

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**OCTOBER 2, 2024
6:00 PM**

**Kathy Jones
Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the September 4, 2024 and September 18, 2024 Planning Commission meetings.**
- 5. Public Hearings and Recommendations to Council:**
 - a. Zoning application [2024-414] to amend the PUD zoning (Clari Park PUD) on approximately 8.0 acres located along Robert Rose Drive and Roby Corlew Lane, Hines Clari Park Land Holdings, LLC applicant. (Project Planner: Brad Barbee)
 - b. Zoning application [2024-411] for approximately 92.54 acres located along New Salem Highway and Barfield Road to be rezoned from RS-15 to CH, Matt Taylor of SEC, Inc. on behalf of World Outreach Church applicant. (Project Planner: Richard Donovan)
 - c. Mandatory Referral [2024-709] for the abandonment of a portion of Rucker Lane right-of-way located at the intersection of Rucker Lane and Smith Jarratt Road, SEC, Inc. on behalf of Kevin Waldron applicant. (Project Planner: Richard Donovan)
 - d. Zoning application [2024-412] for approximately 5.1 acres located along Greenland Drive to be rezoned from RM-16 to PRD (Crossings at Greenland PRD), SW Capital Group applicant. (Project Planner: Holly Smyth)
 - e. Zoning application [2024-413] for approximately 6.15 acres located along Hazelwood Street to be rezoned from RM-16 to PRD (Crossings at Hazelwood PRD), SW Capital Group applicant. (Project Planner: Holly Smyth)

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- f. Zoning Ordinance Amendment [2024-805] regarding retail and distribution uses and pertaining to the following sections:
 - Section 2: Definitions;
 - Section 9: Standards for Special Permit Uses; and
 - Chart 1: Uses Permitted (including its endnotes)City of Murfreesboro Planning Department applicant. (Presenter: John Tully)

6. Staff Reports and Other Business:

- a. Mandatory Referral [2024-722] to consider the abandonment of a portion of a drainage easement along Southpointe Way, ARCO/Murray Nashville applicant. (Project Planner: Holly Smyth)
- b. Mandatory Referral [2024-721] to consider the abandonment of a portion of a drainage easement along Suzanne Landon Drive, M/I Homes of Nashville, LLC applicant. (Project Planner: Amelia Kerr)
- c. Consideration of 2025 Planning Commission Meeting Calendar and 2025 Plans Review Calendar

7. Adjourn.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 4, 2024

6:00 P.M.

CITY HALL

MEMBERS PRESENT

Kathy Jones, Chair
Ken Halliburton, Vice-Chair
Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright

STAFF PRESENT

Ben Newman, Dir. of Land Mngt. & Planning
Matthew Blomeley, Assistant Planning Director
Holly Smyth, Principal Planner
Richard Donovan, Principal Planner
Brad Barbee, Principal Planner
Joel Aguilera, Planner
Carolyn Jaco, Recording Assistant
Roman Hankins, Deputy City Attorney
John Tully, Assistant City Attorney

1. Call to order.

Chair Kathy Jones called the meeting to order at 6:00 p.m.

2. Determination of a quorum.

Chair Kathy Jones determined that a quorum was present.

3. Public Comments.

Chair Kathy Jones announced that no one signed up to speak up during the Public Comments portion of the agenda.

4. Approve minutes of the August 21, 2024 Planning Commission meeting.

Mr. Shawn Wright made a motion to approve the minutes of the August 21, 2024 Planning Commission meeting; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 4, 2024

Reggie Harris

Bryan Prince

Shawn Wright

Nay: None

5. Old Business (Recommendation to Council):

Zoning application [2024-403] for approximately 0.38 acres located along North Maple Street to be rezoned from CH & CCO to PRD (Maple Five PRD) & CCO, Hamid Mehryar applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Hamid Mehryar (owner/developer) and Mr. Clyde Rountree (landscape architect) were in attendance representing the application. Mr. Clyde Rountree explained the modifications to the plan since the previous Planning Commission meeting.

There being no further discussion, Ms. Jami Averwater moved to approve the zoning application subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried in favor by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Shawn Wright

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 4, 2024

6. Public Hearings and Recommendations to Council:

Mandatory Referral [2024-717] to consider closing a portion of Hickerson Drive from vehicular use, City of Murfreesboro applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Gabriel Moore (Planning Department Project Engineer) and Mr. Ryan Maloney (design engineer) were in attendance representing the application.

Chair Kathy Jones opened the public hearing.

1. **Ms. Linda Sullivan, 307 Hickerson Drive** – voiced her concerns how this proposed closure would negatively impact her property by losing vehicular access at the rear. She is in favor of this project; however, she said that she needs to keep a second access for her property for future redevelopment.

There being no one else to speak, Chair Kathy Jones closed the public hearing.

Mr. Matthew Blomeley stated the City would continue ongoing discussions with Ms. Sullivan about how the Town Creek daylighting project will impact her property.

There being no further discussion, Ms. Jami Averwater moved to approve the mandatory referral subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 4, 2024

Shawn Wright

Nay: None

Zoning application [2024-410] for approximately 6.1 acres located along Willowoak Trail and Robert Rose Drive to be rezoned from PUD (Clari Park PUD) & GDO-1 to CH & GDO-1, Hines Clari Park Land Holdings, LLC applicant. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the zoning application; therefore, Chair Kathy Jones closed the public hearing.

There being no further discussion, Vice-Chairman Ken Halliburton moved to approve the zoning application subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Shawn Wright

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 4, 2024

7. Staff Reports and Other Business:

Mandatory Referral [2024-720] to consider the dedication of a sanitary sewer easement on City-owned property located north of Tommy Bragg Drive, BL Companies applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright moved to approve the mandatory referral subject to all staff comments, including the recommended conditions of approval listed in the staff report; the motion was seconded by Vice-Chairman Ken Halliburton and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright

Nay: None

8. Adjourn.

There being no further business the meeting adjourned at 6:25 p.m.

**MINUTES OF THE
MURFREESBORO PLANNING COMMISSION
SEPTEMBER 4, 2024**

Chair

Secretary

BN: cj

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 18, 2024

1:00 P.M.

CITY HALL

MEMBERS PRESENT

Kathy Jones, Chair
Ken Halliburton, Vice-Chair
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

STAFF PRESENT

Greg McKnight, Exec. Director of Dev't Svcs.
Ben Newman, Dir. of Land Mngt. & Planning
Matthew Blomeley, Assistant Planning Director
Holly Smyth, Principal Planner
Richard Donovan, Principal Planner
Brad Barbee, Principal Planner
Joel Aguilera, Planner
Sloane Lewis, Planner
Carolyn Jaco, Recording Assistant
Roman Hankins, Deputy City Attorney
John Tully, Assistant City Attorney

1. Call to order.

Chair Kathy Jones called the meeting to order.

2. Determination of a quorum.

Chair Kathy Jones determined that a quorum was present.

3. Public Comments.

Chair Kathy Jones announced that no one signed up to speak up during the Public Comments portion of the meeting.

4. Consent Agenda:

Blakely Cove, Resubdivision of Lot 2 [2024-2059] final plat for 2 lots on 4.63 acres zoned RS-10 located along Rucker Lane, Alcorn Properties, LLC developer.

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Waite's Creek Crossing, Resubdivision of Lots 53 & 54 [2024-2063] final plat for 4 lots on 0.4 acres zoned RS-A, Type 1 located along Barringer Lane, O'Brien Loyd Venture developer.

Rutherford Corner [2024-2066] horizontal property regime plat for 6 units on 1.44 acres zoned PRD located along North Rutherford Boulevard and Gold Valley Drive, Masterson Homes, Inc. developer.

Villas at Stones Retreat, Section 2 [2024-1021] preliminary plat for 1 lot on 26.64 acres zoned PUD (Victory Station PUD) located east of Fortress Boulevard, Lennar Homes developer.

Villas at Stones Retreat, Section 2 [2024-3105] site plan for 110 single-family residential attached townhome units within 36 buildings on 26.64 acres zoned PUD (Victory Station PUD) located east of Fortress Boulevard, Lennar Homes developer.

Riley, Section 2 [2024-1025] preliminary plat for 106 lots on 51.55 acres zoned PRD located along New Salem Highway, Brightland Homes of Tennessee, LLC developer.

Kimbro Woods, 3rd Resubdivision of Lots 13 & 14 [2024-2061] final plat for 2 lots on 0.46 acres zoned PRD located along Jerry Anderson Drive and Holderwood Drive, Sarun Vit, Sarong Vit-Kory, and Jonathan Pratt developers.

HEMG, Lot 3 [2024-2062] final plat for 1 lot on 1.87 acres zoned CF located along Lascassas Pike and North Rutherford Boulevard, HEMG, LLC developer.

There being no further discussion, Ms. Jami Averwater made a motion to approve the Consent Agenda subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

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Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

Nay: None

5. Plats and Plans:

On Motion

Cherry Lane Townhomes [2023-3122] site plan review for 73 single-family residential attached townhome units on 10.62 acres zoned RS-A, Type 2 located along Cherry Lane, Harney Homes, LLC developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Brad Barbee requested the applicant continue working with staff on improvements to the base and cap for the attached townhome units.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to approve the site plan review subject to all staff comments; the motion was seconded by Vice-Chairman Ken Halliburton and carried in favor by the following vote:

Aye: Kathy Jones
Jami Averwater
Ken Halliburton
Tristan Carroll

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Bryan Prince

Shawn Wright

Nay: None

West Point, Lots 27 & 28 [2024-1026] master plan amendment and preliminary plat for 2 lots on 7.43 acres zoned L-I located along Beasie Road, Charlie B. Mitchell developer. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the amended master plan and preliminary plat subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Tristan Carroll

Bryan Prince

Shawn Wright

Nay: None

West Point, Lots 27 & 28 [2024-2064] final plat for 2 lots on 7.43 acres zoned L-I located along Beasie Road, Charlie B. Mitchell, Jr, developer. Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

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Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to approve the final plat subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

Nay: None

Floor & Décor [2024-3119] site plan for a 59,879 ft² retail building on 6.0 acres zoned L-I located along Beasie Road, Floor & Décor developer. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Connor Glennon (civil engineer) and other members of the design and development team were in attendance representing the application. Mr. Connor Glennon explained the reason why they would prefer to build the additional parking areas in the future.

The Planning Commission discussed the additional parking areas and agreed the applicant should construct all parking areas shown with the initial development of the site and also provide internal sidewalk connections.

There being no further discussion, Mr. Shawn Wright made a motion to approve the site plan subject to all staff comments including the construction of all parking areas depicted

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on the site plan with the initial development (including those proposed by the applicant to be set aside for future construction) and internal sidewalk connections (including at the rear of the building); the motion was seconded by Ms. Jami Averwater and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

Nay: None

Chair Kathy Jones requested a motion to re-order the agenda to consider Item 7.b. (Amendment to the 2024 Plan Review Calendar and 2024 Planning Commission Meeting Calendar).

There being no further discussion, Ms. Jami Averwater made a motion to re-order the agenda to consider Item 7.b.; the motion was seconded by Vice-Chairman Ken Halliburton and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

Nay: None

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Mr. Matthew Blomeley explained that City staff would be away at a conference during the week of November 6, 2024. He requested that there be two motions to reschedule the November 6, 2024 regular meeting to October 30, 2024 -- one for the Planning Commission Meeting Calendar and another for the Plan Review Calendar.

There being no further discussion, Ms. Jami Averwater made a motion to amend the 2024 Planning Commission Meeting Calendar to reschedule the November 6, 2024 meeting to October 30, 2024; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

Nay: None

There being no further discussion, Ms. Jami Averwater made a motion to amend the 2024 Plan Review Calendar to reschedule the November 6, 2024 Planning Commission meeting to October 30, 2024; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 18, 2024

6. New Business:

Zoning application [2024-414] to amend the PUD zoning (Clari Park PUD) on approximately 8.0 acres located along Robert Rose Drive and Roby Corlew Lane, Hines Clari Park Land Holdings, LLC applicant. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application. He explained the design changes to the architecture stating it would be a more appropriate fit and style in the community.

The Planning Commission stated they had concerns with the flat roofline. Mr. Matt Taylor stated staff had the same concerns, so they had revised the roofline and sides of the building; however, the revisions have not been added to their pattern book. Mr. Matt Taylor assured everyone he would continue working with staff on materials and colors which would be added to the pattern book prior to the public hearing.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on October 2, 2024; the motion was seconded by Mr. Bryan Prince and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 18, 2024

Zoning application [2024-411] for approximately 92.54 acres located along New Salem Highway and Barfield Road to be rezoned from RS-15 to CH, Matt Taylor of SEC, Inc. on behalf of World Outreach Church applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on October 2, 2024; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye:	Kathy Jones
	Ken Halliburton
	Jami Averwater
	Bryan Prince
	Shawn Wright
Abstain:	Tristan Carroll
Nay:	None

Mandatory Referral [2024-709] for the abandonment of a portion of Rucker Lane right-of-way located at the intersection of Rucker Lane and Smith Jarratt Road, SEC, Inc. on behalf of Kevin Waldron applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Kevin Waldron was in attendance representing the application.

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There being no further discussion, Mr. Bryan Prince made a motion to schedule a public hearing on October 2, 2024; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

Nay: None

Zoning application [2024-412] for approximately 5.1 acres located along Greenland Drive to be rezoned from RM-16 to PRD (Crossings at Greenland PRD), SW Capital Group applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Troy Jake (developer) and Mr. Clyde Rountree (landscape architect) were in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on October 2, 2024; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote.

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 18, 2024

Shawn Wright

Nay: None

Zoning application [2024-413] for approximately 6.15 acres located along Hazelwood Street to be rezoned from RM-16 to PRD (Crossings at Hazelwood PRD), SW Capital Group applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Troy Jake (developer) and Mr. Clyde Rountree (landscape architect) were in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on October 2, 2024; the motion was seconded by Mr. Bryan Prince and carried in favor by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Tristan Carroll

Bryan Prince

Shawn Wright

Nay: None

Zoning Ordinance Amendment [2024-805] regarding retail and distribution uses and pertaining to the following sections:

- **Section 2: Definitions;**
- **Section 9: Standards for Special Permit Uses; and**
- **Chart 1: Uses Permitted (including its endnotes)**

City of Murfreesboro Planning Department applicant.

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Mr. John Tully presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Shawn Wright expressed concerns about limiting the “retail hybrid” to Opportunity Zones adopted by the Federal Government, due to those Opportunity Zones expiring in the near future. Mr. John Tully explained he would look into the proposed verbiage.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on October 2, 2024; the motion was seconded by Vice-Chairman Ken Halliburton and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

Nay: None

Annexation petition and plan of services [2024-503] for approximately 15.9 acres located along Joe B Jackson Parkway and Butler Drive, City of Murfreesboro, MacDonald Associates, and Quiktrip Corporation applicants. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on October 30, 2024; the motion was seconded by Ms. Jami Averwater and carried in favor by the following vote:

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Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

Nay: None

Zoning application [2024-415] for approximately 15.9 acres located along Joe B Jackson Parkway and Butler Drive to be zoned H-I (6.7 acres), G-I (2.9 acres), and CH (6.3 acres) simultaneous with annexation, City of Murfreesboro, MacDonald Associates, and Quiktrip Corporation applicants. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on October 30, 2024; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 18, 2024

Annexation petition or request for outside the City sewer service [2024-507] for approximately 37.56 acres located along Epps Mill Road, Rhodes Development Company applicant. Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Shawn Wright stated this property will only be allowed to develop with a finite sewer capacity, and he wants to make certain that the property owners understand they will not be granted any additional sewer capacity in the future.

Mr. McClain Towery was in attendance representing the application, and he stated he understands this point.

There being no further discussion, Mr. Shawn Wright made a motion to approve this property as an outside the City sewer service customer subject to all staff comments; the motion was seconded by Vice-Chairman Ken Halliburton and carried in favor by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright

Nay: None

7. Staff Reports and Other Business.

Mandatory Referral [2024-718] to consider the dedication of an electric easement on City-owned property located along Warrior Drive, Middle Tennessee Electric

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applicant. Ms. Sloane Lewis presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the Mandatory Referral subject to all staff comments, including the recommended conditions of approval listed in the staff report; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Tristan Carroll

Bryan Prince

Shawn Wright

Nay: None

8. **Adjourn.**

There being no further business the meeting adjourned at 2:30 p.m.

Chair

Secretary

BN/cj

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 2, 2024
PROJECT PLANNER: BRAD BARBEE**

- 5.a. Zoning application [2024-414] to amend the PUD zoning (Clari Park PUD) on approximately 8.0 acres located along Robert Rose Drive and Roby Corlew Lane, Hines Clari Park Land Holdings, LLC applicant.**

Introduction

The subject property is located along Robert Rose Drive and Roby Corlew Lane. This property is further identified as Tax Map 92, Parcel 8.22. The property included in the zoning plan amendment request is approximately 8.0 acres and is currently vacant land. The property is zoned PUD (Planned Unit District) and GDO-1 (Gateway Design Overlay District 1) and is also identified as Area 7 of the Clari Park PUD.

The surrounding properties to the northwest are zoned PUD (Planned Unit Development) and CH (Commercial Highway) and are also a part of the Clari Park development. The property located in the PUD zone has been approved for the development of an apartment community that is currently under construction. The property located in the CH zone is undeveloped and a site plan has been approved for Neighbors restaurant. The adjacent properties to the south are zoned MU and CH. The properties in the MU zone have been developed as Redstone Federal Credit Union, and three retail strip centers with occupants such as T-Mobile, Blaze Pizza, and Murfreesboro Modern Dentistry. One of the properties in the CH zone has been developed as Firebirds restaurant while site plans have been approved for In-N-Out Burger and Raising Cane's on the remaining two parcels. The property located to the northeast across Robert Rose Drive is zoned PUD and is developed as Henley Station apartments. All the aforementioned properties are also located within the GDO-1 (Gateway Design Overlay, District 1).

Overview:

Area 7 of the Clari Park PUD is approved for single-family residential attached dwelling units (townhomes). Hines Clari Park Holdings, LLC previously proposed traditional architectural style with gabled roofs, covered porches, and second story balconies that overlook the greenspace areas for Area 7 as seen in the examples below from the plan book.

Approved elevations from original pattern book:



Example Side and Rear Elevations



The developer has submitted this request to amend the architecture for Area 7 to better complement the adjacent Clari Park apartments in terms of scale, form, and materials. They believe that this change will provide a denser, more urban aesthetic that they feel will better integrate into the development.

Proposed elevations for consideration:





The Planning Commission should discuss the architectural changes that have been requested and determine if they believe them to be consistent with the architectural requirements of the Gateway Design Overlay District.

The proposed architecture is more modern and blends well with the adjacent Residences of Clari Park Development. The elevations show variations in the roof lines and wall planes that are typically found in the Gateway along with a defined base and cap. Additional detailing has been added to the cornice area of the front façades, the building base has been enlarged to a full one story, and a contrasting water table has been added. The base detail is matched on the sides and rear elevations as well. Fourth story areas with rooftop patios have also been included to assist in the providing more varied rooflines on each elevation.

Site Layout:

Area 7 of the Clari Park development has public road frontage on both Robert Rose Drive and Roby Corlew Lane. As a part of Clari Park, the plan provides shared vehicular and pedestrian access with the adjacent apartment home development to the west.

Since the previous plan book was approved, a secondary connection to Roby Corlew Lane has been removed and guest parking from this area was shifted to the south. Additional sidewalk has been added as well as a pedestrian connection to the public sidewalk. The pond area and greenspace has been enlarged along with landscaping and screening. Circulation is generally the same as previously proposed, with multiple entrances and exit points. All interior streets are interconnected.

Future Land Use Map



The future land use map of the Murfreesboro 2035 comprehensive plan recommends that the subject property develop with the EG (*Employment Generating*) land use character. A description of this land use character taken from the amended comprehensive plan is below.

EMPLOYMENT-GENERATING (EG)

The overall purpose of the Employment-Generating Mixed-Use land use (EG) is to allow and encourage flexibility and creativity in the design and development of comprehensively planned, higher-density, high-amenity mixed-use centers with a priority to create and foster employment generating uses. Areas should be monitored and protected in order to reserve prime sites for future employment growth and business recruitment and not convert the land to residential or commercial uses. The primary land use within the Employment-Generating Mixed-Use category is employment generating activity, primarily office, high-end tech based, sports tourism, etc. Retail, entertainment, open/public space and multi-family residential components are vital, yet supportive elements. The land use by design allows and encourages higher densities, amenities, and a more integrated development pattern. The development of the employment generating component must occur within the first phase of all development. For purposes of this category, Employment generating is defined as uses derived by employers who create office-oriented jobs including headquarters, regional operations centers, research and development, medical, digital arts, tech-based innovation, and other jobs would be reasonably considered professional, technical and innovative.

Higher-density residential uses are secondary uses in the EG land use character, to be developed after the development of Employment Generating land uses. However, townhomes are already a permitted land use in Area 7 of the Clari Park PUD and this amendment does not seek to modify the permitted land uses.

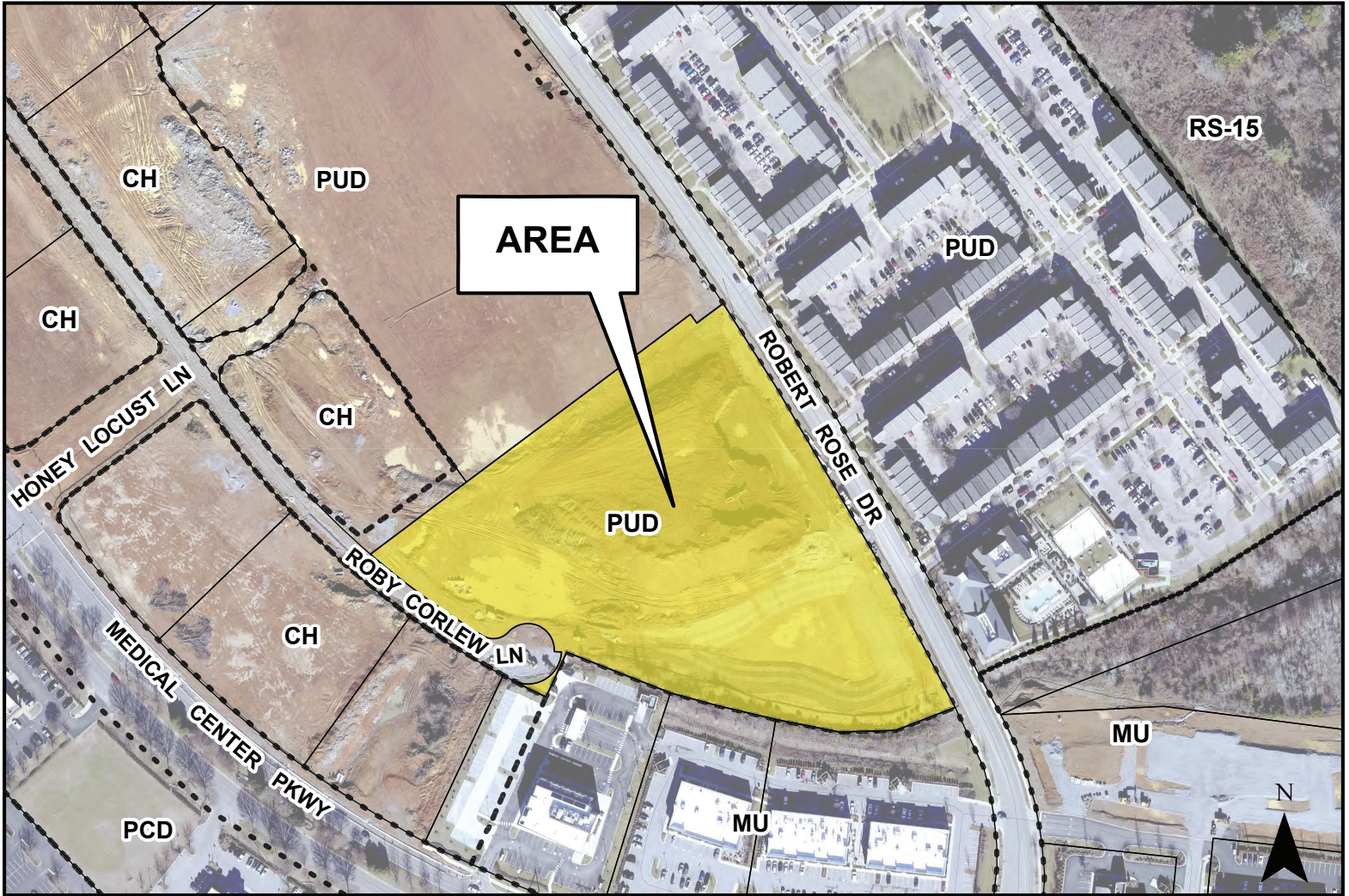
Staff recommendation:

Staff is supportive of this rezoning request for the following reasons:

- 1) The revised architecture complies with the required standards of providing a defined base and cap; variations in roof planes that create an appropriate level of interest; variations in wall planes; and a heavy reliance on masonry.
- 2) The revised architecture relates to the adjacent residential apartment development by providing similar features and assets.

Action Needed:

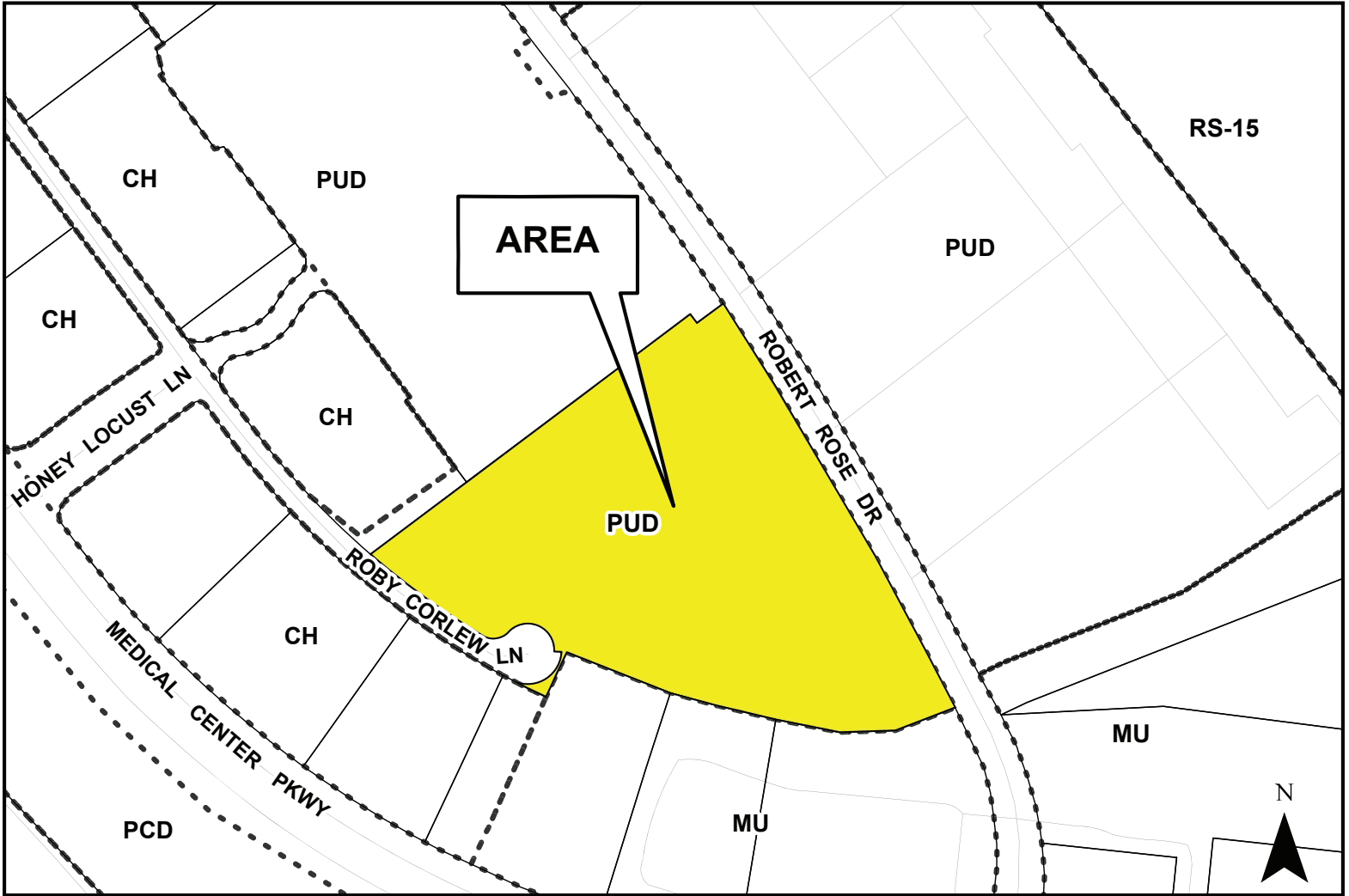
The Planning Commission will need to conduct a public hearing. Once the public hearing has concluded the Planning commission should discuss and then formulate a recommendation for the City Council.



Zoning request for property along Roby Corlew Lane & Robert Rose Drive
PUD Amendment (Clari Park PUD) (GDO-1 zoning to remain)

0 140 280 560 840
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Zoning request for property along Roby Corlew Lane & Robert Rose Drive
PUD Amendment (Clari Park PUD) (GDO-1 zoning to remain)

0 140 280 560 840
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

Creating a better quality of life

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Hines Clari Park Land Holdings, LLC

Address: [REDACTED]

Phone: [REDACTED]

PROPERTY OWNER: Hines Clari Park Land Holdings, LLC

Street Address or property description: [REDACTED]

and/or Tax map #: 92 Group: Parcel (s): 8.22

Existing zoning classification: PUD

Proposed zoning classification: PUD Acreage: 8.06

Contact name & phone number for publication and notifications to the public (if different from the applicant): [REDACTED]

E-mail: [REDACTED]

APPLICANT'S SIGNATURE (required): [REDACTED]

DATE: 8/22/2024

*****For Office Use Only*****

Date received: MPC YR.: MPC #:

Amount paid: Receipt #:



Clari Park Area 7 PUD Amendment

Rationale for PUD Amendment Request: Architectural Change Narrative

City of Murfreesboro – Brad Barbee, [REDACTED]

Brad,

The rationale behind the design change is that the more urban three-story elevations better complement the adjacent Clari Park apartments in terms of scale, form, and materials. Area 7's, also known as Lot 18, central location within the Clari Park masterplan is envisioned as a denser, more urban aesthetic, aligning with the surrounding apartments and commercial properties. The proposed amendment's architectural style integrates more seamlessly in this context compared to the traditional elevations initially proposed. Additionally, Lot 18's design harmonizes with the LC Murfreesboro development across Robert Rose Drive, which also features three-story flat-roof architecture.

Overall, the proposed amendment for Lot 18 creates consistency with the adjacent Clari Park apartments and complements the surrounding area, contributing to a cohesive aesthetic in this dynamic area.

Sincerely,

Brian Grover, P.L.A.

SEC, Inc



Site Engineering Consultants
850 Middle Tennessee Blvd
Murfreesboro, TN 37129
(615)890-7901
www.sec-civil.com

Clari Park Area 7

PUD Amendment Revisions Letter – August 23, 2024

City of Murfreesboro – Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

Cover Page:

- Updated initial submittal information

Table of Contents:

- Updated to reflect added pages

Page 11:

- Added limits of proposed Area 7 Amendment

Pages 14-16:

- Added note regarding Area 6 Amendment.

Page 39:

- Added note regarding Area 6 Amendment.

Page 40:

- Labeled graphic as previously approved

Page AMEND-01:

- Added page for proposed conceptual master plan

Page AMEND-02:

- Added page break

Page 43:

- Added note regarding Area 6 Amendment

Page 44:

- Added amendment note regarding wrap around porches
- Labeled graphic as previously approved

Page 45:

- Added note regarding Area 6 Amendment
- Added Area 7 Amendments
 - o Removal of Wrap-around porch requirements
 - o Removal of Front Patio size and fence requirements
 - o Revised maximum stories per building.

Pages 46-48:

- Labeled graphics as previously approved

Pages AMEND-03 thru AMEND-06:

- Added pages for proposed Area 7 architecture

Pages 52-53:

- Labeled graphics as previously approved

Page 54:

- Added note for townhome side setback to private streets

Please let me know if you require any further clarification on the proposed amendments.

Sincerely,

Brian Grover, P.L.A.

SEC, Inc



CLARI PARK
MURFREESBORO

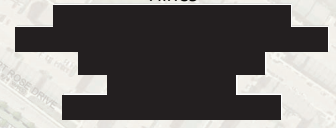
A Request to Amend an Existing Planned Unit District (PUD)

Initial Submittal: August 23rd, 2024

Resubmitted: September 26th, 2024 for the October 2nd, 2024 Planning Commission Public Hearing

APPLICANT

Hines



LANDSCAPE ARCHITECT / PLANNING

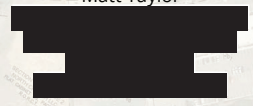
Ragan Smith
Planning / Landscape Architecture/ Engineering
Kevin Guenther



ENGINEERING

SEC

Matt Taylor



Clari Park

a	PROJECT INTRODUCTION <ul style="list-style-type: none">■ Introduction■ Historical Cultural Context	I-2	e	COMMERCIAL HIGHWAY (AREAS 1, 3, & 4) <ul style="list-style-type: none">■ General Description (Areas 1 & 4)■ Photographic Examples (Areas 1 & 4)■ General Description (Area 3)■ Photographic Examples (Areas 3 & 4)	31-34
b	SITE INVENTORY/ANALYSIS <ul style="list-style-type: none">■ Location Map■ Surrounding Land Use & Zoning■ Existing Site Conditions■ Existing Utilities Map■ Overlays & Flood Zones■ Future Long Range Plan	4-9	f	SINGLE FAMILY ATTACHED & SINGLE FAMILY DETACHED (AREAS 2, 6, & 7) <ul style="list-style-type: none">■ General Description■ Single Family Attached & Single Family Detached - Conceptual Layout■ Greenspace Enlargement (Area 2 - Residential Garden District) Single Family■ Detached Amenity and Berm Enlargement Greenspace Enlargement (Area 6 Village District) <i>An amendment to Area 6 is currently being reviewed by staff to revise the zoning of this area from PUD to CH</i>■ Single Family Attached Enlargement (Area 7)■ <i>Proposed Character Area 7 Conceptual Site and Landscape Plan</i> Single Family■ Attached Private Street Network / Utilities■ Parking Diagram Single Family Attached - Area 2■ Parking Diagram Single Family Attached - Area 6■ Parking Diagram Single Family Attached - Area 7■ Architectural Guidelines - Townhomes & Single Family Homes (Areas 2, 6, & 7)■ Architectural Examples - Townhomes & Single Family Attached (Areas 2, 6, & 7)■ <i>Proposed Character Area 7 Architectural Examples</i>■ Architectural Examples - Single Family Homes - Detached (Areas 2 & 6) Single■ Family Attached Typical 5 Lot Building - Parking Layout■ Single Family Attached Typical 4 Lot Building - Parking Layout■ Typical Lot Diagrams■ Office or Single Family Attached Residential - Area 7 Layout Options■ Architectural Photographic Examples - Office Area 7	35-56
c	THE MASTER PLAN <ul style="list-style-type: none">■ Master Plan - Option A■ Master Plan - Option B■ Proposed Land Use Map - Option A■ Proposed Land Use Map - Option B■ Land-Use Table■ Land Use Parameters, Requested Exceptions■ Community Management & Operations■ Vehicular Transportation Network■ Pedestrian Circulation Plan■ Roadway Sections■ Phasing - General Master Plan■ Public Improvements■ Public Improvements Phasing	10-24			
d	GREEN SPACE & LINEAR PARKS <ul style="list-style-type: none">■ Green Space Connections Master Plan■ Clari Lane Linear Park■ Connection of Open Space■ The Grand Lawn / Honey Locust Lane / Clari Lane■ The Commercial Lawn Concept	25-30	g	MULTI-FAMILY RESIDENTIAL / OFFICE (AREA 5) <ul style="list-style-type: none">■ General Description■ Architectural Examples - Multi Family (Area 5)■ Multi-Family Architectural Perspective (Area 5)■ Multi-Family Ground Floor Office (Area 5)■ Photographic Amenity Examples - Multi Family (Area 5)■ Grand Lawn Images	57-63

Project Introduction

Clari Park a

Introduction

Project General Description

Hines, Ragan Smith, and SEC envision creating a community that offers its residents a memorable sense of place through emphasis on parks and greenspace and a true sense of belonging through social programs that weave a fabric of community. Clari Park will be the realization of this vision.

Clari Park is a key property within the Gateway District. It is approximately 78 acres in size and will complete the majority of undeveloped land remaining along Medical Center Parkway. The master plan has been thoughtfully developed to blend into and respect the context of land uses and transportation networks that surround it.

Creation of an overall Master Plan for this parcel allows for the consideration of a mixture of uses that relate strongly to each other as well as the surrounding land uses. Program elements with higher occupancy densities and greater traffic generation are proposed at the core of the project and in relationship to Medical Center Parkway. Lower density uses proposed along the northern periphery of the site respect the adjacent residential uses on Wilkinson Pike.

Circulation within the Master plan is heavily focused on the pedestrian with the development of green spaces, linear parks, and amenities that facilitate connectivity and promote a walkable lifestyle. Clari Park aims to serve the residents and visitors of Murfreesboro with a quality of life experience that provides opportunities to live, shop, work, and enjoy all that Murfreesboro and The Avenue has to offer in one convenient and walkable location. Given these attributes, the project will appeal to a wide range of homeowners, business owners, and office and apartment tenants which will include young urban professionals, young couples just starting a family, and mature couples with children that have reached independence.



Hines Development Firm Overview

Hines is a privately owned, global real estate investment, development and management firm with a presence in 205 cities in 24 countries and \$133.3 billion of assets under management. The most valuable assets within Hines are the 4,500+ professionals that strive daily to deliver exceptional service to the communities within which we reside, the tenants whom we serve, and the partners who trust Hines with their capital. Hines' project teams strive to set the standards for quality of execution and management in their respective markets and product types. Over and above financial returns, they improve cities and pioneer new sustainable practices. Combining insights from local teams, central resources that act as the depository of decades of experience, and a commitment to long-term value creation, Hines has mastered the art of building places for people and endeavors to leave a positive legacy on the built environment in every city in which it operates.

"Hines began as a one-man operation in 1957 with the sole focus of delivering better quality services and products to tenants and investors. More than half a century later, with more than 4,500 professionals working on five continents, our philosophy has not wavered and our commitment to excellence in the built environment is stronger than ever." – Gerald D. Hines

For the past 30 years, the Hines Southeast Region team has specialized in the creation of innovative and successful mixed-use communities and buildings including several in Middle Tennessee.

- **222 2nd Avenue** – Nashville, TN - Class A Office and Retail – 98% leased and sold in 2020 for record price (\$730 psf – 2.5x higher than Pinnacle Building sale at \$294 psf in 2013)
- **Cool Springs** – Franklin TN – 1,000-acre community integrating apartments, retail, office and hospitality uses that is the benchmark for suburban core development in the region
- **Deerfield** – Alpharetta, GA – 500-acre mixed-use community integrating apartments, retail and office uses is a walkable campus. Successfully attracted corporate office users to a pioneering location.
- **Palencia** – St. Augustine, FL – 2,500-acre master planned community that blended innovative land planning, a unique architectural theme and exceptional community management to create the premier mixed-use community in Northeast Florida.

158 years ago, not far from Clari Park, a historic battle was set to begin...

“Just before ‘tattoo’ the military bands on each side began their evening music. The still winter night carried their strains to great distance. At every pause on our side, far away could be heard the military bands of the other. Finally one of them struck up ‘Home Sweet Home.’ As if by common consent, all other airs ceased, and the bands of both armies as far as the ear could reach, joined in the refrain. Who knows how many hearts were bold next day by reason of that air?”



- Sam Seay, First Tennessee Infantry

The quote above describes an event which took place on the eve of the Civil War Battle of Stones River in late December 1862. It is a reminder that, despite political, economic, or philosophical differences, all people find common ground in the warmth of their memories of home.

Through thoughtful design, execution quality, and community programs, Clari Park aims to embody that notion of people coming together, in harmony.

The song played by both opposing armies, “Home Sweet Home”, on that night originated in the 1828 opera “Clari”. It is with a nod to the memory of this moving moment in time that Clari Park has been named.

