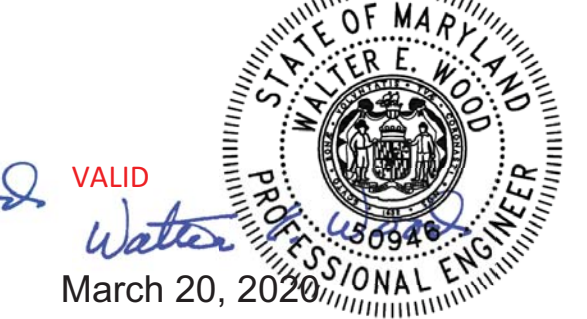
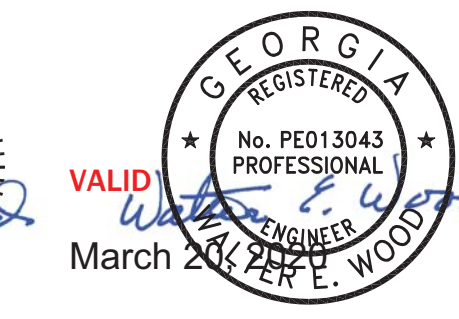
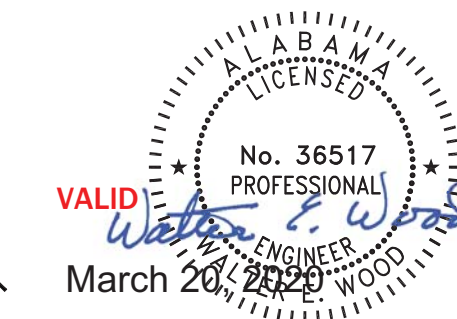
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SCALE: N.T.S.



KEY PLAN - (9) PLEX
SCALE: N.T.S.



KEY PLAN - (10) PLEX
SCALE: N.T.S.



MOD-POD
STATE(S):
AL, DC, GA, MD, NC, SC, TN, VA
PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 50946, EXP. DATE: 5/19/2021 (MARYLAND ONLY)
AL PE LIC #36517-E; DC PE LIC #PE921100; GA PE LIC #PE013043; MD PE LIC #57881; NC PE LIC #57881; SC PE LIC #57881; TN PE LIC #57881; VA PE LIC #57881

MOBILE MODULAR 4301 S STUART ANDREW BLVD CHARLOTTE, NC 28217 (704) 519-4003		
KEY PLAN (NUMBER OF MODULES)		
DATE: 3-20-2020	BUILDING SIZE: VARIES	SERIAL NO.: STOCK
SCALE: NONE	DESTINATION:	DRAWING NO.: JLB-2019-0036
DRAWN BY:	LABELS:	
REV	DATE	DESCRIPTION
		K1
		PLAN NO.:
		OCCUP: E

W.E.W.
WALTER E. WOOD, P.E.
REGISTERED PROFESSIONAL ENGINEER
300 WEST GORHAM ST.
SHELVESTER, GA 31791

Mobile Modular's

CampusMaker ModPod[®]

The Flexible Solution for Sustainable Learning Spaces



CampusMaker ModPod – the state-of-the-art eco-friendly modular classroom.

Adaptable Classrooms for Today's Changing Schools.

Sustainable and customized learning environments.

Fluctuating school enrollment. Shifting demographics. Changing expectations. The CampusMaker ModPod® delivers the flexible solutions for today's rapidly evolving educational needs.

Today's school districts are progressively seeking better, more secure and adaptable ways to make the most of their available space. Now with the revolutionary CampusMaker ModPod, creating a reusable and sustainable learning environment has never been easier.

Constructed of durable materials and designed to be easily configured into a wide variety of self-contained classroom complexes, the CampusMaker ModPod delivers what every school needs: energy efficiency, security and a building design that is easily adaptable to different enrollment needs.

Optimum Flexibility

The expandable and retractable design of the CampusMaker ModPod not only offers the ease of reconfiguration but also a wide variety of configuration options, enabling the Facilities Departments to prepare for most enrollment situations.

These configurations include restrooms, administrative offices, libraries, laboratories, music classrooms and more.

Tangible Savings

The innovative side-by-side installation of the classrooms significantly reduces the length of utility runs, electrical and plumbing connections, walkways, stairs and access ramps.

All perimeter walls of each double classroom contained within a CampusMaker ModPod are finished as exterior walls. This allows for easy reconfiguration of the CampusMaker ModPod to a larger or smaller size based upon enrollment. Further, reconfiguration can be performed with minimal disruption to the adjacent classrooms.

Safety and Security

When Mobile Modular designed the CampusMaker ModPod, one of our primary goals was to create a modular classroom system that ensured the safety and security of students and staff.

Each CampusMaker ModPod complex is accessed via an internal corridor with steel clad exterior doors, self-closers and panic hardware. To ensure further safety and security, each classroom is accessed through a solid core fire rated door with a large view block and locking system.

All doors can be equipped with optional alarms, electronic entry control and easily integrated with each facility's primary security and life safety systems.



Let us take care of all of your space needs.

Mobile Modular's CampusMaker ModPod® Complex

Lighting (Not shown)

Energy efficient T-8 lighting coupled with flexible switching for customized lighting control.

HVAC

High efficiency HVAC system with Heat Pump and an intelligent energy management system for a comfortable and properly ventilated interior.

Roof (Not shown)

White EPDM Cool Roof with batt-insulation in accordance with the IECC regulations reduces heat infiltration into the classroom. Traverse roof, designed to divert rainfall away from exterior openings.

Windows

Dual pane windows with low-E glass helps reflect radiant energy, reduces heat gain and energy loads.

Floor

Floor insulation in accordance with the IECC standards, vapor barrier, and glueless carpet tile improves the energy efficiency, comfort and durability of the CampusMaker ModPod.

Exterior Wall

Permanent construction quality – 2" x 6" framing, plywood sheathing, commercial grade vapor barrier, batt-insulation in accordance with IECC and low maintenance interior and exterior finishes.

Teaching Environment

Reduced sound transmission between classrooms enhances the teaching environment.

The above illustration depicts a six classroom CampusMaker ModPod complex, with a restroom module and integrated interior corridor. A CampusMaker ModPod classroom module is comprised of two classrooms (27'-0" x 28'-0")* with an egress corridor. Each classroom is approximately 790 sq. ft. and can accommodate up to 35 students. The interior corridor is 8'-0" wide and is further enhanced with a one hour fire rated construction to protect the occupants. Sprinklers can be installed for additional protection.

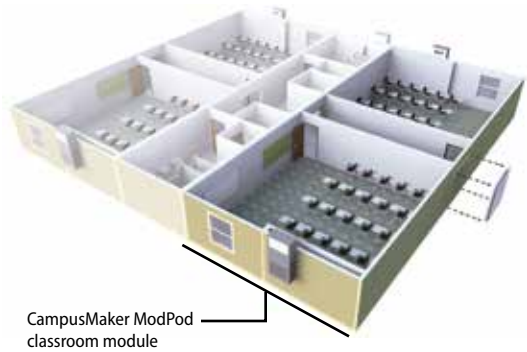
www.mobilemodularrents.com

*The availability of the product and its features may vary. Please contact your sales specialist for further information. These specifications are subject to change without notice.



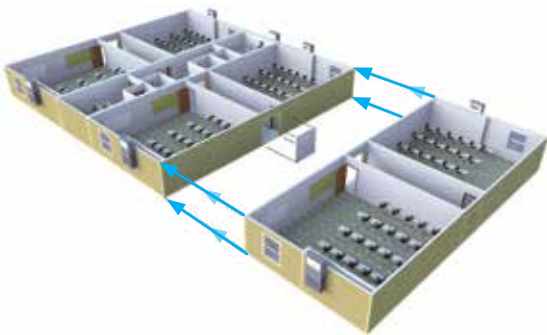
It's as easy as adding and subtracting.
Protected, Flexible and Environmentally Friendly.

Four classroom configuration.



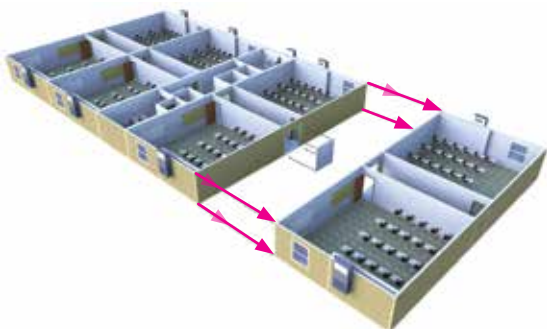
To adjust the size of the CampusMaker ModPod the two classroom module at either end can be detached and relocated to another site or school. Construction of a new exterior wall is not required as the wall and finishes are already in place. This feature minimizes the down time due to construction and disruption to the remainder of the classroom complex.

Add an additional classroom module to expand the CampusMaker ModPod complex.



By simply removing and relocating the existing security entrance doors to the newly expanded CampusMaker ModPod this classroom complex is set to operate with six classrooms, a restroom module and corridor. All this can be accomplished with minimal disruption to the occupants and in most cases, the work can be completed in just a few days.

Retract a classroom module to reduce the CampusMaker ModPod complex.



All CampusMaker ModPod® classrooms feature:

- High efficiency HVAC system with Heat Pump
- Intelligent energy management system, featuring automatic temperature, humidity and fresh air exchange controls
- High performance building insulation
- Energy efficient T-8 electronic ballast and lamps
- Commercial grade, heavy duty vapor barrier
- White EPDM Cool Roof
- Traverse roof, designed to divert rainfall drainage away from exterior openings
- Glueless carpet tiles - 100% recyclable, made from post consumer materials
- Dual pane low-E window

Additionally, the CampusMaker ModPod, also offers a comprehensive selection of options to meet the demands of even the most stringent specifications.

CampusMaker ModPod sustainable options include:

- Passive shading devices
- UVC light for HVAC condenser cells
- CO₂ monitoring system
- Radiant heat barrier
- Tubular Daylighting System
- LED fixtures and lamps
- Natural fiber insulation
- Forest Stewardship Council (FSC) certified lumber
- Locally sourced materials
- Low flush toilet with smart valve
- Tankless hot water heater
- Automated faucet
- Automated paper towel dispenser
- Automated hand soap dispenser





Mid Atlantic Regional Office
4301-C Stuart Andrew Blvd.
Charlotte, NC 28217

Georgia Sales Office
Buford, GA

**Maryland - Washington D.C.
& Virginia Sales Office**
Bel Air, MD
Brandywine, MD

North Carolina Sales Office
Charlotte, NC

800.944.3442
www.mobilemodularrents.com

Lease Quotation and Agreement

Quotation Number: 455536

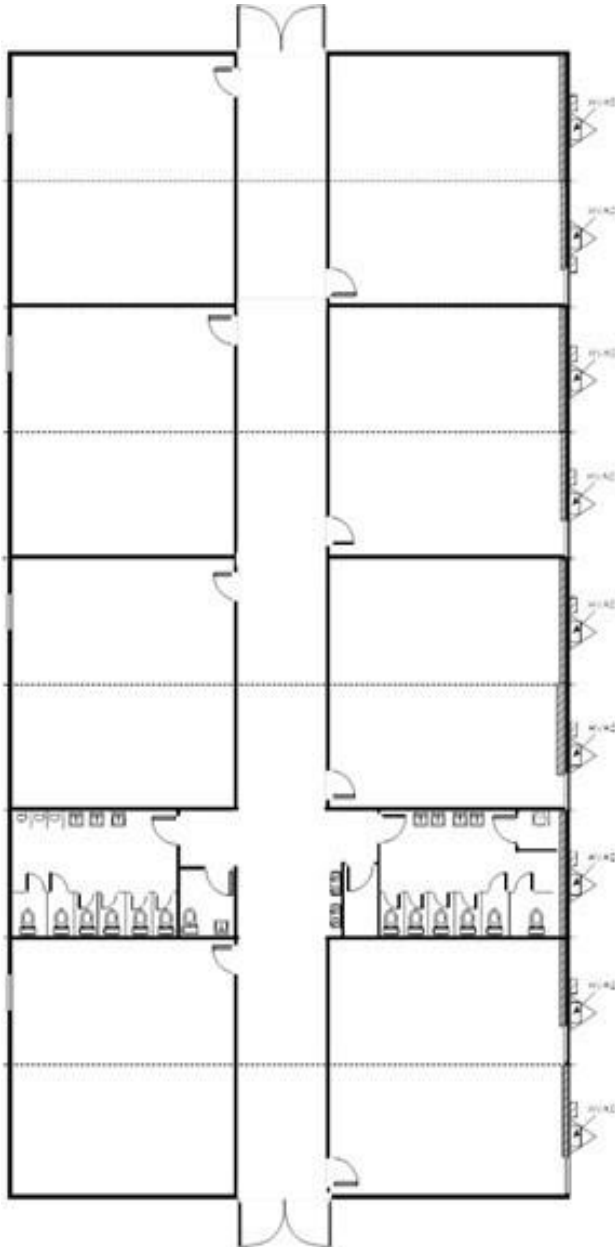
Customer PO/Ref:

Date of Quote: 04/04/2022

Term: 24 Months



Campus Maker ModPod, 126x65 MS(Item 1406)



All drawings and specifications are nominal.