There is an opportunity in Clari Park to recognize the history of the site with historic markers placed strategically in open space and public intersections

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Clari Park

Location Map

The site for Clari Park is located in the heart of the Murfreesboro Gateway in close proximity to the Medical Center Parkway / I-24 interchange. It is surrounded by an interesting and rich mixture of existing land use with the Avenue Lifestyle mall to the south-west, high density lifestyle apartments to the east (Henley Station) and the historic Stones River Battlefield and residential neighborhoods to the north-east.



Surrounding Zoning & Land Use

Clari Park b

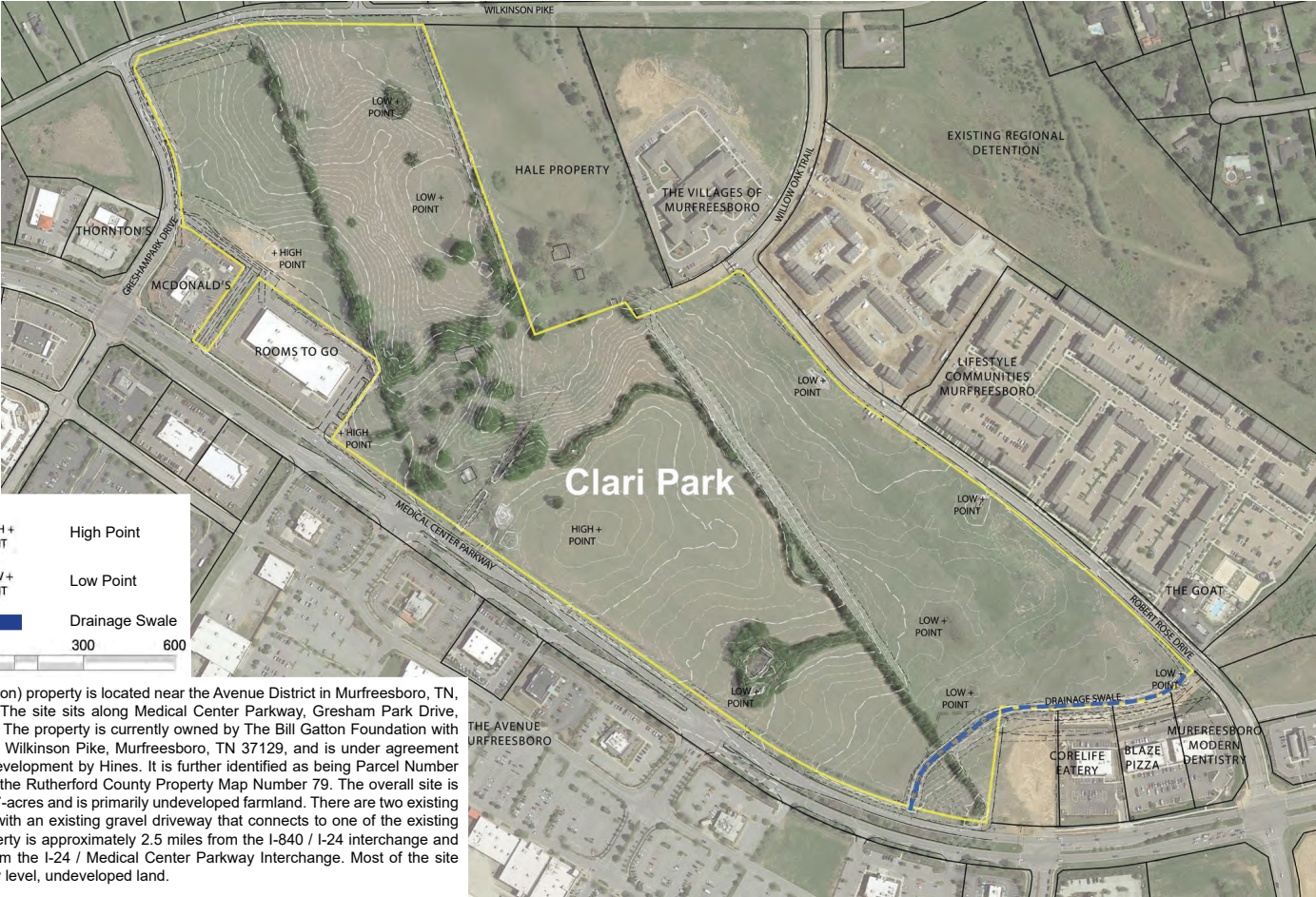
Existing zoning for the site is Mixed Use (MU) with surrounding zoning to the south, east, and west comprised of Mixed Use (MU), Commercial Highway (CH), and Planned Unit Development (PUD). RS-15 zoning is adjacent to the north side of the site.



b

Clari Park

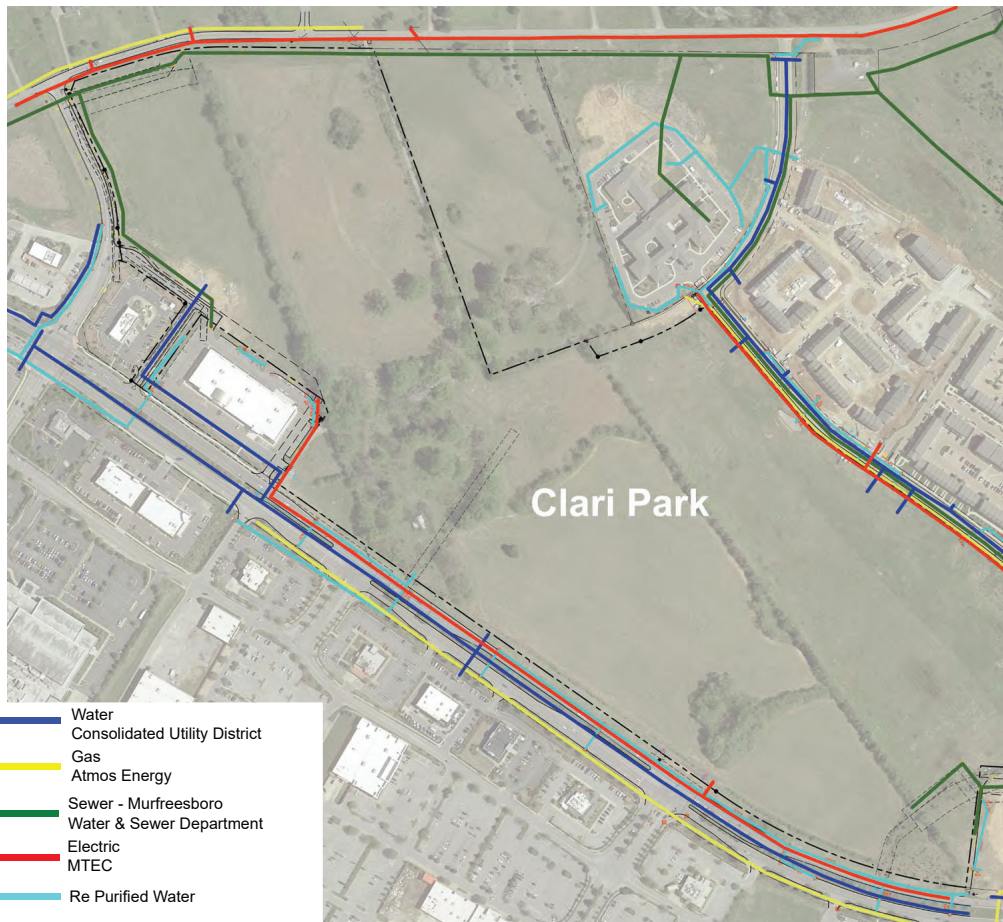
Existing Conditions



The Clari Park (Gatton) property is located near the Avenue District in Murfreesboro, TN, Rutherford County. The site sits along Medical Center Parkway, Gresham Park Drive, and Wilkinson Pike. The property is currently owned by The Bill Gatton Foundation with an address of 2685 Wilkinson Pike, Murfreesboro, TN 37129, and is under agreement for purchase and development by Hines. It is further identified as being Parcel Number 94.00 as shown on the Rutherford County Property Map Number 79. The overall site is approximately 77.77-acres and is primarily undeveloped farmland. There are two existing building structures with an existing gravel driveway that connects to one of the existing buildings. The property is approximately 2.5 miles from the I-840 / I-24 interchange and less than 1 mile from the I-24 / Medical Center Parkway Interchange. Most of the site consists of relatively level, undeveloped land.

Existing Utility

Clari Park b



Water (Consolidated Utility District of Rutherford County)

Consolidated Utility District of Rutherford County (CUDRC) maintains the water lines for this area of the City. CUDRC has an existing 6-inch water main along Wilkinson Pike, an existing 16-inch water main along both Willow Oak Trail and Robert Rose Drive, and an existing 20-inch water main along Medical Center Parkway.

Sanitary Sewer (City of Murfreesboro Water Resources Department)

The City of Murfreesboro Water Resources Department (MWRD) maintains the sanitary sewer in this area. The City's allocation ordinance does not limit density in the Gateway Design Overlay District. Currently, the MWRD anticipates the capacity to handle the proposed development.

Repurified Water (City of Murfreesboro Water Resources Department)

The City of Murfreesboro Water Resources Department (MWRD) maintains the Repurified water in this area. An existing 8-inch stub is located at the end of Willow Oak Trail, 4-inch to 6-inch stubs along Robert Rose Road, and 8-inch to 12-inch stubs along Medical Center Parkway.

Electric (Middle Tennessee Electric Membership Corporation)

Middle Tennessee Electric Membership Corporation (MTEMC) maintains the electric lines for this area of the city. MTEMC has existing underground electrical lines running along Medical Center Parkway, Gresham Park Drive, and Robert Rose Drive.

Natural Gas (ATMOS Energy)

ATMOS Energy maintains the natural gas lines in this area of the city. ATMOS has an existing gas line along the site's eastern property line within the Robert Rose Drive right-of-way.

Sanitary Sewer Ordinance (Clari Park)

All property in the 77.8 acre master plan is an integral part of the PUD, has a clearly determinable sewer demand from the Option A and Option B Master Plan and Land Use Map, and shall be exempt from the sanitary sewer allocation ordinance.



Clari Park

Overlays and Flood Zones

Flood zone information taken from FIRM maps

Panel 255 of 479 map number 47147C0255H

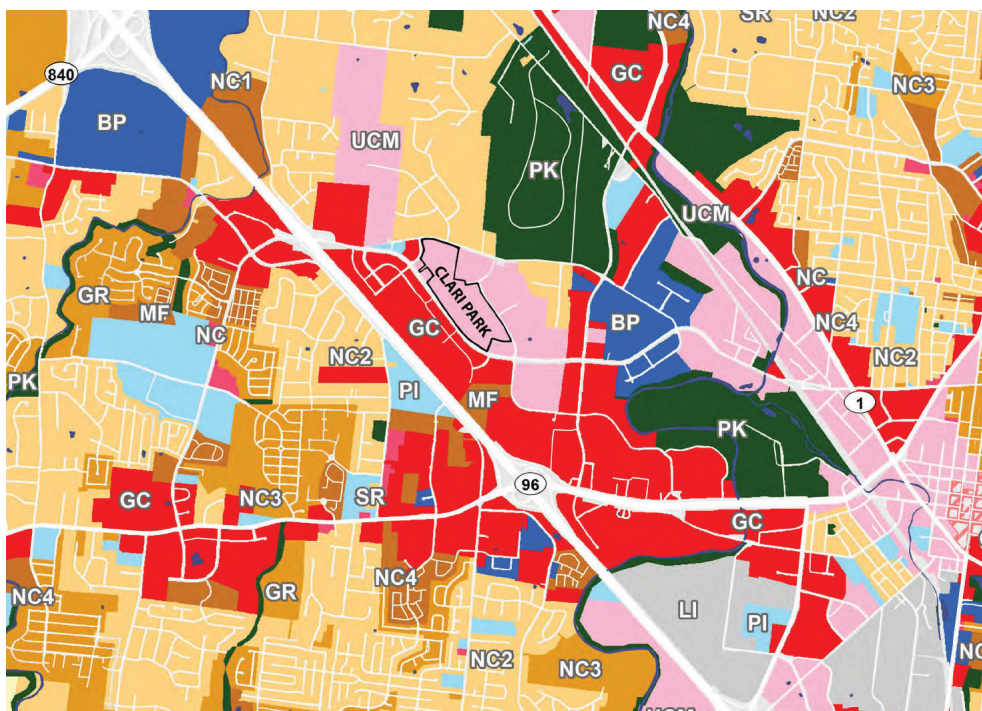
Panel 260 of 457 map number 47149C0260H

As provided by FEMA



Future Long Range Plan

Clari Park b



Legend

Future Land Use

 Business Park	 Light Industrial	 Suburban Estate
 Central Business District	 Multi-Family Residential	 Suburban Residential
 General Commercial	 Neighborhood Commercial	 Urban Commercial / Mixed-Use
 Auto Urban Residential	 Public / Institutional	 Undeveloped
 Heavy Industrial	 Parks	



The Future Land Use Map designates the area of Clari Park as a Mixed-Use Corridor with urban, commercial, and mixed use character.

Mixed Use Corridor defined:

Allows a broad range of commercial, office and high-density residential uses and public spaces serving surrounding neighborhoods, commercial / professional business parks and visitors from nearby communities.

Suggested intensity / height guidelines for mixed use corridor in the future long range plan include:

1.85 FAR (approximately 60 DU/AC or 50-130 residents/acre), of which up to 0.50 FAR can be office or commercial / up to four stories.

City zoning districts suggested to match the mixed use corridor include:

Central Business District (CBD)
Mixed Use District (MU)
Planned Unit Development (PUD)

The proposed master plan for Clari Park is in keeping with the Future Long Range Land Use Map and its associated objectives as a Mixed Use Corridor. It speaks to the high level of infrastructure and quality of design that has been invested into the Murfreesboro Gateway. This location is very well suited for a mixture of high density uses and a mixture of residential options to feed into the growth and commerce of the gateway.

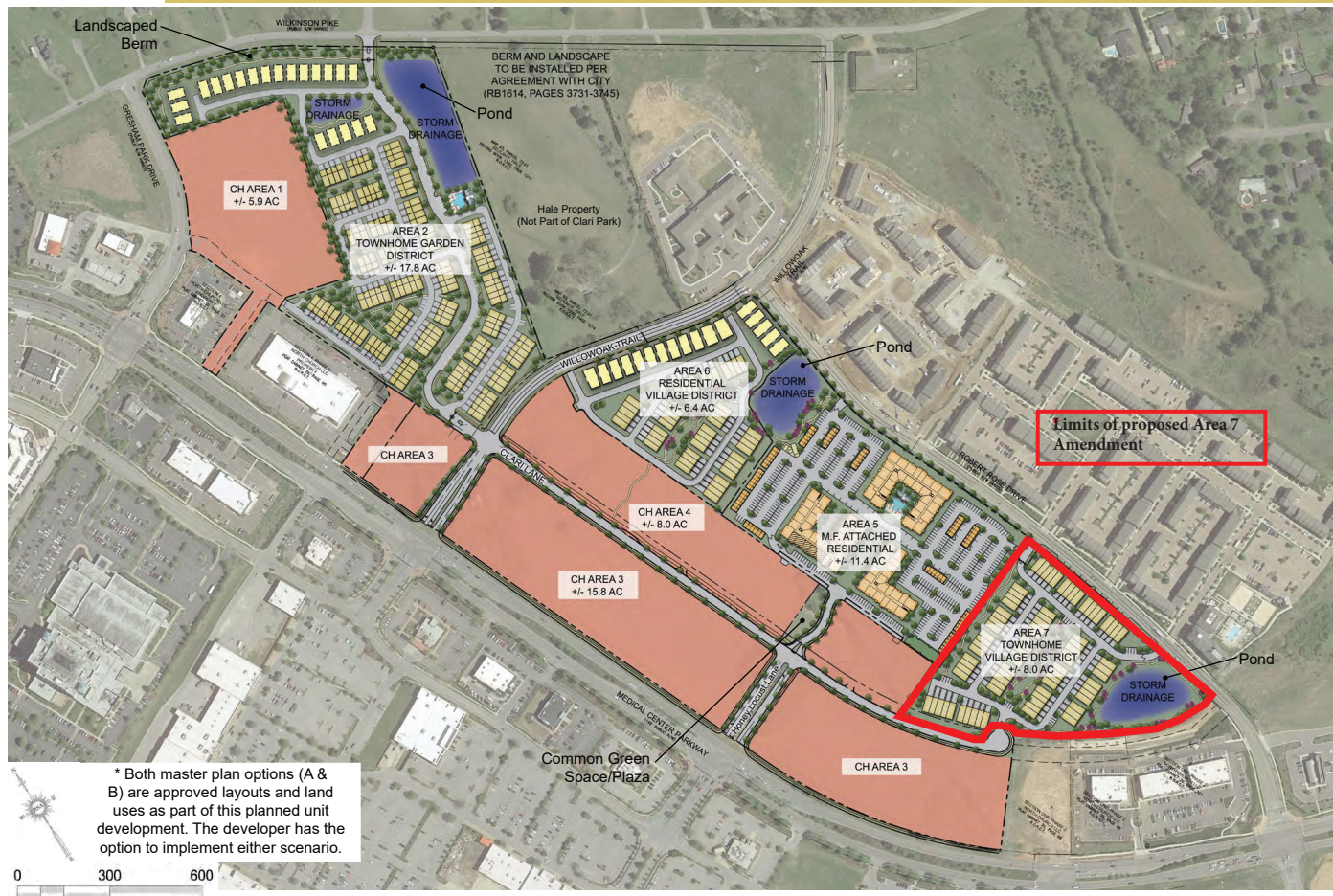
Clari Park

Master Plan Option A (Office Use in Area 7)



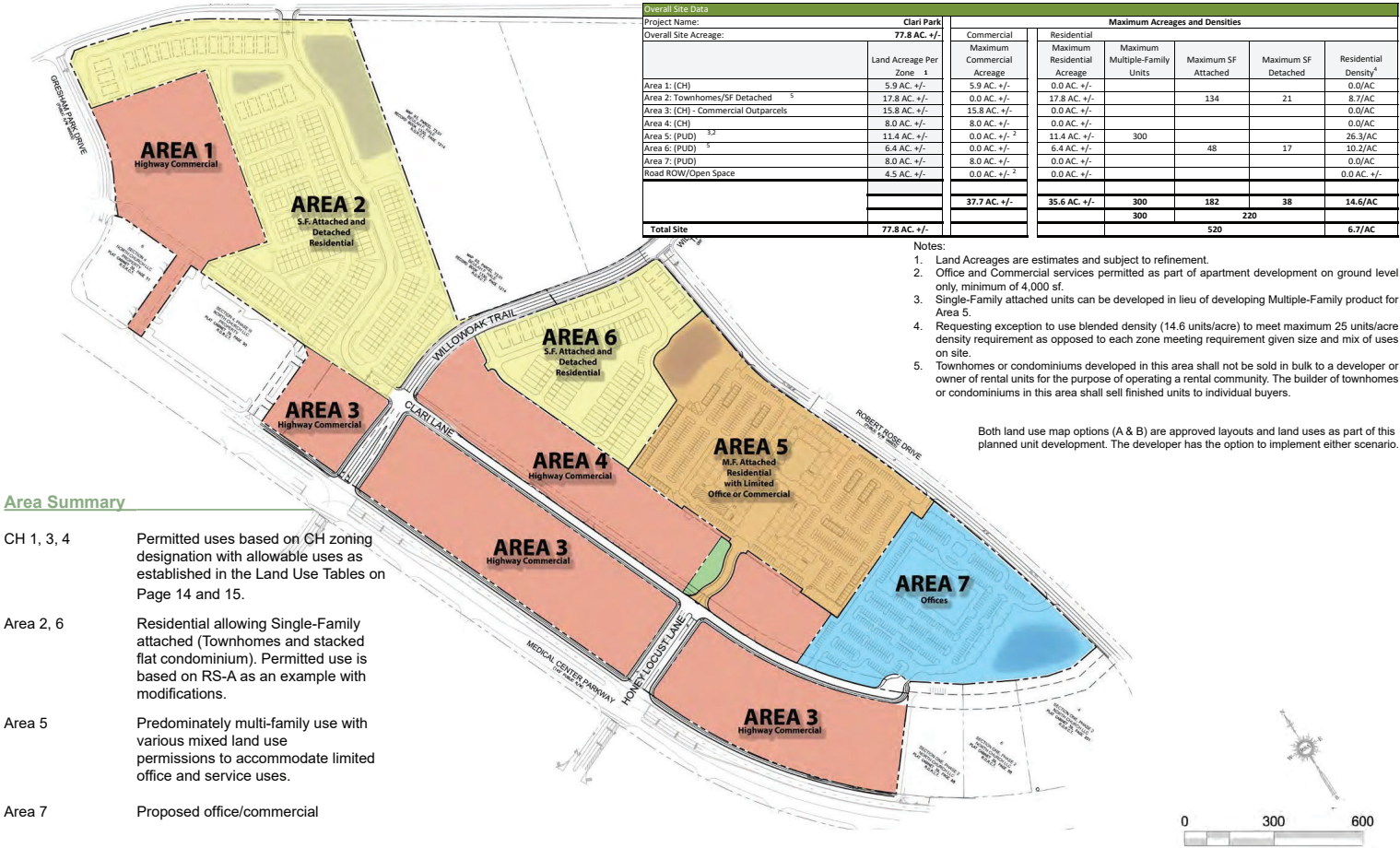
Master Plan Option B (Residential Use in Area 7)

Clari Park c



Clari Park

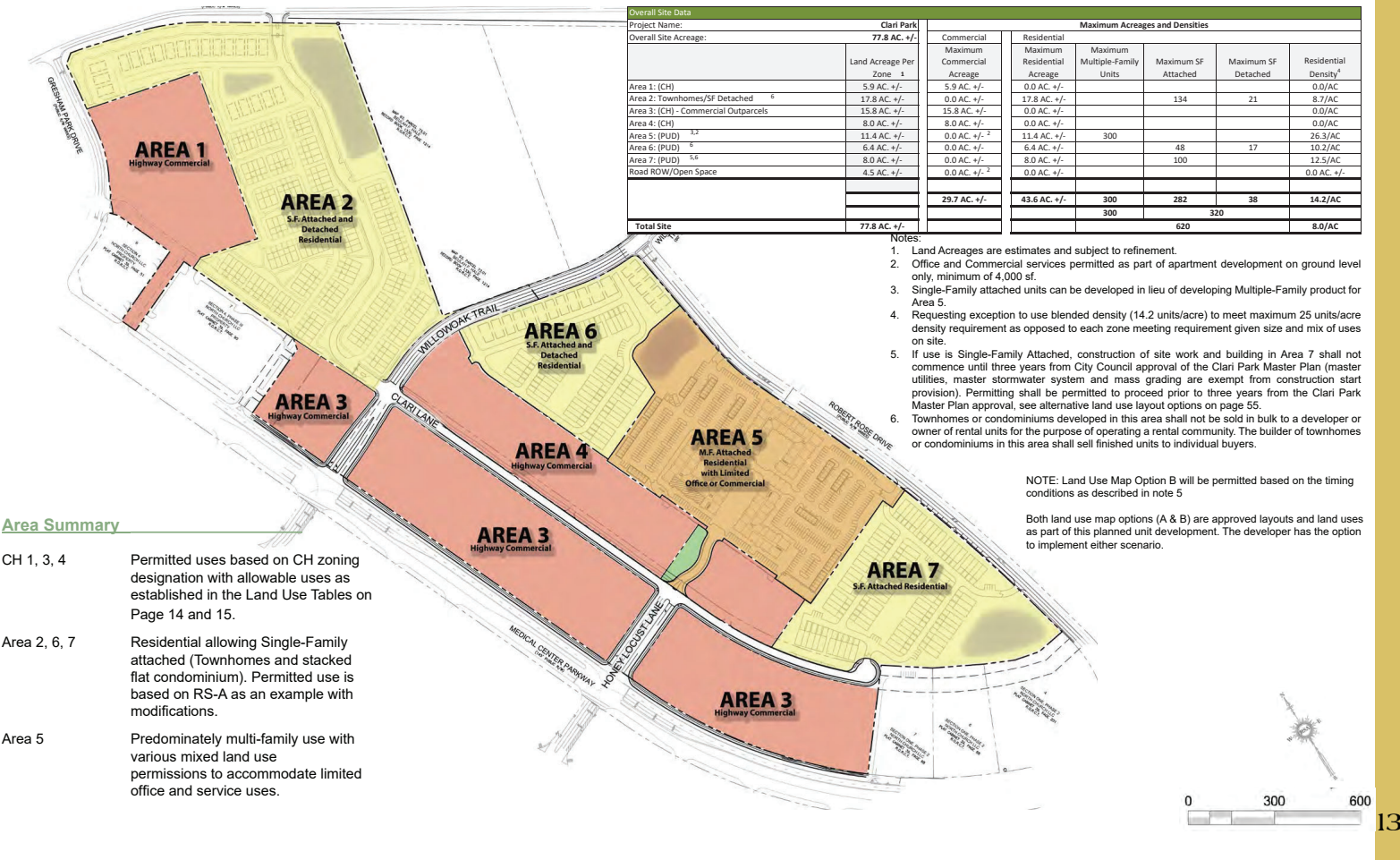
Proposed Land Use Map Option A (Office Use in Area 7)



Proposed Land Use Map Option B (Residential Use in Area 7)

Clari Park

c



Clari Park

Land Use Table

USES PERMITTED	LAND USE AREA ^{1,7}						
	Area 1 (CH)	Area 2 (PUD)	Area 3 (CH)	Area 4 (CH)	Area 5 (PUD)	Area 6 (PUD)	Area 7 ¹ (PUD)
DWELLINGS (RESIDENTIAL)							
Single-Family attached ²		X			X	X	X
Multiple-Family					X		
OTHER HOUSING							
Assisted-Care Living Facility	X			X	X		X
Class III Home for the Aged	X			X	X		X
Hotel	X			X	X		X
INSTITUTIONS							
Adult Day Care Center	X			X			X
Church	X			X			X
College, University	X			X			X
Day-Care Center	X		X	X			X
Family Day-Care Home	X		X	X			X
Group Day-Care Home	X		X	X			X
Hospital	X		X	X			X
Museum	X			X			X
Nursing Home	X			X			X
Nursery School	X			X			X
Park	X	X		X	X	X	X
Philanthropic Institution	X			X			X
COMMERCIAL							
Amusements, Commercial Indoor	X			X			X
Amusements, Commercial Outdoor excluding Motorized	X			X			X
Animal Grooming Facility	X		X	X			X
Art or Photo Studio or Gallery	X		X	X	X		X
Bakery, Retail	X		X	X			X
Bank, Branch Office	X		X	X			X
Bank, Drive-Up Electronic Teller	X		X	X			X
Bank, Main Office	X		X	X			X
Barber or Beauty Shop	X		X	X			X
Book or Card Shop	X		X	X	X		X
Business and Communication Service	X		X	X			X
Catering Establishment	X		X	X			X
Clothing Store	X		X	X	X		X
Coffee, Food, or Beverage Kiosk ³	X			X	X		X
Commercial Center	X		X	X			X
Convenience Sales and Service, maximum 5,000 sq. ft. floor area ⁸	X		X	X			X
Delicatessen	X		X	X			X
Department or Discount Store	X			X			X
Dry Cleaning	X		X	X			X
Dry Cleaning Pick-Up Station	X		X	X	X		X
Financial Service ⁴	X		X	X	X		X
Flower or Plant Store	X		X	X			X
Garden Lawn Supplies and Hardware (Only in Area 3 adjacent to Area 4 ⁵)			X	X			X

- Notes
- Area 7 is generally based off Mixed-Use Zoning designation from 2020 Zoning Ordinance with minor modifications.
 - Single-Family attached generally refers to townhome and stacked flat condominium uses.
 - Restaurants that primarily promote food consumption within motor vehicles on the premises will not be permitted.
 - Financial services permitted include banks, financial advisors, investment management services, tax-preparation services and other similar type financial services. "Pay-day loan" services and cash advance facilities will not be permitted.
 - Garden and lawn supply operations shall display merchandise indoors. No outdoor storage shall be permitted.
 - Kiosk use will be restricted to "walk-up" style kiosk operations in open space or park settings. Vehicular drive-up use is prohibited.
 - Allowable land uses in CH Areas, 1, 3, and 4 are limited to those noted in this Land Use Table. These restrictions will also be recorded in public records via covenants & restrictions.
 - Gas stations and Convenience Sales will only be permitted in Area 3 for lots with frontage on Clari Lane and adjacent to Area 4 on the Master Plan.

*NOTE: An amendment to Area 6 is currently being reviewed by staff to revise the zoning of this area from PUD to CH.

Land Use Table

Clari Park c

USES PERMITTED	LAND USE AREA ^{1,7}						
	Area 1 (CH)	Area 2 (PUD)	Area 3 (CH)	Area 4 (CH)	Area 5 (PUD)	Area 6 (PUD)	Area 7 ¹ (PUD)
Gas Station ⁸			X				
Health Club	X		X	X			X
Interior Decorator	X		X	X	X		X
Karate, Instruction	X		X	X			X
Keys, Locksmith	X		X	X			X
Laboratories, Medical - Exclude Plasma Donation Center	X		X	X			X
Laboratories, Testing	X		X	X			X
Liquor Store (No Drive-Thru)	X		X	X			X
Movie Theater	X			X			X
Music or Dancing Academy	X		X	X			X
Offices	X		X	X	X		X
Optical Dispensaries	X		X	X			X
Personal Service Establishment (Hair, Nails)	X		X	X	X		X
Pet Shops	X		X	X			X
Pharmacies	X		X	X			X
Reducing and Weight Control Service	X		X	X			X
Restaurant and Carry-Out Restaurant	X		X	X			X
Restaurant, Drive-In ³	X		X	X			X
Restaurant, Specialty	X		X	X			X
Restaurant, Specialty -Limited	X		X	X			X
Retail Shop, other than enumerated elsewhere	X		X	X			X
Shopping Center, Community	X		X	X			X
Shopping Center, Neighborhood	X		X	X			X
Veterinary Office	X		X	X			X
Veterinary Clinic	X		X	X			X
OTHER							
Home Occupations	X	X		X		X	X

Notes

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***NOTE: An amendment to Area 6 is currently being reviewed by staff to revise the zoning of this area from PUD to CH.**

Clari Park

Land Use Parameters

Land-Use Parameters	Area 1 (CH)	Area 2 (PUD)	Area 3 (CH)	Area 4 (CH)	Area 5 (PUD)	Area 6 (PUD)	Area 7 (PUD)
RESIDENTIAL DENSITY							
Maximum Dwelling Units Multiple-Family	0		0	0	300	0	0
Maximum Dwelling Units Single-Family attached	0	134	0	0	0	48	100
Maximum Dwelling Units Single-Family detached	0	21	0	0	0	12	0
Minimum Lot Area							
	none	N/A - Units will have Horizontal Property Regime (HPR)	none	none	5 acres for multiple-family N/A for all other uses	N/A - Units will have Horizontal Property Regime (HPR) See page 54 (typ.)	N/A
Minimum Lot Width							
	N/A for all other uses	N/A - Units will have Horizontal Property Regime (HPR)	50' min. lot width on Medical Center Pkwy.	N/A	N/A	N/A - Units will have Horizontal Property Regime (HPR) See page 54 (typ.)	N/A
MINIMUM YARD REQUIREMENTS							
Minimum Front Yard							
Porches, stoops, and bay windows may extend into setbacks. Min. front yard shall be measured from all public roads on corner lots	42'	15'	42'	42'	15'	15'	15'
Minimum Side Yard							
Porches, stoops, and bay windows may extend into setbacks	10'	5'	10'	10'	10'	5'	5' for townhomes 10' for all other uses
Minimum Rear Yard							
	20'	20'	20'	20'	20'	20'	20'
LAND-USE INTENSITY RATIOS							
Max FAR	None	None	None	None	None	None	None
Minimum Livable Space Ratio	None	None	None	None	None	None	None
Minimum Open Space Requirement	20%	20%	20%	20%	20%	20%	20%
Minimum Formal Open Space Requirement							
			3-5% based on site acreage and use as determined in 2020 Zoning Ordinance				
Min Lot Coverage	None	None	None	None	None	None	None
Max Height							
	45'	35'	75' 150' for Office, Hotel, and Hospital	75' 150' for Office, Hotel, and Hospital	45' for S.F. 75' for multiple-family uses 150' for commercial/office uses	35'	45' for residential 150' for commercial/office uses
Parking Ratio							
		Single-Family Attached and Multiple-Family Uses 1.1 space per bedroom Single-Family Detached Uses 4 spaces per unit (includes garage spaces) All Other Uses: Per "Chart 4" of 2020 Zoning Ordinance.			Parking spaces within garages for Single Family Attached Residential and Multi-Family Residential will be considered as meeting parking count requirements. They will not be used for the parking or storage of boats, recreational vehicles, trailers, or equipment.		

*NOTE: An amendment to Area 6 is currently being reviewed by staff to revise the zoning of this area from PUD to CH.

Requested Exceptions

Exception

1. Requesting "Single Family Attached" Residential and "Single Family Detached" Residential Use be permitted (Not currently permitted in underlying MU zoning)
2. Requesting exception to 25 units/acre density requirement for a maximum density of 27 units/acre for Area 5. Current Site Plan estimates 26.3 units/ acre. the average residential density for the overall master plan is significantly below 25 units/acre
3. Request adjustment to parking ratio requirement for 1-bedroom residential multifamily units of 1.5 spaces per bedroom to 1.1 per bedroom and removal of parking requirement for up to 10,000 sf of office space on first floor of the Multifamily project.
4. An exception to allow outdoor sales and the sale of food and beverage in park space and public open space for temporary special events
5. Porches, stoops, and bay windows may extend into setbacks

Landscape Yard Minimums and Building Setbacks			
Roadway	Minimum Landscape Yard	Building Setback	Notes
Medical Center Parkway	25'	50'	Arterial Road
Robert Rose Drive	15'	15'	Local Road
Wilkinson Pike	30'	30'	Berm shall be constructed within 30' buffer per Agreement with City (RB1614, pgs 3731-3745) prior to or as part of initial phase of construction No building exceeding 3 stories in height shall be erected within 100 feet of the South right of way. No apartment development shall be placed on Property (within 100' of Wilkinson Pike) unless approved by the Planning Commission and the City Council as a Planned Development.
Willow Oak	15'	15'	Local Road
Clari Lane (to be named) (Road behind outparcels)	15'	15'	Local Road

Community Management & Operations

Clari Park c

As the Master Developer of Clari Park, the Hines development management team will implement development management and operations controls to ensure that the community is developed and managed in accordance with the approved PUD and Commercial Highway Zoning Master Plan and to implement the vision of the Master Developer and design team. Elements of the management and operations are:

Development Management - The Master Developer will manage the design, permitting, construction and close-out of the horizontal infrastructure within Clari Park including mass grading, utilities, stormwater management and roadways. Development management by the Master Developer will be performed directly for the Hines development venture and on behalf of the town home builder.

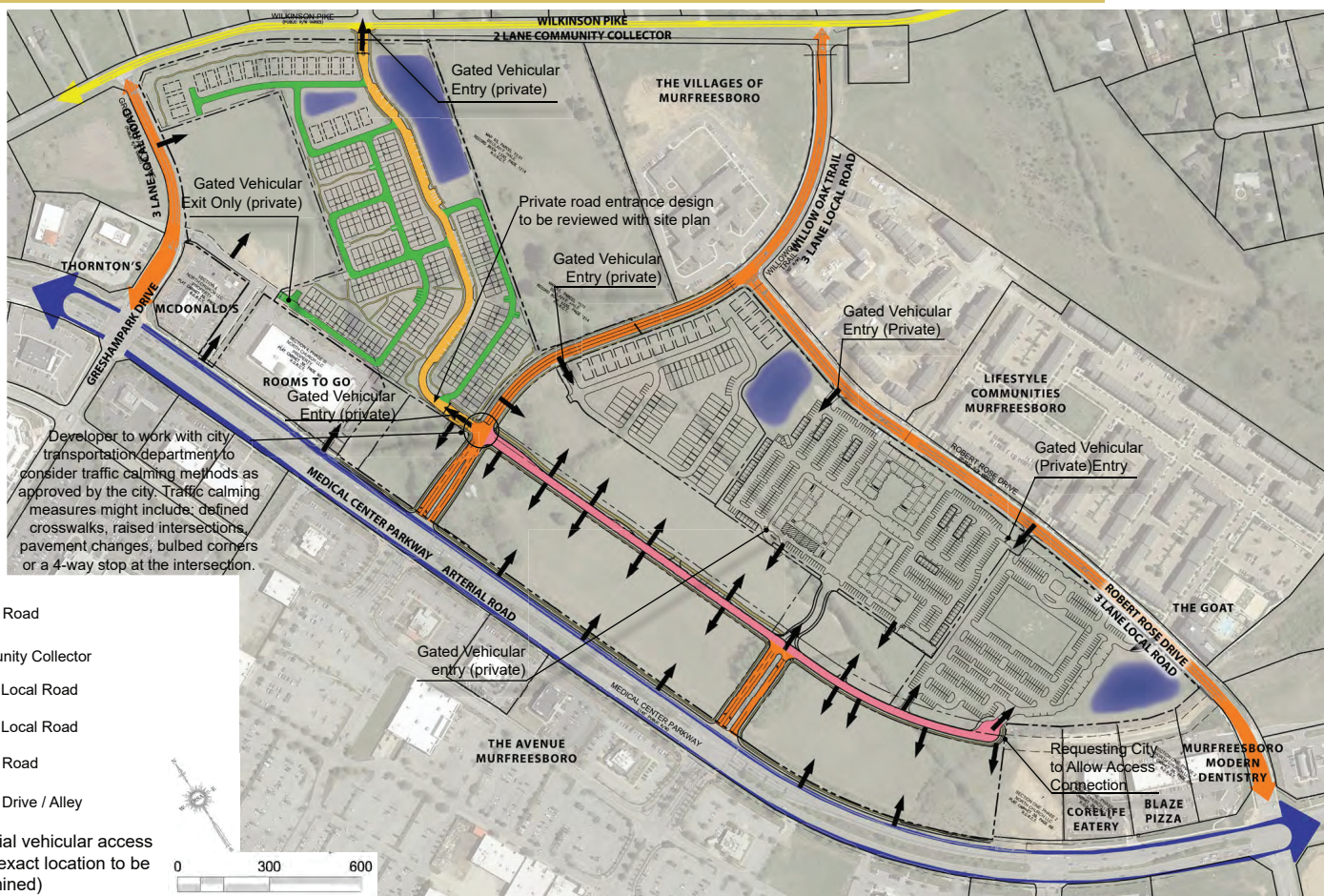
Commercial Land Sales - Hines will directly negotiate and transact all commercial land sales and incorporate provisions that require compliance with the zoning regulations within such sale contracts. Purchase agreements will obligate commercial properties to be subject to architectural review and compliance with the Clari Park Covenants and Restrictions

Site Plan Reviews - The Master Developer will work through an iterative site plan design process with the commercial parcel and town home parcel owners to ensure that all site plans are consistent with the overall site planning and landscape themes of Clari Park including strong pedestrian connectivity.

Architectural and Landscape Design Review - The Master Developer will create and coordinate the activities of an architectural review committee that will review the building plans for all commercial parcel owners within Clari Park. Commercial owners will be encouraged to submit preliminary design concepts for an initial review prior to formalizing purchase contracts with the formal review taking place thereafter. The Committee will include a registered architect and landscape architect in addition to Hines team members.

Property Management / Covenants and Restrictions - Property management associations will be created for the commercial and residential properties within Clari Park with covenants and restrictions that are enforceable by these associations. Standards for the maintenance of common area and private properties will be established in the covenants and enforced by the associations with Master Developer providing oversight and coordination throughout the development period. The covenants and restrictions shall expressly provide the right for the property management company to tow vehicles that are not parked in legal common area or private spaces and shall further obligate to the property management company exercise this right when notified by residents or by the city.

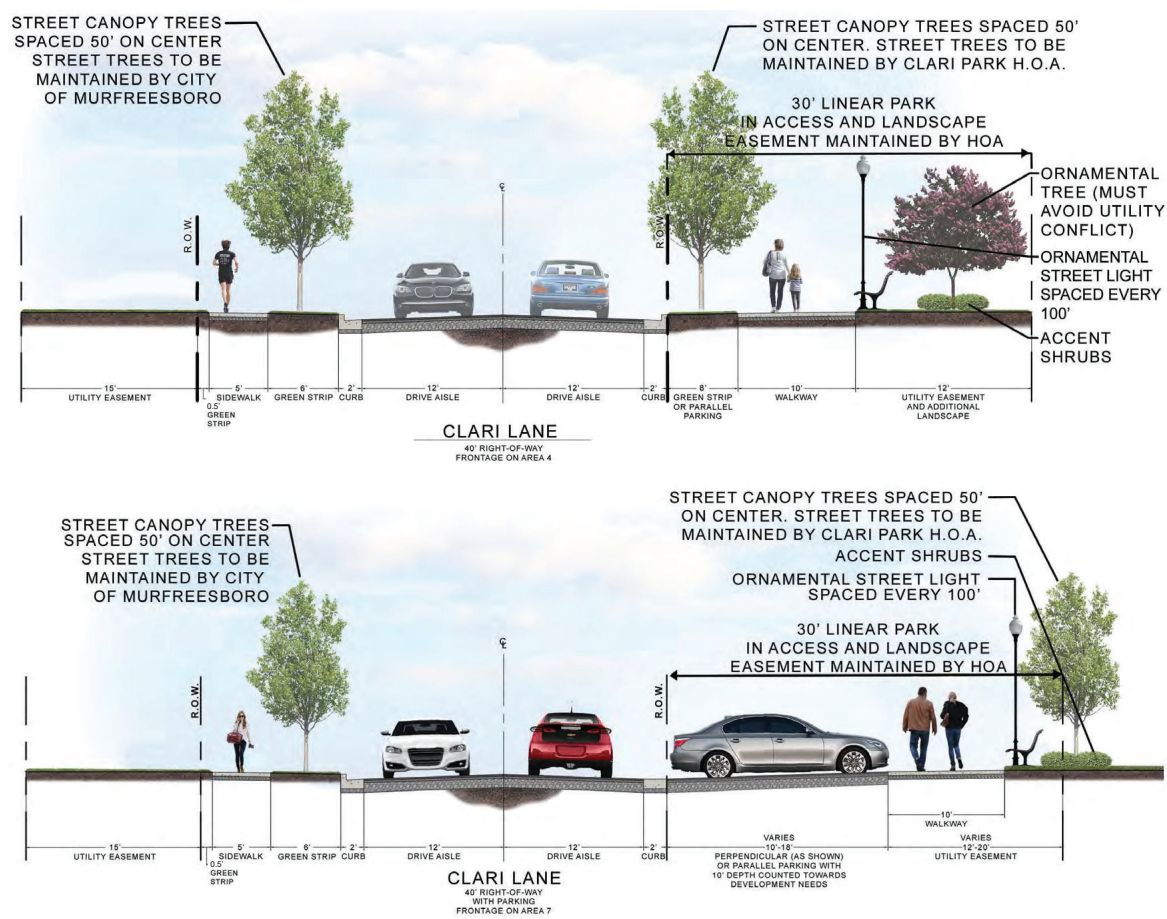
Clari Park Vehicular Transportation Network

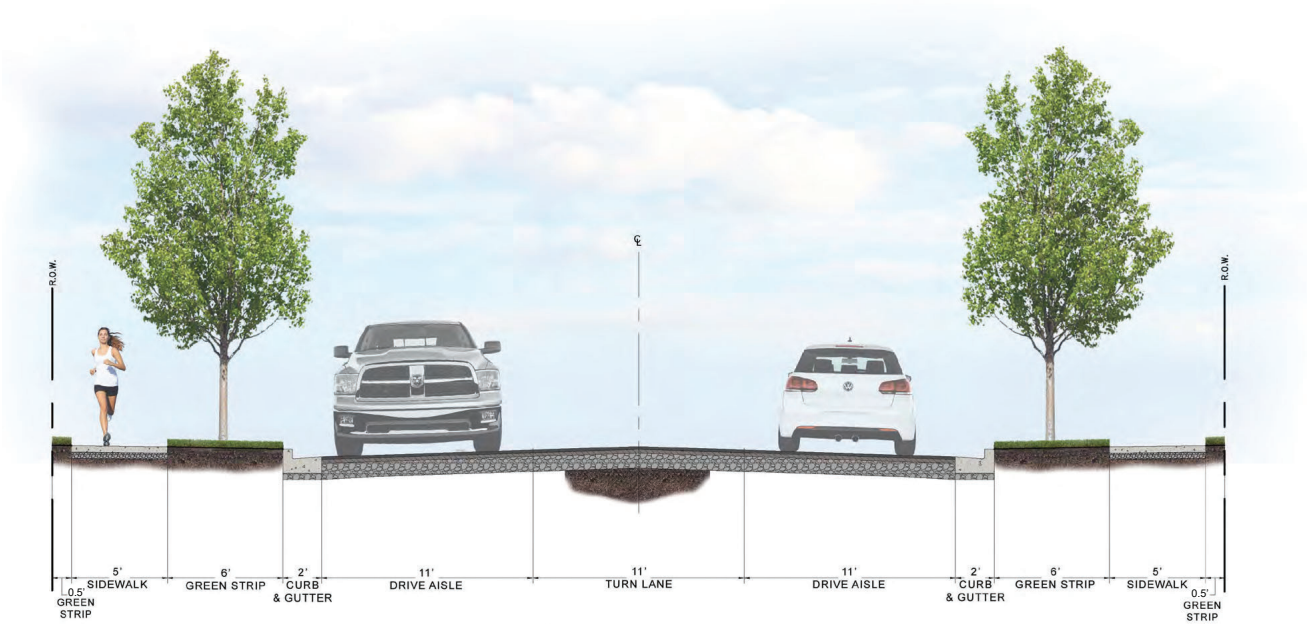


Pedestrian Circulation Plan

Clari Park **c**







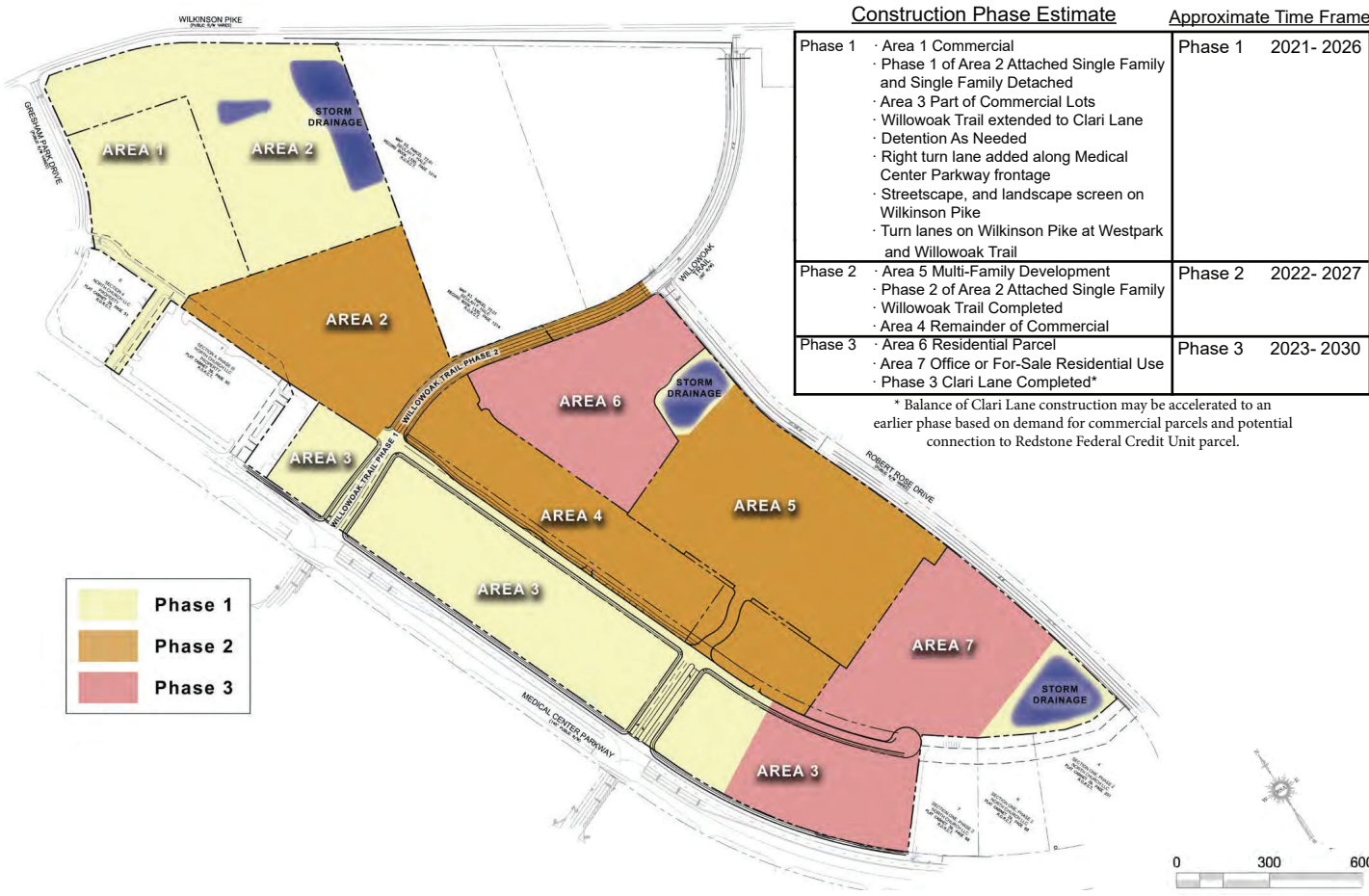
WILLOW OAK TRAIL

60' RIGHT-OF-WAY

Right of way will vary at intersections
with Medical Center Parkway based on
turn lane requirements

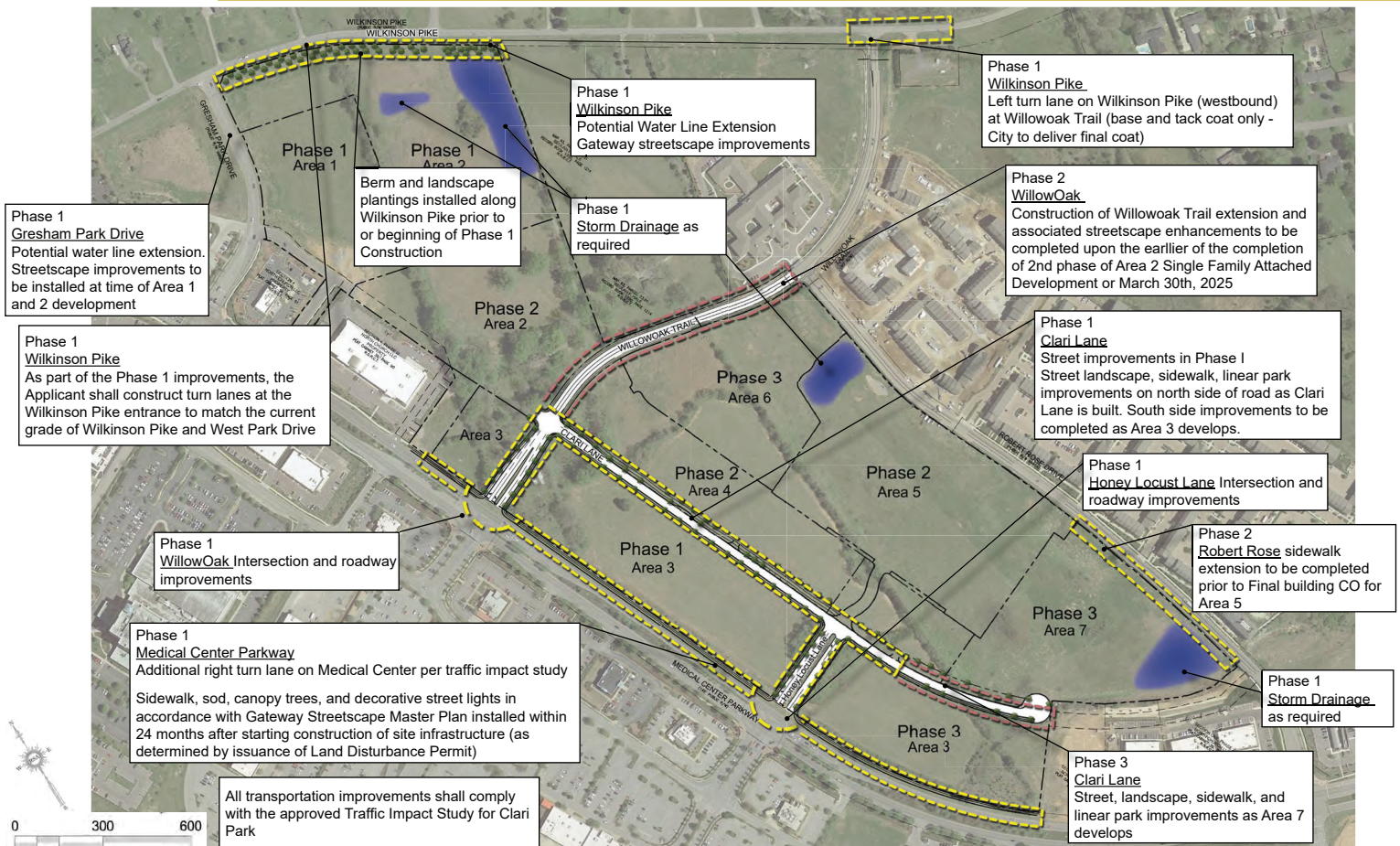
Clari Park

Phasing General Master Plan



Public Improvements

Clari Park c

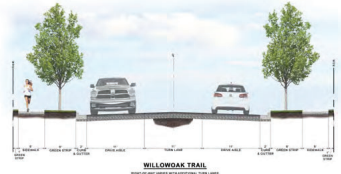


Clari Park

Public Improvement Phasing

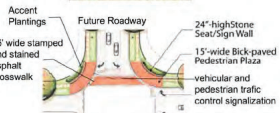
WillowOak Trail

- Phase 1
- WillowOak Trail at MCP intersection improved with egress lanes / turn lanes as shown on public improvements plan.
 - WillowOak Trail street improvements from Medical Center Parkway to Clari Lane intersection. Landscape and sidewalk improvements from Medical Center Parkway to Clari Lane intersection.
 - WillowOak Trail and Medical Center Parkway intersection improvements in accordance with gateway streetscape master plan. (Seat wall, pedestrian plaza, and crosswalk)
- Phase 2 or 3
- WillowOak Trail street improvements and public streetscape enhancement from Clari Lane to Robert Rose Drive. Construction of Willowoak Trail extension and associated streetscape enhancements to be completed upon the completion of 2nd phase of Area 2 Single Family Development or March 30th, 2025, whichever is earlier.



WillowOak Trail street improvements
Gateway Seat wall(s) at intersection
See page 22

TYPICAL SIGNALIZED INTERSECTION



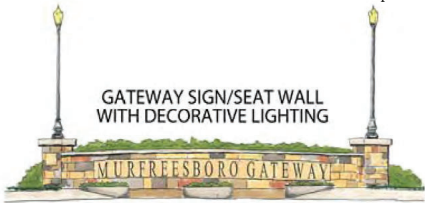
Gateway intersection at Willow Oak and Medical Center Parkway and Honey Locust Lane and Medical Center Parkway
See page 13 of the Murfreesboro Gateway Streetscape Masterplan

Wilkinson Pike

- Phase 1
- As part of the Phase 1 improvements, the Applicant shall construct turn lanes at the Wilkinson Pike entrance to match the current grade of Wilkinson Pike and West Park Drive and a left turn lane from Wilkinson Pike onto Willowoak Trail

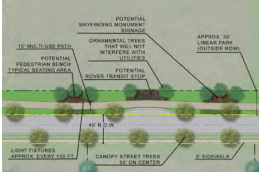
Honey Locust Lane

- Phase 1
- Honey Locust Lane at MCP intersection improvements with egress lanes / turn lanes as shown on public improvement plan.
 - Honey Locust Lane street improvements from Medical Center Parkway to Clari Lane intersection. Landscape ornamental lighting and sidewalk improvements from Medical Center Parkway to Clari Lane intersection.
 - Honey Locust Lane and Medical Center Parkway intersection improvements in accordance with gateway streetscape master plan. (Seat wall, pedestrian plaza, and crosswalk)



Clari Lane

- Phase 1 and 2
- Clari Lane street improvements from Willow Oak Trail to end of phase 2. (Frontage on Area 4)
 - Streetscape and Linear Park improvements fronting Area 4 to be completed with initial construction of Clari Lane. South side improvements to be completed as Area 3 develops.
 - Applicant will commit to connect southern end of Clari Lane with adjacent bank parcel should a legally and commercially feasible solution be presented to do so. Applicant will work with City and adjacent landowner to explore viability of such a solution.
- Phase 3
- Clari Lane street improvements, streetscape and linear park improvements fronting Area 7 and phase 3 commercial lots.



Clari Lane Linear Park Improvements
See page 27

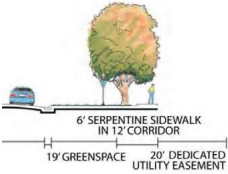


Clari Lane Street Improvements
See page 21

Medical Center Parkway / Robert Rose Drive

- Phase 1
- Additional right turn lane along all lots fronting Medical Center Parkway
- Phase 1, 2, 3
- Sidewalk, sod, canopy trees, and decorative street lights in accordance with the Gateway Streetscape Master Plan installed within 24 months after starting construction of site infrastructure (as determined by issuance of Land Disturbance Permit)
- Phase 2
- Robert Rose sidewalk extension to be completed prior to Final building CO for Area 5

Gateway landscaping, ornamental lights, and sidewalk improvements.
See page 13 of the Murfreesboro Gateway Streetscape Master Plan



Green Space Connections Master Plan

Clari Park d

Public pedestrian and bicycle access will be provided at entrances. Sidewalks will be available for public use

Connection of open space with linear parks in Garden Townhome District Phase 1



Linear Park along east side of Clari Lane (see page 26) Phase 1



Grand Lawn and Linear Park at Area 5 (see page 28)



Phase 2 Commercial Lawn (see page 29)

Green space in front of townhome units (See Page 37) Phase 1



Note: All areas within Clari Park will meet the minimum formal and informal open space requirements associated with each site at the time of development.

Public pedestrian and bicycle access will be provided at entrances. Sidewalks will be available for public use

Historic Markers and locations for potential public art along Clari Lane Corridor - Specific design to be determined.

Pedestrian connections to Robert Rose Drive and Commercial areas

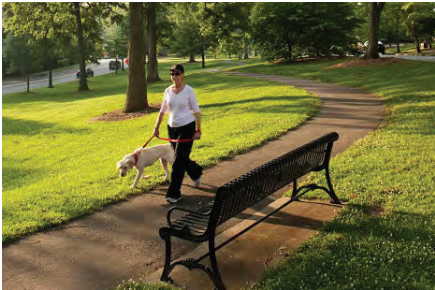
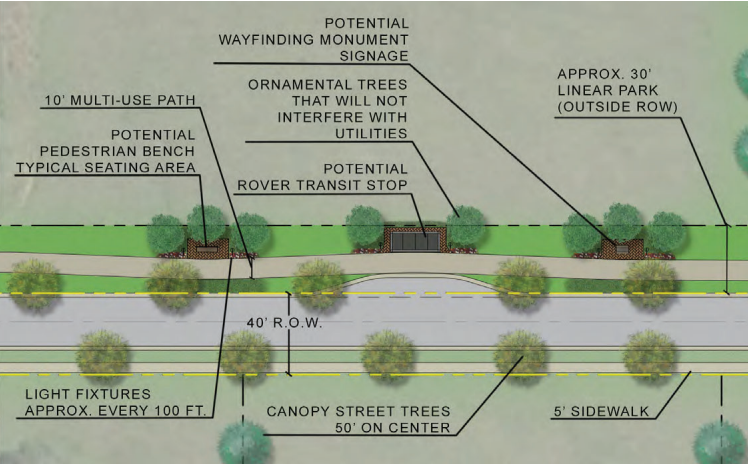


d Clari Park

Clari Lane Linear Park

Clari Lane Linear Park

Clari Lane will function as the main street of Clari Park by connecting the different land use areas. Through the provision of green space running parallel to the street. Included in this green space will be a 10' wide multi-use path on the east side of the street, possible on street parking and transit stops, ornamental, pedestrian scaled streetlights, pocket parks with benches and site furniture. The landscape will include street canopy trees and ornamental trees. The concept design depicted for the linear park on Clari Lane is to confirm the streetscape elements and amenities that are part of the master plan. Specific layout and detailed design will occur when site plan and street improvement plans are developed.



Connection of Open Space

Clari Park d

Connection of Open Space

Open spaces and pedestrian networks will extend from the linear park along Clari Lane to other areas within the project and adjacent properties. This will facilitate pedestrian circulation within the site, to the commercial district along Medical Center Parkway, and the Avenue beyond. The pedestrian walkway through Area 6 will provide a pedestrian and green space connection through the higher density portion of Clari Park. It also functions as part of the pedestrian network between Clari Lane and Robert Rose Drive, which will provide a connection to the Avenue through the project for Henley Station residents.

The connections in Area 2 (the Townhome Garden District) will include the incorporation of existing mature trees, proposed for preservation between Area 1 and Area 2. It will also connect pedestrian pathways to the front greenspace between residential buildings. This will link the front door of residential homes to a comfortable pathway that leads to surrounding amenities and places of commerce.





Commercial Lawn Concept

Clari Park d





Commercial Highway (CH) - General Description (Areas 1 & 4)

Clari Park e

Area 1 (Commercial Highway)

This area is reserved for commercial or institutional uses as allowed in the CH zoning category. It has primary frontage on Gresham Park Drive as well as egress from Medical Center Pkwy. A larger commercial user can be accommodated on this parcel given the site's size and its visibility from the Gresham Park Drive and Medical Center Pkwy intersection and benefits from a large area for dedicated parking spaces. Residential uses are not permitted in area 1.

Area 4 (Commercial Highway)

This commercial development area provides flexibility in space and response to market conditions. The design form for this area could allow for integrated, shared parking, vertical development, and a mixture of commercial and office use. Area 4 has a strong relationship to the central spine of the project along Clari Lane and is well connected to the residential components of Clari Park. Residential uses are not permitted in area 4. This area could be well suited for the development of a hotel, restaurants, community grocery, corporate office or entertainment type of development.

Commercial Uses Materials Palette (Per Murfreesboro Design Guidelines)

- Primary material
 - Brick (full thickness or thin-set)
 - Cast stone
 - Natural or synthetic stone
- Secondary materials
 - Exterior Insulation Finish System (EIFS)
 - Split-face or ground-face, or polished-face concrete masonry (integrally colored)
 - Architectural metal panels with durable finish and defined profile
 - Composite panels
 - Cementitious siding or panels
 - Wood siding may be used on small scale buildings
 - Fabric Awnings
- Tertiary materials:
 - Metal copings, flashings, and trim
 - Wood or cementitious trim
- Prohibited materials
 - Smooth-face concrete masonry
 - Corrugated metal "R" panels



These photographic examples depict general concepts of building architectural character in Areas 1 and 4. They are not intended to depict final architecture or site design and they do not capture every use or scenario permitted in these areas.

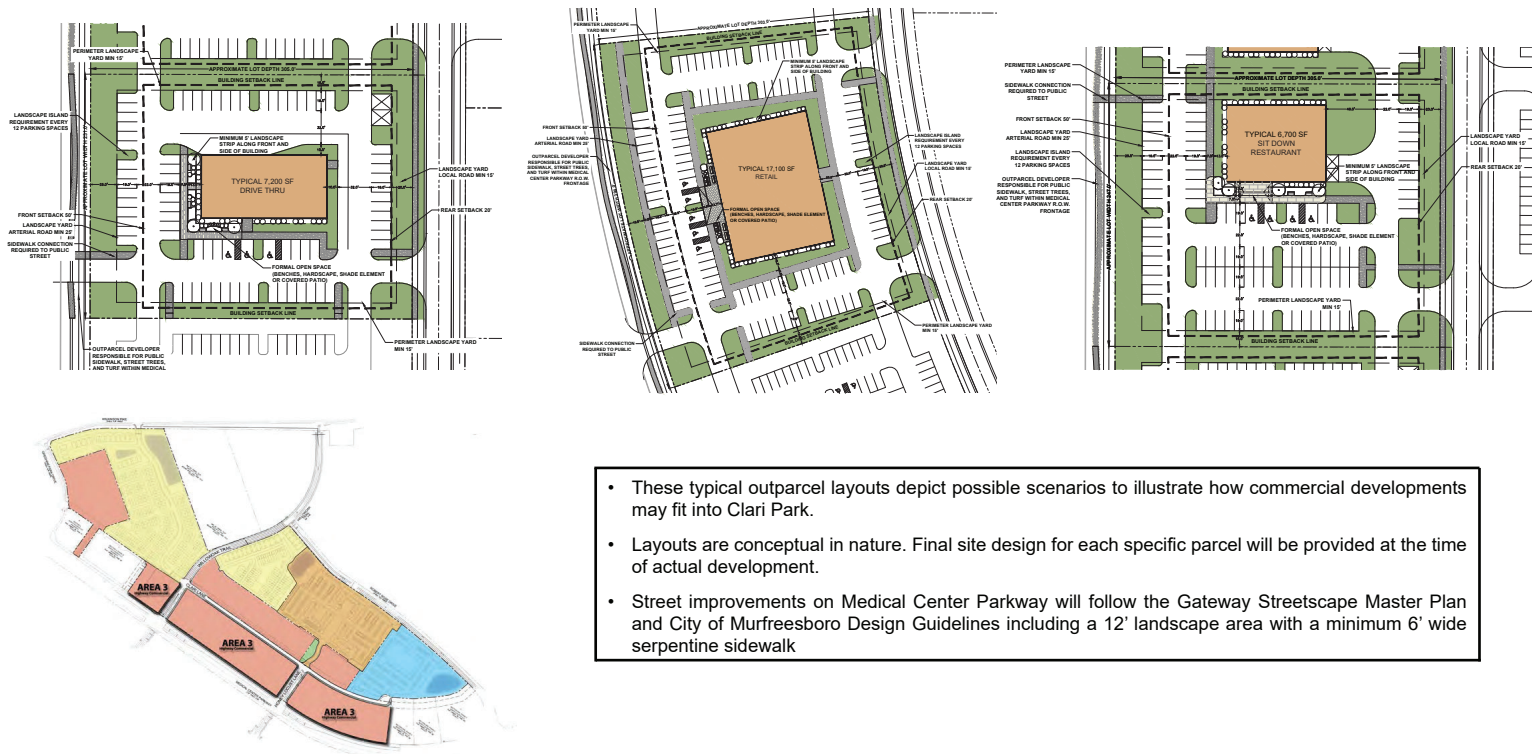
e Clari Park Commercial Highway (CH) - Photographic Examples (Areas 1 & 4)

Architectural standards set forth in the Murfreesboro Design Guidelines and GDO standards referencing general character, heights and setbacks, building mass, scale and proportion, building composition and rhythm, transparency, articulation and expression, materials, color, and roof design will be adhered to with the design of this project.



Commercial General Description - (CH Commercial Area 3) Clari Park e

- Commercial parcels in Area 3 range in size from approximately 1 to 3 acres and parcel boundaries are subject to change
- Commercial parcels in Area 3 will relate to existing commercial land patterns established along Medical Center Parkway.
- Commercial establishments in Area 3 will connect to the proposed residential and mixed use components of Clari Park and encourage a local, walkable lifestyle to occur in the gateway.
- Proposed residential densities that are part of the Clari Park plan, contribute to the commercial value and viability of Area 3.



- These typical outparcel layouts depict possible scenarios to illustrate how commercial developments may fit into Clari Park.
- Layouts are conceptual in nature. Final site design for each specific parcel will be provided at the time of actual development.
- Street improvements on Medical Center Parkway will follow the Gateway Streetscape Master Plan and City of Murfreesboro Design Guidelines including a 12' landscape area with a minimum 6' wide serpentine sidewalk

e Clari Park Commercial Photographic Examples (Area 3 & Area 4)



Architectural standards set forth in the Murfreesboro Design Guidelines and GDO requirements referencing general character, heights and setbacks, building mass, scale and proportion, building composition and rhythm, transparency, articulation and expression, materials, color, and roof design will be adhered to with the design of this project.

Commercial Uses Materials Palette (Per Murfreesboro Design Guidelines)

- Primary material
 - Brick (full thickness or thin-set)
 - Cast stone
 - Natural or synthetic stone
- Secondary materials
 - Exterior Insulation Finish System (EIFS)
 - Split-face or ground-face, or polished-face concrete masonry (integrally colored)
 - Architectural metal panels with durable finish and defined profile
 - Composite panels
 - Cementitious siding or panels
 - Wood siding may be used on small scale buildings
 - Fabric Awnings
- Tertiary materials:
 - Metal copings, flashings, and trim
 - Wood or cementitious trim
- Prohibited materials
 - Smooth-face concrete masonry
 - Corrugated metal "R" panels

Single Family Attached & Detached - General Description **Clari Park** f

Area 2 (Attached & Detached Single Family Residential Garden District)

Area 2 is the residential Garden District of Clari Park. It has ingress & egress from Wilkinson Pike and an extension of the local street network off Willow Oak Trail and both access points are permitted to be gated. It provides good opportunity for a mixture of residential housing options that include attached and detached single family. Single family homes in this district will have horizontal property regimes with side by side units sharing a common lot area. Some residential units are designed to front on green spaces and parks with vehicular access through an alley network in the rear. Buildings are limited to 3 story (35') to respect the context of Wilkinson Pike and the single family residential to the north. Attached and detached single family is part of the Clari Park Master Plan to help meet the market demand for homes that integrate into the local commerce and invested infrastructure of The Gateway. This form of homes appeals to residents who want to be part of a walkable community close to the surrounding retail and restaurant amenities. Attention is given to architectural details to relate to a residential and pedestrian scale and buildings are arranged to connect to common open space and linear parkways. Street networks in Area 2 will be private and parking is predominantly designed to be at the rear of residential units.

Area 6 (Attached & Detached Single Family Residential Village District)

Area 6 is the Residential Village District with access points at Robert Rose Drive and Willow Oak Trail that are permitted to be gated. It serves as a transition zone from the commercial core to the surrounding land use north and east of Clari Park. Like Area 2 the attached and detached single family in Area 6 helps meet the market demand for homes that integrate into the local commerce and invested infrastructure of The Gateway. Attached and detached single family homes will have horizontal property regimes units sharing a common lot area. Townhomes will be designed with arrangements that have a strong relationship to the street and green space. Streets are designed to have strong landscape elements and pedestrian space and may be public or private. This form of home appeals to residents who want to be part of a walkable community close to the surrounding retail and restaurant amenities and provides homeownership options for young urban professionals and "empty nesters".

Area 7 (Attached Residential Village District)

Area 7 is located at the southeast portion of Clari Park and is adjacent to existing commercial and high density residential land use. This development area provides flexibility in space and response to residential market conditions for single family attached residential development. Area 7 has a strong relationship to Robert Rose Drive and Clari Lane providing good pedestrian connections to surrounding amenities.

All single family detached and attached residential units in Clari Park are proposed to be established with Horizontal Property Regimes



Clari Park

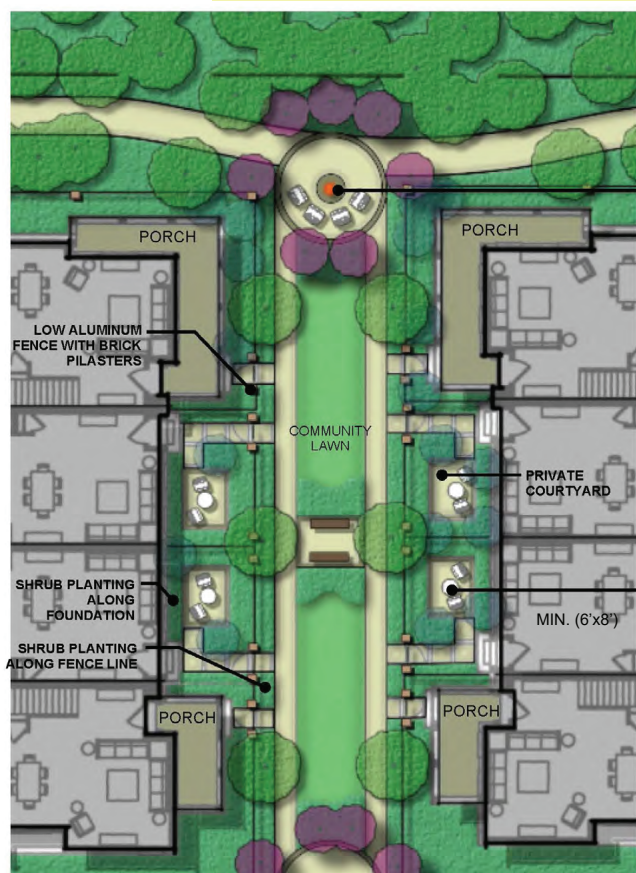
Attached & Detached Single Family - Conceptual Layout

Residential Garden District



Greenspace Enlargement (Area 2 - Residential Garden District)

Clari Park f



Landscape & walkway design to be finalized during Site Plan Review

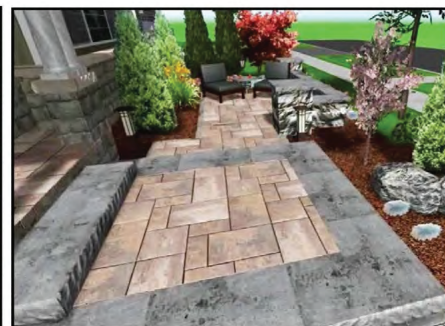


COMMUNITY FIRE-PIT / GATHERING SPACES



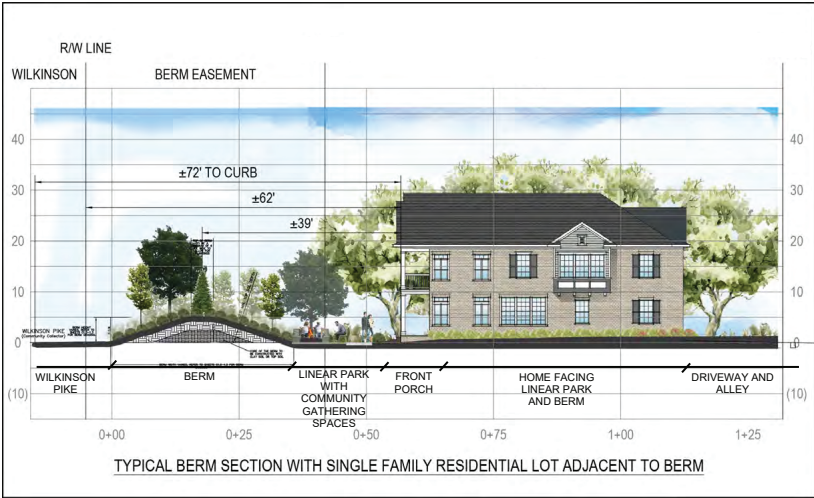
PRIVATE FENCED FRONT YARD WITH ON-GRADE PATIO

Note: All on-grade front patios shall be 8' wide and 6' deep and have a decorative fence



Clari Park

Single Family Detached Amenity and Berm Enlargement (Area 2 Residential Garden District)



Greenspace Enlargement (Area 6 Village District)

Clari Park f

***NOTE:** An amendment to Area 6 is currently being reviewed by staff to revise the zoning of this area from PUD to CH.

Clari Park PUD Amendment: 08-23-2024



Clari Park

Single Family Attached Enlargement (Area 7)





**CLARI PARK CHARACTER AREA 7
PUD AMENDMENT**

Total Land Area:	±8.04 Acres
Total Number of Units:	80
Yield: 80 Units/8.04 Acres =	±9.95 Units/Acre
Total Open Space:	±1.61 Acres (20%)
Formal Open Space	±0.40 Acres (5%)
Length of New Roadway:	±1,616 Linear Feet

Parking:
(80) 3 Bedroom Units X 1.1 Per Bedroom = 264 Spaces

Parking Required =	264 Spaces
Parking Provided with Units=	320 Spaces
80 Units (2 Garage & 2 Driveway)	
Parking Provided in Visitor =	27 Spaces +2 H.C.
Total Parking Provided =	349 Spaces

- Proposed Townhomes
- Open Space
- Detention Pond
- Roadway
- Sidewalk/Walking Trail
- Interior Elevation End Units
- Enhanced Elevation End Units

* End units fronting onto Roby Corlew Lane or Robert Rose Drive shall be required to have 4-stories. See page "AMEND-5" for elevations.

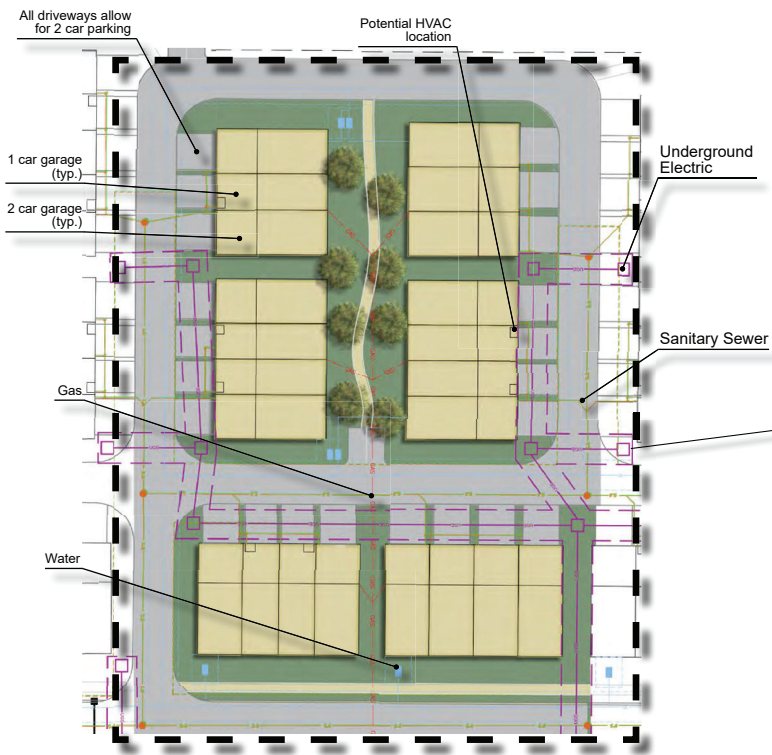
SEC, Inc.

SEC Project #14358 Murfreesboro, Tennessee

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Single Family Attached Private Street Network / Utilities Clari Park f

Example Utility Design for Single Family Attached Townhomes in Area 2



f

Clari Park

Parking Diagram Single Family Attached - Area 2



Parking Diagram Single Family Attached - Area 6

*NOTE: An amendment to Area 6 is currently being reviewed by staff to revise the zoning of this area from PUD to CH.

Clari Park PUD Amendment: 08-23-2024



Clari Park

Parking Diagram Single Family Attached - Area 7



Architectural Guidelines - Townhomes & Single Family Homes (Areas 2, 6, & 7)

Clari Park

f

Single Family Attached and Detached Specifications:

- Building Construction and Design
- Single family homes shall be a minimum of 1,800 square feet (heated/cooled) and have a minimum of three bedrooms. (Based on heated space and excluding garage)
 - Townhomes dwelling units shall be a minimum of 1,400 square feet (heated/cooled) and have a minimum of two bedrooms. (Based on heated space and excluding garage)
 - Buildings shall avoid long uninterrupted facades. Variations in the roof line including dormers and gables or wall plane shall be used to break up the mass of the building.
 - Exterior details such as shutters, wall lanterns, louvers, dormers as appropriate to the architectural style shall be incorporated to add interest and richness to the front facades.
 - Foundation planting landscape materials shall be provided along all four elevations as required by GDO and Murfreesboro design guidelines and front lawn areas shall be sodded per city design guidelines and GPO requirements
 - Garages shall not be used for the storage of boats, recreational vehicles, trailers or equipment.
 - All dwelling units with attached garages shall locate access to the garage at the rear or side of the building
 - Driveways for single family homes shall be a minimum of 16' wide to accommodate two cars
 - Driveways for townhome dwelling units shall be a minimum of 16' wide to accommodate two cars and 8' wide to accommodate one car. Driveways shall be a minimum depth of 20 from access drive
 - The incorporation of front patios, porches, bay windows and stoops shall be encouraged and shall be permitted to extend into the front yard and side yard setback.
 - The finished floor of dwellings shall be designed such that the elevation is a minimum of 18" above the adjacent exterior grade at the front of the dwelling.
 - Mechanical systems and above-grade utility elements shall be located in the rear or side of dwellings whenever possible with the exception of electrical and telecommunications equipment that will be placed in designated easements.
 - Any on-grade front patios must be 8' long by 6' deep with decorative fencing
 - Detached single family homes shall have a minimum 2 car garage
 - Attached single family homes shall have a minimum of 1 car garage
 - Single-Family attached buildings that have 3 units shall have no more than 1 single-car garage per building and single-family attached buildings that have 4 and 5 units shall have no more than 2 single-car garages per building

- Exterior Building Materials
- The following exterior materials shall be permitted on the exterior façade:
 - Brick veneer – natural color or painted
 - Cementitious and fiber cement composition siding (i.e. Hardie, Certainteed)
 - Stone – natural or manufactured stacked stone
 - Wood siding in limited locations or trim elements may be used if appropriate in context to the architectural style.
 - Windows may be constructed of pre-finished aluminum, vinyl, or vinyl clad wood. Window mullions shall be provided appropriate to the architectural style.
 - The use exposed concrete block, split-faced block, vinyl siding or corrugated metal siding shall be prohibited. Glass block is prohibited on the front elevation of dwellings. (Note: Vinyl may be used for exterior soffits and miscellaneous trim).
 - The following exterior materials shall be permitted as roofing materials:
 - Dimensional Composition Roof Shingles
 - Metal roof in limited accent applications such as porches and bay windows if appropriate in context to the architectural style.
 - Garage doors shall be carriage style or decorative
 - All single family attached and detached units in Areas 2, 6, and 7 will be established with a horizontal property regime

2024 Area 7 PUD Amendment Revisions:

- Building shall not be required to provide the wrap-around porches as previously stated on page 43 of the approved plan book.
- Buildings shall not be required to include the 8' long and 6' deep fenced area along homes that have a front patio at grade.
- Building heights shall be revised to include the option for an additional story, making 4-stories the maximum. The optional forth floor shall provide an outdoor patio space.