Thank you for contacting Mobile Modular.

Mobile Modular is a division of McGrath RentCorp.
455536, 04-04-2022, 07:43 AM prod

www.mobilemodular.com

Page 4 of 6



Central Valley
Water
4900 B

4900 B

4900 A

4900 C

4900 D



July 10, 2024

Mr. Richard Donovan
City of Murfreesboro
111 W Vine St
Murfreesboro, Tennessee 37130

RE: Fellowship Bible Church
BZA Special Use Permit Extension (Temporary Modular Building Extension)
Murfreesboro, Tennessee
SEC Project No. 20044

Dear Richard:

Pursuant to Section 8 – Procedure for Uses Requiring Special Permits and Section 9 – Standards for Special Permit Uses of the City of Murfreesboro Tennessee 2023 Zoning Ordinance in regards to the existing ***Fellowship Bible Church*** (on a 14 acre Parcel 6.04 of Tax Map 100 at 4236 Veterans Parkway), please accept the following information as our submittal package for the official Board of Zoning Appeals – Hearing Request Application.

Section 8 – Procedure for Uses Requiring Special Permits

(A) Name, address, and telephone number of the applicant

SEC, Inc on behalf of Fellowship Bible Church
c/o Matt Taylor
850 Middle TN Blvd
Murfreesboro, TN 37129

(B) Nature and extent of applicant's ownership interest in subject property

Fellowship Bible Church currently owns the property. If the special use permit extension is granted, the applicants intend to extend the use of the existing modular building for school classrooms while the construction of the permanent location for the school is constructed. The extension request is for two years to August 2026. The school has acquired property in Rutherford County and has a site plan approved and are currently working through permitting at the state and local level. Additionally, the school's previously proposed location in the City of Murfreesboro is under contract for purchase which will aid in the funding of the new County location.

(C) Site plan to be submitted for review by City Staff and the Board of Zoning Appeals

A concept plan has been submitted with this application for review.

(D) Address of the site of the proposed special use

4236 Veterans Parkway
Murfreesboro, TN 37128

(E) Vicinity Map showing the property of the proposed special use and all parcels within a five-hundred foot radius

A vicinity map has been submitted with this application for review.

(F) Zoning Classification of property of the proposed special use

The property is currently zoned RS-15 and previously been granted a special use permit for a church and the temporary housing of a private school. This request is to extend the special use permit for the private school until August 2025.

(G) The property of the proposed special use shall have the following characteristics:

1.) Hours and days of operation

Monday thru Friday from 7:00 AM (bell time of 8:00 am) – 5:00 PM (bell time of 3:00 pm) is the main concentration of activity for the school. Church activities are mainly outside of these hours with services on Sunday at 9:00 and 11:00 AM as well as 4:30-6:30.

2.) Duration of the proposed special use

Temporary extension for a 2 year duration (the modular building will be removed by July 31, 2026)

3.) Number of expected patrons that will be expected to utilize the property of the proposed special use

The modular building houses up to 100 total people (85 children plus teachers and administration) which has not changed since original request.

4.) Projected traffic that will be expected to be generated by the proposed special use

No additional traffic from the modular building is anticipated since it is existing.

The previous projection of peak traffic was as follows. Peak traffic for entering the facility is approximately 48 trips per hour in AM peak hour. The peak traffic entering the facility is approximately 10 trips per hour in PM peak hour.

(H) Potentially harmful characteristics of the proposed special use for the zoning district in which it is proposed and the manner in which the applicant proposes to eliminate or minimize them

No new permanent lighting, landscaping, or trash enclosures are anticipated with the extension.

Section 9 – Standards for Special Permit Uses

(C) Standards of general applicability. An applicant for a special use permit shall present evidence at the public hearing on such special permit, which evidence must establish:

1) that the proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare.

The extension of the temporary modular building should not have any substantial or undue adverse effects upon adjacent property or neighborhood. All existing landscaping will remain in place to act as the same buffer which exists today. The temporary modular building is located toward the side of the building away from public right-of-ways. The location of the temporary modular building still provides adequate parking spaces and vehicular circulation around the site while maintaining safe pedestrian ways for the students. Water or sewer connections for the temporary modular building are existing as well.

- 2) that the proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations**

All existing landscaping will remain in place. The temporary modular building is located toward the side of the site away from public right-of-ways. The location of the temporary modular building still provides adequate parking spaces and vehicular circulation around the site while maintaining safe pedestrian ways for the students. In addition, landscape screening has been planted between the modular building and the right-of-way of Veterans Parkway to provide further screening.

- 3) that the proposed building or use will be served adequately by the essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water, and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services**

The subjected property is located at the intersection of Jack Byrnes Drive and Veterans Parkway. Veterans Parkway has previously been constructed as a 5 lane arterial roadway.

All of the parking needs for the buildings are contained on the site itself and will not have any connectivity with the surrounding residential neighborhoods. The provided parking still exceeds the required parking with the modular building in place.

The drainage for the site will be directed toward the northeast to the existing pond on-site.

Solid waste disposal will be handled via the existing trash carts.

Fire protection and domestic water feeds are existing and provided by a connection to the existing loop and will remain for the temporary modular building.

- 4) that the proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance**

No existing trees will be removed due to the modular building. The existing pond is located on the northeastern side of the property is projected to remain and continue to operate as it currently does and was designed to handle the entire site development. No other structures or features are known to be of significant importance to remain at this time, however if the BZA identifies any such features the applicant will work to preserve those as well.

- 5) that the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use (zz)**
(zz) Institutional p assembly uses, including recreational fields, public buildings, public or private schools grades K-12, lodges, country clubs, churches, and other places of worship, shall be subject to the following additional standards

- 1.) Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on site. An onsite off-street area shall be**

provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard.

As represented on the site plan, no parking has been proposed within the required front yard and no parking is proposed to back onto the public street. No new parking or passenger loading & unloading zone is proposed with the temporary modular building extension.

- 2.) ***In all residential districts, an institutional use group assembly use shall have a lot size not less than three times the minimum lot size permitted in the zoning district where the institutional group assembly is proposed to be located***

The minimum lot size of the RS-15 zone requires a minimum of 15,000 s.f. lots thus the minimum size is 45,000 s.f. or 1.033 acres. The proposed site is approximately 13.96 acres in size which is 13.5 times larger than the required minimum.

- 3.) ***Onsite lighting for parking areas, fields for athletics, scoreboards and grounds shall be arranged in such a manner as to minimize intrusion of the lighting into areas zoned or used for residential or medical purposes***

No new permanent lighting is proposed with the modular building extension.

- 4.) ***Applications for an institutional group assembly use shall indicate the proposed locations of garbage dumpsters or receptacles. These facilities shall be located in such a manner as to minimize the adverse effects upon neighboring properties and aesthetics from the public right-of-way.***

Solid waste disposal will continue to be handled via trash carts located on the northern side of the existing building. The carts are sited on a concrete pad and enclosed with a masonry enclosure and screened with landscaping. The location and the screening features aid in minimizing any effects on neighboring properties or the public right-of-ways.

- 5.) ***Areas for outdoor recreational use or outdoor group activities shall be screened or fenced in such a manner as to provide an effective buffer for adjacent uses***

The existing recreational areas are proposed to continue be used on a limited basis and the existing vegetation along property lines will remain to be used as buffers.

- 6.) ***The number of required parking spaces provided onsite shall be in accordance with Chart 4 of this article***

The total parking spaces is shown as 183 non-handicap spaces which exceeds the ordinance requirements by 144 spaces. No school van or bus are planned for this location.

- 7.) ***An application for a special use permit for an institutional group assembly shall be accompanied by a description of uses or activities proposed for the facility which may be subject to separate regulation or which may result in unusual traffic patterns, traffic volumes, or other detrimental impacts upon adjacent properties, including but not necessarily limited to those uses which***

would require a special permit if not a part of the institutional group assembly use;

No change in church activities is associated with the use of the temporary modular building. The temporary modular building will be utilized for a K-12 school with approximately 85 children. Due to the small scale of the project, the traffic volumes will continue to be low and therefore not have detrimental impacts on the area.

- 8.) ***The BZA shall have the authority to approve an onsite location with water, sewer, and electric utility connections for accommodations for travel trailers or recreational vehicles (RV's)***

No such uses are being requested at this time.

- 9.) ***The BZA shall have the authority to grant variances to the standards imposed by this subsection for temporary or short term uses of the property for the institutional group assembly use purposes***

No temporary or short term uses beyond the use of the temporary modular building are proposed at this time, therefore the applicant is not requesting any variances associated with such uses.

- 10.) ***The application for special use permit for an institutional group assembly use shall indicate an intentions for the use of systems for external broadcast of speech, music, or other sounds***

The applicant does not intend to have a speaker attached to the building.

Your thorough consideration of the requested special use permit is much appreciated. Please contact me if any additional information is required. I can be contacted at 615-890-7901 or via email at mtaylor@sec-civil.com.

Sincerely,



Matt Taylor, P.E.
Vice President
SEC, Inc.

City of Murfreesboro

BOARD OF ZONING APPEALS

**HEARING REQUEST
APPLICATION**

Location/Street Address: 4236 Veterans Parkway

Tax Map: 100

Group:

Parcel: 6.04

Zoning District: RS-15

Applicant: Fellowship Bible Church of Rutherford County

E-Mail: MONTYW@FBCRC.ORG

Address: 4236 Veterans Pkwy

Phone: 615-893-6652

City: Murfreesboro

State: TN

Zip: 37128

Property Owner: same as applicant

Address:

Phone:

City: Murfreesboro

State: TN

Zip:

Request: To allow a 1-year extension for temporary modular building

Zoning District: RS-15

Applicant Signature: *Monty Walden*

Date: 6.26.24

Received By:

Receipt No.:

Application #:

Date:

**Murfreesboro
Board of
Zoning Appeals**



T E N N E S S E E

HEARING APPLICATION

AND

GENERAL INFORMATION

Joel Aguilera

From: Monty Waldron <montyw@fbcrc.org>
Sent: Wednesday, June 26, 2024 3:50 PM
To: Joel Aguilera
Cc: Stan Bennett
Subject: [EXTERNAL]- BZA Extension Application for RCA

Joel,

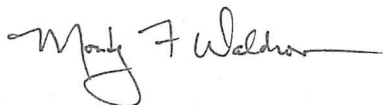
I'm writing on behalf of our leadership team to confirm our enthusiastic support of RCA's continued presence on our campus while they prepare for a transition to their property and a permanent location on Veteran's Pkwy.

Our experience with them as tenants has been nothing short of fantastic. They have used our facility and property in compliance with our original terms of agreement. They have taken great care of our facility and have excelled from a communication perspective.

We are glad to have the opportunity to be a bridge for them from previous temporary facilities to a permanent one. We very much look forward to eventually having them as a neighbor just down the road, laboring together to enhance the welfare of our community.

Please feel free to direct any additional questions you may have regarding our experience as hosts of RCA to me. We trust that you will see fit to join us in helping this worthy educational organization successfully find their way to a permanent location in our community.

Sincerely,



Monty Waldron
Fellowship Bible Church

**MURFREESBORO BOARD OF ZONING APPEALS
STAFF REPORT
JULY 24, 2024**

**PRESENTERS: ASSISTANT CITY ATTORNEY JOHN TULLY
AND DIRECTOR OF PLANNING BEN NEWMAN**

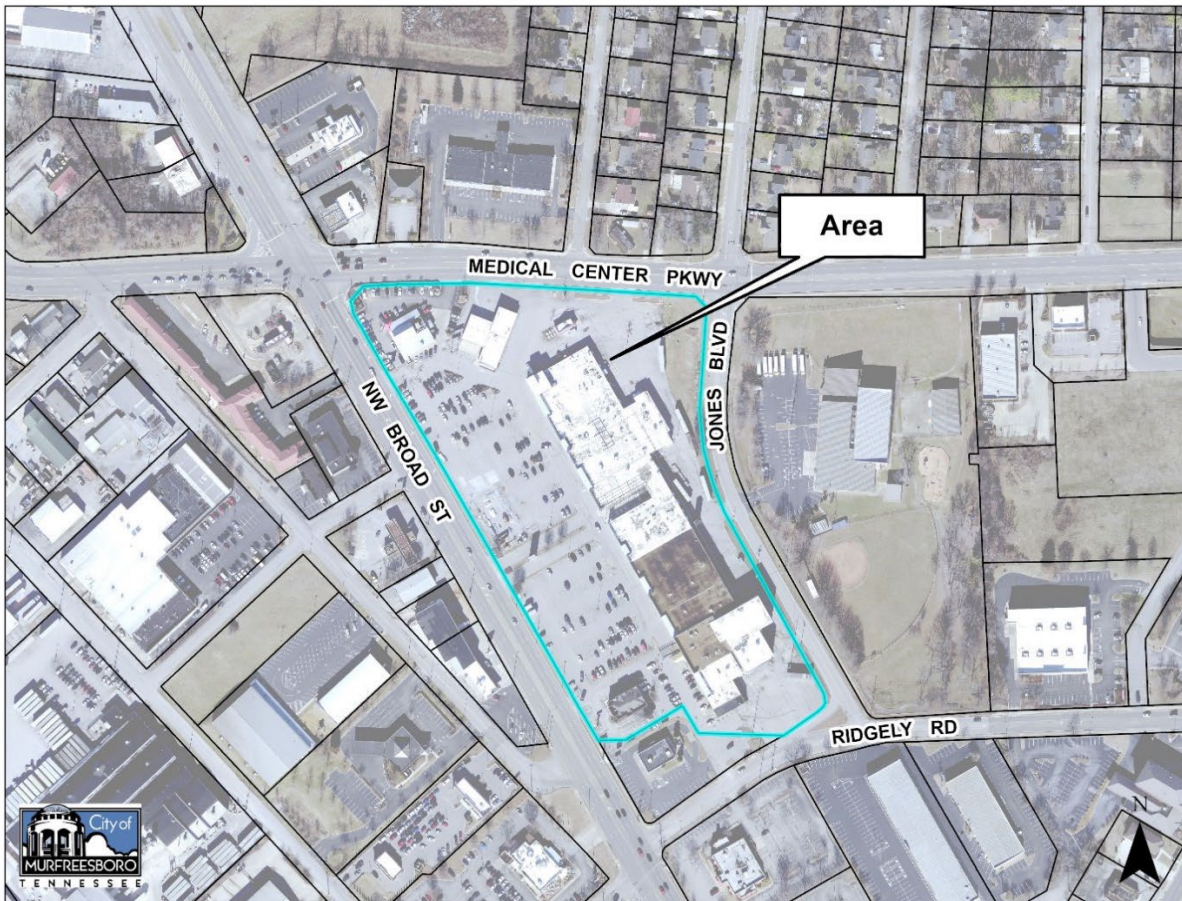
Application: Z-24-024

Location: 810 Northwest Broad Street

Applicant: AutoZone, Inc., represented by Shawn Henry, Esq., Tune, Entrekin & White, PC

Zoning: CH (Commercial Highway) & GDO-4 (Gateway Design Overlay District)

Request: Administrative appeal of a decision from the Zoning Administrator regarding whether a proposed use at 810 NW Broad Street constitutes Distribution of Automobile Parts and Components and/or Warehousing, Transporting/Distributing, which are not permitted in the Commercial Highway (CH) zone.

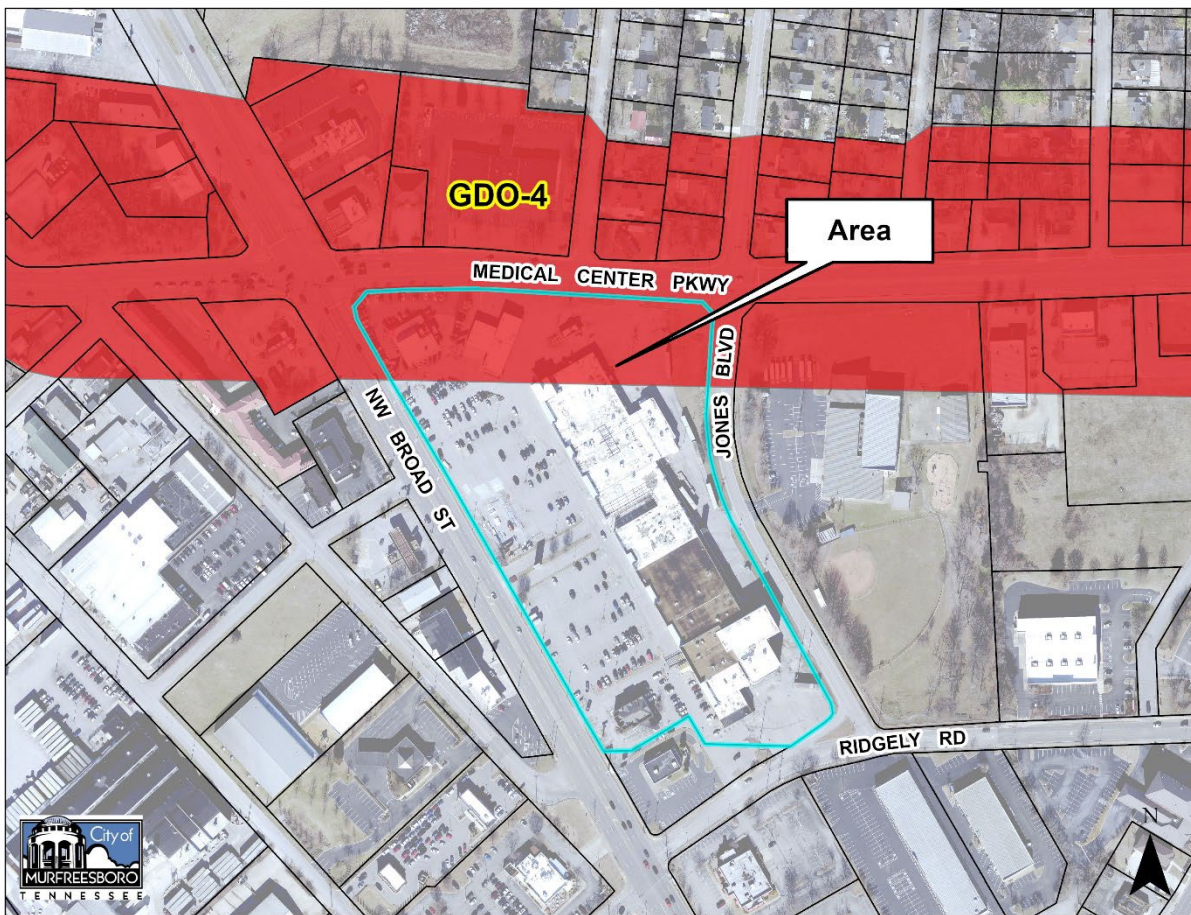


Overview

The applicant, AutoZone, Inc., represented by Shawn Henry, Esq., Tune, Entrekin & White, PC, has submitted a notice of appeal from an administrative decision regarding whether a proposed use constitutes Distribution of Automobile Parts and Components and/or Warehousing, Transporting/Distributing. The subject property is located at 810 Northwest Broad Street, located at the Jackson Heights Commercial Center. The property is zoned Commercial Highway (CH), with a portion of the property, and building, located within the Gateway Design Overlay District (GDO-4). The Jackson Heights commercial center contains a number of retail uses that are permitted in the CH zone district. AutoZone wishes to develop a Hub/Megahub that will have a retail store front in the commercial suite but will primarily consist of storage space for inventory in support of the Megahub distribution model.

Applicable Zoning Law

The property is zoned Commercial Highway (CH), with a portion of the property, and building, located within the Gateway Design Overlay District (GDO-4).



Staff Analysis and Recommendation

Staff recommends upholding the Director of Planning's determination that the planned use falls under Chart 1 as "Warehousing, Transporting/Distributing" and Distribution of Automobile Parts and Components. These uses are only permitted in the L-I, G-I, and H-I zoning districts.

BZA Role in Appeal

Section 12 of the Zoning Ordinance provides that the Board of Zoning Appeals has the authority to hear and decide appeals from any order, requirement, decision or determination by any department, office or bureau responsible for the administration of the Zoning Ordinance. Upon the timely filing of a proper notice of appeal, the BZA must hold a hearing on the appeal within forty-five days.

Prior to the adjournment of the meeting, the BZA may affirm, reverse, or modify the decision or determination appealed from. In doing so, the BZA may issue an order, impose a requirement or render a decision or determination which it deems appropriate under the same powers as the Planning Department. Alternatively, the BZA may take the appeal under advisement or defer the decision until the next regular meeting of the BZA.

AutoZone's proposal is not a retail shop

In an attempt to categorize the building as non-warehouse, Autozone classified the building as a "retail shop, other than enumerated elsewhere" in the BZA appeal paperwork. Retail shop is defined in Section 2 of the Zoning Ordinance as "an establishment engaged primarily in the sale of goods for personal use or consumption rather than for resale to the ultimate customer." Autozone's communications with the Planning Department make clear that it intends to use this location as a warehouse and distribution center for its other stores in and around the City.

Autozone's proposal is not an accessory structure or use

The Hub/Megahub which Autozone proposes is comprised of a small portion of retail and commercial space (4933 sq ft), with the majority of the footprint being a warehouse (19,750 sq ft). "Warehouse: is defined as "a building used primarily for the storage of goods and materials" per Section 2 of Zoning Ordinance. Zoning Ordinance Chart 1, Endnote 18 provides that warehouses are permitted by right when they are "incidental and accessory to another use." Section 2 of the Zoning Ordinance defines "accessory structure or use" as "a structure or use which:

- (A) is subordinate to and serves a principal building or use;
- (B) is subordinate in area, extent and purpose to the principal structure or principal use;
- (C) contributes to the comfort, convenience or necessity of the occupants, business or industry in the principal structure or principal use served; and,
- (D) is located on the same zoning lot as the principal structure or principal use.

The proposed Autozone building, inclusive of the warehouse space does not meet all of the criteria for an "accessory structure or use." Therefore, the proposed use is not accessory to a permitted use, but rather is properly considered a warehouse.

Autozone's SEC Form 10-k filing defines Hub/Megahub as Distribution Centers

Autozone is a publicly-traded company, and as such is required by the U.S. Securities and Exchange Commission to file an annual report in Form 10-K. In its most recent Form 10-K, AutoZone has made clear that Hubs and MegaHubs deliver products to local stores, are used to stock its stores, and are used to increase AutoZone's ability to timely distribute products to its stores. Moreover, when Planning staff requested that AutoZone provide addresses of other store locations which would operate similarly to the proposed location, AutoZone responded by directing Planning staff to tour its MegaHub located on Nolensville Pike. The Nolensville Pike MegaHub operation is consistent with AutoZone's representations and description in its 2023 Form 10-K report. This intended use is properly considered distribution of automobile parts and components, which is not permitted in Jackson Heights Commercial Center. The Zoning Ordinance does not permit distribution of automobile parts and components in areas zoned CH or GDO-4, whether or not such distribution is accessory to another use.

Attachments:

1. Write Up on Information Used to Review and Support Director's Determination for AutoZone Hub as Warehousing/Distribution.
2. Emails between Staff and AutoZone or Representative
3. Application for Administrative Appeal and Supporting Documents

Information Used to Review and Support Director's Determination for AutoZone Hub as Warehousing/Distribution.

Endnote 18 to Chart 1 of the Murfreesboro Zoning Ordinance provides that “Warehouses incidental and accessory to another use are permitted by right wherever such other use is permitted.”