*NOTE: An amendment to Area 6 is currently being reviewed by staff to revise the zoning of this area from PUD to CH.

Clari Park PUD Amendment: 08-23-2024

f Clari Park Architectural Examples - Townhomes & Single Family Attached (Areas 2, 6, & 7)



Architectural Examples - Townhomes & Single Family Attached (Areas 2, 6, & 7) **Clari Park**



f Clari Park Architectural Examples - Townhomes & Single Family Attached (Areas 2, 6, & 7)

Example Side and Rear Elevations





FRONT ELEVATION EXAMPLE OF 3-UNIT TOWNHOMES



REAR ELEVATION EXAMPLE OF 3-UNIT TOWNHOMES



FRONT ELEVATION EXAMPLE OF 4-UNIT TOWNHOUSE



REAR ELEVATION EXAMPLE OF 4-UNIT TOWNHOUSE

AMEND-03

[PROPOSED PLANNED UNIT DISTRICT](#)
PROPOSED AMENDED ARCHITECTURAL CHARACTERISTICS

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



FRONT ELEVATION EXAMPLE OF 5-UNIT TOWNHOUSE



REAR ELEVATION EXAMPLE OF 5-UNIT TOWNHOUSE



FRONT ELEVATION EXAMPLE OF 6-UNIT TOWNHOUSE



REAR ELEVATION EXAMPLE OF 6-UNIT TOWNHOUSE

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

SEE PAGE "AMEND-1" FOR REQUIRED (4-STORY UNIT LOCATIONS)



INTERIOR SIDE ELEVATION (4-STORY)



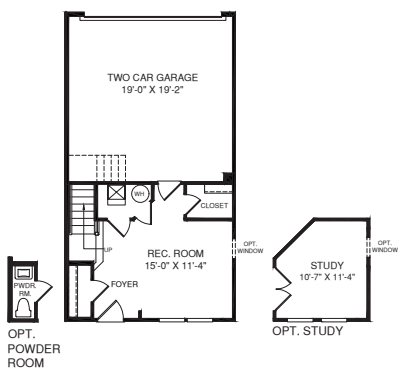
ENHANCED SIDE ELEVATION (4-STORY)



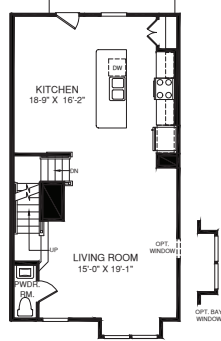
INTERIOR SIDE ELEVATION (3-STORY)



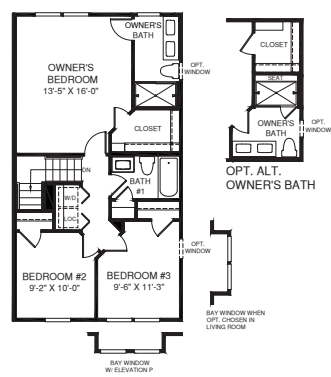
ENHANCED SIDE ELEVATION (3-STORY)



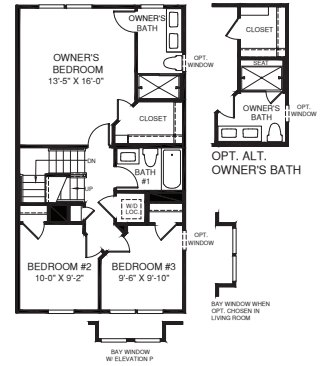
FIRST FLOOR



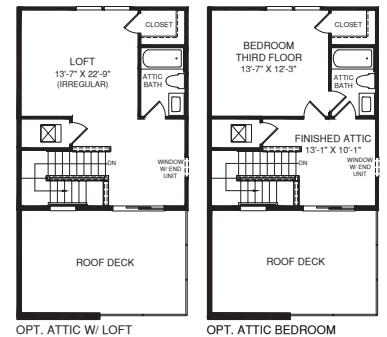
SECOND FLOOR



THIRD FLOOR



THIRD FLOOR W/ OPT. FOURTH FLOOR ATTIC



OPT. ATTIC W/ LOFT

OPT. ATTIC BEDROOM

OPT. FOURTH FLOOR ATTIC

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

PROPOSED PLANNED UNIT DISTRICT
PROPOSED ARCHITECTURAL CHARACTERISTICS

AMEND-06





Architectural Examples - Single Family Homes - Detached (Areas 2 & 6)

Example Side and Rear Elevations



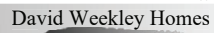
Cementitious Siding

Brick

Cementitious Siding

Decorative Garage Door

Single Family Attached Typical 5 Lot Building - Parking Layout



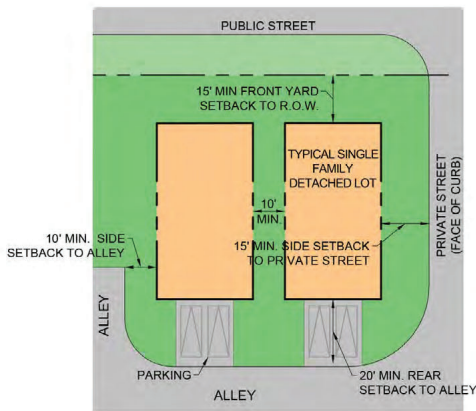
Clari Park f



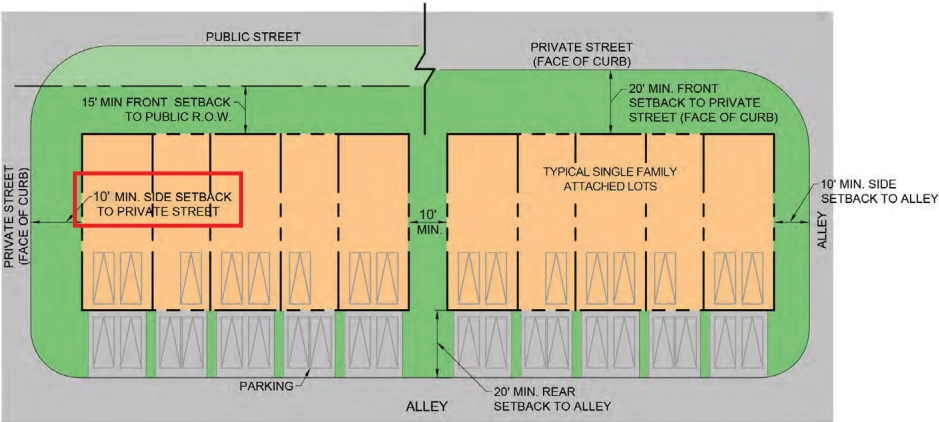
Clari Park

Typical Lot Diagrams

S.F. Attached / S.F. Detached Areas 2, 6, & 7
(Front, Side, and Rear Setbacks)



Typical Single Family
Detached Homes

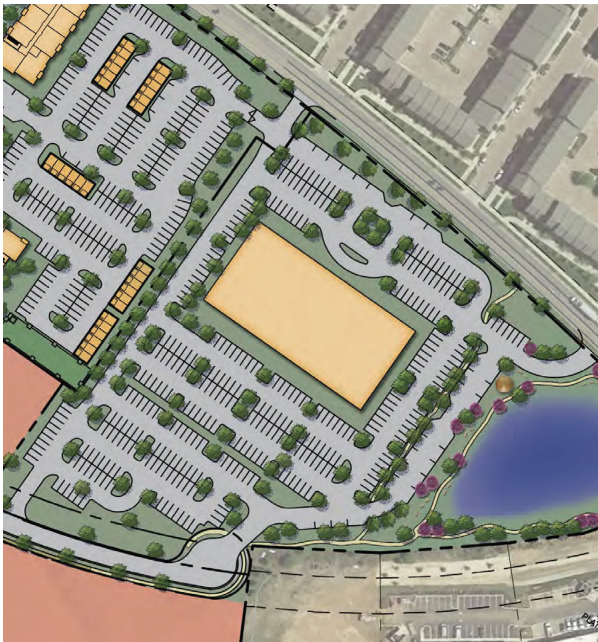


Typical Single Family
Attached Homes

2024 Area 7 PUD Amendment Revisions:

- The Clari Park Area 7 PUD amendment is proposing a 5' reduction of the side setback located between proposed building to private street from 15' to 10'. This reduction is for the single-family attached homes.

Parking lots more than 200 spaces shall be separated by a 20' landscape strip per GDO and design guidelines



Option 1: Office Layout



Option 2: Single Family Attached Residential

*Note: Office shall be the promoted use for Area 7. After 3 years from the final approval of the Clari Park planned unit development / master plan, if applicant has not secured binding commitments from tenants to support viable office development for this area, then single family attached residential shall be a permitted use for Area 7. If use is Single-Family Attached, construction of site work and building in Area 7 shall not commence until three years from City Council approval of the Clari Park Master Plan (master utilities, master stormwater system and mass grading are exempt from construction start provision). Permitting shall be permitted to proceed prior to three years from the Clari Park Master Plan approval.

Clari Park

Architectural Photographic Examples - Office Area 7



*Note: Commercial uses material palette referenced on page 29 and 52 should be applied to office use.

Multi Family Residential with Office - General Description (Area 5)

Area 5 (Multi Family Residential - Mixed Use)

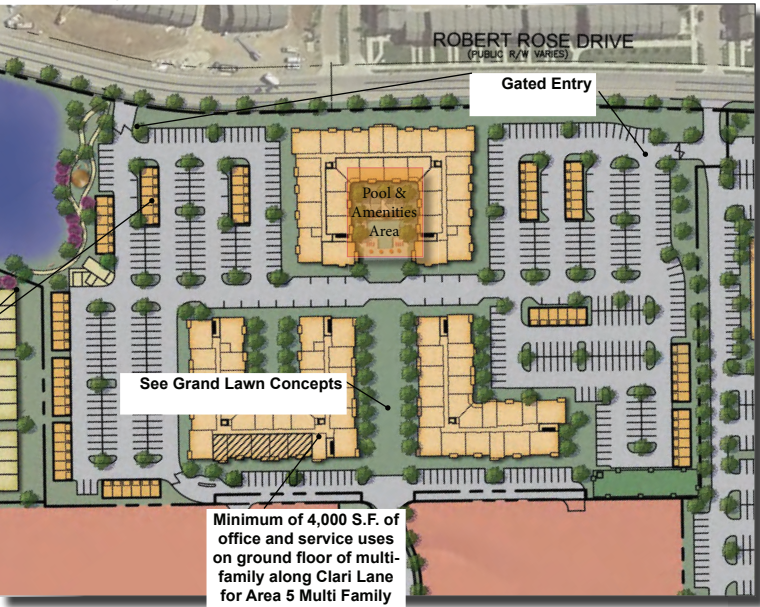
Area 5 is at the center of the Clari Park Master Plan and is appropriate for a high density use that takes full advantage of the surrounding Gateway infrastructure and promotes a highly valued development. Standards for architectural height and mass allow for large signature buildings. Buildings in Area 5 are arranged to create centralized open space with social programming, recreational opportunities and leisure amenities. These spaces are designed to become the heart of social activity for the residential multi family component of Clari Park. Area 5 has good opportunities to consider shared use parking for a mixture of uses and adjoining areas. Area 5 is proposed as predominantly multi-family use with a vertically integrated mixture of limited office and service use.



Stand-alone Garages

Parking lots with more than 200 spaces will be separated by 20' landscape strips per GDO and design guidelines

Area 5 Enlargement



Clari Park

Architectural Examples - Multi Family (Area 5)



Multi-Family Attached Specifications:

Building Construction and Design

- Buildings shall avoid long uninterrupted facades. Variations in the roof line or wall plane shall be used to break up the mass of the building.
- Detached garages shall be permitted and shall count toward meeting the required parking per the Zoning Code. The architecture of the detached garages shall reflect the architectural style of the primary structure.
- The incorporation of exterior balconies shall be encouraged. Balcony railings shall be aluminum, metal or stainless steel cable-stayed construction.
- Metal and canvas awnings shall be permitted to extend in to the front and side building setback.
- Foundation planting landscape materials shall be required on all four sides and all lawn areas shall be sodded.
- Mechanical systems and above-grade utility elements shall be located on the rooftop or in the rear or side of dwellings whenever possible with the exception of electrical and telecommunications equipment that will be placed in designated easements.
- Roof top mechanical equipment shall be screened by parapet walls.

Exterior Building Materials

- The following exterior materials shall be permitted on the exterior façade:
 1. Brick – natural color or painted
 2. Cementitious composition siding
 3. Stone – natural or manufactured stacked stone
 4. Wood siding in limited locations or trim elements may be used if appropriate in context to the architectural style.
 5. The use exposed concrete block, split-faced block, vinyl siding or corrugated metal siding shall be prohibited. (Note: Vinyl may be used for exterior soffits and miscellaneous trim).
- The following exterior materials shall be permitted as roofing materials:
 1. TPO single-ply roofing membrane
 2. Dimensional composition roof shingles
 3. Metal roof in limited accent applications such as porches and bay windows if appropriate in context to the architectural style.

Architectural Examples - Multi Family (Area 5)

Clari Park g



Multi-Family Attached Specifications:

It is recognized that new materials and new uses for materials will continue to be developed. Materials not specifically approved herein may be considered for use on buildings if samples and supporting information are provided to the Planning Staff and the Planning Commission for consideration.

Architectural standards set forth in the Murfreesboro Design Guidelines and GDO requirements referencing general character, heights and setbacks, building mass, scale and proportion, building composition and rhythm, transparency, articulation and expression, materials, color, and roof design will be taken into account and the project will meet GDO and Murfreesboro design guidelines.



Minimum of 4,000 square feet of office space on ground floor of apartments for multi-family in Area 5 will integrate with residential uses to create a mix of uses along Clari Lane.



Clari Park

Photographic Amenity Examples - Multi Family (Area 5)



These photographic examples depict general concepts of building architectural character in Area 5. They are not intended to depict final architecture or site design and they do not capture every use or scenario permitted in these areas.

The Multi-Family For-Rent Residential at Clari Park (Area 5) shall include a comprehensive amenity program for the residents. Elements of the amenity program shall include:

- Exterior resort pool with a large colored concrete or paver deck area designed with open air and shaded seating areas;
- Exterior gathering areas that incorporate fire pits, grills, and outdoor games;
- A dog park with a water and wash down station;
- Over 6,500 square feet of interior amenity areas in Area 5 will be provided. They will include a resident lounge that connects directly to the pool area, fitness facility with full complement of aerobic and strength equipment, a spin and yoga studio, a dog care room, conference rooms, and work spaces.



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 2, 2024
PROJECT PLANNER: RICHARD DONOVAN**

- 5.b. Zoning application [2024-411] for approximately 92.54 acres located along New Salem Highway and Barfield Road to be rezoned from RS-15 to CH, Matt Taylor of SEC, Inc. on behalf of World Outreach Church applicant.**

The applicant, World Outreach Church, is requesting to rezone the subject property from Single-Family Residential, 15,000 square-foot lot size minimum (RS-15) to Commercial Highway (CH). The property is located at 1921 New Salem Highway or southwest of the New Salem Highway and Barfield Road intersection. The site is currently home to the World Outreach Church campus which is allowed in the RS-15 district by special use permit. World Outreach has obtained special use permits on three occasions in 2003, 2007, and 2012 to complete additions for additional parking, a building and parking expansion, and outdoor speakers respectively.



CH, Commercial Highway

This district is intended to permit the development and continued maintenance of general commercial uses located in a linear fashion along highways and near transportation facilities and industrial areas. The uses permitted in this district, the special uses that may be allowed in this district and the uses for which site plan review and approval are required are listed in Chart 1 unless otherwise regulated in this article. The minimum lot and yard requirements, maximum height, maximum gross dwelling unit density and the land use intensity ratios which govern any use in this district are listed on Chart 2 unless otherwise regulated in this article.

The applicant is requesting CH bulk zoning for approximately 92.4 acres. The CH district would permit the existing church by right, eliminating the need for additional special use permits from the Board of Zoning Appeals for any future expansion. The CH district also permits a variety of retail, office, medical, and institutional uses, as well as limited other housing types (B&B, homes for the aged, assisted living). A copy of Chart 1 is included and highlights the uses permitted in CH.

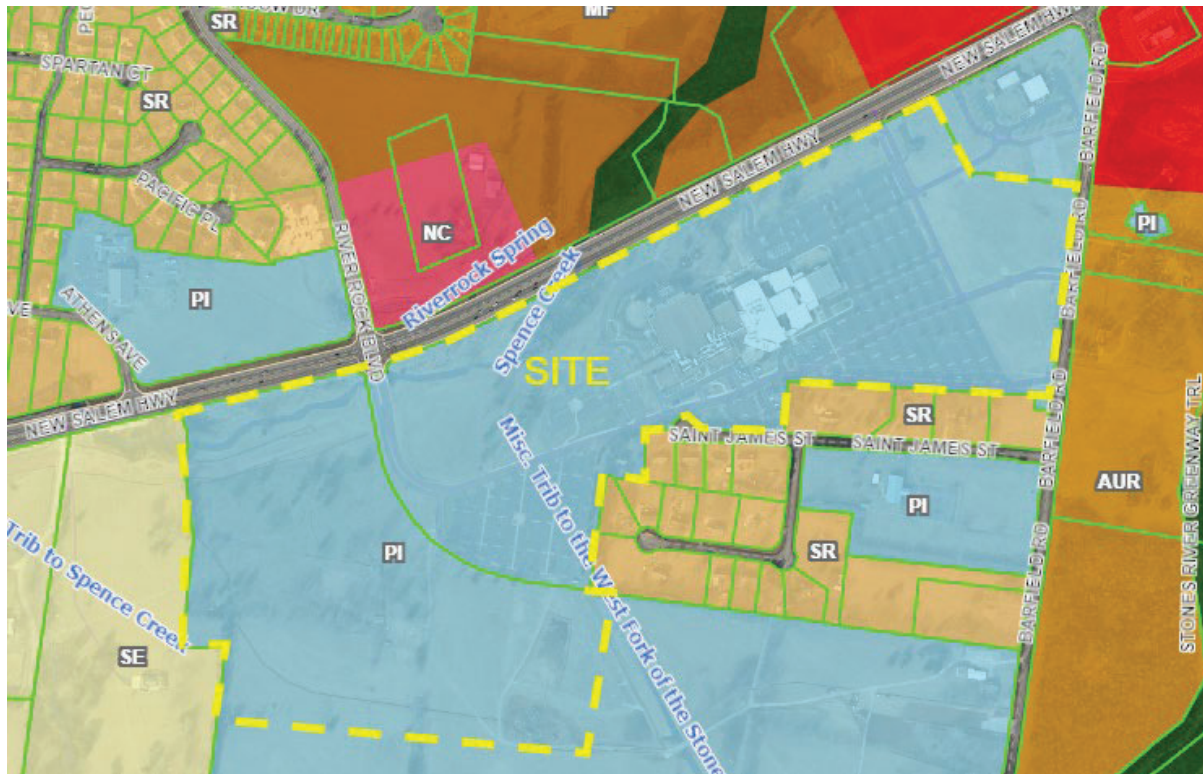
Adjacent Land Use and Zoning

The adjacent properties are developed as residential use and zoned commercial and residential. The properties to the north include River Rock Baptist Church zoned RS-15, a single-family residence zoned CF (Commercial Fringe), Shalom Farms Apartments zoned RM-16 (Multi-Family Residential), and vacant land zoned CH. The properties to the east include Thorntons, a cell tower, a pump station, and the approved site plan for Salem Square. Additionally, MTE has acquired land for a new substation. The prior-mentioned properties are zoned Commercial Highway (CH). Remaining properties to the east and south are single-family residences zoned RM (Medium Density Residential) in the unincorporated county.

Future Land Use Map:

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan designates "Public/Private Institutional" (PI) as the most appropriate land use character for the project area, as shown on the map below. The PI designation is intended for governmental buildings and facilities, hospitals, and both public and private institutional uses, such as the existing church. Commercial Highway (CH) zoning does allow churches and numerous other institutional uses by right, which would allow for future expansion without the need for additional special use permits. However, the Commercial Highway (CH) zone also allows for a variety of retail, office, medical, and other commercial uses that were not envisioned for this site on the future land use map. The Planning Commission will need to discuss this request further to determine if a deviation from the land use plan is appropriate.

Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



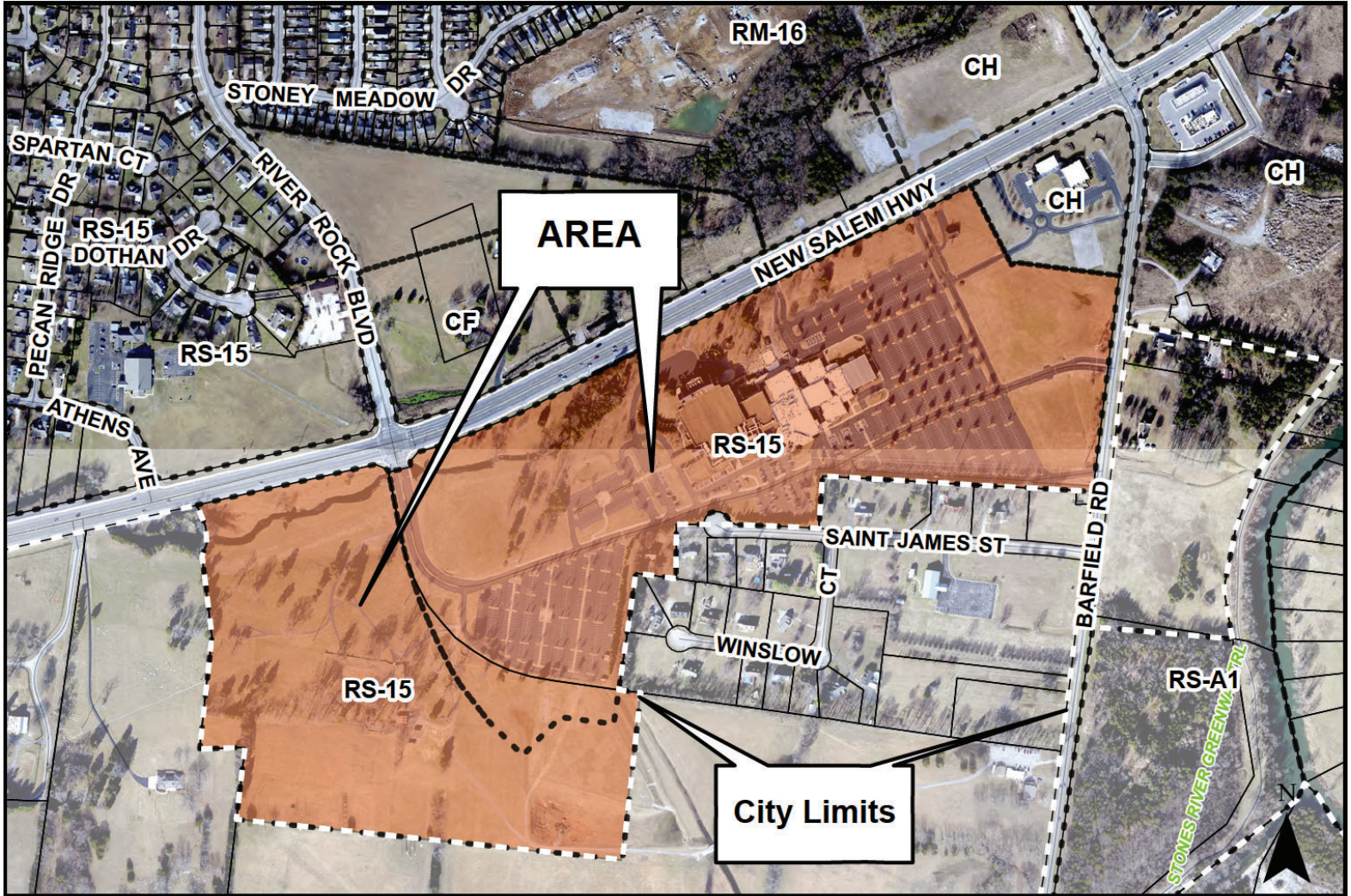
Staff recommendation:

Staff is supportive of this rezoning request for the following reasons:

- 1) The Commercial Highway (CH) zoning permits churches and various other institutional uses by right, enabling future expansions of the existing institutional use without requiring additional special use permits.
- 2) The CH zoning is consistent with the existing commercial character of the area, particularly along New Salem Highway, a major thoroughfare suited for commercial development.
- 3) The CH zoning is compatible with similar zoning designations to the north and east.

Action Needed:

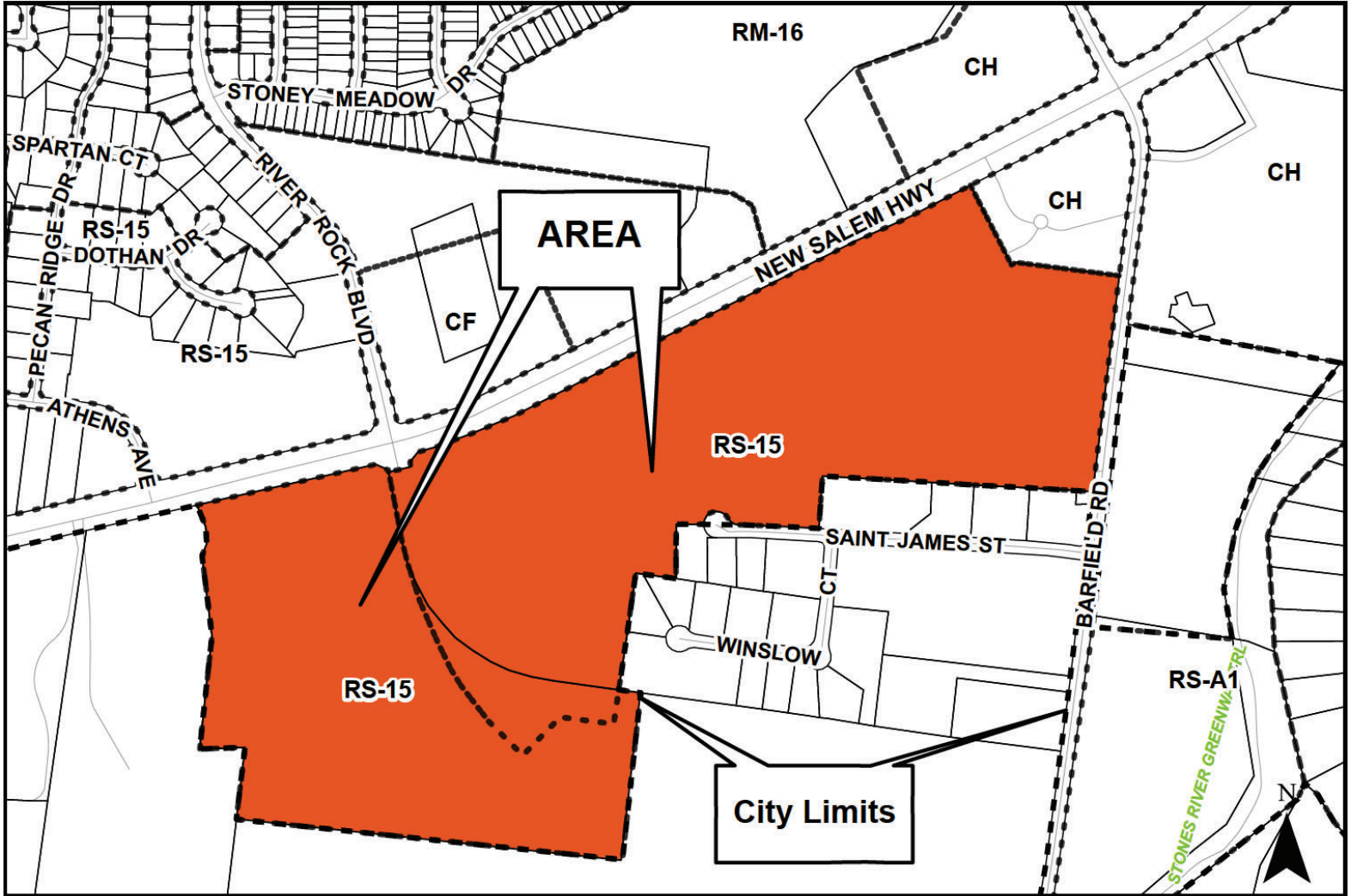
The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.



Rezoning request for property along New Salem Highway and Barfield Road
RS-15 to CH

0 330 660 1,320 1,980
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Rezoning request for property along New Salem Highway and Barfield Road
RS-15 to CH

0 330 660 1,320 1,980
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

Creating a better quality of life

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: World Outreach Church c/o Craig Dame

Address: 1921 New Salem Hwy **City/State/Zip:** Murfreesboro, TN 37128

Phone: [REDACTED] **E-mail address:** [REDACTED]

PROPERTY OWNER: same as applicant

Street Address or property description: 1921 New Salem Hwy

and/or Tax map #: 113A {114} **Group:** A **Parcel (s):** 5.00 {8.00}

Existing zoning classification: RS-15

Proposed zoning classification: CH **Acreage:** 92.54

Contact name & phone number for publication and notifications to the public (if different from the applicant): Matt Taylor

E-mail: [REDACTED]

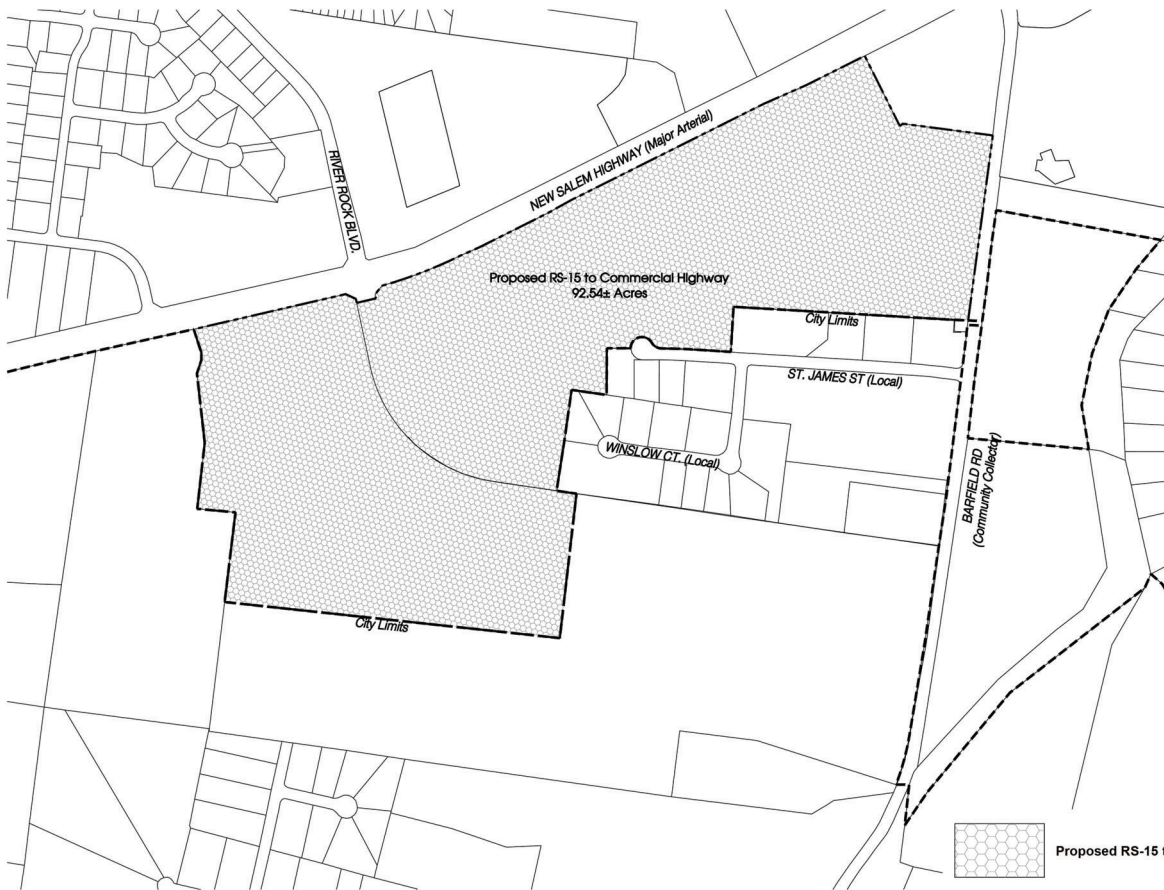
APPLICANT'S SIGNATURE (required): _____

DATE: _____

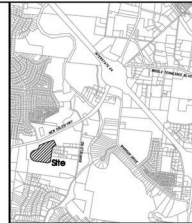
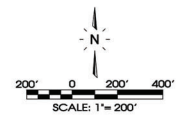
*****For Office Use Only*****

Date received: _____ **MPC YR.:** _____ **MPC #:** _____

Amount paid: _____ **Receipt #:** _____



Total Acres to Zone CH = 92.54± Acres



World Outreach Church Murfreesboro, Tennessee		SEFC, Inc. SITE ENGINEERING CONSULTANTS 1100 N. WILSON AVE., SUITE 200 MURFREESBORO, TN 37132 PHONE: (615) 895-7000 FAX: (615) 895-7001 WWW.SEFCINC.COM
REVIEW SHEET and Interim Report		SEFC, Inc. 1100 N. WILSON AVE., SUITE 200 MURFREESBORO, TN 37132 PHONE: (615) 895-7000 FAX: (615) 895-7001 WWW.SEFCINC.COM
Zoning Exhibit		C1.0

APPENDIX A - ZONING

CHART 1. USES PERMITTED BY ZONING DISTRICT.

Chart 1
Page 1 of 8

Revised January 25, 2024

USES PERMITTED ²	ZONING DISTRICTS																				OVERLAY
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R-MO	OG-R	OG	CL	CF ¹	CH	MU	CBD	HI	GI	
DWELLINGS																					
Single-Family detached	X	X	X	X	X	X	X	X	X	X ²⁷		X	X								
Single-Family attached or detached, zero-lot line (max. 2 units attached) ²³							X	X	X	X ²⁴		X	X								
Single-Family attached, townhouse ^{25, 26, 28}								X	X	X											
Two-Family							X	X	X			X	X								
Three-Family							X	X				X	X								
Four-Family							X	X				X	X								
Multiple-Family							X ²¹	X ²¹									X ²¹	X ²¹			
OTHER HOUSING																					
Accessory Apartment ⁸	S ⁹	S ⁹	S ⁹	S ⁹	S ⁹	S ⁹				S ⁹											
Accessory Dwelling Unit												X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	
Assisted-Care Living Facility ¹⁵							S	X	X	X		X	X	X	X	X	X	X	X	X	S
Bed-and-Breakfast Homestay	S	S	S	S	S	S	S	S	S	S		S	X	X	X	X	X	X	X	X	S
Bed-and-Breakfast Inn	S	S	S	S	S	S	S	S	S	S		S	X	X	X	X	X	X	X	X	S
Boarding House ¹⁵							S	X	X	X		S	X	X	X	X	X	X	X	X	S
Class I Home for the Aged ¹⁵	S	S	S	S	S	S	S	X	X	X		X	X	X	X	X	X	X	X	X	S
Class II Home for the Aged ¹⁵	S	S	S	S	S	S	S	S	S	S		S	X	X	X	X	X	X	X	X	S
Class III Home for the Aged ¹⁶							S	S	S	S		S	X	X	X	X	X	X	X	X	S
Emergency Shelter	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Extended Stay Hotel/Motel												S	S	S	S	S	S	S	S	S	
Family Crisis Shelter												S	S	S	S	S	S	S	S	S	
Family Violence Shelter							S	S				S	S	S	X	X	X	X	X	X	S
Fraternity/Sorority												S	S	S	S	S	S	S	S	S	N
Group Shelter							S	S				S	S	S	S	S	S	S	S	S	
Hotel																	X	X	X	X	
Home Occupations ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	X ¹¹			X ¹¹				
Mission																			S	S	S
Mobile Homes											X										N
Motel																	X	X	X	X	N
Rooming House							S	S	S									X			S
Student Dormitory								S	S												S
Transitional Home							S	S	S			S	S								S

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf

Chart 1
Page 2 of 8

Revised January 25, 2024

USES PERMITTED*	ZONING DISTRICTS																				OVERLAY
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	Cf ¹⁴	CH	MU	CBD	HI	GI	
INSTITUTIONS																					
Adult Day Care Center	S	S	S	S	S	S	S	S	S	S		X	X	X	X	X	X	X	X	X	
Adult Day Care Home	S	S	S	S	S	S	S	S	S	S		X	X	X	X	X	X	X	X	X	
Airport, Heliport	S	S	S	S	S	S	S	S	S	S		S	S	S	S	S	S	S	S	S	N
Cemetery, Mausoleum	S	S	S	S	S	S	S	S	S	S		S	S	S	S	S	S	S	S	S	
Church ¹⁵	S	S	S	S	S	S	S	X	X	S	S	X	X	X	X	X	X	X	X	X	
College, University												X	X	X	X	X	X	X	X	X	
Day-Care Center								S	S	S		S	S	X	X	X	X	X	X	X	
Family Day-Care Home	S	S	S	S	S	S	S	S	S	S				X	X	X	X	X	X	X	
Group Day-Care Home	S	S	S	S	S	S	S	S	S	S				X	X	X	X	X	X	X	
Hospital												X	X	X	X	X	X	X	X	X	
Lodge, Club, Country Club ¹⁵	S	S	S	S	S	S	S	S	S	S		S	S	S	X	X	X	X	X	X	
Mental Health Facility												X	X	X		X	X	X	X	X	
Morgue																X	X	X	X	X	N
Museum							S	S	S			S	S	S	X	X	X	X	X	X	
Nursery School							S	S	S	S		S	S	S	S	X	X	X	X	X	
Nursing Home												X	X	S	S	X	X	X	X	X	
Park	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
Pet Cemetery	S	S	S												S	S	S	S	S	S	N
Philanthropic Institution							S	S	S			X	X	X	X	X	X	X	X	X	
Public Building ¹⁵	S	S	S	S	S	S	S	S	S	S		S	S	X	X	X	X	X	X	X	
Recreation Field ¹⁵	S	S	S	S	S	S	S	S	S	S		S	S	X	X	X	X	X	X	X	
Senior Citizens Center	S	S	S	S	S	S	S	X	X	S		X	X	X	X	X	X	X	X	X	
School, Public or Private, Grades K - 12 ¹⁵	S	S	S	S	S	S	S	S	S	S		S	X	X	X	X	X	X	X	X	
Student Center								S	S			S	S	S	S	X				S	
Technology/Vocation School (indoor)												X		X	X	X		X	X	X	
Trade School (includes outdoor)																		X	X	S	
AGRICULTURAL USES																					
Customary General Farming	X ¹⁶	X ¹⁶	X ¹⁶	X ¹⁶	X ¹⁶	X ¹⁶	X ¹⁶	X ¹⁶	X ¹⁶	X ¹⁶	S	X	X	X	X ¹⁶	X	X	X	X	X	
Crop, Soil Preparation Agricultural Services	S	S	S	S	S	S	S	S	S	S					X	X		X	X	X	
Farm Labor and Management Services												X	X	X	X	X	X	X	X	X	
Fish Hatcheries and Preserves																		X	X	X	
Grain, Fruit, Field Crop and Vegetable Cultivation and Storage	X	X	X	X	X	X	X	X	X	X								X	X	X	
Livestock, Horse, Dairy, Poultry, and Egg Products	S	S	S	S	S	S	S	S	S	S								X	X	X	
Timber Tracts, Forest Nursery, Gathering of Forest Products	S	S	S	S	S	S	S	S	S	S								X	X	X	

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf

Chart 1
Page 3 of 8

Revised January 25, 2024

USES PERMITTED*	ZONING DISTRICTS																		OVERLAY
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	CH	MU	CBD	
COMMERCIAL																			
Adult Cabaret																			
Adult Entertainment Center																			
Adult Motel																			
Adults-Only Bookstore																			
Adults-Only Motion Picture Theater																			
Amusements, Commercial Indoor																			
Amusements, Commercial Outdoor excluding Motorized																			
Amusements, Commercial Outdoor Motorized except Carnivals																			
Animal Grooming Facility																			
Antique Mall																			
Antique Shop <3,000 sq. ft.																			
Art or Photo Studio or Gallery																			
Artisan Use < 3,000 sf, other than enumerated elsewhere																			
Automobile Body Shop ¹²																			
Automotive/Motor Vehicle Repair ¹²																			
Automotive/Motor Vehicle Service																			
Bakery, Retail																			
Bank or Credit Union, Branch Office or Main Office																			
Bank, Drive-Up Electronic Teller																			
Barber or Beauty Shop																			
Beer, Packaged																			
Boat Rental, Sales, or Repair																			
Book or Card Shop																			
Brewery, Artisan ¹³																			
Brewery, Micro ¹³																			
Brewpub ¹³																			
Business and Communication Service																			
Business School																			
Campground, Travel-Trailer Park																			
Carnivals																			

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf

Chart 1
Page 4 of 8

Revised January 25, 2024

USES PERMITTED ¹	ZONING DISTRICTS																				OVERLAY
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	CH	MU	CBD	HI	GI	
Catering Establishment												X	X	X	X	X	X	X	X	X	
Cigar Lounge																S	S	S	X	X	
Clothing Store														X	X	X	X	X	X	X	
Coffee, Food, or Beverage Kiosk														X	X	X	X	X	X	X	
Commercial Center (≤25,000 SF)														X	X	X	X	X	X	X	
Convenience Store, ≤5,000 SF														X	X	X	X	X	X	X	
Convenience Store > 5,000 SF																X	X	X	X	X	N
Crematory																			S	S	N
Data Center ≤15,000 SF													X		X	X			X	X	N
Department or Discount Store															X	X	X	X	X	X	
Distillery, Artisan ¹⁵																X		X	X	X	
Drive-In Theater																X	X	X	X	X	N
Dry Cleaner ≤3,000 SF (No On-Site Cleaning)													X	X	X	X	X	X	X	X	
Financial Service												X	X	X	X	X	X	X	X	X	
Fireworks Public Display																					X
Fireworks Retailer																S			S	S	N
Fireworks Seasonal Retailer																S			S	S	N
Fitness/ Health Club Facility >5,000 SF													X	X	X	X	X	X	X	X	
Fitness studio/ personal instruction ≤5,000 SF												X	X	X	X	X	X	X	X	X	
Flower or Plant Store												X	X	X	X	X	X	X	X	X	
Funeral Home														S		X	X	X	X	X	
Garden and Lawn Supplies															S	X	X	X	X	X	
Gas--Liquified Petroleum, Bottled and Bulk																X		X	X	X	
Gasoline Sales														X	X	X	X	X	X	X	N
General Service and Repair Shop																X	X	X	X	X	
Glass--Auto, Plate, and Window																X	X	X	X	X	
Glass--Stained and Leaded														X	X	X	X	X	X	X	
Greenhouse or Nursery																X	X	X	X	X	N
Grocery Store														X	X	X	X	X	X	X	
Group Assembly, <250 persons												S	S		X	X	X	X	X	X	
Group Assembly, >250 persons												S	S		S	S	S	S	S	S	
Ice Kiosk, Automated														X	X			X	X	X	N
Interior Decorator												X	X	X	X	X	X	X	X	X	
Iron Work																X		X	X	X	N*
Janitorial Service															X	X	X	X	X	X	
Kennels															X			X	X	X	N
Keys, Locksmith															X	X	X	X	X	X	

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf

Chart 1
Page 5 of 8

Revised January 25, 2024

USES PERMITTED ³	ZONING DISTRICTS																								OVERLAY		
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	CH	MU	CBD	HI	GI	LI	CM-RS-4	CM-R	CM	CU	P	CCO
Laboratories, Medical												X	X		X	X	X		X	X	X		X	X			
Laboratories, Testing															X	X	X	X		X	X	X					
Laundries, Self-Service														X	X	X				X	X	X					
Lawn, Tree, and Garden Service																X				X	X	X					
Liquor Store															X	X	X			X	X	X					N
Livestock, Auction																				X	X	X					N
Lumber, Building Material																				X	X	X					N
Manufactured Home Sales																				X	X						N
Massage Parlor																				X ³							
Motor Vehicle: Sales, Rental (Automobiles) ³																S	S		X ³	X ³	X ³						N
Motor Vehicle: Sales, Rental (Other Than Automobiles) ³																				X ³	X ³	X ³					N
Motor Vehicle: Sales, Rental, Repair (Medium & Heavy Duty Commercial Vehicles) ³																				X ³	X ³						N
Movie Theater															X	X	X	X		X ³	X ³	X					
Music or Dancing Academy															X	X	X			X	X	X					
Offices												X	X	X	X	X	X	X	X	X	X	X ⁵	X ⁵	X ⁵			
Optical Dispensaries												X	X		X	X	X	X	X	X	X	X	X	X			
Parking Structure															X	X	X	X	X	X	X			X	X		
Pawn Shop																X				X	X	X					N
Payday Loan, Title Loan, or Check-Cashing Service																X				X	X	X					N
Personal Service Establishment														X	X	X	X	X	X	X	X						
Pet Crematory															X	X				S	S	S					N
Pet Funeral Home															X	X				X	X	X					N
Pet Shops															X	X	X	X	X	X	X	X					
Pharmacies, Apothecaries												X	X	X	X	X	X	X	X	X	X	X	X	X			
Plasma Donation Center																				X	X	X		X			
Radio, TV, or Recording Studio																X	X	X		X	X	X					
Radio and Television Transmission Towers															S	S				S	S	S			S		N
Rap Parlor																				X ³							
Restaurant and Carry-Out Restaurant														X	X	X	X	X	X	X	X	X					
Restaurant, Drive-In																X				X	X	X					N
Restaurant, Specialty														X	X	X	X	X	X	X	X	X					
Restaurant, Specialty -Limited												S	S	X	X	X	X	X	X	X	X	S	S	S			
Retail Shop, firearms																				X	X	X					N
Retail Shop, other than enumerated elsewhere															X	X	X	X	X	X	X						
Retail Shop: Tobacco, Vape, Dispensary ³¹															X ³¹				X ³¹	X ³¹	X ³¹						N
Salvage and Surplus Merchandise															X					X	X	X					N

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Chart 1
Page 6 of 8

Revised January 25, 2024

USES PERMITTED ¹	ZONING DISTRICTS																								OVERLAY		
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	CH	MU	CBD	HI	GI	IJ	EMRS-8	CM-R	CM	CU	P	250
Sauna																			X ²								N
Self-Service Storage Facility ¹⁶															S	X	S		X	X	X						N
Sheet Metal Shop																X			X	X	X						N
Shopping Center, Community (150-300K SF)																X	X	X	X	X	X						N
Shopping Center, Neighborhood (25-150K SF)															X	X	X	X	X	X	X						N
Shopping Center, Regional (>300,000 SF)																X	X	X	X	X	X						N
Specialty Shop												X	X	X	X	X	X	X	X	X	X		X				N
Tavern																X	X	X	X	X	X						N
Taxidermy Studio																S			S	S	S						N
Veterinary Clinic															X	X	X		X	X	X						N
Veterinary Hospital																X	X		X	X	X						N
Veterinary Office											X	X	X	X	X	X	X		X	X	X		X				N
Vehicle Wash															X				X	X	X						N
Wholesaling, Wholesale Establishments																X			X	X	X						N
Winery, Artisan ²⁰															X	X	X		X	X	X						N
Wireless Telecommunications Towers, Antennas ¹⁷	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	N
Wrecker/Towing Service, Wrecker Storage Yard ¹²																			X	X	X						N
INDUSTRIAL																											
Manufacture, Storage, Distribution of:																											
Abrasive Products																			X	X							N
Asbestos Products																			S								N
Automobile Dismantlers and Recyclers ^{7 & 12}																			S								N
Automobile Manufacture																			X	X							N
Automobile Parts and Components Manufacture																			X	X							N
Automobile Seats Manufacture																			X	X							N
Bakery Goods, Candy																			X	X	X						N*
Boat Manufacture																			X	X							N
Bottling Works																			X	X	X						N
Brewery ²¹																			X	X	X						N
Canned Goods																			X	X							N
Chemicals																			X								N
Composting Facility																			S					S			N
Contractor's Storage, Indoor																X			X	X	X						N
Contractor's Yard or Storage, Outdoor ³²																			X	X	X						N
Contractor's/Construction Equipment: Sales, Rental, Repair ³²																			X	X	X						N
Cosmetics																			X	X	X						N
Custom Wood Products																			X	X	X						N*

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

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Chart 1
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Revised January 25, 2024

USES PERMITTED ³	ZONING DISTRICTS																				OVERLAY
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	DG R	DG	CL	CF ¹⁴	CH	MU	CBD	HI	GI	
Data Center / Server Farm > 15,000																					N
Distillery ²⁰																					N
Dry Cleaning- Laundering Facility > 3,000																X					N
Electrical or Electronic Equipment, Appliances, and Instruments																					N
Fabricated Metal Products and Machinery																					N*
Fertilizer																					N
Food and Beverage Products except animal slaughter, stockyards, rendering, and brewery																					N
Furniture and Fixtures																					N*
Jewelry																					N*
Junkyard																					N
Leather and Leather Products except tanning and finishing																					N*
Leather and Leather Products, Tanning and Finishing																					N
Lumber and Wood Products																					N
Mobile Home Construction																					N
Musical Instruments																					N*
Office/Art Supplies																					N*
Paints																					N
Paper Mills																					N
Paper Products excluding paper and pulp mills																					N
Petroleum, Liquified Petroleum Gas and Coal Products except refining																					N
Petroleum, Liquified Petroleum Gas and Coal Products refining																					N
Pharmaceuticals																					N
Photographic Film Manufacture																					N
Pottery, Figurines, and Ceramic Products																					N*
Primary Metal Distribution and Storage																					N
Primary Metal Manufacturing																					N
Printing and Publishing																X	X	X			N
Recycling center																S					N
Recycling Center: Temporary Mobile																S					N
Rubber and Plastic Products except rubber or plastic manufacture																					N
Rubber and Plastic Products, Rubber and Plastic Manufacture																					N

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Chart 1
Page 8 of 8

Revised January 25, 2024

APPENDIX A - ZONING

USES PERMITTED ^a	ZONING DISTRICTS																									OVERLAY	
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RSA	R MO	OG R	OG	CL	CF ¹⁴	CH	MU	CBD	HI	GI	LI	24RS-S	CMR	CM	CU	P	CCO
Saw Mills																			X								N
Scrap Metal Processors																			S								N
Scrap Metal Distribution and Storage																			S								N
Scrap Processing Yard																			S								N
Secondary Material Dealers																			S								N
Silverware and Cutlery																			X	X	X						N*
Small Moulded Metal Products																			X	X							N
Sporting Goods																			X	X	X						N
Stone, Clay, Glass, and Concrete Products																			X	X							N*
Textile, Apparel Products, Cotton--Factoring, Grading																			X	X	X						N*
Textile, Apparel Products, Cotton Gin																			X	X							N
Tire Manufacture																			X	X							N
Tobacco Products																			X	X							N
Toiletries																			X	X	X						N*
Transportation Equipment																			X	X	X						N
Warehousing, Transporting/Distributing ¹⁸																			X	X	X						N
Winery ²⁰																			X	X	X						N
TRANSPORTATION AND PUBLIC UTILITIES																											
Bus Terminal or Service Facility																	X		X	X	X						
Electric Transmission, Gas Piping, Water/Sanitary																			X	X	X						
Sewer Pumping Station	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
Freight Terminal, Service Facility																			X	X	X						N
Garbage or Refuse Collection Service																			X	X							N
Gas, Electric (Including Solar Farms), Water, Sewerage Production and/or Treatment Facility, Landfill ¹⁶																			X	X	S						
Post Office or Postal Facility														X	X	X	X	X	S		X	X					N
Railroad Station/Terminal																			S	S	S						
Refuse Processing, Treatment, and Storage																			S								N
Telephone or Communication Services															X	X	X	X	X	X	X						
Taxicab Dispatch Station															X	X			X	X	X						N

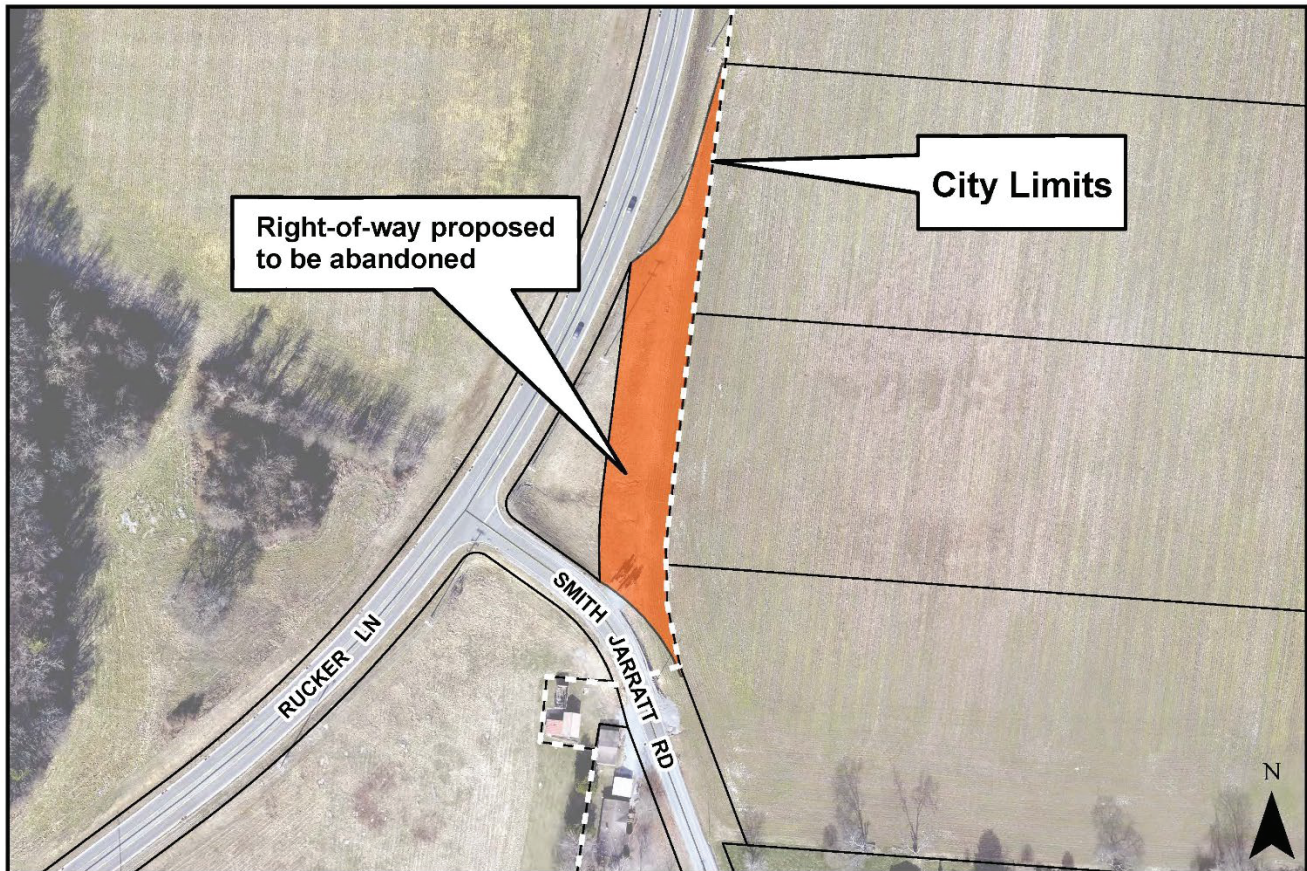
X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 2, 2024
PROJECT PLANNER: RICHARD DONOVAN**

- 5.c. Mandatory Referral [2024-709] for the abandonment of a portion of Rucker Lane right-of-way located at the intersection of Rucker Lane and Smith Jarratt Road, SEC, Inc. on behalf of Kevin Waldron applicant.**



In this mandatory referral, the Planning Commission is being asked to consider the abandonment of a portion of Rucker Lane public right-of-way (ROW). The above-mentioned request for abandonment is depicted on the attached exhibit pages that are included in the agenda materials. Per the attached exhibit, prepared by SEC, Inc., the portion of Rucker Lane ROW requested to be abandoned is shown in hatched gray area. The above-mentioned right-of-way was a portion of the prior alignment of Rucker Lane but now contains no roadway. The applicant is requesting abandonment of the right-of-way to combine it with the adjacent parcels in order to provide additional frontage and access to Smith Jarratt Road and Rucker Lane for those parcels.

Staff has obtained comments from other City departments and utility providers regarding the impact of the proposed ROW abandonment. Their responses are included in the attached memorandum from Planning staff. The report attachments include the map depicting the location of the ROW in question.

Based on the responses received, staff recommends the following conditions of approval be applicable to the ROW abandonment:

- 1) The applicant shall prepare and submit legal descriptions and exhibits necessary for the City Legal Department to draft any necessary legal instruments. Such instrument(s) shall be subject to the final approval of the City Legal Department.
- 2) The applicant shall be responsible for the recording of the legal instrument(s), including payment of the recording fee.
- 3) The 50' wide abandoned right-of-way shall be combined with contiguous property via a duly-approved and recorded subdivision plat, submitted to both the City and County for review and approval.

Action Needed

The Planning Commission should conduct a public hearing and then discuss this matter and formulate a recommendation to the City Council regarding the abandonment. Staff recommends that any approval be made subject to the above conditions.

Attachments:

- 1) Memorandum from Planning Staff regarding responses
- 2) Non-Ortho and Ortho maps depicting the abandonment area
- 3) Applicant Request to Abandon ROW letter, legal descriptions, and engineer map

Memorandum

To: Greg McKnight, Executive Director of Development Services
Ben Newman, Planning Director
Matthew Blomeley, Assistant Planning Director
From: Richard Donovan, AICP Principal Planner
Date: September 23, 2024
Re: Mandatory Referral [2024-709] for the abandonment of a portion of Rucker Lane right-of-way located at the intersection of Rucker Lane and Smith Jarratt Road

Following is a summary of the City department staff and utility provider comments regarding the requested right-of-way (ROW) abandonment.

Engineering & Streets Departments

Engineering & Streets does not have any comments on the abandonment.

Planning Department

In order to facilitate the abandonment process, the applicant should provide a legal description and exhibits necessary for the City to draft the legal documents as well as pay any recording fees. In addition, the ROW abandonment should be subject to the final approval of the legal documents by the City Attorney. The 50' wide abandoned right-of-way shall be combined with contiguous property via a duly-approved and recorded subdivision plat, submitted to both the City and County for review and approval.

Fire and Rescue Department

MFRD does not have any comments on the abandonment.

Police Department

The Murfreesboro Police Department has no objections to or concerns with the ROW abandonment request.

Solid Waste Department

The abandonment will pose no problems for the Solid Waste Department.

Murfreesboro Water Resources Department (MWRD)

MWRD is not affected by the abandonment of this right of way. There is not any water, sewer, or repurified water in the area.

Consolidated Utility District (CUD)

CUD does not have an issue with this right-of-way abandonment.

Middle Tennessee Electric Members Cooperative (MTE)

MTE has no comments.

AT&T

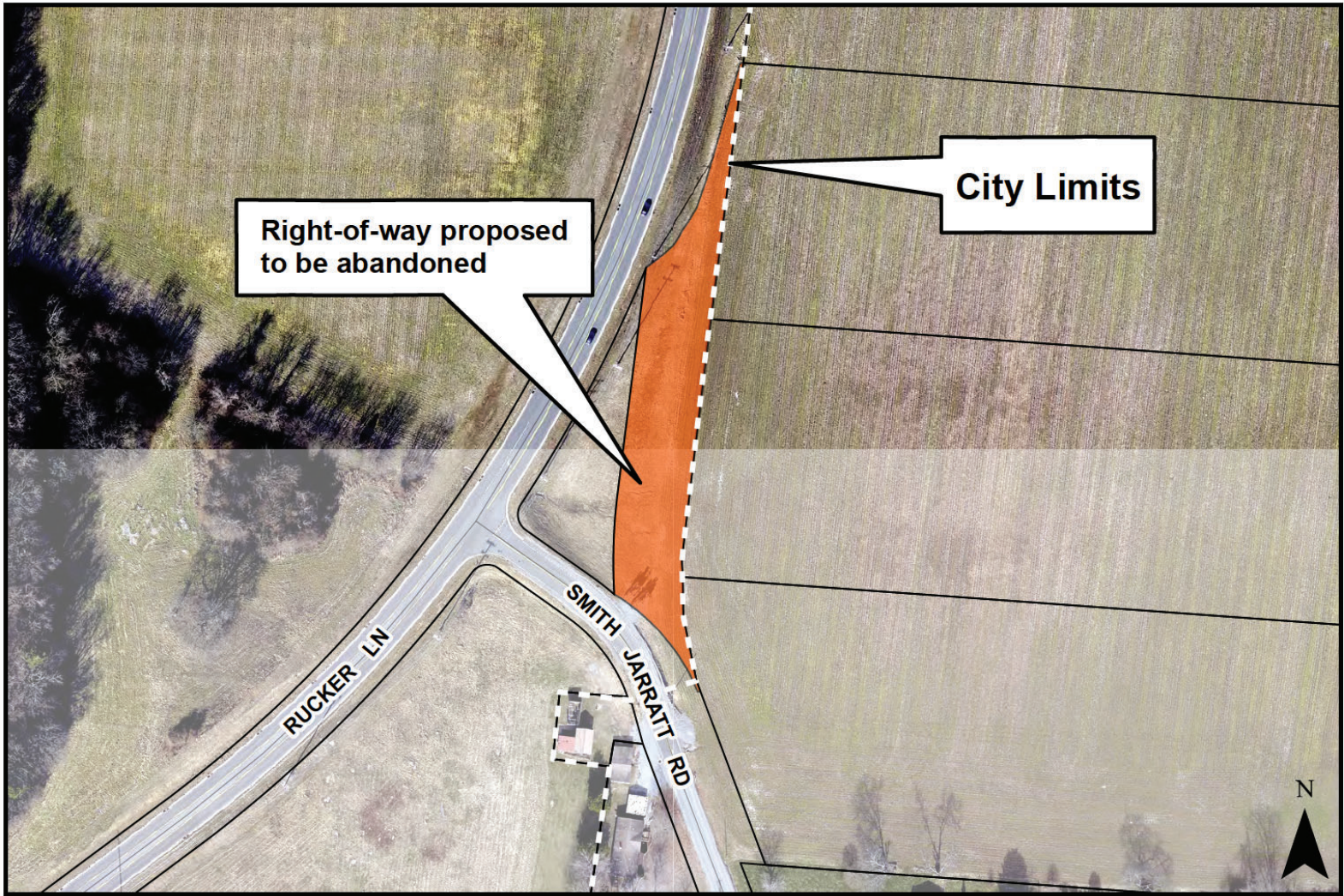
ATT has not responded to the Planning Department's requests for information regarding this proposed abandonment.

Atmos Energy

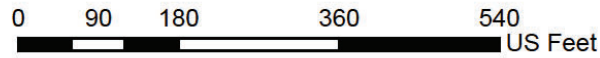
Atmos Energy has not responded to the Planning Department's requests for information regarding this proposed abandonment.

Comcast

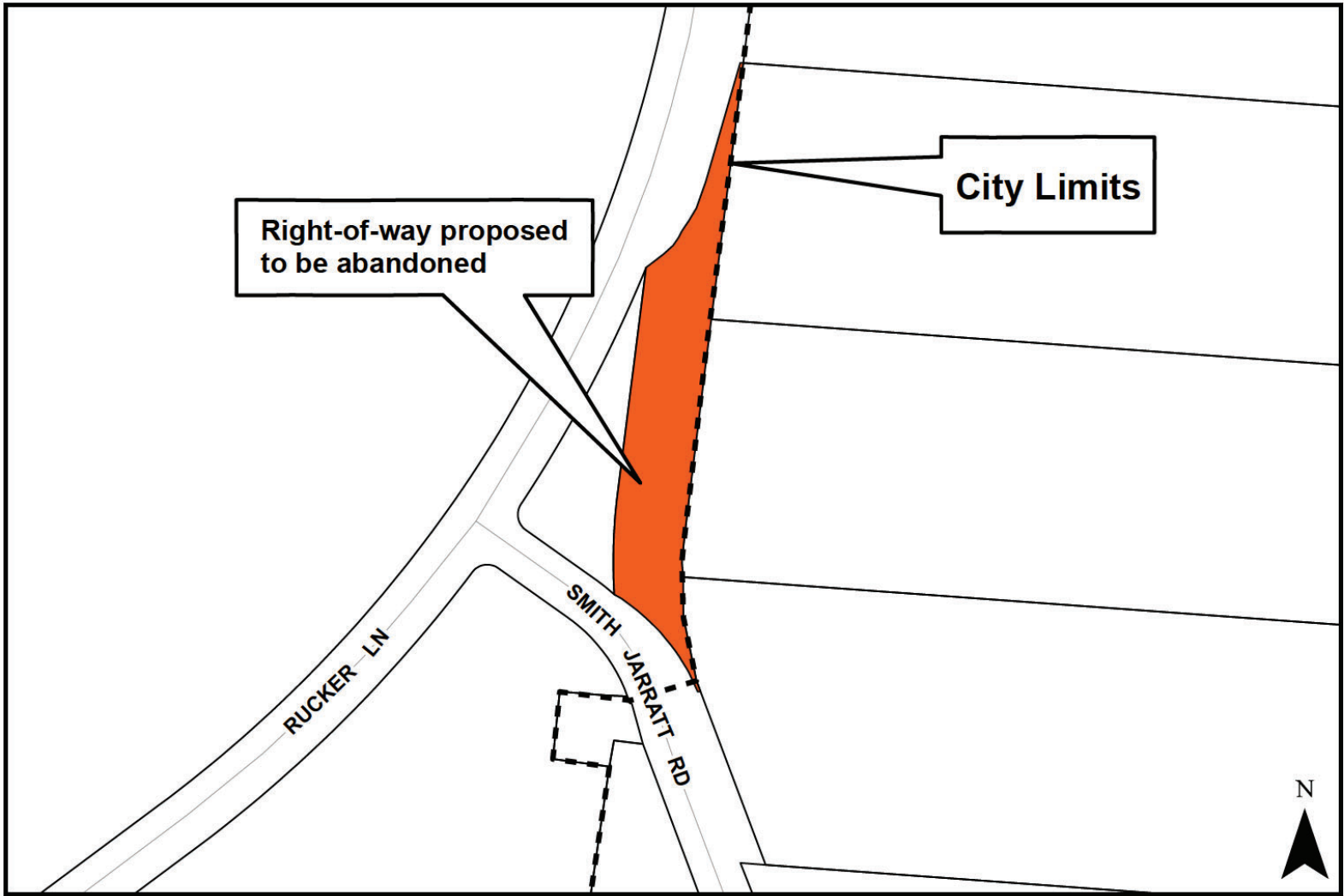
Comcast does not have any conflicts.



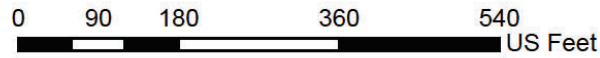
Request to abandon a segment of Rucker Lane public right-of-way



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Request to abandon a segment of Rucker Lane public right-of-way



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



City of Murfreesboro
Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, **INCLUDING** abandonment of right-of-way..... \$350.00
Mandatory Referral, **NOT INCLUDING** abandonment of right-of-way..... \$150.00

Property Information:

Adjacent to: Map 115
Tax Map/Group/Parcel: Parcels 18.01, 18.02, 18.04 | Address (if applicable): Rucker Lane
Street Name (if abandonment of ROW): Rucker Lane
Type of Mandatory Referral: Right-of-Way Abandonment

Applicant Information:

Name of Applicant: David Parker
Company Name (if applicable): SEC, Inc.
Street Address or PO Box: 850 Middle Tennessee Blvd.
City: Murfreesboro
State: TN | Zip Code: 37129
Email Address: [REDACTED]
Phone Number: [REDACTED]

Required Attachments:

- ☒ Letter from applicant detailing the request
- ☒ Exhibit of requested area, drawn to scale
- ☒ Legal description (if applicable)

David Parker

Applicant Signature

04-11-2024

Date

SEC, Inc.

SITE ENGINEERING CONSULTANTS

Engineering • Surveying • Land Planning
850 Middle Tennessee Blvd, Murfreesboro, TN 37129

April 11, 2024

Matthew Blomeley
City of Murfreesboro Planning Dept.
111 West Vine Street
Murfreesboro, TN 37133-1139

Re: Rucker Lane ROW
Right-of-Way Abandonment Mandatory Referral
SEC Job # 24024

Dear Matthew,

Please find the attached supplemental documents for the mandatory referral request to abandon the portion of Rucker Lane right-of-way that is shown on the exhibit. This land is excess right-of-way left over from the realignment of Rucker Lane and will be added to the adjacent properties.

If you have any questions or need additional information, please feel free to contact me at

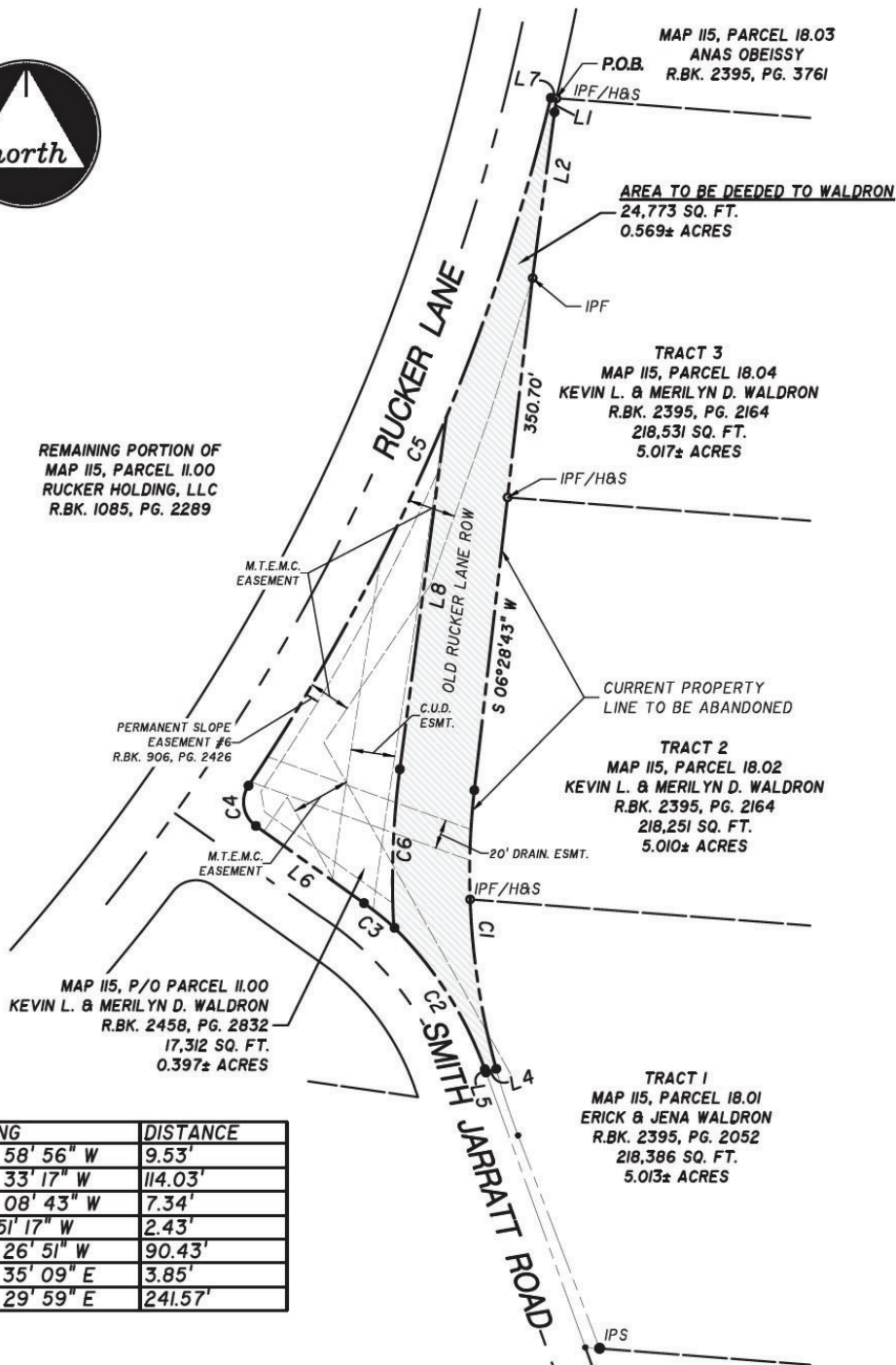
Respectfully,



David A. Parker, RLS
SEC, Inc.

SEC, Inc.

WWW.SEC-CIVIL.COM

SITE ENGINEERING CONSULTANTS**ENGINEERING SURVEYING LAND PLANNING
LANDSCAPE ARCHITECTURE**850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567**LINE TABLE**

LINE	BEARING	DISTANCE
L1	S 07° 58' 56" W	9.53'
L2	S 07° 33' 17" W	114.03'
L4	S 70° 08' 43" W	7.34'
L5	N 19° 51' 17" W	2.43'
L6	N 54° 26' 51" W	90.43'
L7	S 85° 35' 09" E	3.85'
L8	N 07° 29' 59" E	241.57'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	500.00'	191.44'	S 04° 29' 24" E	190.27'	21° 56' 13"
C2	260.95'	115.06'	N 32° 34' 02" W	114.13'	25° 15' 48"
C3	227.97'	26.74'	N 51° 03' 55" W	26.72'	6° 43' 14"
C4	20.00'	30.81'	N 10° 19' 03" W	27.85'	88° 15' 51"
C5	1,461.08'	513.99'	N 23° 42' 58" E	511.35'	20° 09' 22"
C6	580.00'	107.74'	N 02° 12' 06" E	107.58'	10° 38' 34"

CITY OF MURFREESBORO R.O.W. EXHIBIT
 MAP 115, P/O PARCELS 18.01, 18.02, & 18.04
 DATE: 5/6/2024 R.B. 2395, PG. 2052 (R.O.R.C., TN)

REV DATE:
 8/7/2024

SCALE: 1" = 100'

DRAWN BY: WCC
 SEC#: 24020

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 2, 2024
PROJECT PLANNER: HOLLY SMYTH**

5.d. Zoning application [2024-412] for approximately 5.1 acres located along Greenland Drive to be rezoned from RM-16 to PRD (Crossings at Greenland PRD), SW Capital Group applicant.

The subject property is located at 920 Greenland Drive west of Fairview Avenue and was originally named The Woods at Greenland around 2000 when it was first approved. The entire existing apartment complex is zoned RM-16, consists of 1 parcel, and is identified as Tax Map 0901, Group C, Parcel 004.00. As shown on page 13 of the program book, the existing complex contains **78** dwelling units with 276 bedrooms and 276 bathrooms, with an existing density of **15.29 units to the acre**.

The applicant is applying to rezone from RM-16 to PRD to allow a total of 120 units, with 222 bedrooms and 222 bathrooms within the existing building interiors, equating to **23.26 units per acre**. The proposal includes the reconfiguration of the existing interiors within the existing building footprints, increasing the number of units from 78 to 120 (**for 42 net new units**). This would be accomplished by turning 4-bedroom/4-bathroom student housing apartment units into traditional 1-bedroom and 2-bedroom apartments. This would decrease the number of overall bedrooms by 54 and reduce the number of bathrooms by 54. Even though the bedroom and bathroom count is being reduced by 24% within the existing building floor area, gross density would increase by 7.97 units to the acre. The modifications to this existing apartment complex are part of a rebranding and new management strategy by the new property owners that will also address deferred maintenance of the units and upgrading the site. The proposed density exceeds the maximum allowable density of the current underlying RM-16 zoning and sewer allocation, prompting the applicants to apply for the rezone described above.

The applicant has submitted paperwork to the Murfreesboro Water Resources Department (MWRD) and MWRD believes that this bifurcation project as proposed would reduce the daily wastewater generation. Ordinance 22-O-25 states if MWRD can make this determination, that the City may authorize a project if Council, via the rezoning process, decides the project is consistent with the "City's adopted land use plans and policies concerning growth and development" and determines that "the application promotes public health or safety or the general welfare of the City and its residents". Furthermore, the Council may condition its approval on incorporating certain public infrastructure improvements into the site plan and the developer replacing plumbing fixtures within the development with new low-flow fixtures as well as metering or sub-metering each building and paying the standard water and sewer hookup fees. Therefore, a separate sewer variance is not needed from Council with these factors being determined with the rezone request to PRD. MWRD has stated that "the owner must replace all fixtures throughout the entire property with new low flow fixtures" at a minimum. Each building currently has an existing sewer meter.

Adjacent Zoning and Land Uses

Surrounding zoning is RM-16 (Residential Multi-Family) to the west, south, and east and RD (Residential Duplex) and RS-10 (Residential Single Family) to the north across Greenland Drive as shown on page 3 of the program book. The surrounding uses include apartments to the west, single-family homes to the south and north, and townhomes to the east, as depicted on page 8 of the program book.

Proposed PRD

The development has two points of ingress/egress; with the primary full access rolling gate entrance on Greenland Drive (designated as a Commercial Collector roadway) and the secondary gated exit out onto Fairview Avenue (designated as a Local roadway). The applicant has decided to remove the vehicular gates at the main and back entrances. Improvements to the pedestrian access gates around the project site to make them operable have been incorporated into the program book.

The existing versus proposed unit layout is shown on page 14 converting all of the 4--bedroom units into 1- or 2-bedroom units. Page 19 shows the project phasing with the recently completed phase 1 being the renovation of the community building, pool, and replacing the wood siding on the exterior of the wood trash enclosures. Additionally, all of the units that will not be reconfigured into different unit types will be receiving new paint, flooring, and fixtures. Phases 2 and 3 involve the interior reconfiguration of the 4-bedroom units as well as further site improvements shown on pages 22 and 23.

The Site Data table on page 13 shows the pre- and post-project unit breakdown below. Each of the 4-bedroom units are approximately 1,416 square feet in size and will be converted into a 1-bedroom and 2-bedroom unit. The 1 bedroom units will range from 613 sf to 717 square feet with either 1 or 2 bathrooms. The 2 bedroom units will have 2 bathrooms and contain approximately 790 square feet.

	1- Bdrm	2- Bdrm	3- Bdrm	4-Bdrm	Total
Original Units	0	0	36	42	78
Post Renovation Units	54	30	36	0	120
Net Change Units	+54	+30	0	-42	+42 (Net New)

There is a table on page 13 that breaks down the original parking requirements and unit mix as well as the proposed post-renovated unit mix with its current parking requirements. There are 270 parking spaces in the complex today. The post-renovation project will require 266 parking spaces based on today's requirements, thus providing a **4-stall surplus**. No changes are proposed to modify the parking layout or the number of spaces in the complex. However, the developer will be repairing, overlaying and restriping the parking stalls just outside of the existing front gate area shown on page 22 of the program book, in order to continue to have the 270 spaces.