An “Accessory Structure or Use” is defined in Section 2 of that Zoning Ordinance as “An accessory structure or use is a structure or use which:

- (A) is subordinate to and serves a principal building or use;
- (B) is subordinate in area, extent and purpose to the principal structure or principal use;
- (C) contributes to the comfort, convenience or necessity of the occupants, business or industry in the principal structure or principal use served; and,
- (D) is located on the same zoning lot as the principal structure or principal use.”

Based upon that definition, City staff has determined that, due to its purpose and size relative to the retail component, the “Hub” or “Mega Hub” warehouse planned by AutoZone is the principal use, and that it is not “incidental and accessory” to the retail component. As the principal use, it is classified in Chart 1 as “Warehousing, Transporting/Distributing”, which is only permitted in the L-I, G-I, and H-I zoning districts. The zoning classification for the proposed AutoZone location is CH.

The following is a list of information used to help determine the use of AutoZone's request for 810 NW Broad St otherwise known as Jackson Heights Shopping Center.

1. AutoZone Annual Report
2. Emails between Brad Barbee and Phillip Pecord.
3. Information gathered in a City/AutoZone meeting April 16, 2024.
4. Site visit to an AutoZone MegaHub on Nolensville Pike.
5. Review of the proposed site.

AutoZone's Annual Reports including its Form 10-k submitted to the United States Securities and Exchange Commission was reviewed. A 10-K report is a yearly report that is intended to keep shareholders and potential investors informed about the company's business activities. In essence, the 10-K report tells the public what AutoZone is doing and expects to continue doing.

Within the form, AutoZone makes very clear that the Hubs are for distribution. Below are some excerpts from AutoZone's 2023 Form 10-K found at <https://about.autozone.com/static-files/a4ebf7cd-8800-45ac-b4d5-57772b3cdafb> :

Page 9, paragraph 1: Our hub stores (including mega hubs, which carry an even broader assortment) carry a larger assortment of products that are delivered to local satellite stores.

Page 10, paragraph 2: We ended fiscal 2023 with 308 domestic and 39 international hub stores, which have a larger assortment of products as well as regular replenishment items that can be delivered to a store in its network within 24 hours. Hub stores are generally replenished from distribution centers multiple times per week. Hub stores have increased our ability to distribute products on a timely basis to many of our stores and to expand our product assortment.

Page 10, paragraph 3: Mega hubs provide coverage to both surrounding stores and other hub stores multiple times a day or on an overnight basis. Currently, we have over 6,000 domestic stores with access to mega hub inventory. A majority of these stores currently receive mega hub service same day.

Page 17, 3rd heading: Our ability to grow depends in part on new store openings, existing store remodels and expansions and effective utilization of our existing supply chain and hub network.

Page 18, paragraph 1: In addition, we extensively utilize our hub network, our supply chain and our logistics management techniques to efficiently stock our stores.

Emails between Principal Planner, Brad Barbee, and AutoZone representative Phillip Pecord, relayed information regarding the requested use. Mr. Pecord described, among other things, the use of 8 vehicles, vans and pickup trucks, for deliveries. The last email from Mr. Barbee to Mr. Pecord was March 6, 2024 stating that the warehousing use was not permitted in the area. On April 16, 2024, representatives of AutoZone and the City met virtually to exchange more information. Some of the helpful information gleaned from this meeting showed generally that the distribution model of AutoZone is moving to a hub and spoke type of model in a large portion of their markets. The Hub is located in the center of an area with retail stores surrounding the hub. This was clear from the proposed Hub and other retail locations shown to the City. AutoZone informed City Staff that the Hub would supply other stores with parts purchased by customers at those stores.

On May 10, 2024, City representatives visited and toured the Nolensville Pike AutoZone Hub store to get a better understanding of its operation. Pictures were taken at this visit and representatives spoke to an AutoZone team member who was very familiar with the operation. The AutoZone rep informed the City that the retail operation was limited to two areas: The space open to the public with merchandise isles and the shelving behind the retail sales counter. The retail shelving storage protrudes back until it stops at perpendicular shelving for Hub and other operations. The two following pictures highlight the retail dedicated space.



The AutoZone rep stated that the main square footage of the building was dedicated to Hub activity utilizing a team of employees and delivery vehicles that distributed to 16 stores. The following pictures show the warehouse space with tall racks and thousands of parts ready to be distributed to other locations. The general public is not allowed in the Hub area.





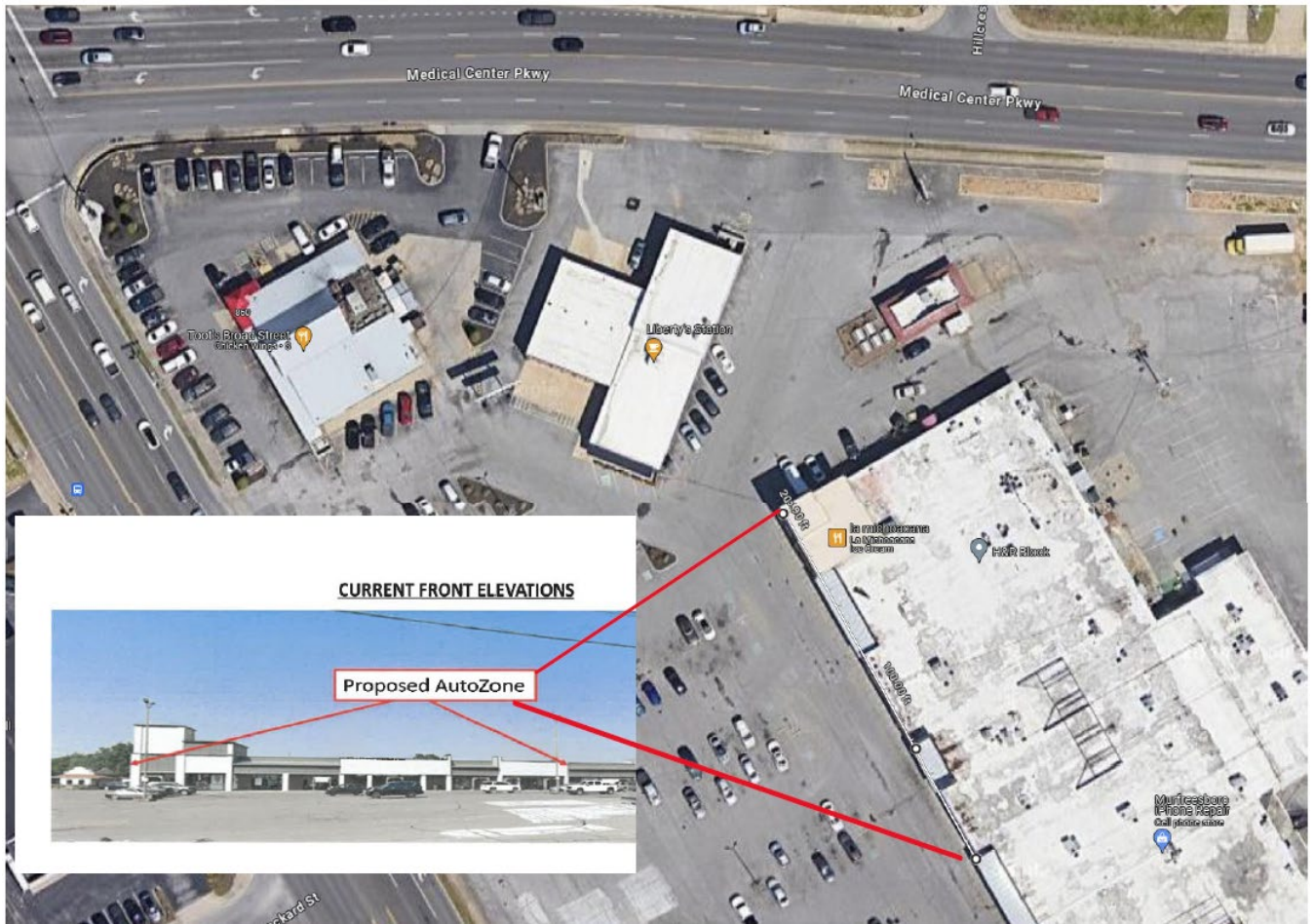
The AutoZone rep stated that there was an area dedicated to commercial sales in the side of the Nolensville Pike building pictured below.



The Nolensville Pike building pictured below is approximately 34,000 square feet whereas the proposed site for the Hub in Murfreesboro is 25,000 to 28,000 square feet.



AutoZone's requested location is approximately 25,000 square feet. 2,000 to 4,000 will be used for retail space and the remaining 21,000 to 23,000 square feet will be dedicated to warehouse racking full of auto parts that the public is excluded from accessing.



In conclusion, the warehousing use is not subordinate in area, extent nor purpose to the retail space. All of the information gathered in an attempt to understand AutoZone's proposed use point to warehousing and distribution as the primary or principal use with retail on site as a secondary or subordinate use. This warehousing/distribution use as the principal use is not permitted in the CH zone.

Richard Donovan

From: Pecord, Phil <phil.pecord@autozone.com>
Sent: Tuesday, March 5, 2024 3:22 PM
To: Brad Barbee
Cc: yuri.civilengineering@services.net
Subject: [EXTERNAL]- FW: store 6591- Murfreesboro TN

You don't often get email from phil.pecord@autozone.com. [Learn why this is important](#)

Below is the explanation regarding the store operation, and the address of the Megahub that will support the surrounding stores.. We will have 8 vehicles for commercial deliveries only.

Phillip Pecord
AutoZone Store Development
phone (901) 495-8706
fax (901) 495-8969



From: Hancock, James <James.Hancock@autozone.com>
Sent: Tuesday, March 5, 2024 3:14 PM
To: Pecord, Phil <phil.pecord@autozone.com>
Cc: Bentley, David <david.bentley@autozone.com>; Scharf, Thomas <Thomas.Scharf@autozone.com>
Subject: RE: store 6591- Murfreesboro TN

Phil-

A "No Route" MegaHub store is a stand-alone MegaHub, and will not routinely deliver parts to surrounding AutoZone stores in and around Murfreesboro. The reason we're planning a "Stand Alone" MH in Murfreesboro is because AZ#5963, located at 5731 Nolensville Rd, in Nashville, is an open and operating "routed" MH, and does make deliveries to other AutoZone stores on the south side of Nashville.

The store will have a commercial program. Please see e-mail from John Stelljes regarding the number of commercial vehicles (light trucks and cars) John envisions for the store.

James D. (JD) Hancock
Real Estate Development Manager
Customer Satisfaction
AutoZone, Inc.
123 S Front Street
Memphis, TN 38103

901-545-9190-Cell

From: Scharf, Thomas <Thomas.Scharf@autozone.com>
Sent: Tuesday, March 5, 2024 10:50 AM
To: Pecord, Phil <phil.pecord@autozone.com>; Groff, Richard <richard.groff@autozone.com>; Hancock, James <James.Hancock@autozone.com>
Cc: Bentley, David <david.bentley@autozone.com>
Subject: RE: store 6591- Murfreesboro TN

JD – this is for you

Thomas Scharf
AutoZone Inc
Real Estate Zone Manager
US Relocations & Southeast Zone
(901)495-7935

From: Pecord, Phil <phil.pecord@autozone.com>
Sent: Tuesday, March 5, 2024 10:41 AM
To: Groff, Richard <richard.groff@autozone.com>; Scharf, Thomas <Thomas.Scharf@autozone.com>
Cc: Bentley, David <david.bentley@autozone.com>
Subject: store 6591- Murfreesboro TN

I have some issues for you to help clarify for this store to respond to the city planner.
First, what is a “no route” megahub? The planner wants to know if we are servicing other stores and how many outbound shipments are made weekly.
Second, he has concerns that the loading dock is visible to the public along the side street (Medical Center Parkway), which is against the overlay district. Since this is on the shopping center land, we will need help from the landlord.

Phillip Pecord
AutoZone Store Development
phone (901) 495-8706
fax (901) 495-8969



Richard Donovan

From: Brad Barbee
Sent: Monday, February 26, 2024 3:57 PM
To: yuri.civilengineeringservices.net
Cc: Matthew Blomeley; Greg McKnight; ray.civilengineeringservices.net; Nathaniel Palmer
Subject: RE: AutoZone Store - Remodel

Good afternoon Yuri,

Thanks for the response. I need to have a better idea of the inbound and outbound traffic for the store. Total number of all inbound deliveries and what types of vehicles are used to make them. I also need the same for outgoing shipments. I'm looking for details so we can best understand how the property might be used.

I didn't find an elevation for the dock side of the building. We will also need to see how this area will be treated and screened. This building fronts on several public streets.

Will any inventory be unloaded in other areas or staged for shipments other than directly to/from the dock?

The Gateway Design Overlay district and Design Guidelines both have standards for this property. Determining the specific use is a part of the information that have requested above.

The Due Diligence meeting is typically scheduled once we have received the completed request form and we have enough information hold a productive meeting.

Please reach out with any questions.

Best regards,

BRAD BARBEE
PRINCIPAL PLANNER
CITY OF MURFREESBORO
PLANNING DEPARTMENT

111 W. Vine Street
Murfreesboro, TN 37130
P: 615-893-6441 ext: 1611

From: yuri.civilengineeringservices.net <yuri@civilengineeringservices.net>
Sent: Monday, February 26, 2024 12:12 PM
To: Brad Barbee <bbarbee@murfreesborotn.gov>
Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>; ray.civilengineeringservices.net <ray@civilengineeringservices.net>; Nathaniel Palmer <nathaniel@civilengineeringservices.net>
Subject: RE: AutoZone Store - Remodel

You don't often get email from yuri@civilengineeringservices.net. [Learn why this is important](#)

Hi Brad,

AutoZone looked at the zoning code, and said they did not find any design standards for our use. Attached are the color elevation drawing and photos of the building. The building work includes a new storefront entrance, raising a part of the canopy for our sign, and painting the side wall of the building. As for deliveries, most will be the semi truck from the distribution center. There may be a couple of vendor deliveries, either from the vendor directly or by FedEx. This store is expected to service 20 stores in the area, which are currently served by the megahub in Nashville (5731 Nolensville Pike).

Do you have set meeting dates for the Due Diligence Meeting Request? Sorry, I thought I had that written down, but cannot find it.

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



Civil Engineering
Services, PC

<https://www.civilengineeringservices.net/>

From: Brad Barbee <bbarbee@murfreesborotn.gov>
Sent: Thursday, February 22, 2024 3:46 PM
To: yuri civilengineeringservices.net <yuri@civilengineeringservices.net>
Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>
Subject: RE: AutoZone Store - Remodel

Good afternoon Yuri,

When you reach out to AutoZone could you also request the number of stores that this location will service, the number of deliveries expected each week by vehicle type (box truck, semi, etc.), and any other information that would help staff to unbetter understand the proposal?

Best regards,

BRAD BARBEE
PRINCIPAL PLANNER
CITY OF MURFREESBORO
PLANNING DEPARTMENT
111 W. Vine Street
Murfreesboro, TN 37130
P: 615-893-6441 ext: 1611

From: yuri civilengineeringservices.net <yuri@civilengineeringservices.net>
Sent: Thursday, February 22, 2024 3:03 PM
To: Brad Barbee <bbarbee@murfreesborotn.gov>
Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>
Subject: RE: AutoZone Store - Remodel

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Thank you Brad,

Can you please direct me to the Gateway Design Overlay Regs?

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



Civil Engineering
Services, PC

<https://www.civilengineeringservices.net/>

From: Brad Barbee <bbarbee@murfreesborotn.gov>
Sent: Thursday, February 22, 2024 2:56 PM
To: yuri civilengineeringservices.net <yuri@civilengineeringservices.net>
Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>
Subject: AutoZone Store - Remodel

Good afternoon Yuri,

It was good speaking with you earlier today. Please complete the attached request for and return it to me with the items specified in #7 and #8 of the form.

Once I receive the requested documents a due diligence meeting will be scheduled.

Please reach out with any questions.

Best regards,

BRAD BARBEE
PRINCIPAL PLANNER
CITY OF MURFREESBORO

PLANNING DEPARTMENT

111 W. Vine Street
Murfreesboro, TN 37130
P: 615-893-6441 ext: 1611

From: yuri.civilengineeringservices.net <yuri@civilengineeringservices.net>
Sent: Thursday, February 22, 2024 2:45 PM
To: Brad Barbee <bbarbee@murfreesborotn.gov>
Subject: [EXTERNAL]- RE: AutoZone Store - Remodel

You don't often get email from yuri@civilengineeringservices.net. [Learn why this is important](#)

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



Civil Engineering
Services, PC

<https://www.civilengineeringservices.net/>

From: yuri.civilengineeringservices.net
Sent: Thursday, February 22, 2024 2:34 PM
To: Brad Barbee <bbarbee@murfreesborotn.gov>
Subject: FW: AutoZone Store - Remodel

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



Civil Engineering
Services, PC

<https://www.civilengineeringservices.net/>

From: yuri civilengineeringservices.net
Sent: Thursday, February 22, 2024 2:31 PM
To: Matthew Blomeley <mblomeley@murfreesborotn.gov>
Subject: FW: AutoZone Store - Remodel

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



Civil Engineering
Services, PC

<https://www.civilengineeringservices.net/>

From: yuri civilengineeringservices.net
Sent: Wednesday, February 7, 2024 6:01 PM
To: hsmyth@murfreesborotn.gov
Cc: Nathaniel Palmer <nathaniel@civilengineeringservices.net>; ray civilengineeringservices.net <ray@civilengineeringservices.net>
Subject: RE: AutoZone Store - Remodel

Hi Holly,

Please see answers below:

The dumpster is located behind the store, shown as Keynote 3 on attached Sheet C1
The existing loading dock is used for the deliveries. It is currently in poor shape and will be repaired or replaced.
We will try to work the truck turn drawing tomorrow to send to you.
The public sales floor (Mercantile) is 4933SF. The hard parts area (storage occupancy) is 19,750SF.
The landlord will be removing the following tenants for AutoZone- Scoopy's Mexican Ice cream, H&R Block, Thai Pattaya restaurant in front (with 1 vacant space), and Aya Sushi restaurant on the side. I don't know if the landlord intends to relocate them or to just vacate them.
Deliveries will be one per day during the middle of the day.

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



Civil Engineering
Services, PC

<https://www.civilengineeringservices.net/>

From: yuri@civilengineeringservices.net
Sent: Wednesday, February 7, 2024 2:46 PM
To: hsmyth@murfreesborotn.gov
Cc: Nathaniel Palmer <nathaniel@civilengineeringservices.net>
Subject: AutoZone Store - Remodel

Please see attached, thanks Holly!

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



Civil Engineering
Services, PC

<https://www.civilengineeringservices.net/>

Richard Donovan

From: yuri.civilengineeringservices.net <yuri@civilengineeringservices.net>
Sent: Monday, February 26, 2024 12:12 PM
To: Brad Barbee
Cc: Matthew Blomeley; Greg McKnight; ray.civilengineeringservices.net; Nathaniel Palmer
Subject: RE: AutoZone Store - Remodel
Attachments: TN6591-CE1 09-12-23-Model.pdf

Some people who received this message don't often get email from yuri@civilengineeringservices.net. [Learn why this is important](#)

Hi Brad,

AutoZone looked at the zoning code, and said they did not find any design standards for our use. Attached are the color elevation drawing and photos of the building. The building work includes a new storefront entrance, raising a part of the canopy for our sign, and painting the side wall of the building. As for deliveries, most will be the semi truck from the distribution center. There may be a couple of vendor deliveries, either from the vendor directly or by FedEx. This store is expected to service 20 stores in the area, which are currently served by the megahub in Nashville (5731 Nolensville Pike).

Do you have set meeting dates for the Due Diligence Meeting Request? Sorry, I thought I had that written down, but cannot find it.

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



Civil Engineering
Services, PC

<https://www.civilengineeringservices.net/>

From: Brad Barbee <bbarbee@murfreesborotn.gov>
Sent: Thursday, February 22, 2024 3:46 PM
To: yuri.civilengineeringservices.net <yuri@civilengineeringservices.net>
Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>
Subject: RE: AutoZone Store - Remodel

Good afternoon Yuri,

When you reach out to AutoZone could you also request the number of stores that this location will service, the number of deliveries expected each week by vehicle type (box truck, semi, etc.), and any other information that would help staff to unbetter understand the proposal?

Best regards,

BRAD BARBEE
PRINCIPAL PLANNER
CITY OF MURFREESBORO
PLANNING DEPARTMENT
111 W. Vine Street
Murfreesboro, TN 37130
P: 615-893-6441 ext: 1611

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Sent: Thursday, February 22, 2024 3:03 PM
To: Brad Barbee <bbarbee@murfreesborotn.gov>
Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>
Subject: RE: AutoZone Store - Remodel

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Thank you Brad,

Can you please direct me to the Gateway Design Overlay Regs?

Respectfully,

Yuri Hawley
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Sent: Thursday, February 22, 2024 2:56 PM
To: yuri.civilengineeringservices.net <yuri@civilengineeringservices.net>
Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>
Subject: AutoZone Store - Remodel

Good afternoon Yuri,

It was good speaking with you earlier today. Please complete the attached request for and return it to me with the items specified in #7 and #8 of the form.

Once I receive the requested documents a due diligence meeting will be scheduled.

Please reach out with any questions.

Best regards,

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Sent: Thursday, February 22, 2024 2:45 PM
To: Brad Barbee <bbarbee@murfreesborotn.gov>
Subject: [EXTERNAL]- RE: AutoZone Store - Remodel

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Subject: FW: AutoZone Store - Remodel

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From: yuri@civilengineeringservices.net
Sent: Thursday, February 22, 2024 2:31 PM
To: Matthew Blomeley <mblomeley@murfreesborotn.gov>
Subject: FW: AutoZone Store - Remodel

Respectfully,

Yuri Hawley
Senior Project Manager
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P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



Civil Engineering
Services, PC

<https://www.civilengineeringservices.net/>

From: yuri@civilengineeringservices.net
Sent: Wednesday, February 7, 2024 6:01 PM
To: hsmyth@murfreesborotn.gov
Cc: Nathaniel Palmer <nathaniel@civilengineeringservices.net>; ray@civilengineeringservices.net <ray@civilengineeringservices.net>
Subject: RE: AutoZone Store - Remodel

Hi Holly,

Please see answers below:

The dumpster is located behind the store, shown as Keynote 3 on attached Sheet C1

The existing loading dock is used for the deliveries. It is currently in poor shape and will be repaired or replaced.

We will try to work the truck turn drawing tomorrow to send to you.

The public sales floor (Mercantile) is 4933SF. The hard parts area (storage occupancy) is 19,750SF.

The landlord will be removing the following tenants for AutoZone- Scoopy's Mexican Ice cream, H&R Block, Thai Pattaya restaurant in front (with 1 vacant space), and Aya Sushi restaurant on the side. I don't know if the landlord intends to relocate them or to just vacate them.

Deliveries will be one per day during the middle of the day.

Respectfully,

Yuri Hawley

Senior Project Manager

Civil Engineering Services, PC

P.O. Box 1302

Fairview, Tennessee 37062

Ph#(615)495-0132

yuri@civilengineeringservices.net



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Sent: Wednesday, February 7, 2024 2:46 PM

To: hsmyth@murfreesborotn.gov

Cc: Nathaniel Palmer <nathaniel@civilengineeringservices.net>

Subject: AutoZone Store - Remodel

Please see attached, thanks Holly!