Trash is handled via dumpsters within 3 wooden trash enclosures. There are no trash compactors onsite, even though the City requires they be provided when exceeding 15 units. The enclosures were recently repaired and painted with new cementitious siding over the existing particle board structure. The standards require “All dumpster / refuse collection areas shall be enclosed with a masonry wall that is a minimum of one foot in height taller than the top of the refuse

container used for collection as well as matches the color and materials of the building with a base and cap” to compliment the building (per Section III(E)(2)). Additionally, an “opaque wall/gate on all 4 sides with material that is compatible with architecture...” and “evergreen landscape material to soften visual appearance around enclosure walls, with a minimum 24” height of evergreen plant material at the time of planting” are required (per DG Section IV(C)(3)). Phase 2 in the program book on page 22 reflects that the existing 3 trash enclosures will be rebuilt to meet city standards.

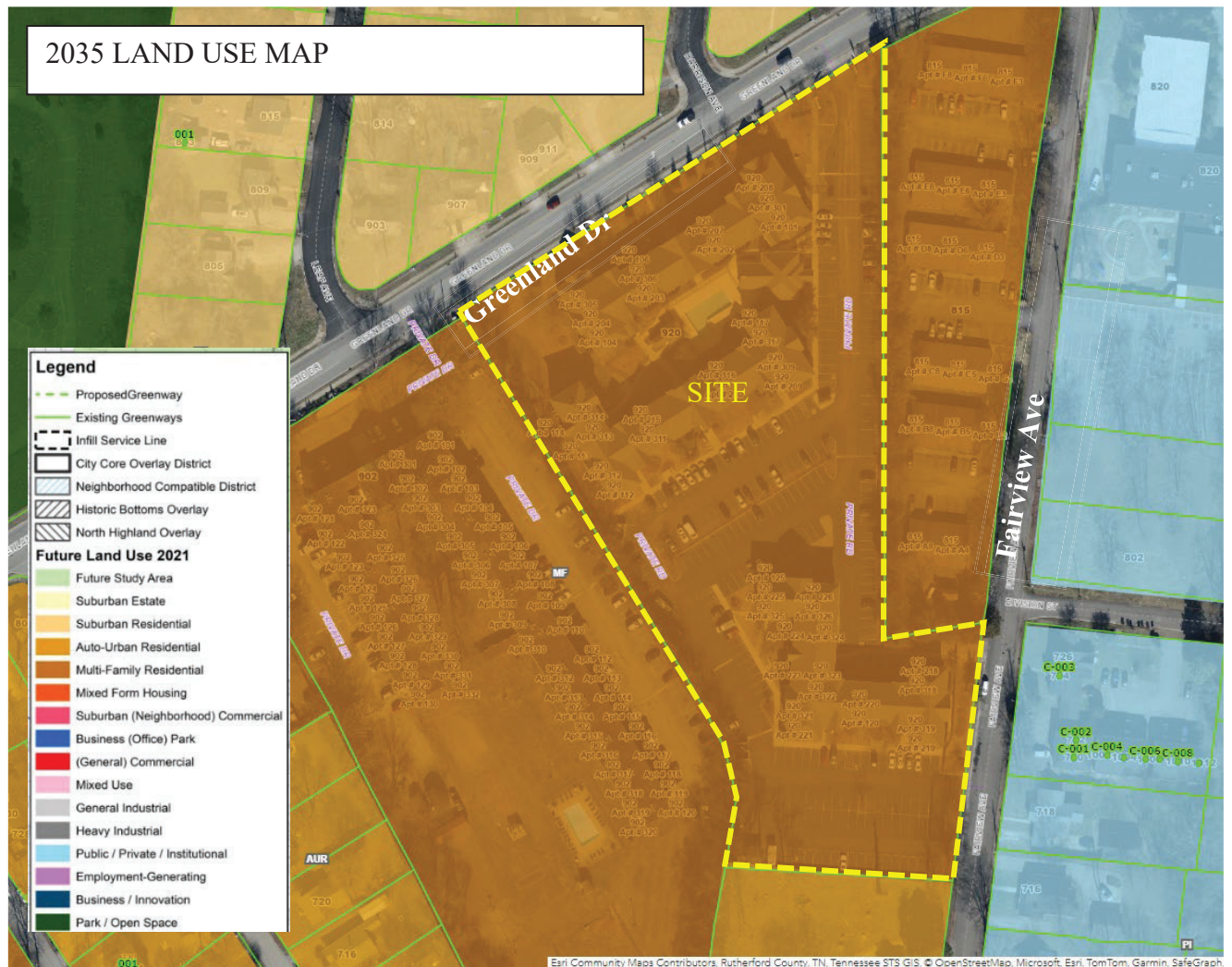
The existing building exterior consists of split-faced CMU block or horizontal siding at the base of building and brick or siding at the 2nd and 3rd floor levels, with asphalt shingle roofing and white vinyl windows. The exteriors of the buildings will be cleaned and the existing exterior materials and windows will remain. One deteriorating window on the backside of the main office will be replaced with the upgrades. Various on-site amenity upgrades and maintenance enhancements are shown on pages 20-23 of the program book.

The only exception being requested, as shown in red on page 25 of the program book, is an increase in density from 16 dwelling units to the acre to 23.26 dwelling units to the acre within the existing building footprints.

Future Land Use Map

The future land use map contained in the *Murfreesboro 2035 Comprehensive Plan*, recommends that the subject property develop as Multi-Family Residential land use character (see excerpt from the future land use map below). This classification accommodates developments with complexes of often several, multi-story multi-family buildings, interspersed with parking lots and open spaces.

Development intensity is up to 16 units per acre (or as allowed by the Sanitary Sewer Allocation Ordinance), with RM-12, RM-16, PUD, and PRD considered compatible zoning districts. The proposed PRD designation is consistent with the future land use map of the General Plan.



Department Recommendation

Staff is supportive of this rezoning request for the following reasons:

- 1) The proposal is consistent with the Murfreesboro 2035 future land use map.
- 2) The proposal is compatible with existing land uses in the area.
- 3) The proposed reconfiguration and renovations would allow reinvestment into an existing complex in disrepair and will bring on-site management during business hours that will promote the creation of a safe and desirable living environment for residential areas
- 4) The proposed improvements will extend the useful life of the property.
- 5) The reduction of bedrooms and bathrooms and the installation of low-flow devices throughout should reduce the sewer impact on the City per details provided to Murfreesboro Water Resources Department and experienced in other bifurcation projects.

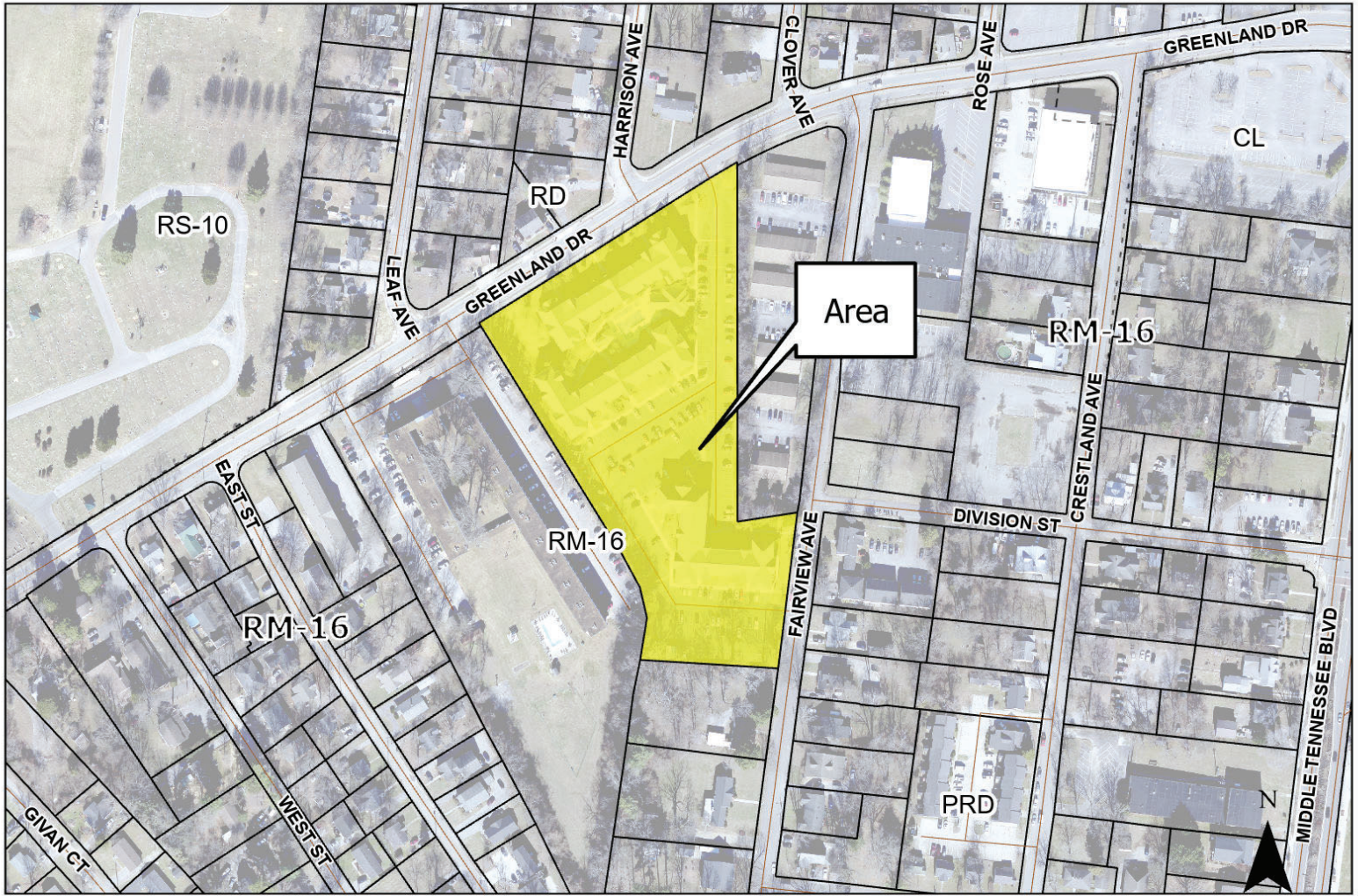
Action Needed

The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should hold the public hearing, discuss this item, and then formulate a recommendation to the City Council.

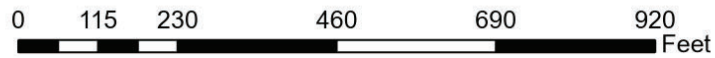
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Attachments

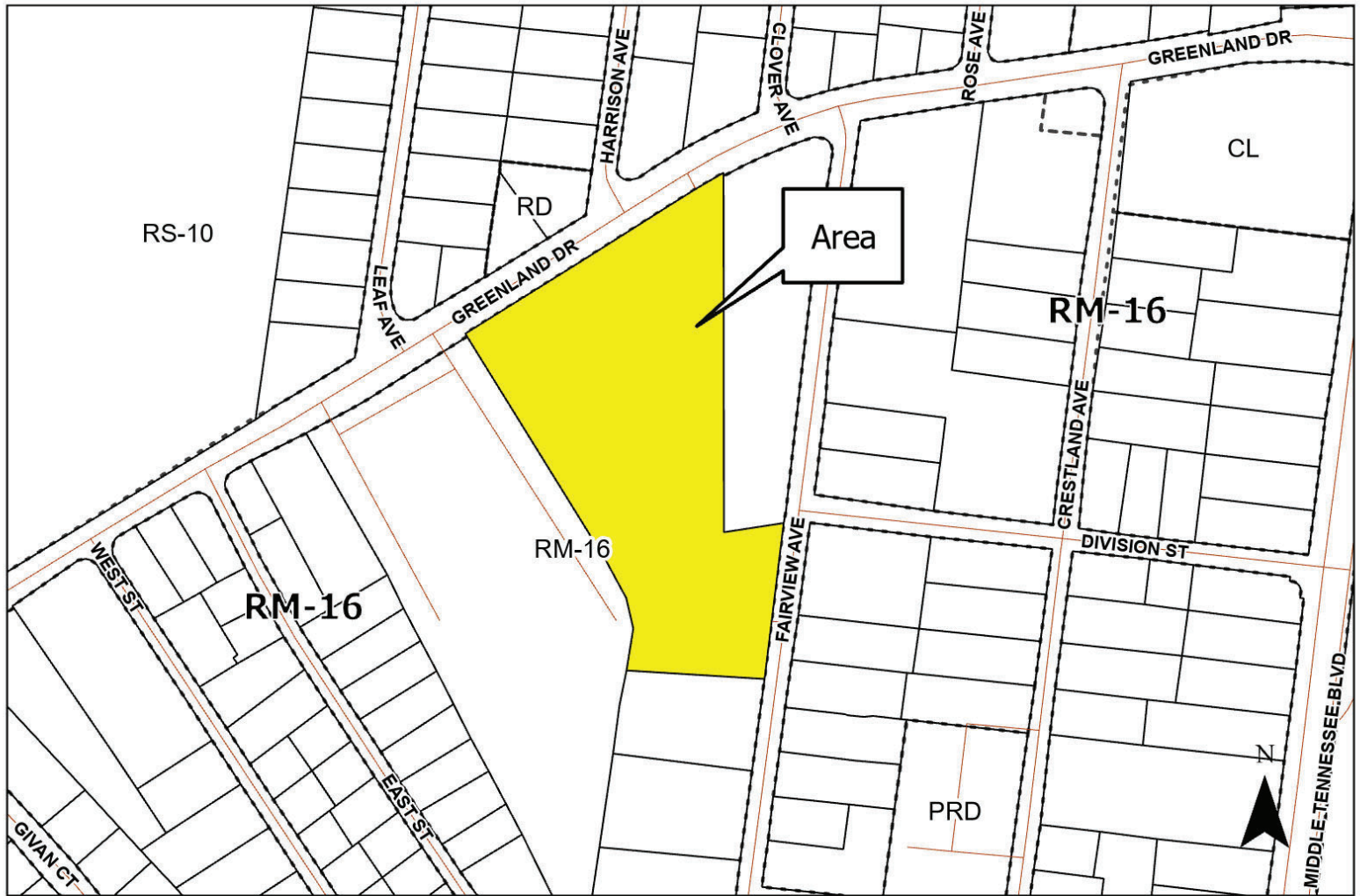
- Ortho Map
- No-ortho Map
- Updated Program Book



Rezoning request for property along Greenland Drive & Fairview Avenue
RM-16 to PRD (Crossings at Greenland PRD)



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Rezoning request for property along Greenland Drive & Fairview Avenue
RM-16 to PRD (Crossings at Greenland PRD)



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

920 Greenland Drive

**SUBMITTED OCTOBER 2, 2024
FOR PLANNING COMMISSION.**



HUDDLESTON-STEEL
ENGINEERING, INC.

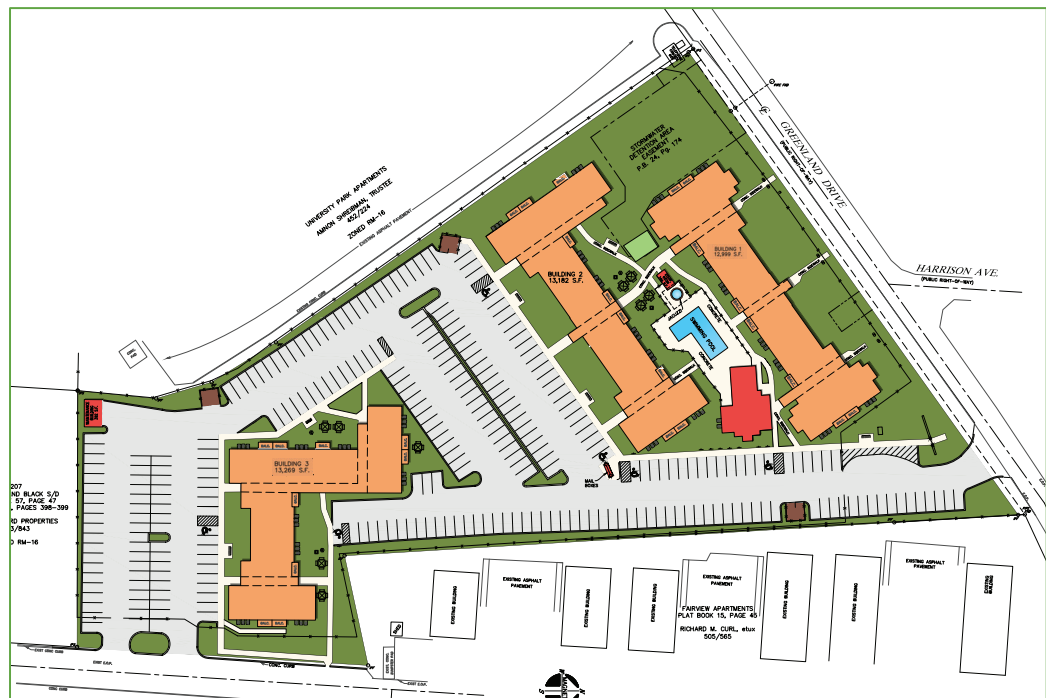


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PROJECT SUMMARY

The property known as The Crossings at Greenland, located at 920 Greenland Drive was established in 2000 as "The Woods at Greenland" and currently holds an RM-16 zoning designation. Comprising 5.16 acres of land, the property features 3 apartment buildings with a total of 78 units, resulting in a density of 15.29 units per acre. It is positioned approximately 1 mile from the MTSU campus.

The unit composition includes (36) 3-bedroom units, and (42) 4-bedroom units, amounting to 78 units in total. Originally designed for student housing, the new ownership has proposed to modify the property to accommodate a more diverse demographic, given its distance from the campus and the presence of competing apartment complexes.

The SW Capital Group acquired the property over two years ago with intentions of converting all 4-bedroom units into (54) 1-bedroom units and (30) 2-bedroom units. Including the 36 existing 3-bedroom units, this modification will increase the total unit count to 120 units, thereby creating 42 net new units and raising the density to 23.26 units per acre.

The developer has executed significant enhancements to the property as part of the initial development phase 1, encompassing signage modifications, improvements to stairs and landings, replacement of swimming pool furniture, remodeling of the clubhouse and gym, and the renewal of lighting fixtures throughout the property. The existing apartment units have been updated to include new flooring, paint, plumbing fixtures (low-flow), lighting, countertops, cabinets, and furniture. There are plans for two additional development phases, as outlined in the phasing plan section of the document.

The complex has full-time onsite management available during business hours. Additionally, the owner has committed to offering reduced rental rates to law enforcement personnel.

OWNER/ DEVELOPER

Company	SW Capital Group	Attn	Jake Worley
Address	425 Walnut Street, Suite 1800, Cincinnati, OH, 45202	Phone	614.746.6418
		Email	jake@swcapitalgroup.com

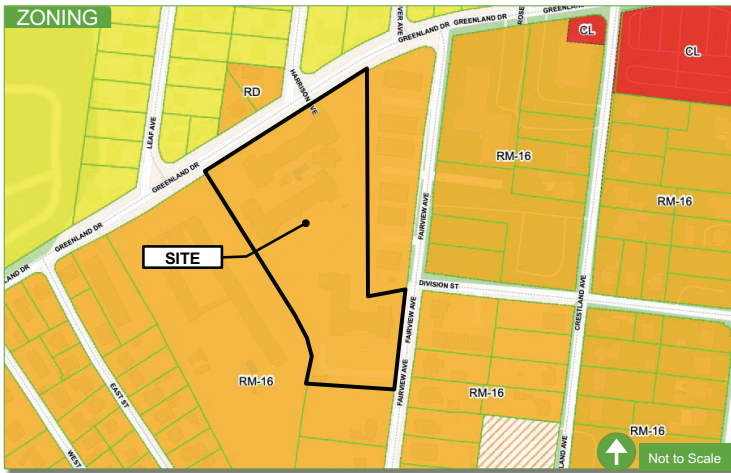
PLANNING

Company	Huddleston – Steele Engineering Inc.	Attn	Clyde Rountree, RLA
Address	2115 N.W. Broad Street, Murfreesboro, TN, 37129	Phone	615.509.5930
		Email	roundtree.associates@yahoo.com

ENGINEERING

Company	Huddleston – Steele Engineering Inc.	Attn	Chris Maguire, P.E. R.L.S.
Address	2115 N.W. Broad Street, Murfreesboro, TN, 37129	Phone	615.893.4084
		Email	cmaguire@hsengr.com

HS HUDDLESTON-STEELE
ENGINEERING, INC.
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Legend

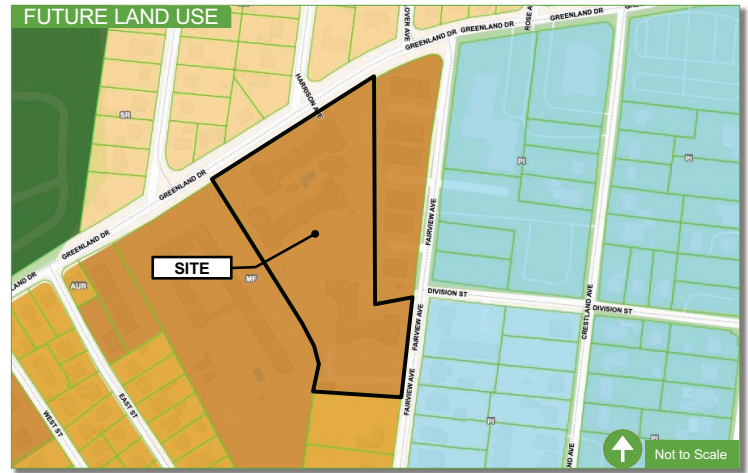
Residential Single Family (RS)	RS	Planned Unit Development	PRD
Residential Multi Family (MS)	RM	Commercial Local	CL

Site boundary



Map Summary

The subject property is zoned RM-16 to the east, south and west. The property to the north is zoned RD and RS-10.



Legend

Suburban Residential	SR	Auto Urban Residential	AUR
Multi Family Residential	MF	Public/Private/Institutional	PI

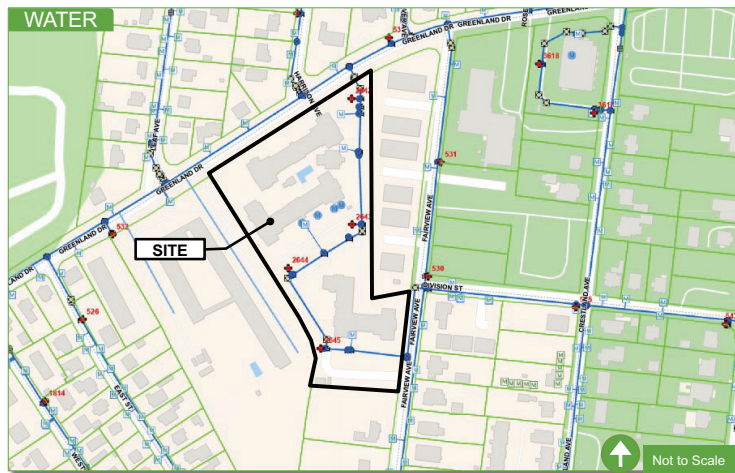
Site boundary



Map Summary

The General Plan future land use map designated the project site MULTI-FAMILY (MF) Residential Character. Higher density residential uses such as triplexes, quadplexes, and multiple-family housing. With the higher density provided with multi-family, there is also the requirement to provide on-site amenities and open space designed for public activities. Development Types: High density residential that could allow for rental or condominium (fee simple ownership) opportunities. Characteristics include designated recreational areas, often with pool house and pool, as well as other upgrades and amenities. Multi-family communities may be designed as private, gated neighborhoods or strongly oriented towards urban or public space, but in all cases, they should be designed to fit in visual context of their surroundings and related to public roadways. Typical density ranges are up to 16 (DU/ac) or as directed by the Sanitary Sewer Allocation Ordinance.

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Legend

Water Line —
Fire Hydrant +

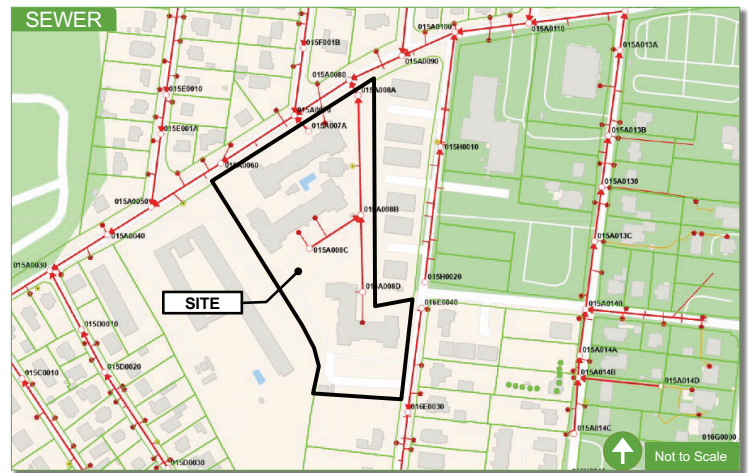


Site boundary



Map Summary

- Water services will continue to be provided by the Murfreesboro Water Resources Department.



Legend

Existing Sewer Gravity Main —
Existing Sewer Manhole ●



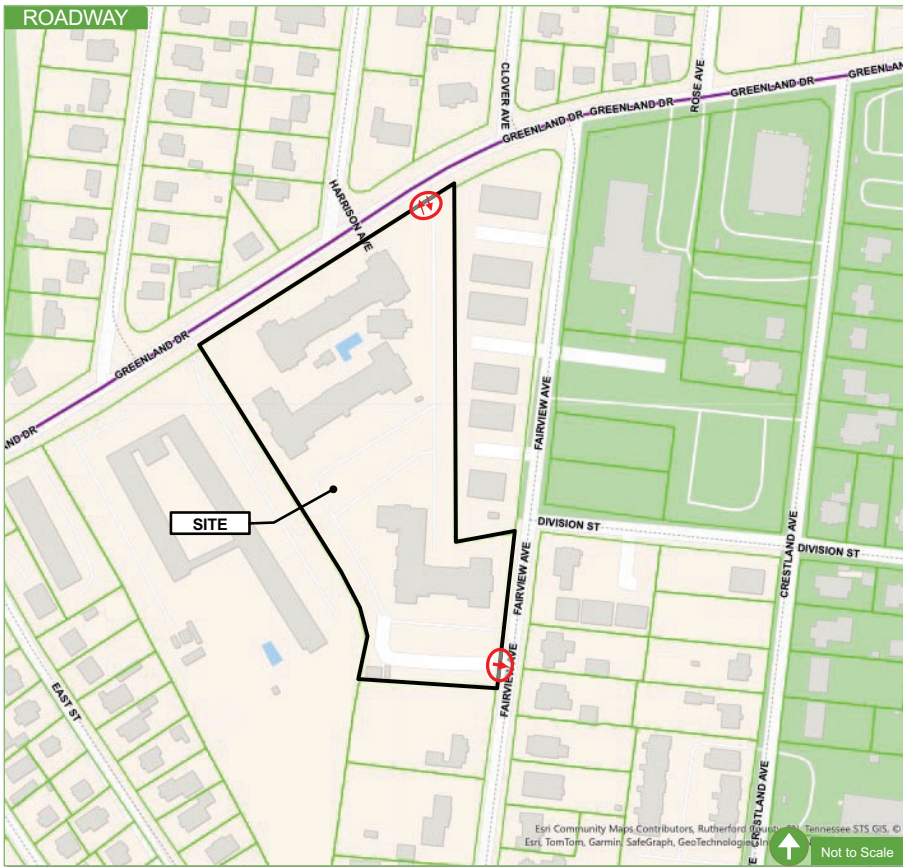
Site boundary



Map Summary

- Sanitary sewer service will continue to be provided by the Murfreesboro Water Resources Department.
- The sewer enters the property from Greenland Drive.
- The project will comply with the City of Murfreesboro sewer allocation ordinance.
- Each building has an existing sewer meter. The City of Murfreesboro will not initially require sub-metering but will monitor water usage. If usage does not decrease after a certain period, sub-metering of each building will be required.
- All plumbing fixtures throughout the property shall be replaced with new low-flow fixtures.

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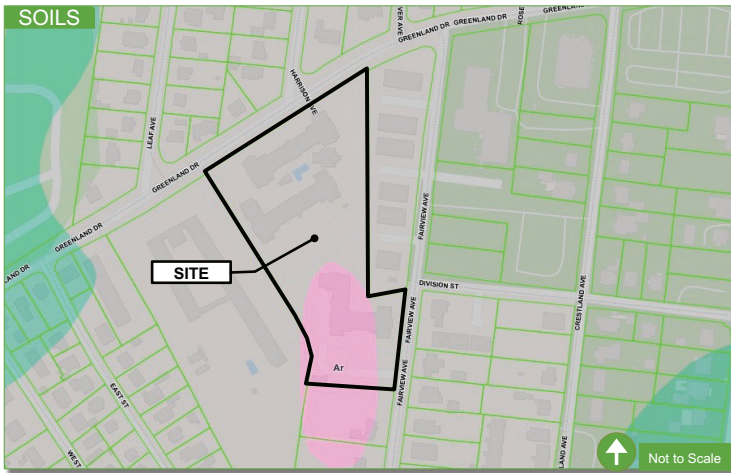


Map Summary

- The site will be primarily accessed from Greenland Drive. With a secondary exit located on Fairview Avenue.

Legend

Community Collector	Blue line	Residential Collector	Yellow line	Access Point	Red circle with lightning bolt
Major Arterial	Red line	Residential Sub Collector	Orange line	Site boundary	Black outline
Commercial Collector	Purple line				



Legend

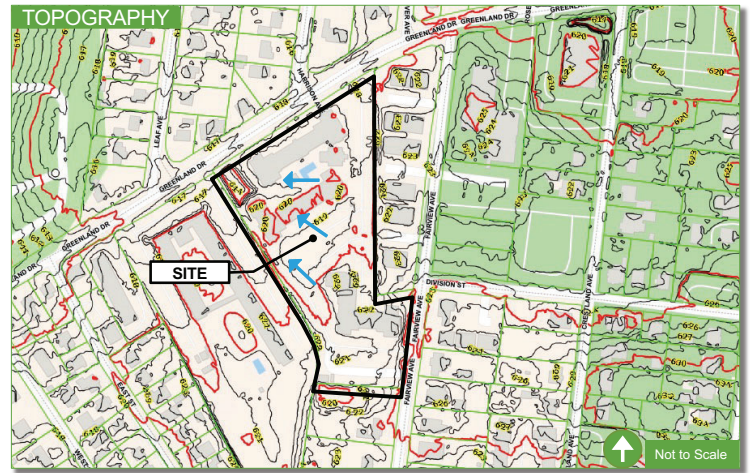


Site boundary



Map Summary

- Ar - Arrington silt loam
- CuA - Cumberland Silt loam, 0 - 2 percent slopes.



Legend

Water Flow Direction
Intermediate contours



Index Contours



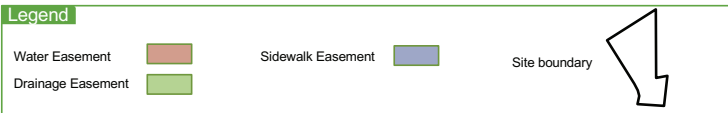
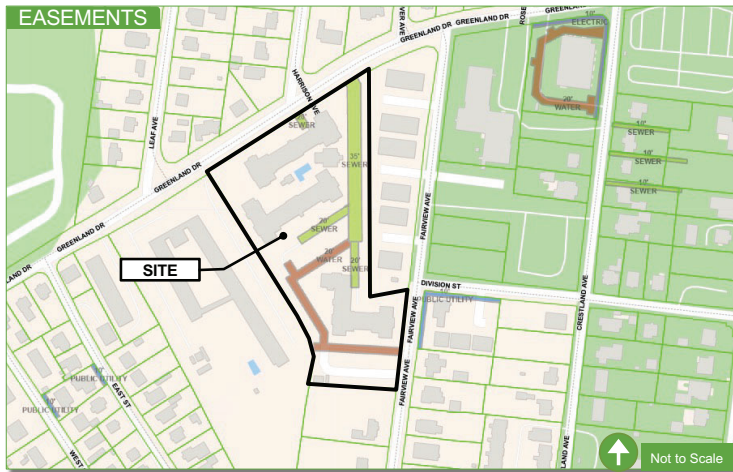
Site boundary



Map Summary

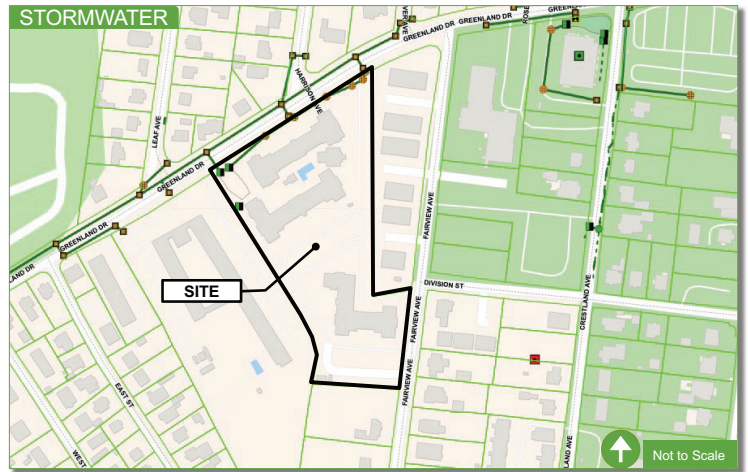
- The site is an existing development which has been graded to drain effectively. The ownership group has not identified any issues with ponding or drainage backup.

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Map Summary

- Several easement are existing on the site. The new development will not have any bearing on the existing easements.



Map Summary

- The existing stormwater infrastructure is to remain as it currently exist. No new stormwater improvements are a part of this rezoning request

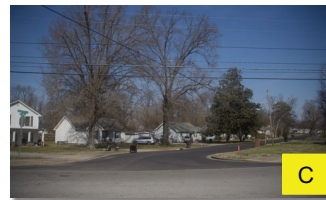
AERIAL



Map Summary

The subject property is surrounded by the Greenland Drive Annex 3 Subdivision to the north, The 902 Apartments to the west, and Fairview Townhomes to the east. To the south of the property are individual single-family lots. The subject property is located less than one mile from the MTSU campus.

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SITE PLAN

Building 1

Pool

Remodeled Clubhouse

HARRISON AVE.
(PUBLIC RIGHT-OF-WAY)

GREENLAND DRIVE
(PUBLIC RIGHT-OF-WAY)

UNIVERSITY PARK APARTMENTS
AMOR # 409/224
ZONED RM-16
EXISTING APPLT. FOOTPRINT

BUILDING 2
13,182 S.F.

BUILDING 2
13,298 S.F.

BUILDING 3
13,298 S.F.

Mail Kiosk

Waste Disposal

FARVIEW APARTMENTS
PLAT BOOK 15, PAGE 45
RICHARD M. CURL, et ux
955/965

FAIRVIEW AVE.
(PUBLIC RIGHT-OF-WAY)

N

Not to Scale

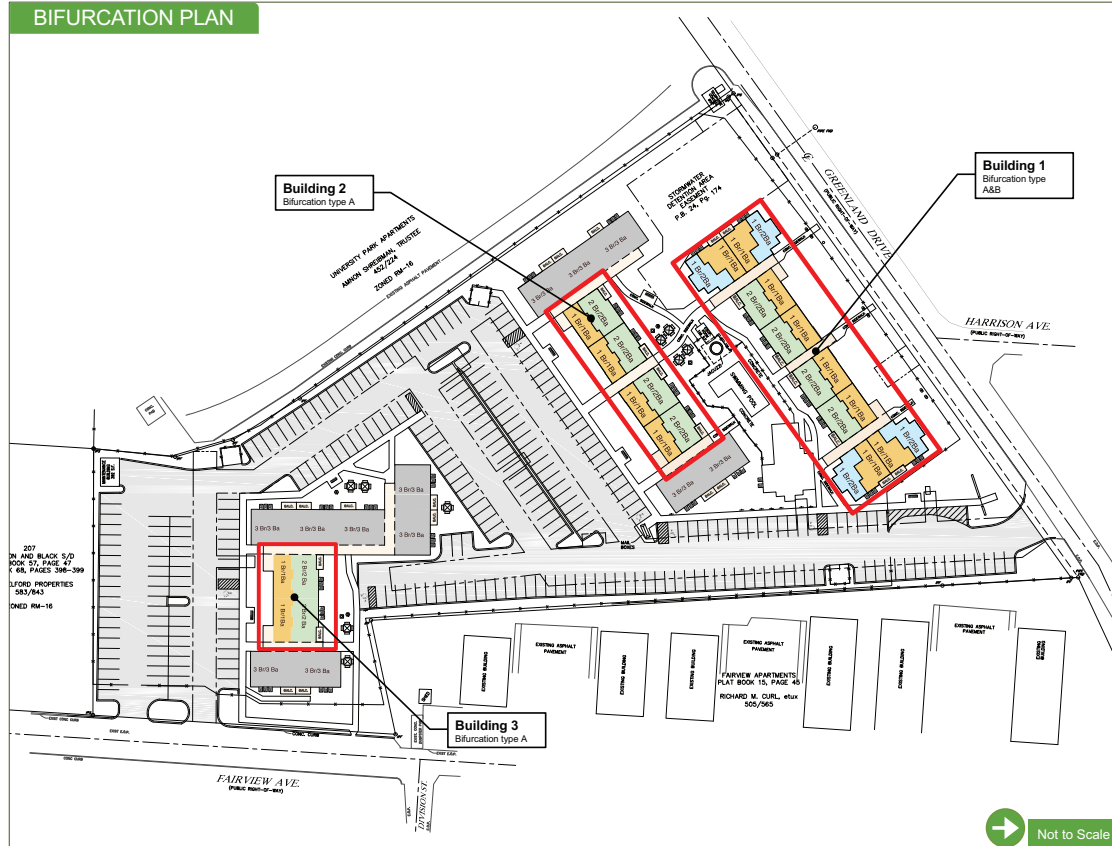
PRE-RECONFIGURATION PARKING SPACES REQUIRED	
1 SPACE PER 1 BEDROOM = 0 UNITS = 0 SPACES	
2 SPACES PER 2 BEDROOM = 0 UNITS = 0 SPACES	
3 SPACES PER 3 BEDROOM = 36 UNITS = 108 SPACES	
4 SPACES PER 4 BEDROOM = 42 UNITS = 168 SPACES	
TOTAL UNITS: 78	
TOTAL SPACES REQUIRED=	276 SPACES
TOTAL SPACES PROVIDED=	270 SPACES
POST-RECONFIGURATION PARKING SPACES REQUIRED	
1.5 SPACE PER 1 BEDROOM = 54 UNITS = 81 SPACES	
2.2 SPACES PER 2 BEDROOM = 30 UNITS = 66 SPACES	
3.3 SPACES PER 3 BEDROOM = 36 UNITS = 118.8 SPACES	
4.4 SPACES PER 4 BEDROOM = 0 UNITS = 0 SPACES	
TOTAL UNITS: 120	
TOTAL SPACES REQUIRED=	266 SPACES
TOTAL SPACES PROVIDED=	270 SPACES

SITE DATA					
Total Area	5.16 +/- Ac.				
	1-Br	2-Br	3-Br	4-Br	Total
Original Units	0	0	36	42	78
Post Renovation Units	54	30	36	0	120
Net Change Units	+54	+30	0	-42	+42
Original Density	15.29 D.U./Acre				
Post Renovation Density	23.26 D.U./Acre				
Net Change Density	+7.97 D.U./Acre				
Parking required	266				
Post Renovation Parking provided	270				
Additional Parking	4				

→ Not to Scale

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BIFURCATION PLAN



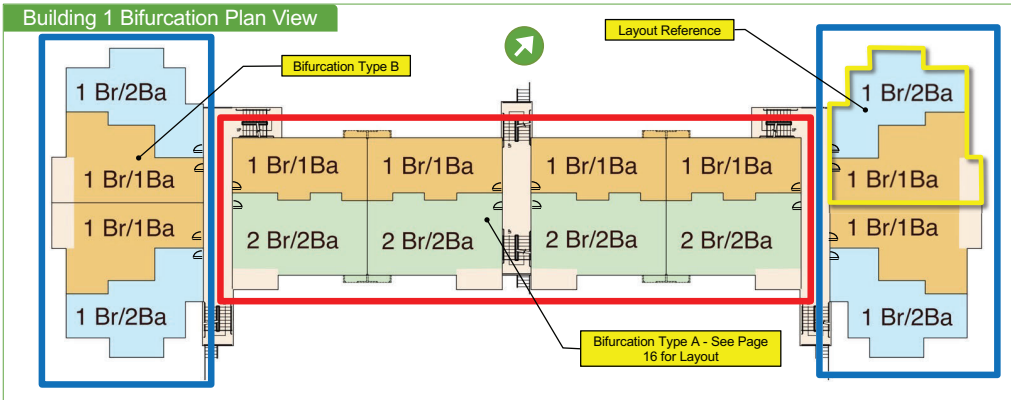
BIFURCATON SUMMARY

- The project reconfigures all existing 4-bedroom type "A" units into 1- and 2-bedroom units.
- There are 42 existing 4-bedroom units which will be converted into (30) 2-Br units and (54) 1-Br units.
- All existing buildings are fully sprinklered.