Respectfully,

Yuri Hawley

Senior Project Manager

Civil Engineering Services, PC

P.O. Box 1302

Fairview, Tennessee 37062

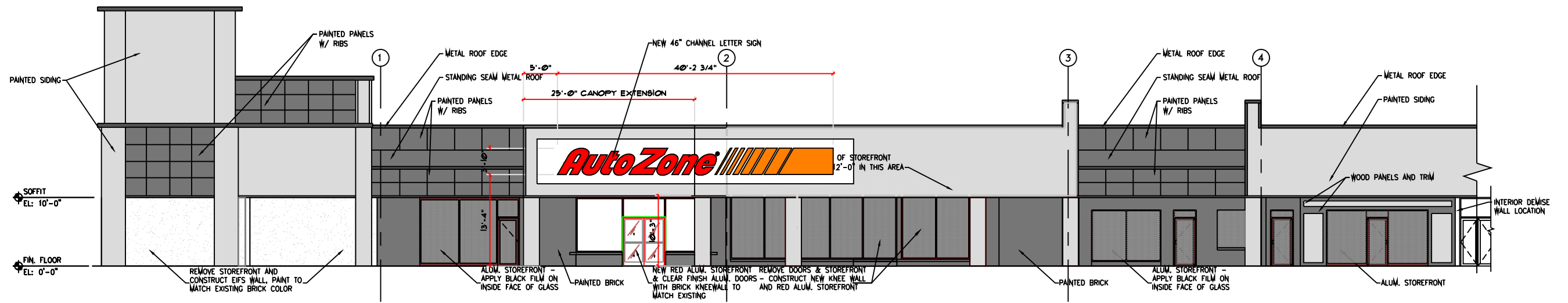
Ph#(615)495-0132

yuri@civilengineeringservices.net



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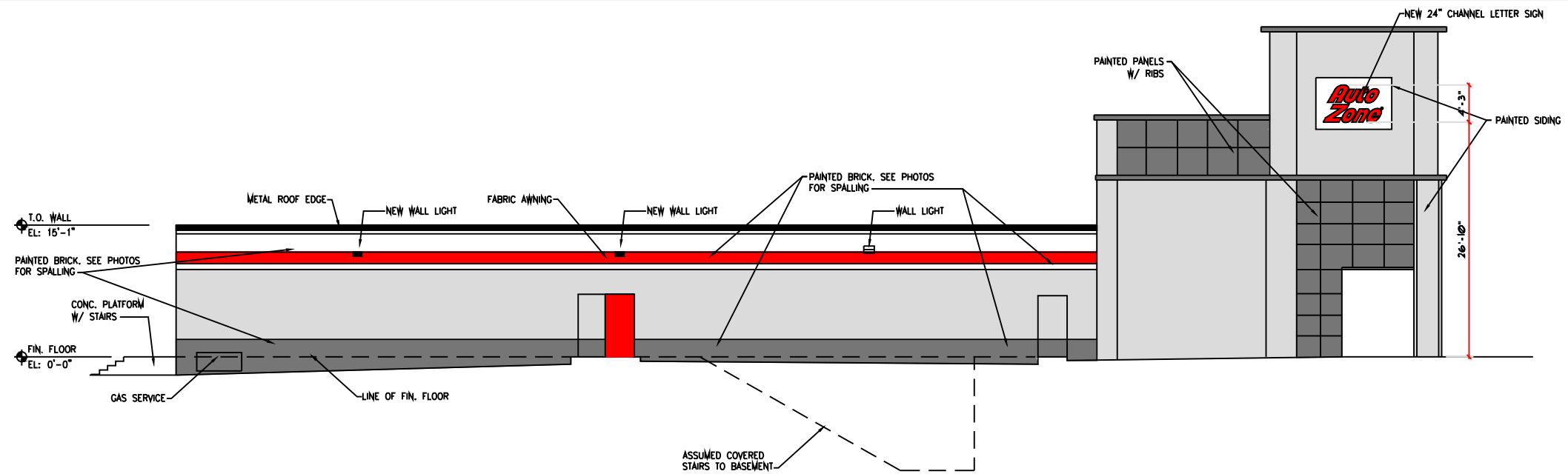
<https://www.civilengineeringservices.net/>



WEST ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION - FRONT | 1



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION - LEFT SIDE | 2

Richard Donovan

From: Brad Barbee
Sent: Tuesday, March 5, 2024 9:38 AM
To: Pecord, Phil; yuri.civilengineeringservices.net
Cc: Bentley, David; Hancock, James; ray.civilengineeringservices.net
Subject: RE: AutoZone Store - Remodel

Good morning Phil,

Can you please provide the address of a couple store locations like the one proposed for this location in order to provide some additional perspective?

Thank you,

BRAD BARBEE
PRINCIPAL PLANNER
CITY OF MURFREESBORO
PLANNING DEPARTMENT
111 W. Vine Street
Murfreesboro, TN 37130
P: 615-893-6441 ext: 1611

From: Pecord, Phil <phil.pecord@autozone.com>
Sent: Thursday, February 29, 2024 4:12 PM
To: Brad Barbee <bbarbee@murfreesborotn.gov>; yuri.civilengineeringservices.net <yuri@civilengineeringservices.net>
Cc: Bentley, David <david.bentley@autozone.com>; Hancock, James <James.Hancock@autozone.com>; ray.civilengineeringservices.net <ray@civilengineeringservices.net>
Subject: RE: AutoZone Store - Remodel

You don't often get email from phil.pecord@autozone.com. [Learn why this is important](#)

Brad, here are our responses for you:

1. 1-2 deliveries per week, from semi truck from DC in Lexington TN
2. No outbound shipments. There will be commercial customers that will need deliveries. These will be handled in small vehicles (vans or pickup trucks) on as-needed basis.
3. Attached is our permit drawing relative to exterior elevations. We intend to paint the wall dark and medium gray to match the building color.
4. No. this store will not serve other stores, as that is and will be handled from our hub in Nashville.

Phillip Pecord
AutoZone Store Development
phone (901) 495-8706
fax (901) 495-8969



From: Brad Barbee <bbarbee@murfreesborotn.gov>
Sent: Thursday, February 29, 2024 3:21 PM
To: yuri civilengineeringservices.net <yuri@civilengineeringservices.net>; Pecord, Phil <phil.pecord@autozone.com>
Cc: Bentley, David <david.bentley@autozone.com>; Hancock, James <James.Hancock@autozone.com>; ray civilengineeringservices.net <ray@civilengineeringservices.net>
Subject: RE: AutoZone Store - Remodel

Good afternoon Yuri,

I apologize as I was expecting more information. I still need:

- Total number of all inbound deliveries and what types of vehicles are used to make them.
- Number of outgoing shipments.
- Elevation for the dock side of the building. We will also need to see how this area will be treated and screened. This building fronts on several public streets.
- Will any inventory be unloaded in other areas or staged for shipments other than directly to/from the dock? The response indicated only counter purchases. How will this location serve 20 stores with no shipments?

The Gateway Design Overlay district and Design Guidelines both have standards for this property. Determining the specific use is a part of the information that have requested above.

The Due Diligence meeting is typically scheduled once we have received the completed request form and we have enough information hold a productive meeting.

Please reach out with any questions.

Best regards,

Thank you,

BRAD BARBEE
PRINCIPAL PLANNER
CITY OF MURFREESBORO
PLANNING DEPARTMENT
111 W. Vine Street
Murfreesboro, TN 37130
P: 615-893-6441 ext: 1611

From: yuri [civilengineeringservices.net](mailto:yuri@civilengineeringservices.net) <yuri@civilengineeringservices.net>
Sent: Thursday, February 29, 2024 3:12 PM
To: Pecord, Phil <phil.pecord@autozone.com>; Brad Barbee <bbarbee@murfreesborotn.gov>
Cc: Bentley, David <david.bentley@autozone.com>; Hancock, James <James.Hancock@autozone.com>; ray [civilengineeringservices.net](mailto:ray@civilengineeringservices.net) <ray@civilengineeringservices.net>
Subject: RE: AutoZone Store - Remodel

You don't often get email from yuri@civilengineeringservices.net. [Learn why this is important](#)

Hi Brad,

Do you have everything you need sir to set a meeting date?

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



Civil Engineering
Services, PC

<https://www.civilengineeringservices.net/>

From: Pecord, Phil <phil.pecord@autozone.com>
Sent: Tuesday, February 27, 2024 11:34 AM
To: Brad Barbee <bbarbee@murfreesborotn.gov>; yuri [civilengineeringservices.net](mailto:yuri@civilengineeringservices.net) <yuri@civilengineeringservices.net>
Cc: Bentley, David <david.bentley@autozone.com>
Subject: FW: AutoZone Store - Remodel

I have a further clarification regarding the store operation. This store will not have route deliveries, since that will be handled by the store on Nolensville Pike in Nashville. Instead, all products in this store are to be sold at the checkout counter (for DIY customers) and by commercial customers (at the commercial counter at the front of the store).

Phillip Pecord
AutoZone Store Development
phone (901) 495-8706
fax (901) 495-8969



From: Pecord, Phil

Sent: Tuesday, February 27, 2024 10:25 AM

To: yuri [civilengineeringservices.net](mailto:yuri@civilengineeringservices.net) <yuri@civilengineeringservices.net>; Brad Barbee <bbarbee@murfreesborotn.gov>

Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>; ray [civilengineeringservices.net](mailto:ray@civilengineeringservices.net) <ray@civilengineeringservices.net>; Nathaniel Palmer <nathaniel@civilengineeringservices.net>

Subject: RE: AutoZone Store - Remodel

Brad, here are my responses to your questions:

1. The existing loading dock is to remain and be repaired. Attached is picture of this area. Other doors will be replaced with masonry infill, to be painted to match the existing wall color. This is the only area for deliveries to this store.
2. We will have 2 doors on the side wall, which will be used to send out products to satellite stores (the hub function). The delivery vehicles are vans or pickup trucks.
3. Can you inform me of specific design issues in the overlay district relative to the building modifications. I looked at the overlay regulations, but I did not see where the design standards are to be found.

Phillip Pecord

AutoZone Store Development

phone (901) 495-8706

fax (901) 495-8969



From: yuri [civilengineeringservices.net](mailto:yuri@civilengineeringservices.net) <yuri@civilengineeringservices.net>

Sent: Monday, February 26, 2024 4:01 PM

To: Brad Barbee <bbarbee@murfreesborotn.gov>

Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>; ray [civilengineeringservices.net](mailto:ray@civilengineeringservices.net) <ray@civilengineeringservices.net>; Nathaniel Palmer <nathaniel@civilengineeringservices.net>; Pecord, Phil <phil.pecord@autozone.com>

Subject: RE: AutoZone Store - Remodel

Hi Brad, I am including Phil with AutoZone to answer your questions and provide additional information sir.

Phil, please see below email sir. Can you please assist?

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



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<https://www.civilengineeringservices.net/>

From: Brad Barbee <bbarbee@murfreesborotn.gov>
Sent: Monday, February 26, 2024 3:57 PM
To: yuri [civilengineeringservices.net](mailto:yuri@civilengineeringservices.net) <yuri@civilengineeringservices.net>
Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>; ray [civilengineeringservices.net](mailto:ray@civilengineeringservices.net) <ray@civilengineeringservices.net>; Nathaniel Palmer <nathaniel@civilengineeringservices.net>
Subject: RE: AutoZone Store - Remodel

Good afternoon Yuri,

Thanks for the response. I need to have a better idea of the inbound and outbound traffic for the store. Total number of all inbound deliveries and what types of vehicles are used to make them. I also need the same for outgoing shipments. I'm looking for details so we can best understand how the property might be used.

I didn't find an elevation for the dock side of the building. We will also need to see how this area will be treated and screened. This building fronts on several public streets.

Will any inventory be unloaded in other areas or staged for shipments other than directly to/from the dock?

The Gateway Design Overlay district and Design Guidelines both have standards for this property. Determining the specific use is a part of the information that have requested above.

The Due Diligence meeting is typically scheduled once we have received the completed request form and we have enough information hold a productive meeting.

Please reach out with any questions.

Best regards,

BRAD BARBEE
PRINCIPAL PLANNER

**CITY OF MURFREESBORO
PLANNING DEPARTMENT**

111 W. Vine Street
Murfreesboro, TN 37130
P: 615-893-6441 ext: 1611

From: yuri [civilengineeringservices.net](mailto:yuri@civilengineeringservices.net) <yuri@civilengineeringservices.net>
Sent: Monday, February 26, 2024 12:12 PM
To: Brad Barbee <bbarbee@murfreesborotn.gov>
Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>; ray [civilengineeringservices.net](mailto:ray@civilengineeringservices.net) <ray@civilengineeringservices.net>; Nathaniel Palmer <nathaniel@civilengineeringservices.net>
Subject: RE: AutoZone Store - Remodel

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Hi Brad,

AutoZone looked at the zoning code, and said they did not find any design standards for our use. Attached are the color elevation drawing and photos of the building. The building work includes a new storefront entrance, raising a part of the canopy for our sign, and painting the side wall of the building. As for deliveries, most will be the semi truck from the distribution center. There may be a couple of vendor deliveries, either from the vendor directly or by FedEx. This store is expected to service 20 stores in the area, which are currently served by the megahub in Nashville (5731 Nolensville Pike).

Do you have set meeting dates for the Due Diligence Meeting Request? Sorry, I thought I had that written down, but cannot find it.

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Subject: RE: AutoZone Store - Remodel

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To: hsmyth@murfreesborotn.gov
Cc: Nathaniel Palmer <nathaniel@civilengineeringservices.net>
Subject: AutoZone Store - Remodel

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Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



Civil Engineering
Services, PC

<https://www.civilengineeringservices.net/>

Richard Donovan

From: Scharf, Thomas <Thomas.Scharf@autozone.com>
Sent: Wednesday, March 27, 2024 9:21 AM
To: Hancock, James; Greg McKnight
Cc: Brad Barbee
Subject: RE: [EXTERNAL]- Proposed AutoZone, Jackson Heights Plaza, Murfreesboro, TN

You don't often get email from thomas.scharf@autozone.com. [Learn why this is important](#)

Greg,

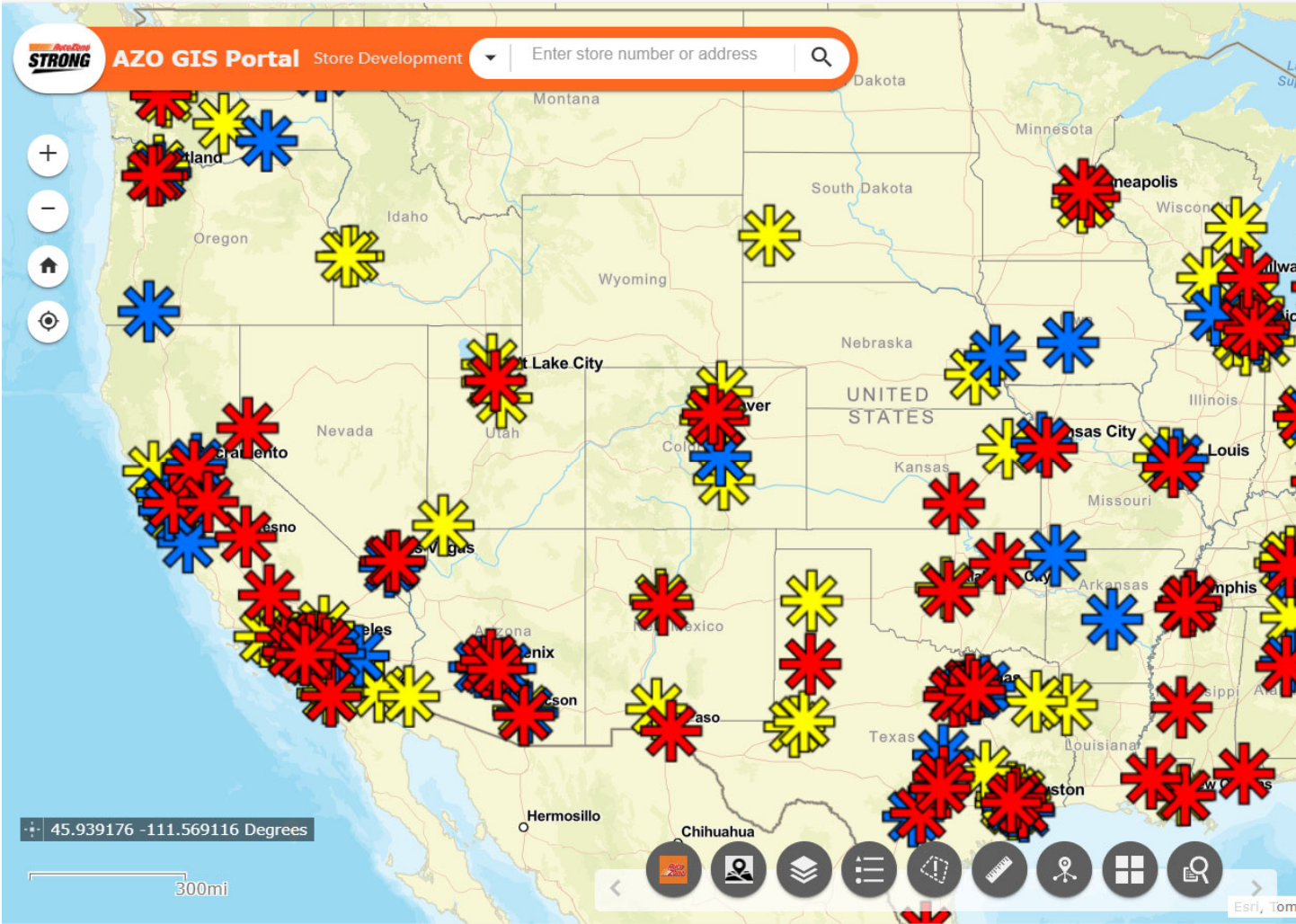
Hope you are doing well! We would like to show you our large store operations. We currently have just over 100 of the large stores open in the US. Occasionally we have experienced push back due to back room inventory, but all were eventually approved and opened. AutoZone Store SKUs: Standard Prototype 20,000 SKUs; HUB Store 55,000 – 64,000 SKUs; and Mega HUB is 85,000 – 100,000 SKUs.

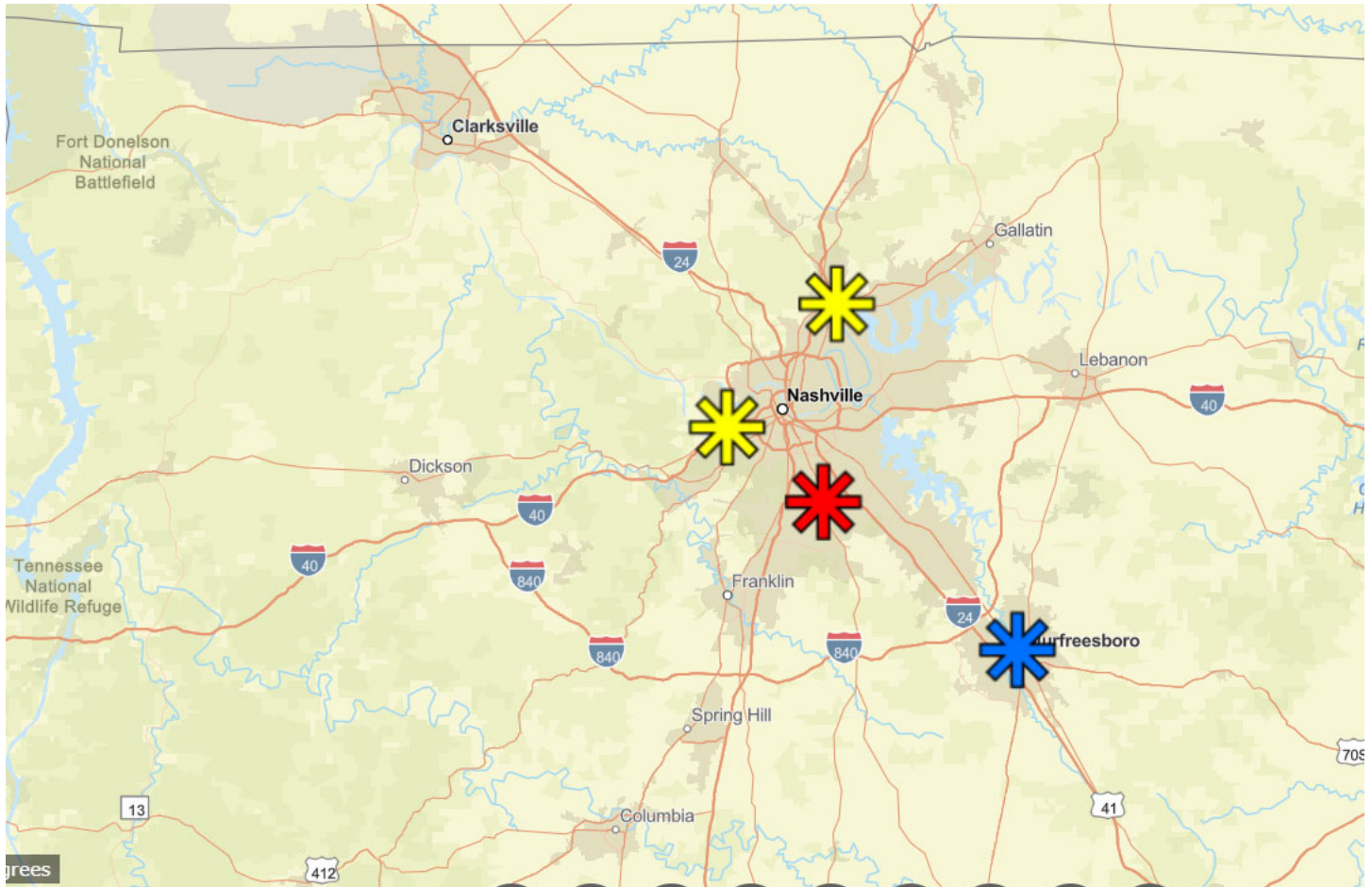
Pushback has always centered around two subjects – distribution and sales floor to back room ratio. First I want you to understand that stores are replenished from Distribution Centers and the Distribution Center in Lexington, TN handles this area. The original Mega HUB concept had a distribution component – three times a day a van would go out with parts for sister stores. Now that AutoZone has a target of 200+ Mega HUBs the concept has changed. Example – Atlanta has 5 open Mega HUBs with 1 in Pipeline – only 3 of those 6 will distribute parts. Murfreesboro Mega HUB will not have that distribution component as it is handled out of our Nashville Mega HUB. Murfreesboro will stand alone on its four wall sales (DIY and Commercial Program). AutoZone can not afford to put this inventory in all of our stores and that is why we landed on 200 of our 6,000 US. The sales floor of a mega is just a little bit bigger than standard prototype (with the addition of one more gondola). AutoZone is different from standard retailer in that we can not let the customer sort through all of our parts. We can not have a customer sort through the spark plugs of all the cars manufactured or the brake rotors for every application.

FYI – we expect one semi-truck from DC per day at this location.

Below is our Mega HUB footprint. Red = Open Mega HUB; Blue = Pipeline (approved) Mega HUB; and Yellow = Mega HUB target.

Please work with us to set up a tour of Nashville Mega HUB.





Thomas Scharf
AutoZone Inc
Real Estate Zone Manager
US Relocations & Southeast Zone
(901)495-7935

From: Hancock, James <James.Hancock@autozone.com>
Sent: Tuesday, March 26, 2024 12:48 PM
To: Greg McKnight <gregmcknight@murfreesborotn.gov>
Cc: Scharf, Thomas <Thomas.Scharf@autozone.com>; Brad Barbee <bbarbee@murfreesborotn.gov>
Subject: RE: [EXTERNAL]- Proposed AutoZone, Jackson Heights Plaza, Murfreesboro, TN

Greg-

Any update on when you'd be able to meet me at the AutoZone store on Nolensville Rd just north of Old Hickory Boulevard? I would like to give Store Operations a little notice so we can arrange to show you the operation. Please advise.

James D. (JD) Hancock
Real Estate Development Manager
Customer Satisfaction
AutoZone, Inc.
123 S Front Street
Memphis, TN 38103
901-545-9190-Cell

From: Greg McKnight <gregmcknight@murfreesborotn.gov>
Sent: Friday, March 15, 2024 11:12 AM
To: Hancock, James <James.Hancock@autozone.com>
Cc: Scharf, Thomas <Thomas.Scharf@autozone.com>; Brad Barbee <bbarbee@murfreesborotn.gov>
Subject: Re: [EXTERNAL]- Proposed AutoZone, Jackson Heights Plaza, Murfreesboro, TN

Hello JD,

It was nice meeting you as well. I will be taking a trip to your Nolensville location. Once I've had a chance to see the operation I don't mind sitting back down with you.