Legend

-  New 2 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
-  New 1 Bedroom, 1 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
-  New 1 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
-  Existing 3 Bedroom, 3 Bath unit
-  Existing 4 Bedroom, 4 Bath unit

Building 1 Bifurcation Plan View



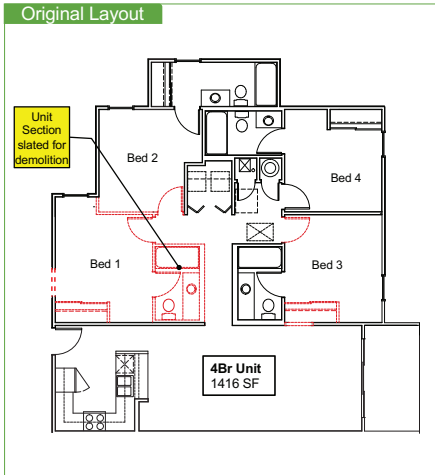
Legend

- New 2 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- New 1 Bedroom, 1 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- New 1 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- Existing 3 Bedroom, 3 Bath unit
- Existing 4 Bedroom, 4 Bath unit

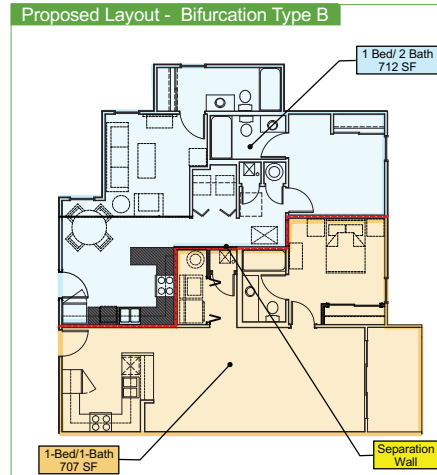
Summary

- The section of the plan view highlighted in red represents the demolished sections to accommodate new layout of all 4-bed 4-bath units after bifurcation using the bifurcation Type A plan shown in the proposed Layout on page 16.
- The section of the plan view highlighted in blue represents the new layout of all 4-bed 4-bath units after bifurcation using the bifurcation Type B plan shown in the proposed Layout.
- The bifurcation of Building 1 will affect (24) 4-Br units.
- New Kitchens will be added with no changes to existing bathroom locations.

Original Layout

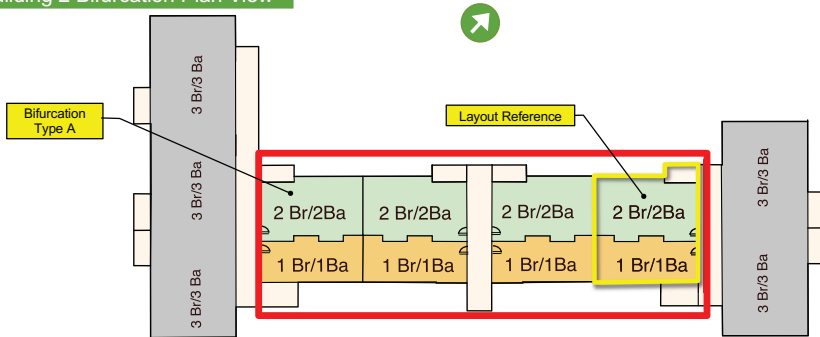


Proposed Layout - Bifurcation Type B



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Building 2 Bifurcation Plan View



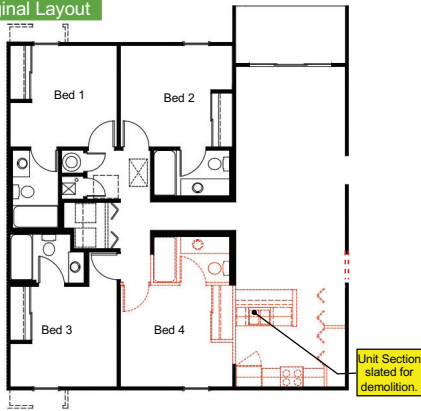
Legend

- New 2 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- New 1 Bedroom, 1 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- New 1 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- Existing 3 Bedroom, 3 Bath unit
- Existing 4 Bedroom, 4 Bath unit

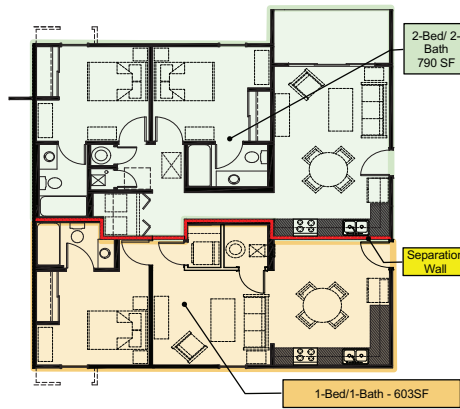
Summary

- The section of the plan view highlighted in red represents the new layout of all 4-bed 4-bath units after bifurcation using the bifurcation Type A plan shown in the proposed Layout.
- The bifurcation of Building 2 will affect (12) 4-Br Units.
- New Kitchens will be added with no changes to existing bathroom locations.

Original Layout

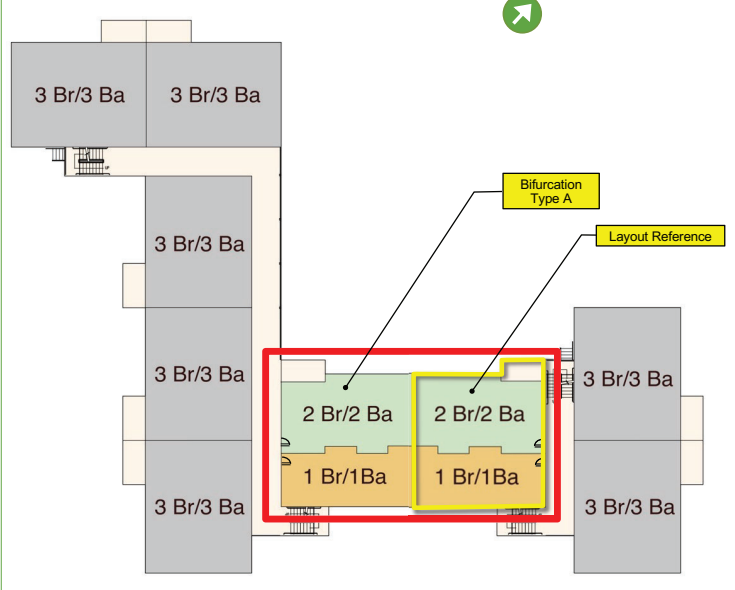


Proposed Layout - Bifurcation Type A



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Building 3 Bifurcation Plan View



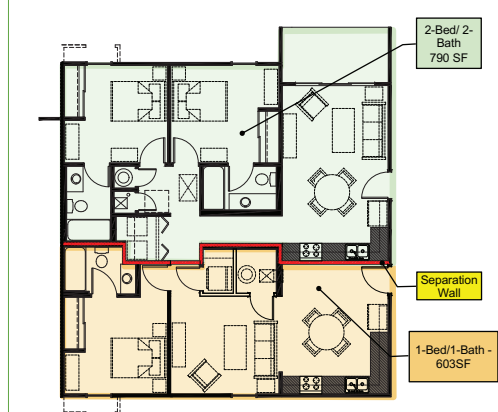
Legend

- New 2 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- New 1 Bedroom, 1 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- New 1 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- Existing 3 Bedroom, 3 Bath unit
- Existing 4 Bedroom, 4 Bath unit

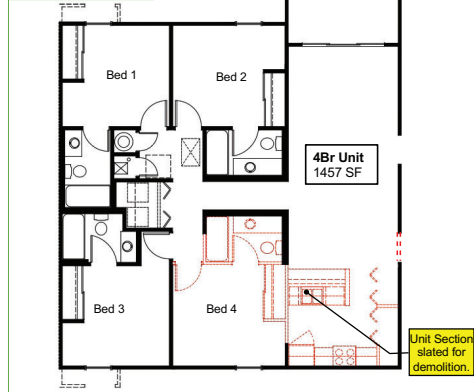
Summary

- The section of the plan view highlighted in red represents the new layout of the building once all 4-bed 4-bath units have been bifurcated using the bifurcation Type A plan shown in the proposed Layout.
- The bifurcation of Building 3 will affect (6) 4-Br Units.
- New Kitchens will be added with no changes to existing bathroom locations.

Proposed Layout - Bifurcation Type A

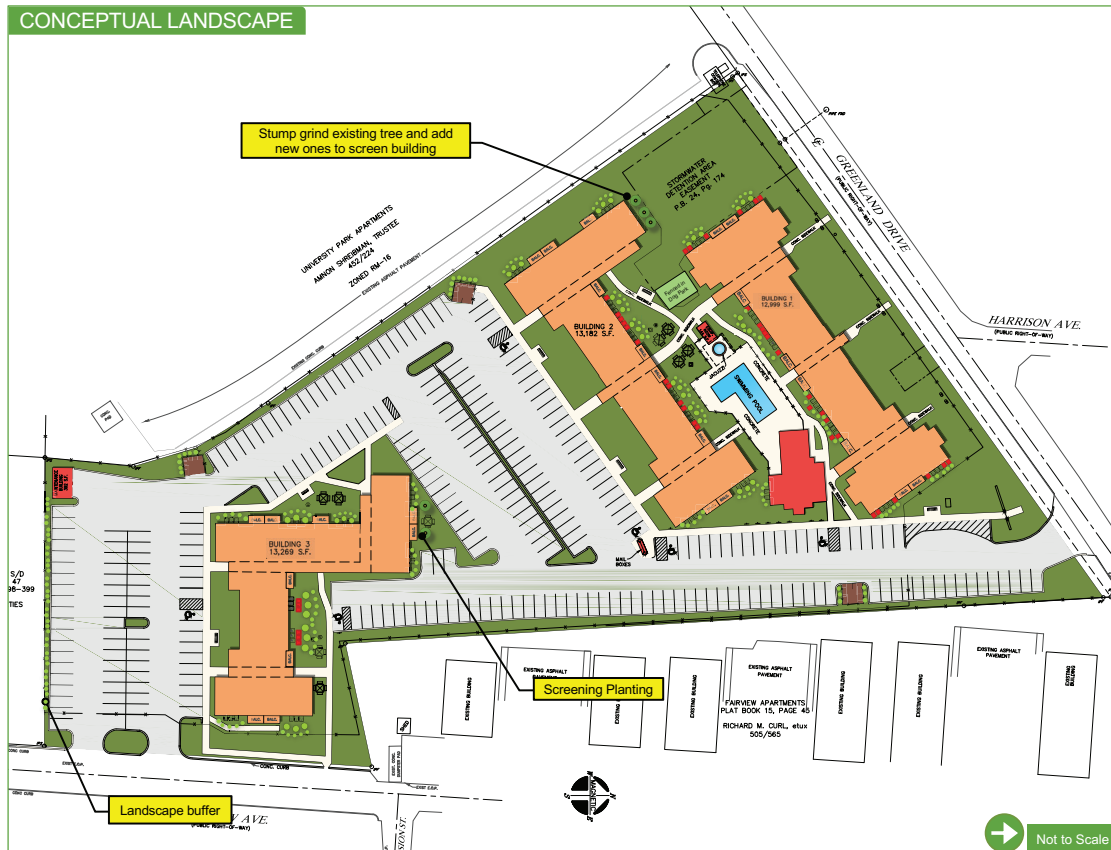


Original Layout



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2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: 615-893-4084 FAX: 615-893-0080

CONCEPTUAL LANDSCAPE



Map Summary

The apartment complex has existing landscaping that will remain. The new landscaping that will be installed as generally shown herein will be used to meet the Murfreesboro standard for screening the new and existing AC units. In addition, landscaping will be refreshed around dumpster enclosures to meet city standards and missing trees will be added where previously removed.



Legend

- New HVAC units
- Shrubs
- Trees

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Phasing Plan



Map Summary

- The Owner plans to complete the project in three phases.
- Phase 1 includes all site improvements and renovations outlined in site improvement section of document (pages 20-21).
 - Phase 2 includes the bifurcation of (24) 4-bedroom units in B1 and (6) 4-bedroom units in B3.
 - Phase 3 will include the bifurcation of (12) 4-bedroom units in B2.



Phasing	Pre Bifurcation	Post Bifurcation
Phase I ■	-	-
Phase II ■	(30) 4-Br	(42) 1-Br (18) 2-Br
Phase III ■	(12) 4-Br	(24) 1-Br

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[illegible]

During the past two years, SW Capital has made substantial investments in enhancing the property, encompassing signage modifications, improvements to stairs and landings, replacement of swimming pool furniture, remodeling of the clubhouse and gym, and the renewal of lighting fixtures throughout the property.

Legend

-  Signage Alteration
-  Stairs and Landing improvements
-  Dumpster Enclosure Refresh
-  Swimming Pool Furniture Replacement
-  Clubhouse/Gym Refresh
-  Lighting

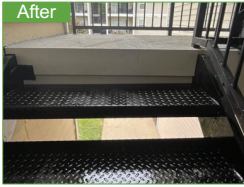
Change 1
Type: Shutter and Trim Paint.
Summary: All the trim paint was changed from electric blue to a soft gray to complement the new signage.



Change 2
Type: Signage.
Summary: Complete new design and package to include the monument, wayfinding and apartment signs were created to improve the curb appeal and provide a more conventional.



Change 3
Type: Stairs and Landing
Summary: Stair threads and Landing were torn down and replaced due to existing water damage; New Lighting was also added to improve safety.



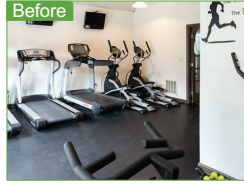
Change 4
Type: Dumpster enclosures
Summary: Enclosures were repaired, replaced or repainted as needed.



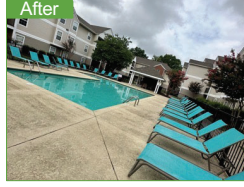
Change 5
Type: Clubhouse Renovations
Summary: The clubhouse was updated, and the furnishing changed to appeal to a broader demographic and families.



Change 6
Type: Fitness Equipment.
Summary: Original Equipment was donated to the Murfreesboro Fire Department and new equipment that better matched the fitness goals of prospective residents.



Change 7
Type: Pool Furniture
Summary: Accent pieces and colors were changed to be more conservative in nature.

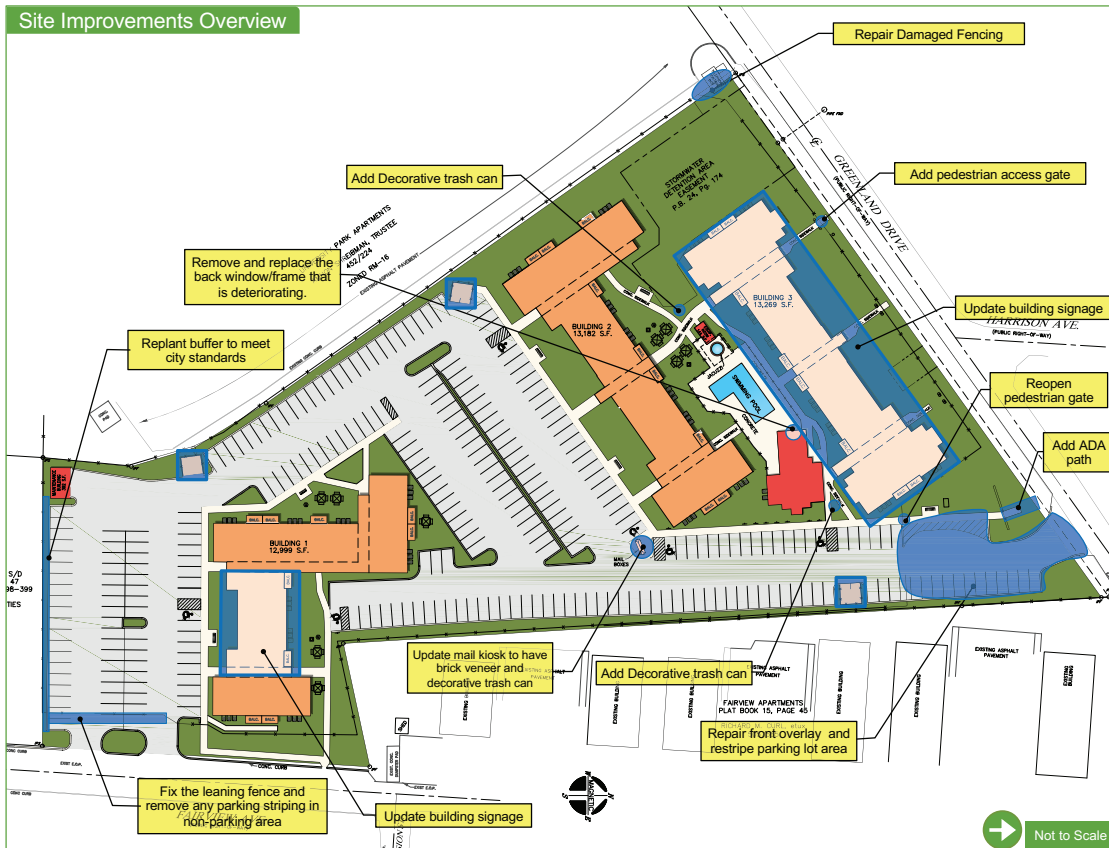


Change 8
Type: Lighting
Summary: Pole lights were repainted with globe replacement throughout property



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Site Improvements Overview



Map Summary

Phase 2 of the bifurcation process will include site improvements to enhance the property further. Proposed site improvements are called out on the map and listed below.

- Update building signage to clearly show new and existing units.
- Fix broken fencing and/or bent setting of wrought iron fencing
- Refresh Landscaping along the dumpsters and south fence to meet city standards
- Repair all broken-down pole light fixtures and globes throughout the property.
- Unscreened utility boxes will be painted to blend with the surroundings.
- Add decorative trash cans (3) in common areas to keep it contained.
- Add/enhance ADA pedestrian connectivity from the property line.
- Existing trash enclosures will be rebuilt to meet city standards.
- Remove the vehicular gates at the front and back entrance and leave all other fencing and pedestrian gates in place

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The map illustrates the site improvements for the University Park Apartments. Key features include:

- Buildings:** Building 1 (12,096 S.F.), Building 2 (13,182 S.F., highlighted in yellow), Building 3 (12,009 S.F.), and Building 4 (12,009 S.F.).
- Parking Lots:** Multiple parking areas are shown, including one adjacent to Building 1 and another larger lot to the north.
- Streets:** Fairview Ave (Public Right-of-Way) runs along the bottom left. Harrison Ave (Public Right-of-Way) runs along the right side. Greenland Dr runs diagonally across the top right.
- Other Features:** A stormwater detention area is located near Building 4. A callout box indicates "Update building signage". A north arrow and scale bar (0' to 100') are provided at the bottom center.
- Legend:** A green circle with a white arrow points to the right, labeled "Not to Scale".

Phase 3 of the bifurcation process will include site improvements to enhance the property further. Proposed site improvements are called out on the map and listed below.

- Update building signage to clearly show new and existing units.
- This will include the bifurcation of (12) 4-bedroom units in B2.

- Update building signage to clearly show new and existing units.
- This will include the bifurcation of (12) 4-bedroom units in B2.

Development Standards

- The development will include the renovation of 3 buildings.
- The maximum building height of all existing buildings will remain unchanged.
- Parking will remain unchanged. Existing parking meets the Murfreesboro city parking requirement of 1.5 for 1-bedroom units and 1.1 for 2-bedroom or 3-bedroom units post-bifurcation.
- Solid waste will continue to use a private hauler. The existing garbage locations will remain. Existing trash enclosures will be rebuilt to meet city standards.
- A new sidewalk extension will be added at the main entrance between the public way sidewalk and the site for improved ADA path of travel
- Mail delivery will be accommodated via one mail kiosk to be expanded and upgraded with a brick veneer.
- All Telecommunication and television equipment existing to remain.
- Existing vehicular gates will be removed to allow for improved traffic flow and access.
- New AC units will be in the current existing locations. Screening by landscaping or screen fences will be added.
- Building Elevation Materials: Vinyl Siding will be pressure washed as needed.
- All existing buildings are to remain within existing setbacks.
- The 2035 Plan is not applicable since the project is bifurcation only.
- **If sewer usage does not decrease after bifurcation, the developer will add submeters for each unit.**
- **The developer is committed to upgrading all water-using fixtures to low-flow devices.**

General Applicability Section 13b for Planned Development

- **Ownership and division of land:** *The site is owned by the developer identified on Sheet 2. The lot is currently zoned RM-16 in the City of Murfreesboro. The property owner will be responsible for the long-term maintenance of the apartment complex.*
- **Waiver of BZA action:** *No BZA actions will be required.*
- **Common space and common elements:** *Amenities include a renovated gym, clubhouse, and pool facilities.*
- **Accessibility of site:** *The site will be accessed from Greenland Drive with an additional exit provided to Fairview Avenue.*
- **Off-street parking:** *No new off-street parking will be added.*
- **Pedestrian circulation:** *A new sidewalk extension will be constructed with this project site for improved ADA path of travel. New pedestrian gates will be installed, and existing pedestrian gates made operational.*
- **Privacy:** *All landscape along the perimeter fence to the south will be replanted.*
- **Relationship to zoning regulations and other zoning regulations:** *A PRD is being requested for the subject property. Land Requirement Table not applicable.*
- **Development Period; Phasing:** *The project will be completed in 3 phases with Phase I already completed.*
- **Annexation:** *No annexation is required for this site.*
- **Landscaping:** *Landscaping will be the responsibility of the new owner.*

City of Murfreesboro General Applicability Section 13b for Planned Development

1. Identification of existing utilities, easement, roadways, rail lines and public right-of-way crossings and adjacent to the subject property; *Shown in pattern book sheets 4-8.*
2. A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; *Shown in pattern book sheets 8-12.*
3. A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structure on-site and within two hundred feet of the subject property and the identification of the use thereof; *Shown in pattern book Sheet 8*
4. A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; *Shown in pattern book sheet 13.*
5. A tabulation of the maximum number of dwelling units proposed including the number of units with two or less bedrooms and the number of units with more than two bedrooms; *Shown in pattern book sheet 13.*
6. A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (floor area ratio), the L.S.R. (livability space ratio), and the O.S.R. (open space ratio); *Not applicable in this situation.*
7. A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the City and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article; *Shown in pattern book on sheet 3.*
8. If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating: (aa) the approximate date when construction of the project can be expected to begin; (bb) the order in which the phases of the project will be built; (cc) the minimum area and the approximate location of common space and public improvements that will be required at each stage; and, (dd) a breakdown by phase for subsections [5] and [6] above; *Property will be developed in three phases as seen in page 19.*
9. Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted; *Shown in pattern book sheets 18&22.*
10. A statement setting forth in detail either (1) the exceptions which are required from the zoning and Subdivision Regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed; *In the City of Murfreesboro, bifurcation projects historically increase the overall density of their developments. The land use plan calls for a density of 16 D.U./Acre. Post Bifurcation, the new proposed density will be 23.26 D.U./Acre. However, the bedroom count will be reduced from 276 to 222 bedrooms representing a 24% overall bedroom reduction.*
11. The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article; *The project is not within any overlays.*
12. The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time; *Not applicable in this situation.*
13. The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated; *See Sheet 2.*
14. Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. *Not Applicable.*
15. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign: *New signage upgrade has been implemented.*

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 2, 2024
PROJECT PLANNER: HOLLY SMYTH**

5.e. Zoning application [2024-413] for approximately 6.15 acres located along Hazelwood Street to be rezoned from RM-16 to PRD (Crossings at Hazelwood PRD), SW Capital Group applicant.

The subject property is located at 1350 Hazelwood Street west of Old Lascassas Road and was originally approved through site plan review #2001-3090 named Royal Hazelwood Apartments or Raiders Crossing. The entire existing apartment complex is zoned RM-16, consists of 1 parcel, and is identified as Tax Map 090G, Group A, Parcel 001.04. As shown on page 15 of the program book, the existing complex contains **96** dwelling units with 276 bedrooms and 276 bathrooms, with an existing density of **15.61 units to the acre**.

The applicant is applying to rezone from RM-16 to PRD to allow a total of 120 units, with 240 bedrooms and 240 bathrooms within the existing building interiors, equating to **19.51 units per acre**. The proposal includes the reconfiguration of the existing interiors within the existing building footprints, increasing the number of units from 96 to 120 (**for 24 net new units**). This would be accomplished by turning 4-bedroom/4-bathroom student housing apartment units into traditional 1-bedroom and 2-bedroom apartments. This would decrease the number of overall bedrooms by 36 and reduce the number of bathrooms by 36. Even though the bedroom and bathroom counts are being reduced by 15% within the existing building floor area, gross density would increase by 3.9 units to the acre. The modifications to this existing apartment complex are part of a rebranding and new management strategy by the new property owners that will also address deferred maintenance of the units and upgrading the site. The proposed density exceeds the maximum allowable density of the current underlying RM-16 zoning and sewer allocation, prompting the applicants to apply for the rezone described above.

The applicant has submitted paperwork to the Murfreesboro Water Resources Department (MWRD) and MWRD believes that this bifurcation project as proposed would reduce the daily wastewater generated by this development. Ordinance 22-O-25 states if MWRD can make this determination, that the City may authorize a project if Council, via the rezoning process, decides the project is consistent with the "City's adopted land use plans and policies concerning growth and development" and determines that "the application promotes public health or safety or the general welfare of the City and its residents". Furthermore, the Council may condition its approval on incorporating certain public infrastructure improvements into the site plan and the developer replacing plumbing fixtures within the development with new low-flow fixtures as well as metering or sub-metering each building and paying the standard water and sewer hookup fees. Therefore, a separate sewer variance is not needed from Council with these factors being determined with the rezone request to PRD. MWRD has stated that "the owner must replace all fixtures throughout the entire property with new low flow fixtures" at a minimum. Each building currently has an existing sewer meter.

Adjacent Zoning and Land Uses

Surrounding zoning is RM-16 (Residential Multi-Family) to the north and east, RM-12 (Residential Multi-Family) to the south, and CH (Highway Commercial) to the west, as shown on page 3 of the program book. The surrounding land uses include townhomes to the north, apartments to the east, duplex homes to the south, and a funeral chapel to the west, as depicted on page 10 of the program book.

Proposed PRD

The development has two points of ingress/egress; with the primary full access on Hazelwood Street and the secondary egress to access Old Lascassas Road. However, at some point in time bollards were placed across this secondary driveway aisle access point within the project's parcel to stop vehicular traffic from accessing the site from Old Lascassas Road. The project scope includes the removal of these bollards to restore access. Plat book 25, page 210 includes Plat Note 8 that states "Recordation of this plat will provide for cross access between Lots 1 and 2", which is referring to the project site and the adjacent 1245 Old Lascassas Road. Additionally, pedestrian access into the site is lacking and, therefore, the Planning Department is recommending that new sidewalks be provided near the primary entrance through the parking area to create an ADA appropriate path to the office building. Additionally, new sidewalk should be added for pedestrians out to the eastern property line adjacent to the driveway access out to Old Lascassas Road. The aerial below shows water, sewer, and storm line locations as well as various easements over the property.



The existing versus proposed unit layout is shown on page 16 converting all of the 4--bedroom units into 1- or 2-bedroom units. Page 20 shows the project phasing with the recently completed phase 1 being the renovation of the clubhouse building, pool furnishings, fitness equipment, conversion of hammock area into pickleball courts, and other items described on pages 21 and 22. Additionally, all of the units that will not be reconfigured into different unit types will be receiving new paint, flooring, and fixtures. Phases 2 and 3 involve the interior reconfiguration of the 4-bedroom units as well as further site improvements shown on pages 23 and 24.

The Site Data table on page 15 shows the pre- and post-project unit breakdown below. Each of the 4-bedroom units are approximately 1,457 square feet in size and will be converted into a 1-bedroom unit and 2-bedroom unit or two one bedroom units. The 1 bedroom units will range from 603 to 712 square feet with either 1 or 2 bathrooms. The 2 bedroom units will have 2 bathrooms and contain approximately 790 square feet.

	1- Bdrm	2- Bdrm	3- Bdrm	4-Bdrm	Total
Original Units	0	36	36	24	96
Post Renovation Units	36	48	36	0	120
Net Change Units	+36	+12	0	-24	+24 (Net New)

There is a table on page 15 that breaks down the original parking requirements and unit mix as well as the proposed post-renovated unit mix with its current parking requirements. There are 279 regular parking spaces provided in the complex today plus handicapped spaces. The post-renovation project will require 279 regular parking spaces based on today's requirements. No changes are proposed to modify the parking layout or the number of spaces in the complex, therefore the required parking need is met.



Trash is handled via dumpsters within 3 wooden trash enclosures. There are no trash compactors onsite, even though the City requires they be provided when exceeding 15 units. The standards require "All dumpster / refuse collection areas shall be enclosed with a masonry wall that is a minimum of one

foot in height taller than the top of the refuse container used for collection as well as matches the color and materials of the building with a base and cap" to compliment the building (per Section III(E)(2)). Additionally, an "opaque wall/gate on all 4 sides with material that is compatible with architecture..." and "evergreen landscape material to soften visual appearance around enclosure walls, with a minimum 24" height of evergreen plant material at the time of planting" are required (per DG Section IV(C)(3)). Phase 2 in the program book on page 23 reflects that the existing 3 trash enclosures will be rebuilt to meet city standards. Additionally, the one enclosure area with broken up concrete in front of shown above will be removed and replaced.

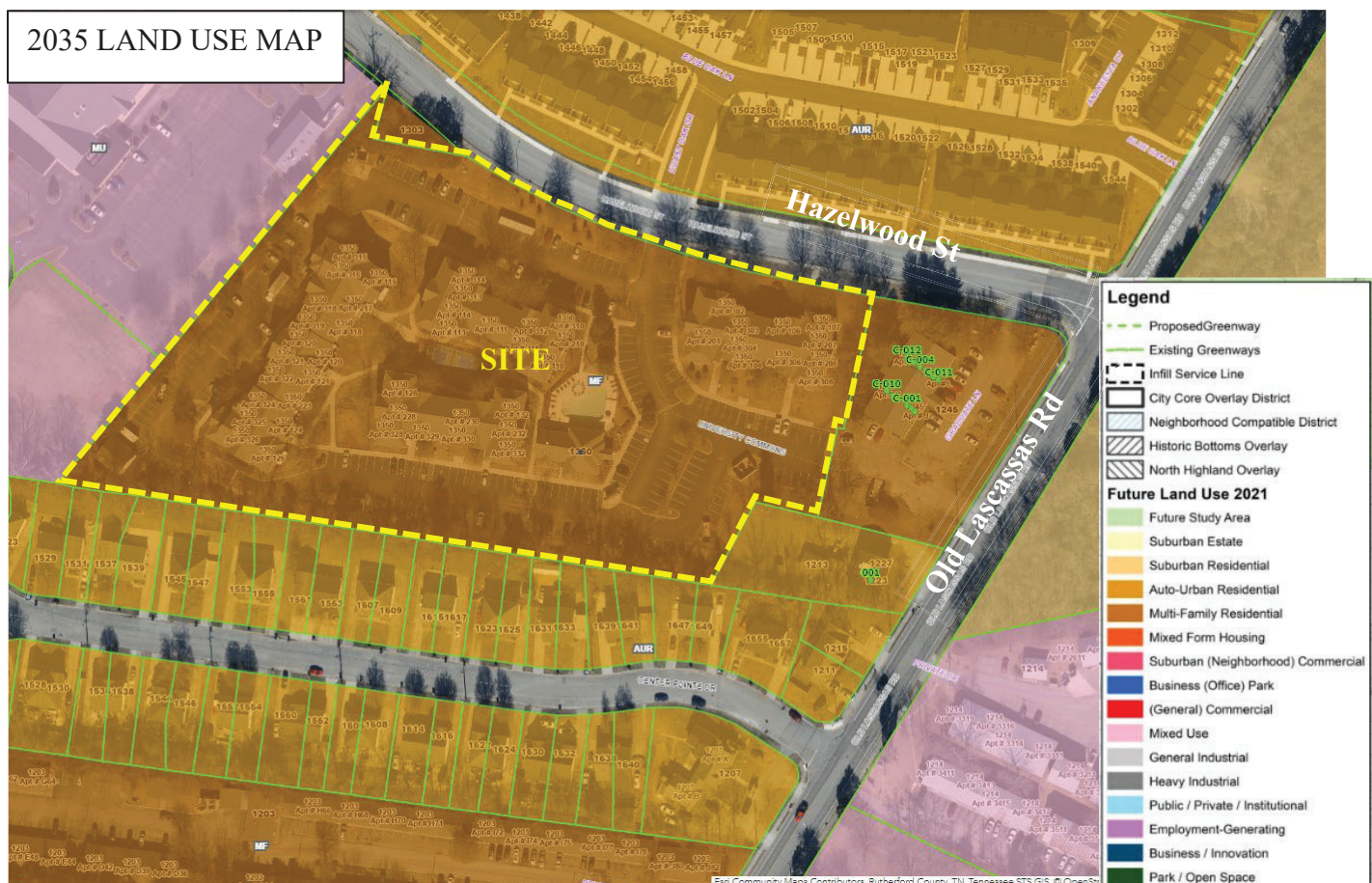
The existing building exterior consists of brick or horizontal vinyl siding at the base of building and vinyl siding at the 2nd and 3rd floor levels, with asphalt shingle roofing and white vinyl windows. The exteriors of the buildings will be cleaned and the existing exterior materials and windows will remain. Various on-site amenity upgrades and maintenance enhancements are shown on pages 21 through 24 of the program book.

The only exception being requested, as shown in red on page 26 of the program book, is an increase in density from 16 dwelling units to the acre to 19.51 dwelling units to the acre within the existing building footprints.

Future Land Use Map

The future land use map contained in the *Murfreesboro 2035 Comprehensive Plan*, recommends that the subject property develop as Multi-Family Residential land use character (see excerpt from the future land use map below). This classification accommodates developments with complexes of often several, multi-story multi-family buildings, interspersed with parking lots and open spaces.

Development intensity is up to 16 units per acre (or as allowed by the Sanitary Sewer Allocation Ordinance), with RM-12, RM-16, PUD, and PRD considered compatible zoning districts. The proposed PRD designation is consistent with the future land use map of the General Plan.



Department Recommendation

Staff is supportive of this rezoning request for the following reasons:

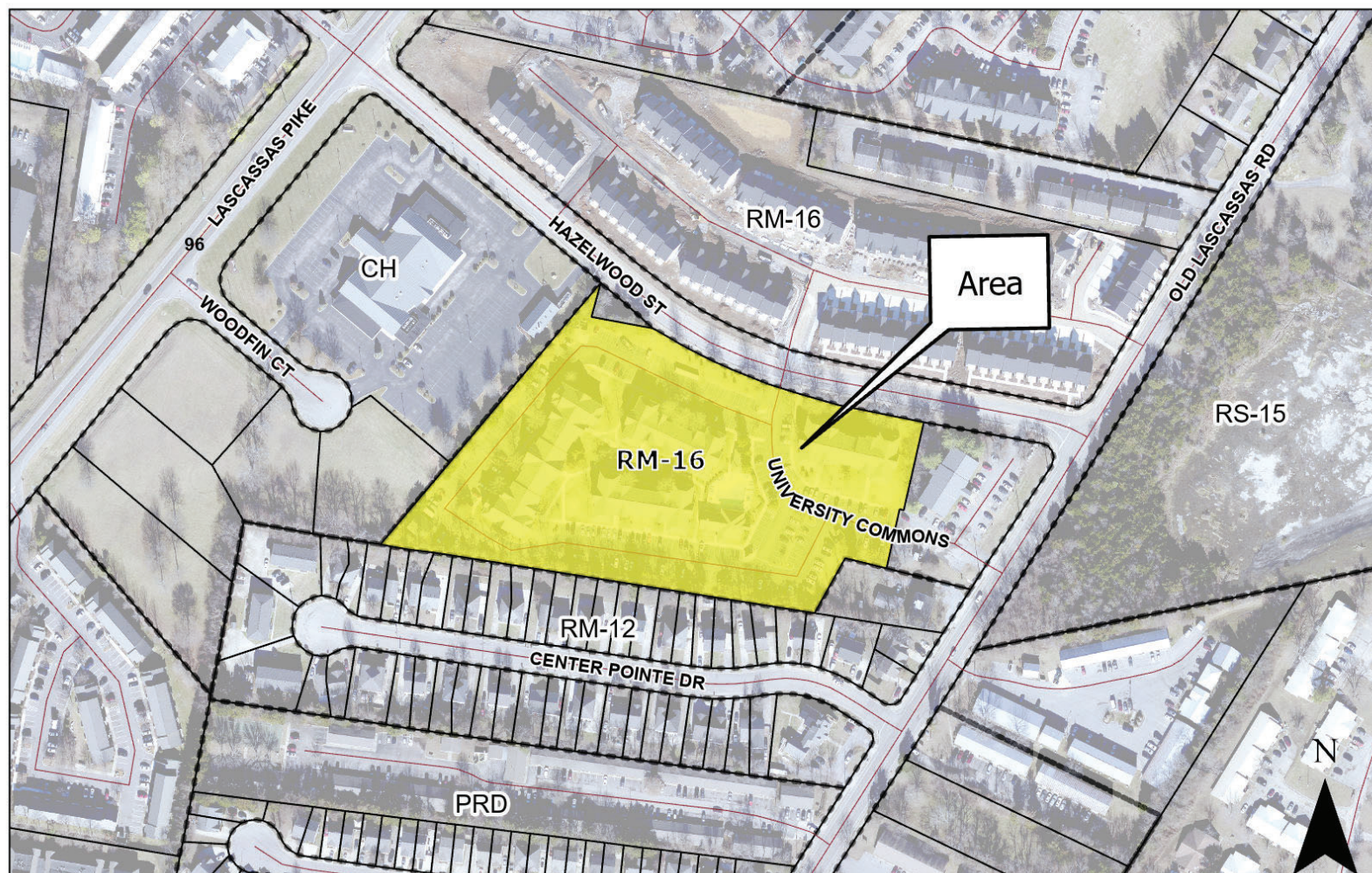
- 1) The proposal is consistent with the Murfreesboro 2035 future land use map.
- 2) The proposal is compatible with existing land uses in the area.
- 3) The proposed reconfiguration and renovations would allow reinvestment into an existing complex in disrepair and will bring on-site management during business hours that will promote the creation of a safe and desirable living environment for residential areas.
- 4) The proposed improvements will extend the useful life of the property.
- 5) The reduction of bedrooms and restrooms and the installation of low-flow devices throughout should reduce the sewer impact on the City per details provided to Murfreesboro Water Resources Department.

Action Needed

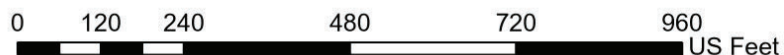
The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should hold the public hearing, discuss this item, and then formulate a recommendation to the City Council.