Get [Outlook for iOS](#)

From: Hancock, James <James.Hancock@autozone.com>
Sent: Friday, March 15, 2024 10:57:29 AM
To: Greg McKnight <gregmcknight@murfreesborotn.gov>
Cc: Scharf, Thomas <Thomas.Scharf@autozone.com>; Brad Barbee <bbarbee@murfreesborotn.gov>
Subject: [EXTERNAL]- Proposed AutoZone, Jackson Heights Plaza, Murfreesboro, TN

You don't often get email from james.hancock@autozone.com. [Learn why this is important](#)

Greg-

Thanks for meeting with me yesterday in regard to AutoZone's proposed use in the Jackson Heights Plaza shopping center. I spoke with Brad Barbee a few minutes ago, who indicated you're unwilling to review the sales of AutoZone's sales at our MegaHub location on Nolensville Rd in Nashville.

I indicated to Brad this morning that 74% of our sales at that location in Nashville are derived from retail DIY customers, and 26%, commercial. We're clearly a retail use. Most of the 100 MegaHubs we have open in the U.S. have a 70% DIY/30% Commercial sales ratio. We expect the same in Murfreesboro.

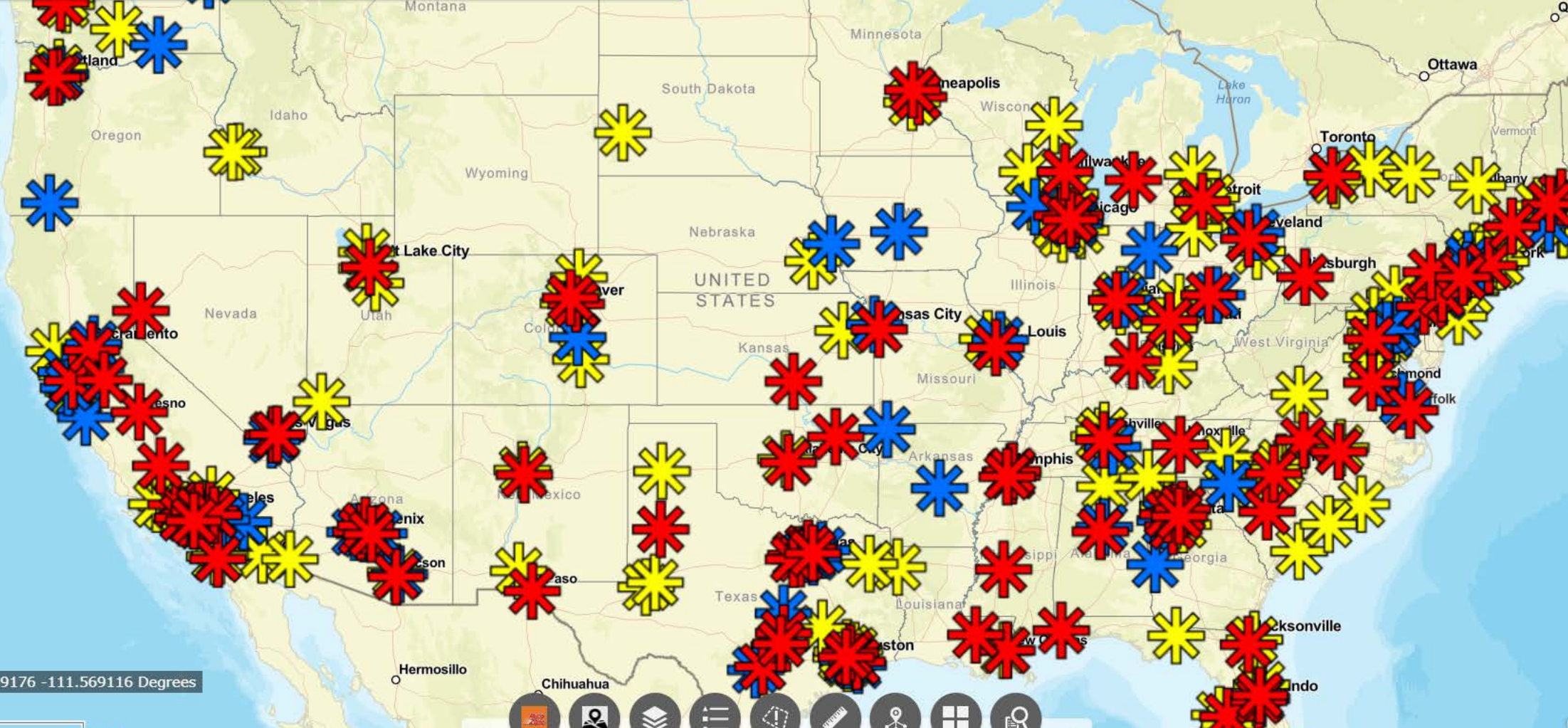
Please advise when I can reschedule a meeting in your office to discuss AutoZone's use with you and Brad, and confidentially review the sales breakdown of our Nolensville Rd store. I can also address any questions or concerns about AutoZone's use in Jackson Heights Plaza.

I look forward to hearing from you.

James D. (JD) Hancock
Real Estate Development Manager
Customer Satisfaction
AutoZone, Inc.
123 S Front Street
Memphis, TN 38103
901-545-9190-Cell



Enter store number or address



45.939176 -111.569116 Degrees

300mi



City of Murfreesboro
BOARD OF ZONING APPEALS

NOTICE OF APPEAL FROM
ADMINISTRATIVE DECISION

Appellant Name: TUNE, ENTREKIN & WHITE, PC (ATTN: SHAWN HENRY)
Phone(s): 615-277-2466 (D) 615-244-2770 (O)
Address: ~~500~~ 500 11TH AVE N. SUITE 600
City: NASHVILLE State: TN Zip: 37203

City Department responsible for decision: PLANNING DEPT.
Person making Decision: BEN NEWMAN Decision Date: APRIL 30, 2024
Decision/Order/Requirement/Determination being Appealed: Attach Copy

AUTOZONE "RETAIL" PARTS STORE
DETERMINED TO BE A
"WAREHOUSING, TRANSPORTING/DISTRIBUTING" USE.

Basis for Appeal: Cite Law or Ordinance with which Decision is inconsistent and describe
nature of inconsistency. Attach Copy APPENDIX A: ZONING CHART 1
RETAIL SHOP OTHER THAN ENUMERATED ELSEWHERE IS
PERMITTED BY RIGHT IN COMMERCIAL HIGHWAY DISTRICT.
IF WAREHOUSES ARE PERMITTED BY RIGHT IF INCIDENTAL &
ACCESSORY TO ANOTHER USE, SO TOO MUST PARTS WENT BY BEING
SOLD OVER THE RETAIL COUNTER (TN 18)

Signature: Shawn Henry Date: 5/15/24

Received by: _____ Make check payable to: City of Murfreesboro
Date: _____ Paid: Cash Check No: _____
Receipt No: _____
Appeal No: _____

TUNE, ENTREKIN & WHITE, P.C.

THOMAS V. WHITE
PETER J. STRIANSE
HUGH W. ENTREKIN
ROBERT L. DELANEY
LESA HARTLEY SKONEY
JOSEPH P. RUSNAK
SHAWN R. HENRY
T. CHAD WHITE
TIMOTHY N. O'CONNOR
SAMUEL J. BLANTON
EMILY A. GUTHRIE

ATTORNEYS AT LAW

CAPITOL VIEW
500 11th AVENUE NORTH, SUITE 600
NASHVILLE, TENNESSEE 37203

TEL (615) 244-2770 FAX (615) 244-2778

JOHN C. TUNE (1931-1983)

ERVIN M. ENTREKIN (1927-1990)

OF COUNSEL:
JOHN W. NELLEY, JR.
THOMAS C. SCOTT
JOHN P. WILLIAMS
GEORGE A. DEAN

May 15, 2024

Via Email to: mblomeley@murfreesborotn.gov

Mr. Davis Young, Chairman
City of Murfreesboro Board of Zoning Appeals
C/O Matthew Blomeley, Asst. Planning Dir.
111 W. Vine Street
City Hall, 1st Floor
Murfreesboro, TN 37130

RE: Appeal of Administrative Decision in re AutoZone (810 NW Broad St)

Dear Chairman Young and Board Members:

On behalf of AutoZone, please accept this letter, application and fee today and place this matter on the BZA agenda for June 26, 2024. This appeal is filed pursuant to Zoning Ordinance § 12 – a challenge to the “Planning Director’s Determination on Proposed Use at 810 NW Broad St (Jackson Heights)” issued on April 30, 2024, by Ben Newman, Director of Land Management and Planning (attached). The land use determination is in error based on the following information:

1. The building was constructed in the early 1960s as Jackson Heights Shopping Center. A variety of restaurants, grocers, and retailers occupied the site including Western Auto, a retail parts store. See attached photo.
2. AutoZone has 6 retail stores in Murfreesboro, all are open to the general public.
3. To my knowledge, AutoZone stores have never been classified by the city as warehouses for parts distribution.
4. The proposed 7th store at 810 NW Broad St. will operate and function the same as the other 6 stores. It will simply be larger with more inventory like a retail super store.
5. Each AutoZone store has most of the floor area devoted to inventory. This fact is no different to its competitors and well-known big box retailers.
6. The renovation of this building will eliminate several “dock doors” presently visible from the street. The aesthetic improvements cannot be overstated. See attached elevation comparisons.

Zoning Ordinance Land Use Definitions

- “Retail shop: An establishment engaged primarily in the sale of goods for personal use or consumption rather than for resale to the ultimate customer.”

TUNE, ENTREKIN & WHITE, P.C.

Mr. Davis Young, BZA Chairman

May 15, 2023

Page 2

- “Warehouse: A building used primarily for the storage of goods and materials.”
- “Principal use: A use that fulfills a primary function of an establishment, institution, household, or other entity located on a given lot.”
- Chart 1 fn 18: “Warehouses incidental and accessory to another use are permitted by right wherever such other use is permitted.” (p. App A:305)
- AutoZone is a “Retail Shop, other than enumerated elsewhere.” Subject to Chart 1 Footnote 18.

This AutoZone location will be a retail shop with accessory storage of inventory no different than any other retailer. The amount of floor space devoted to product inventory is immaterial to the primary function of the business, which is to sell product, not warehouse it. The terms “Hub” and “MegaHub” are akin to “SuperStore” and should not be interpreted by the city to mean the principal use is “warehousing, transporting/distributing.”

This store location will not be devoted “primarily for the storage of goods and materials.” A retail superstore with substantial inventory of product incidental to retail sales is still a retail shop. Chart 1 footnote 18 explicitly authorizes retailers to stock inventory so long as such inventory is incidental and accessory to the principal retail use of the property, as is the case here.

Based on this information, and more to be proven at the hearing, we respectfully request that the Board reverse the administrative land use decision.

Respectfully,



Shawn R. Henry

CC: Ben Newman (bnewman@murfreesborotn.gov)
David Ives (dives@murfreesborotn.gov)



... creating a better quality of life.

4/30/2024

Phillip Pecord
AutoZone Stores Development
Phil.pecord@autozone.com
901.495.8706

RE: Planning Director's Determination on Proposed Use at 810 NW Broad St (Jackson Heights)

Dear Mr. Pecord,

I am writing to inform you of the decision regarding your proposed use of Distribution of Automobile Parts and Components/Warehousing, Transporting/Distributing at 810 NW Broad Street in the City of Murfreesboro. After careful review and consideration of the Zoning Ordinance and relevant regulations, it has been determined that the proposed use is not compatible with the allowed uses in the specified zone.

The proposed Hub/MegaHub has been determined to be more consistent with the categories of Distribution of Automobile Parts and Components/Warehousing, Transporting/Distributing; Distribution of Automobile Parts and Components/Warehousing, Transporting/Distributing is not one of the permitted uses under the Zoning Ordinance for the specified zone.

The determination aims to ensure that proposed uses adhere to the established Zoning Ordinances, which are designed to promote the health, safety and welfare of the residents of the City of Murfreesboro.

Although the proposed use has been denied in its current form, I encourage you to explore alternative options that may be more compatible with the Zoning Ordinances. Should you have any questions or require further clarification regarding this determination, please do not hesitate to contact our office. You may appeal this determination through the process found in Sections 12 and 30 of the City of Murfreesboro Zoning Ordinances located at <https://www.murfreesborotn.gov/DocumentCenter/View/7181/Zoning-Ordinance--2024-Appendix-A-PDF?bidId=>

Thank you for your understanding and cooperation in this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ben Newman".

Ben Newman
Director of Land Management and Planning
City of Murfreesboro Planning Department