Attachments

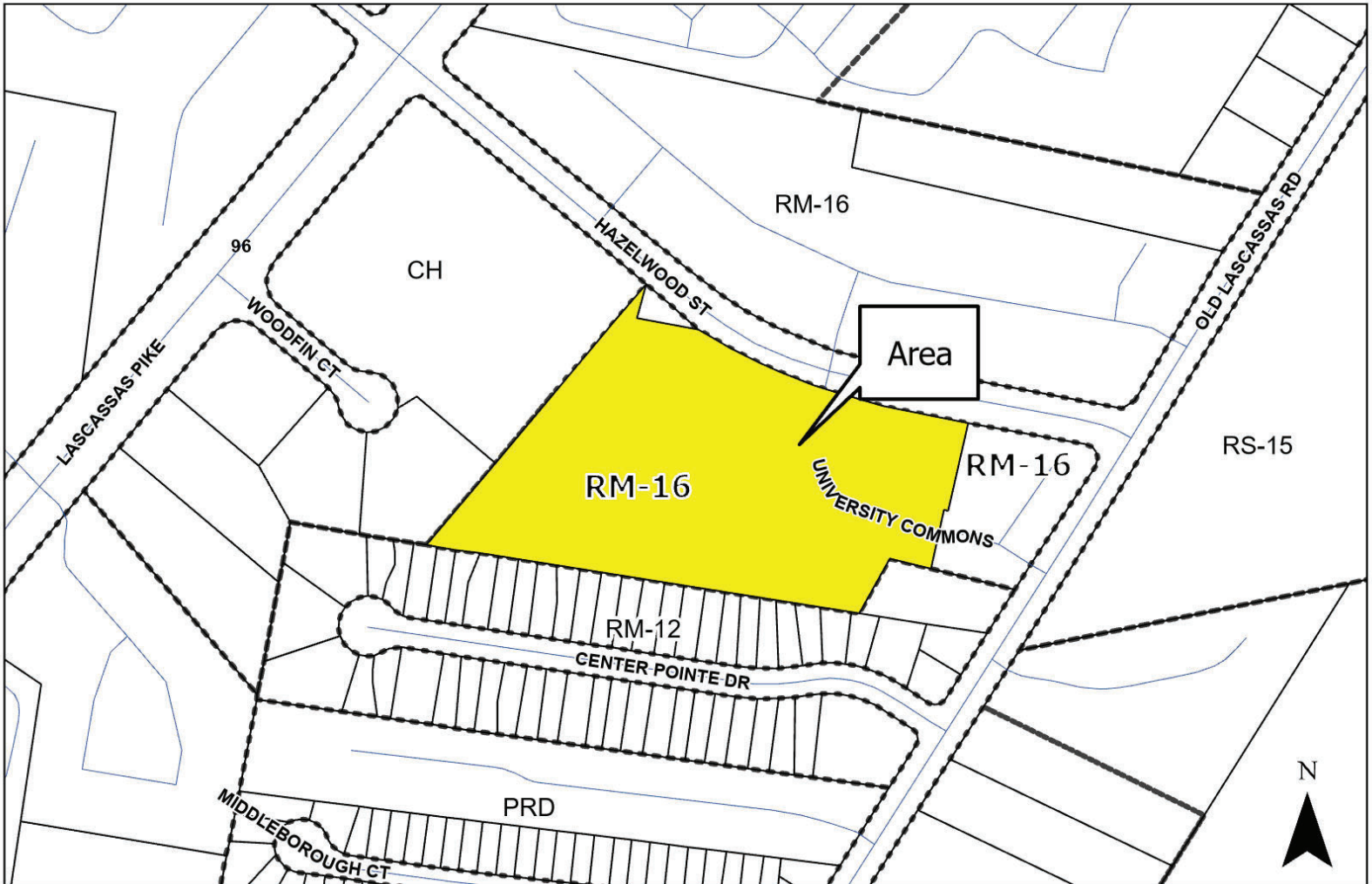
- Ortho Map
- No-ortho Map
- Updated Program Book



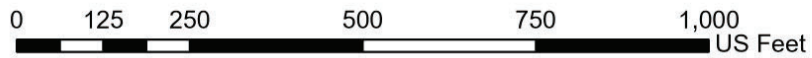
Rezoning request for property along Hazelwood Street
RM-16 to PRD (Crossings at Hazelwood PRD)



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesborotn.gov
www.murfreesborotn.gov



Rezoning request for property along Hazelwood Street
RM-16 to PRD (Crossings at Hazelwood PRD)



Planning Department
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111 West Vine St
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www.murfreesborotn.gov

Crossings at Hazelwood

1350 Hazelwood St.

Request for Rezoning to
PRD

SUBMITTED OCTOBER 2, 2024
FOR PLANNING COMMISSION.

Plans Prepared By:

HS HUDDLESTON-STEELE
ENGINEERING, INC.



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PROJECT SUMMARY

The property known as The Crossings at Hazelwood, located at 1350 Hazelwood Street, was established in 2001 as "Royal Hazelwood Apartments" or "Raiders Crossing" and currently holds an RM-16 zoning designation. Comprising 6.15 acres of land, the property features 4 apartment buildings with a total of 96 units, resulting in a density of 15.61 units per acre. It is positioned approximately 2 miles from the MTSU campus.

The unit composition includes (36) 2-bedroom units, (36) 3-bedroom units, and (24) 4-bedroom units, amounting to 96 units in total. Originally designed for student housing, the new ownership has proposed to broaden the residential population to accommodate a more diverse demographic, given its distance from the campus and the presence of competing apartment complexes.

The SW Capital Group acquired the property over two years ago with intentions to convert all existing 4-bedroom units into (36) 1-bedroom units and (12) 2-bedroom units. Including existing units, this modification will increase the total unit count to 120, thereby creating 24 net new units and raising the density to 19.51 units per acre.

The developer has executed significant enhancements to the property as part of the initial development phase, encompassing signage modifications, improvements to stairs and landings, replacement of swimming pool furniture, remodeling of the clubhouse and gym, installation of a new pickleball court, and the renewal of lighting fixtures throughout the property. The existing apartment units have been updated to include new flooring, paint, plumbing fixtures (low-flow), lighting, countertops, cabinets, and furniture. There are plans for two additional development phases, as outlined in the phasing plan section of the document.

The complex has full-time onsite management available during business hours. Additionally, the owner has committed to offering reduced rental rates to law enforcement personnel.

OWNER/ DEVELOPER

Company	SW Capital Group	Attn	Jake Worley
Address	425 Walnut Street, Suite 1800, Cincinnati, OH, 45202	Phone	614.746.6418
		Email	jake@swcapitalgroup.com

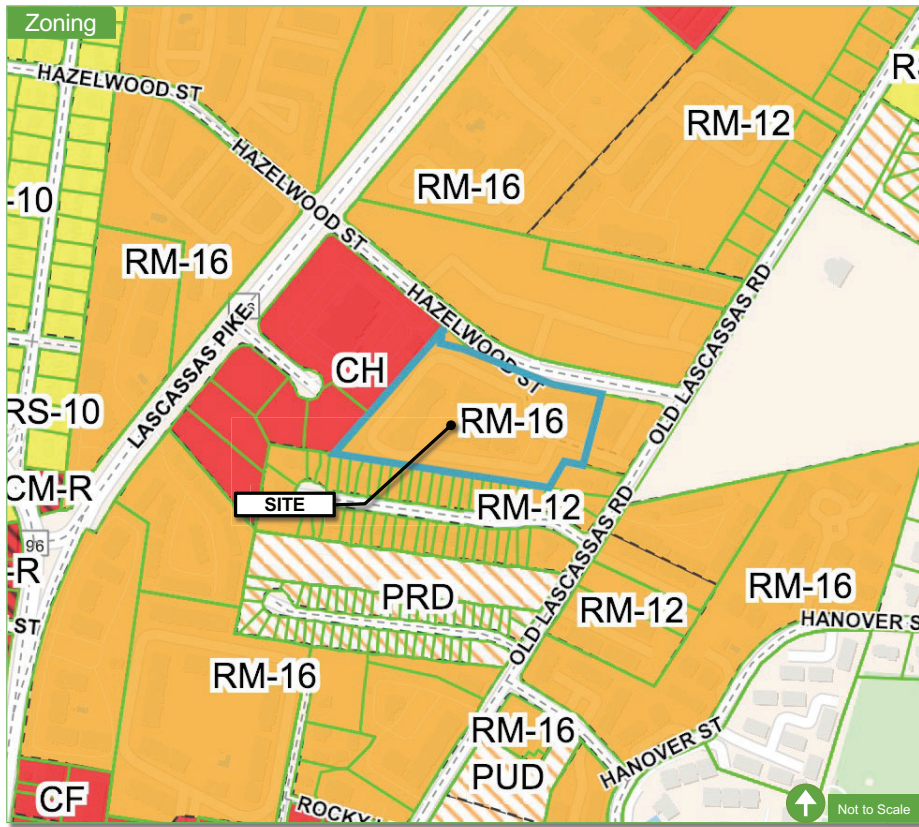
PLANNING

Company	Huddleston – Steele Engineering Inc.	Attn	Clyde Rountree, RLA
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		Email	roundtree.associates@yahoo.com

ENGINEERING

Company	Huddleston – Steele Engineering Inc.	Attn	Chris Maguire, P.E. R.L.S.
Address	2115 N.W. Broad Street, Murfreesboro, TN, 37129	Phone	615.893.4084
		Email	cmaguire@hsengr.com





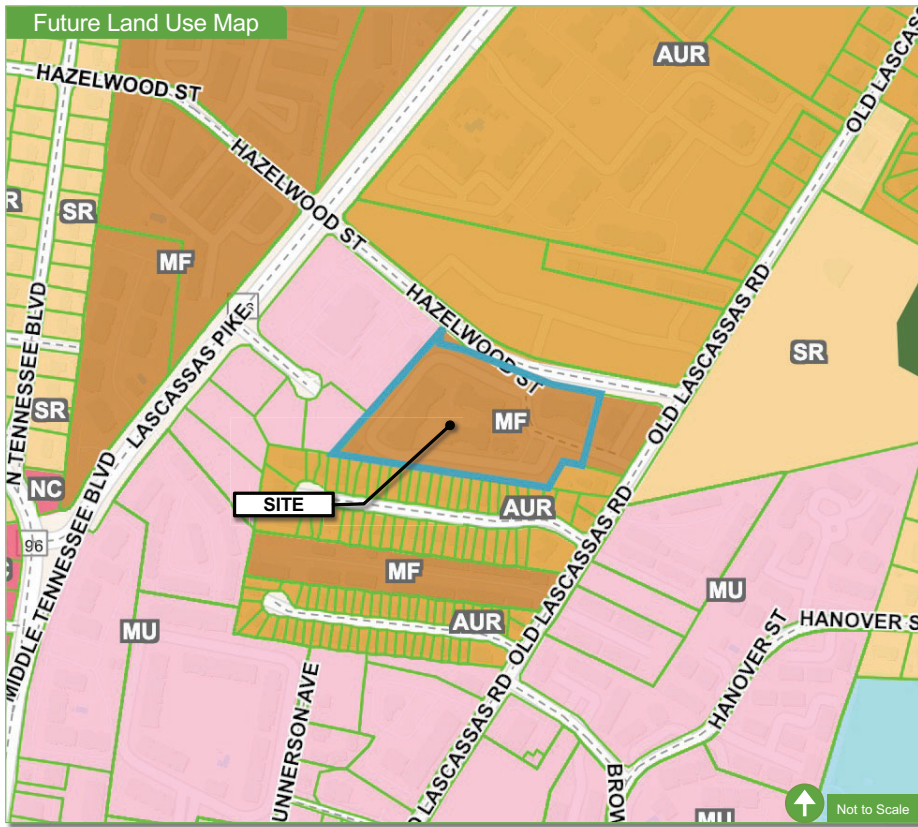
Summary

The Hazelwood Apartments are an existing complex that is surrounded by CH zoning to the west, RM-16 to the north, and RM-12 to the east and south. The request is to rezone the property to PRD.

Legend

- Residential Multi Family (RM-12)
- Residential Multi Family (RM-16)
- Commercial Highway (CH)
- Planned Residential Development (PRD)





Summary

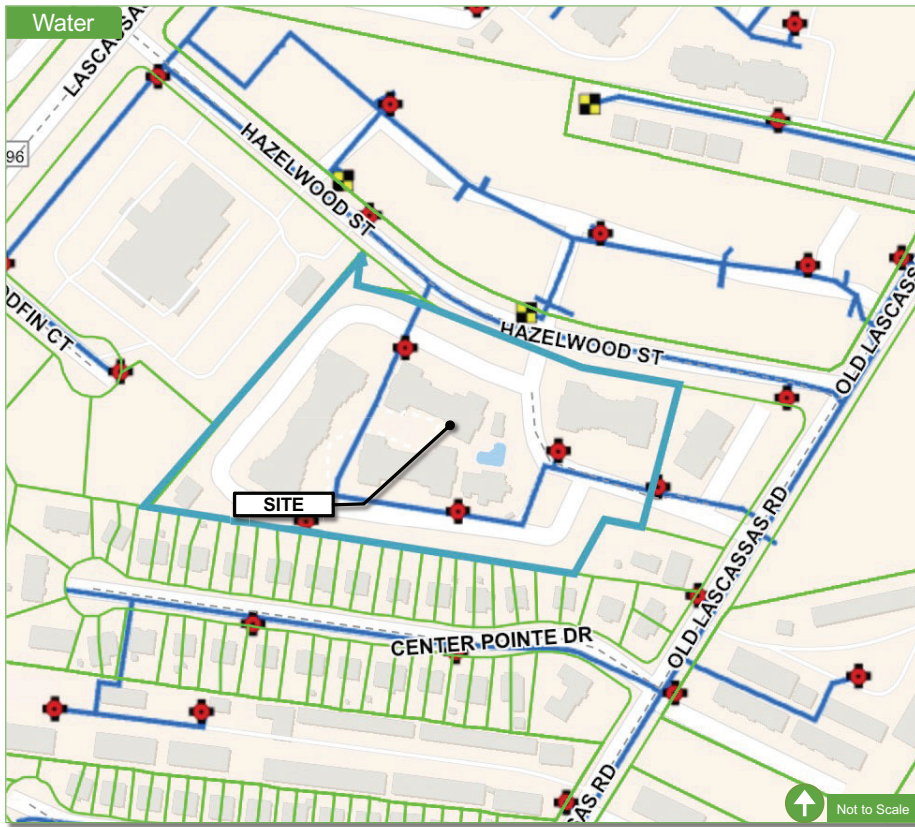
The General Plan future land use map designated the project site MULTI-FAMILY (MF) Residential Character. Higher-density residential uses such as triplexes, quadplexes, and multiple-family housing. With the higher density provided with multi-family, there is also the requirement to provide on-site amenities and open space designed for public activities. Development Types: High-density residential that could allow for rental or condominium (fee simple ownership) opportunities. Characteristics include designated recreational areas, often with a pool house and pool, as well as other upgrades and amenities. Multi-family communities may be designed as private, gated neighborhoods or strongly oriented towards urban or public space, but in all cases, they should be designed to fit in the visual context of their surroundings and related to public roadways. Typical density ranges are up to 16 (DU/ac) or as directed by the Sanitary Sewer Allocation Ordinance.

Legend

SR	Suburban Residential
AUR	Auto Urban Residential
MF	Multi-Family Residential
MU	Mixed Use
PI	Public/ Private/ Institutional



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Map Summary

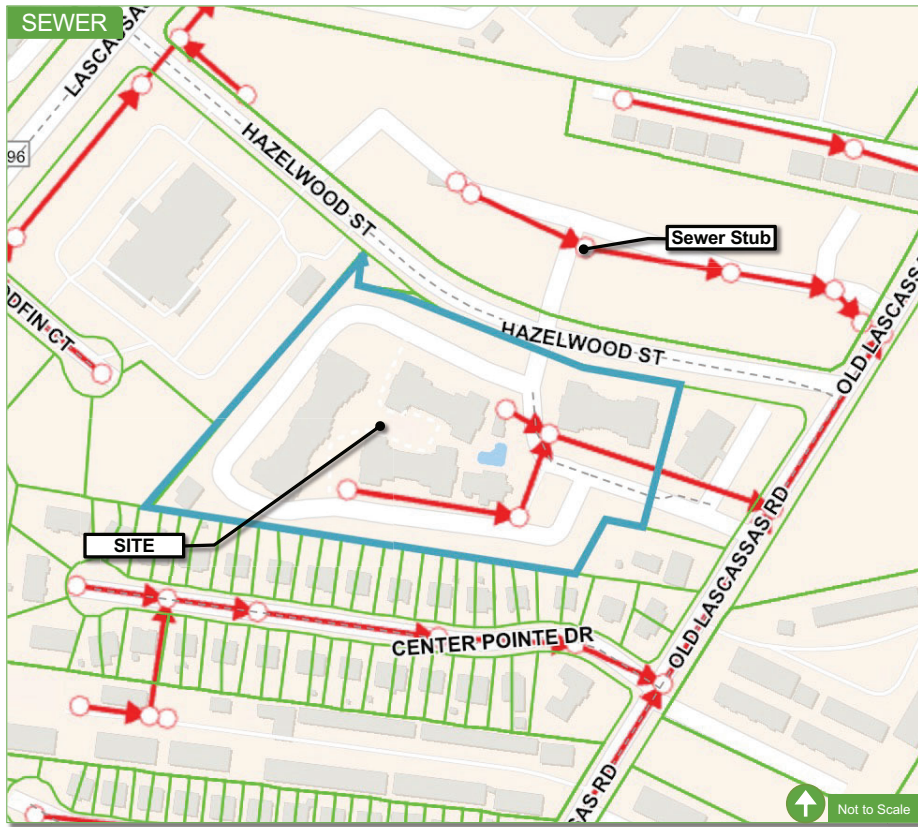
Water services will continue to be provided by the Murfreesboro Water Resources Department

Legend

WATERLINE: —
FIRE HYDRANT: +



SHUDDLESTON-STEELE
ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: 615-893-4084 FAX: 615-893-0080



Map Summary

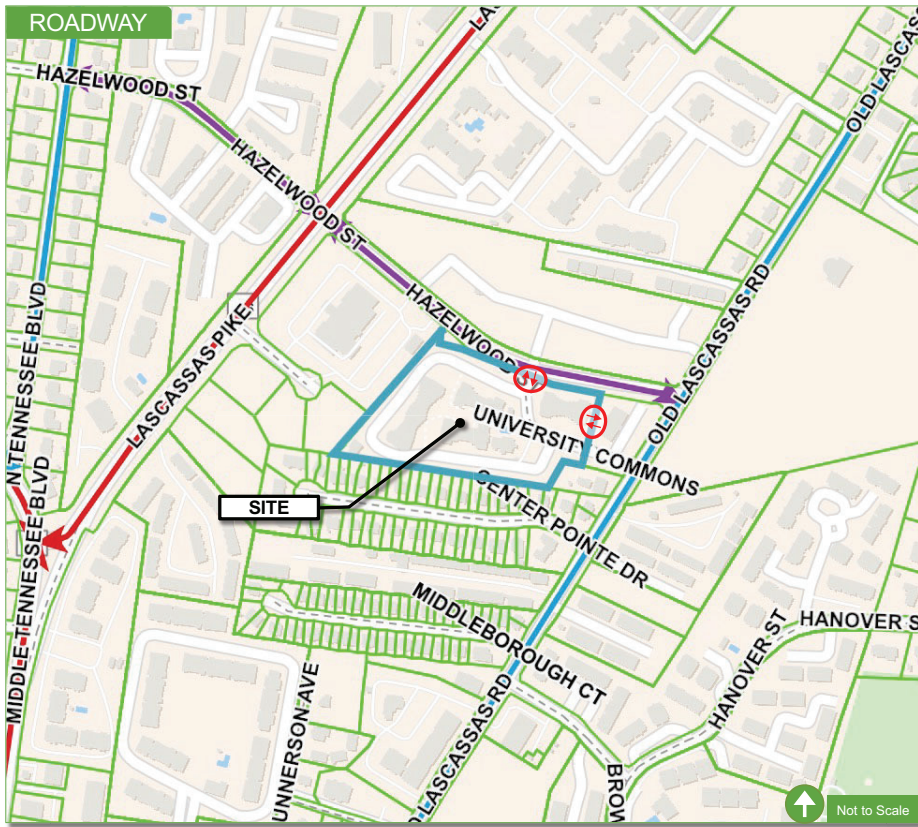
- Sanitary sewer service will continue to be provided by the Murfreesboro Water Resources Department.
- The sewer enters the property via a connection on Old Lascassas Road.
- The project will comply with the City of Murfreesboro sewer allocation ordinance.
- Each building has an existing sewer meter. The City of Murfreesboro will not initially require sub-metering but will monitor water usage. If usage does not decrease after a certain period, sub-metering of each building will be required.
- All plumbing fixtures throughout the property shall be replaced with new low-flow fixtures.

Legend

Existing Sanitary Sewer: 
Existing Manhole: 



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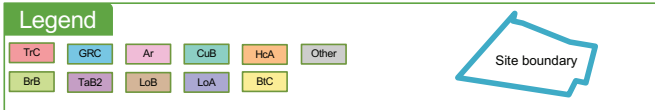
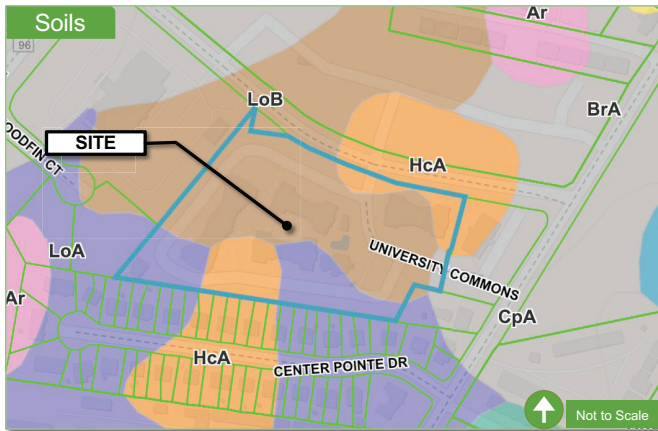
Map Summary

- The site will be primarily accessed from Hazelwood Street which is a commercial collector-designated street.
- The site will have interconnectivity between the site and Old Lascassas Road which is a Community Collector

Legend

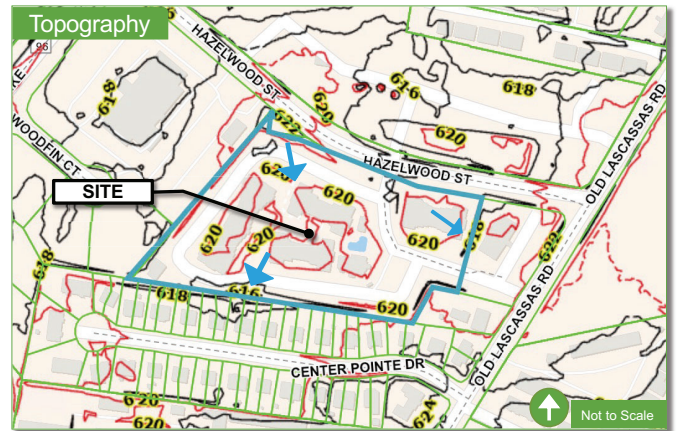
Community Collector	Blue line	Residential Collector	Yellow line	Access Point	Red circle with lightning bolt
Major Arterial	Red line	Residential Sub Collector	Orange line	Site boundary	Blue outline
Commercial Collector	Purple line				

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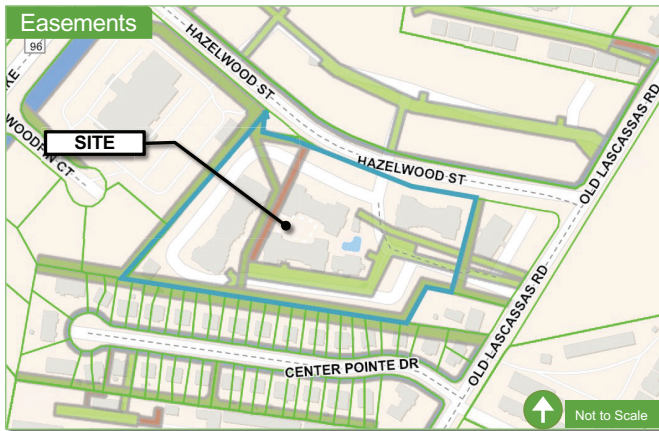
Map Summary

- HcA - Harpeth silt loam, 0 to 2 percent slopes
- LoB – Lomond silt loam, 2 to 5 percent slopes
- LoA – Lomond silt loam, 0 to 2 percent slopes



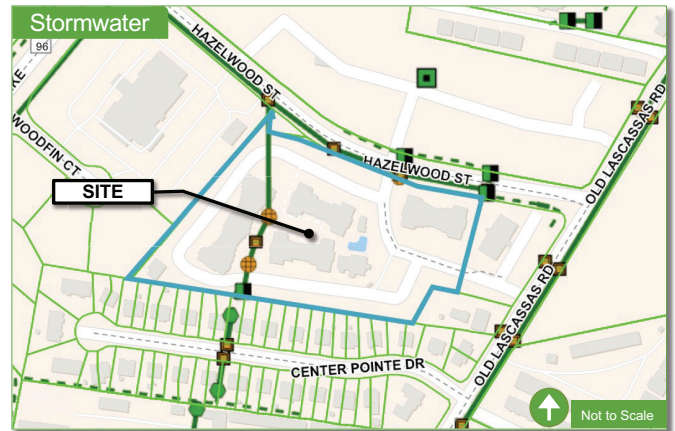
Map Summary

The site is an existing development which has been graded to drain effectively. The ownership group has not identified any issues with ponding or drainage backup.



Map Summary

Several easement are existing on the site. The new development will not have any bearing on the existing easements.



Map Summary

The existing stormwater infrastructure is to remain as it currently exists. No new stormwater improvements are a part of this rezoning request. See Plat Book 24, page 245 final plat map for additional information

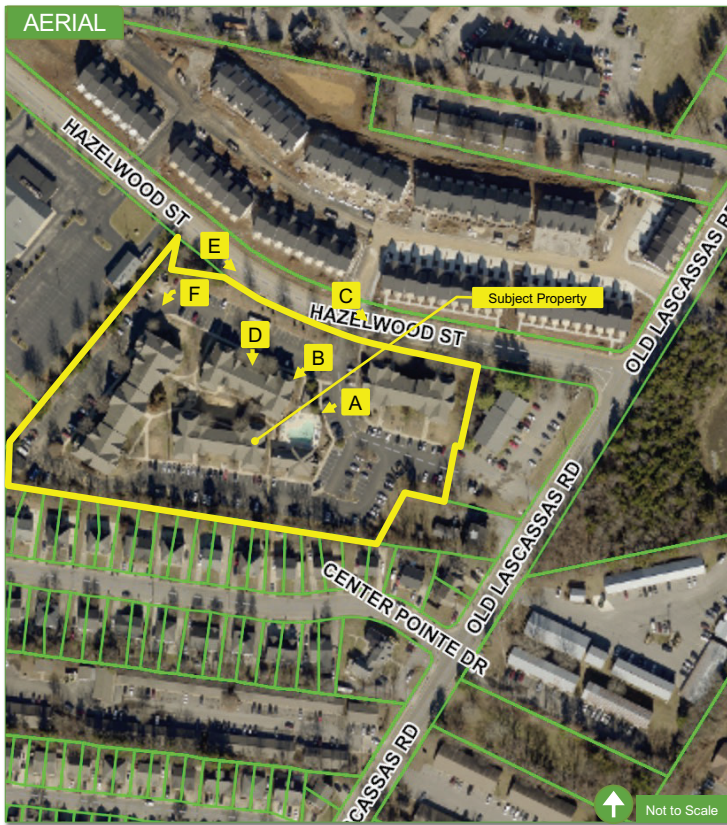
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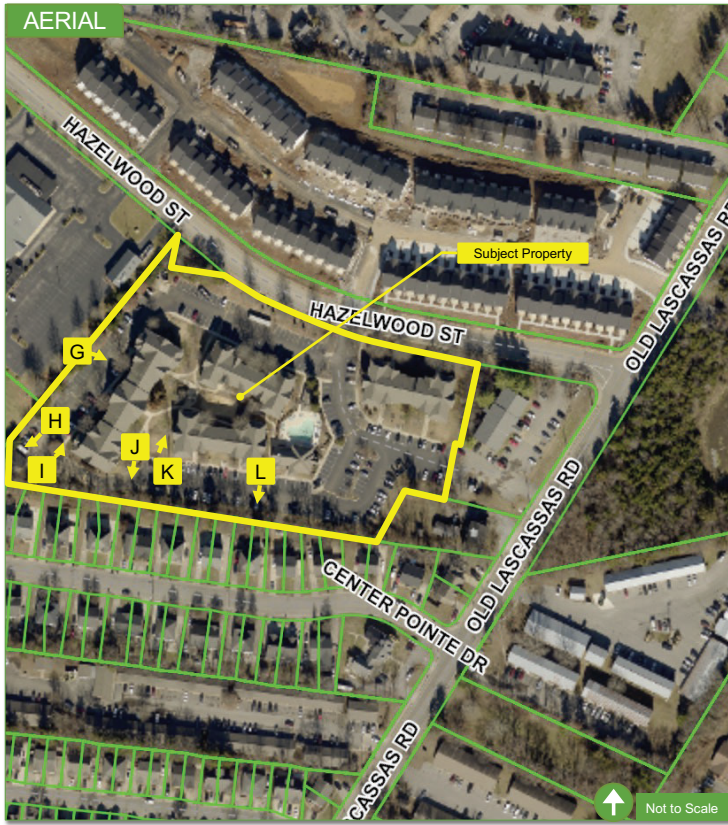
Map Summary

The subject property is surrounded by Oakwood Village Townhomes, new townhomes to the north, the Woodfin Funeral Chapel to the west, the Center Point Apartments to the east, and the Centrepoint West Subdivision to the south. The subject property is located less than two miles from the MTSU campus.

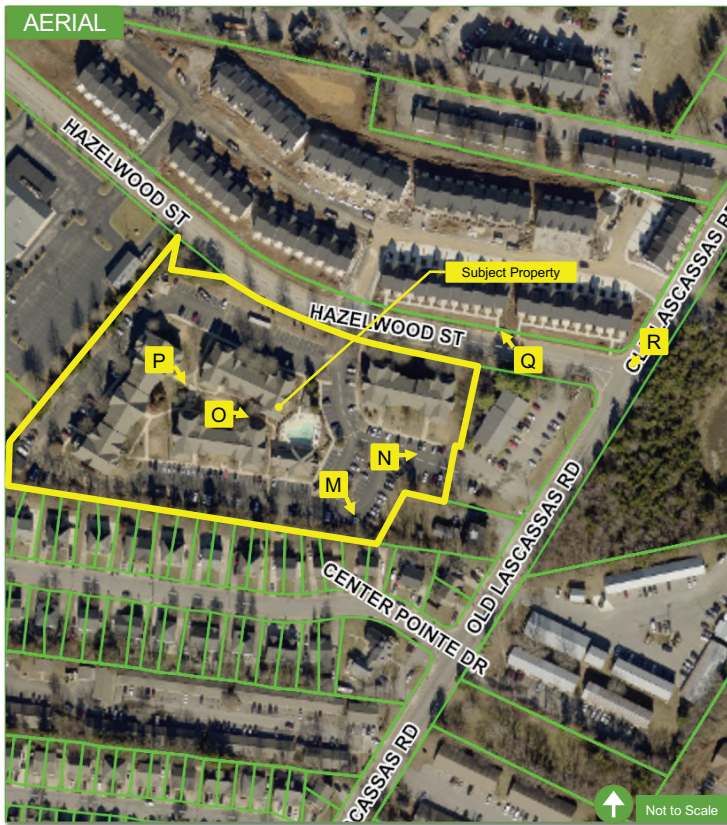
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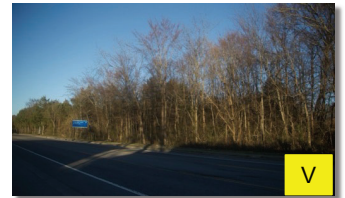
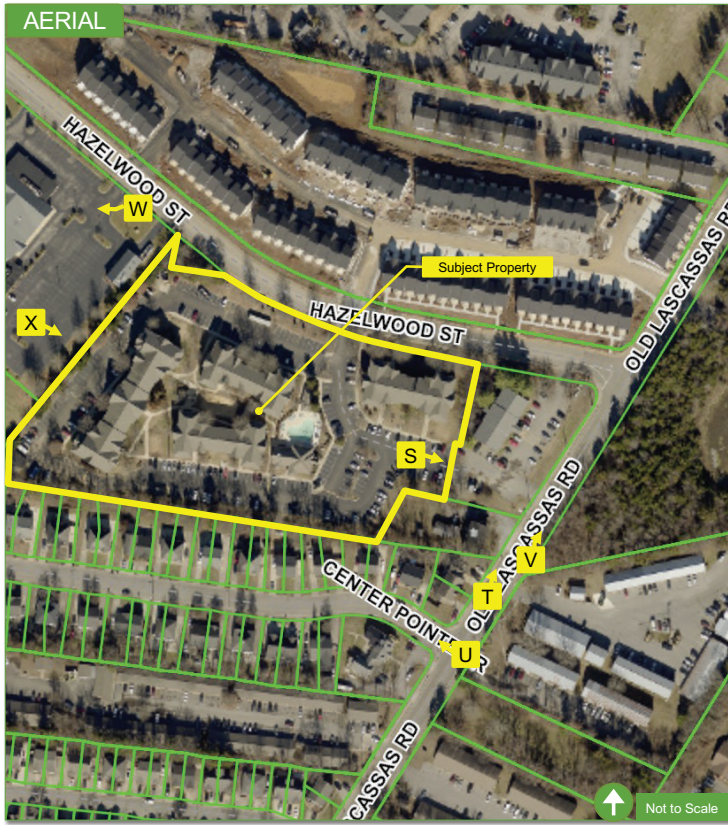
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SITE PLAN



UNIT COUNTS AND PARKING TABULATION

PRE-RECONFIGURATION PARKING SPACES REQUIRED
 1 SPACE PER 1 BEDROOM = 0 UNITS = 0 SPACES
 2 SPACES PER 2 BEDROOM= 36 UNITS = 72 SPACES
 3 SPACES PER 3 BEDROOM= 36 UNITS =108 SPACES
 4 SPACES PER 4 BEDROOM= 24 UNITS =96 SPACES
 TOTAL UNITS: 96

TOTAL SPACES REQUIRED= 276 SPACES
 TOTAL SPACES PROVIDED= 279 SPACES

POST-RECONFIGURATION PARKING SPACES REQUIRED
 1.5 SPACE PER 1 BEDROOM =36 UNITS =54 SPACES
 2.2 SPACES PER 2 BEDROOM=48 UNITS =105.6 SPACES
 3.3 SPACES PER 3 BEDROOM=36 UNITS =118.8 SPACES
 4.4 SPACES PER 4 BEDROOM=0 UNITS =0 SPACES
 TOTAL UNITS: 120

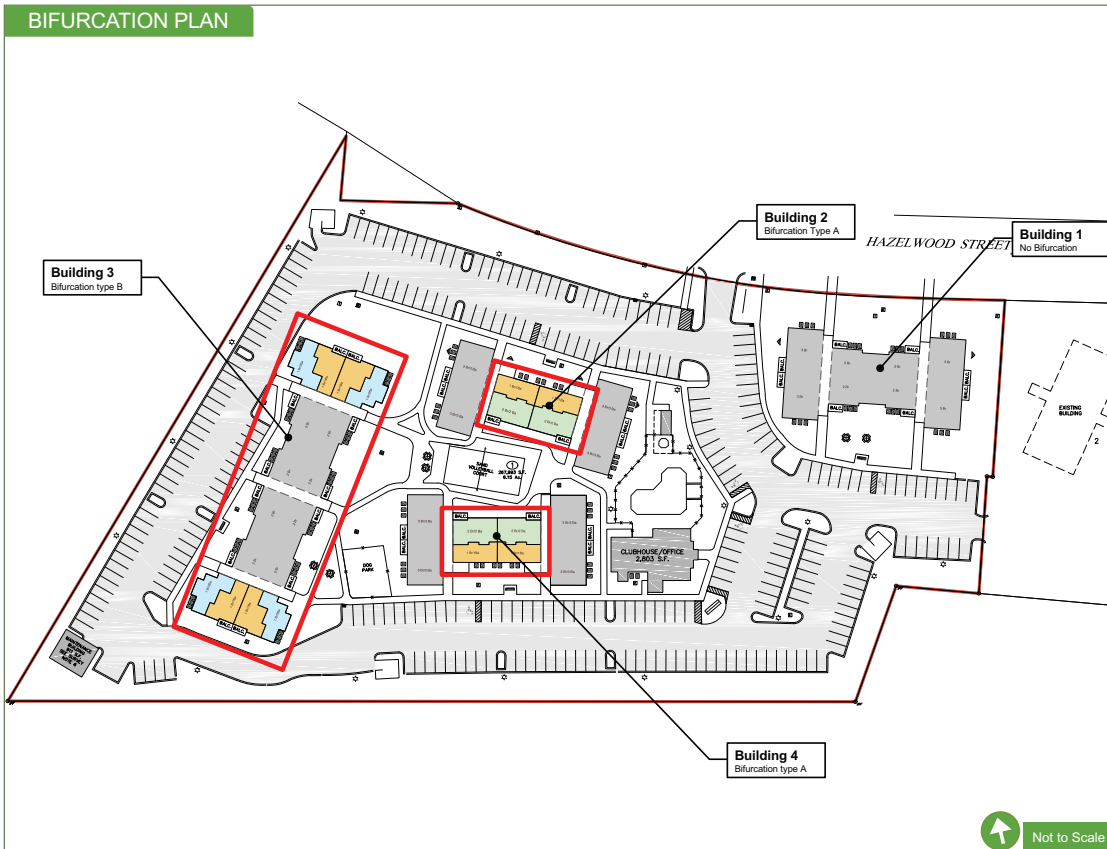
TOTAL SPACES REQUIRED= 279 SPACES
 TOTAL SPACES PROVIDED= 279 SPACES

SITE DATA

Total Area	6.15 +/- Ac.				
	1-Br	2-Br	3-Br	4-Br	Total
Original Units	0	36	36	24	96
Post Renovation Units	36	48	36	0	120
Net Change Units	+36	+12	0	-24	+24
Original Density	15.61 Units per Acre				
Post Renovation Density	19.51 Units per Acre				
Net Change Density	+3.9				
Parking required	279				
Post Renovation Parking provided	279				
Net Change in Parking	0				

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BIFURCATION PLAN



BIFURCATON SUMMARY

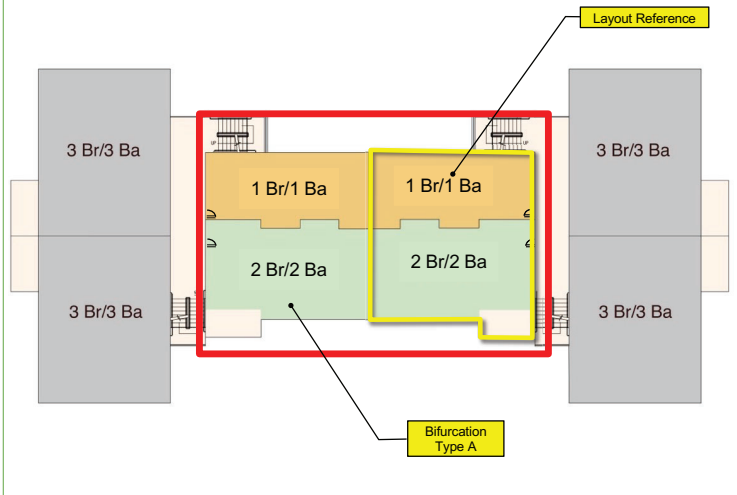
- The project reconfigures all existing 4-bedroom units into 1-Br and 2-Br units.
- There are 24 existing 4-bedroom units which will be converted into (12) 2-Br units and (36) 1-Br units.
- All existing buildings are fully sprinklered.
- Three buildings (B2, B3 & B4) are affected by bifurcation plan. No bifurcation is planned for Building 1.

Legend

- New 2 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- New 1 Bedroom, 1 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- New 1 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- Existing 3 Bedroom, 3 Bath unit
- Existing 2 Bedroom, 2 Bath unit

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Buildings 2 & 4 Bifurcation Plan View



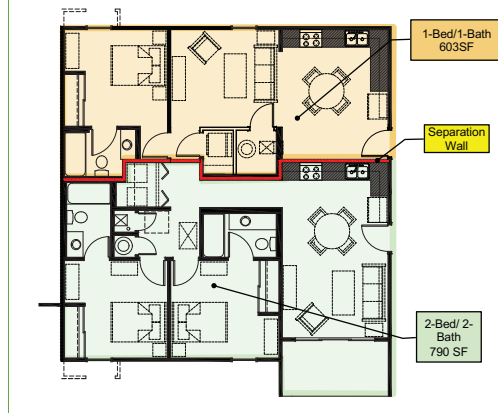
Legend

- New 2 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- New 1 Bedroom, 1 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- New 1 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- Existing 3 Bedroom, 3 Bath unit
- Existing 2 Bedroom, 2 Bath unit

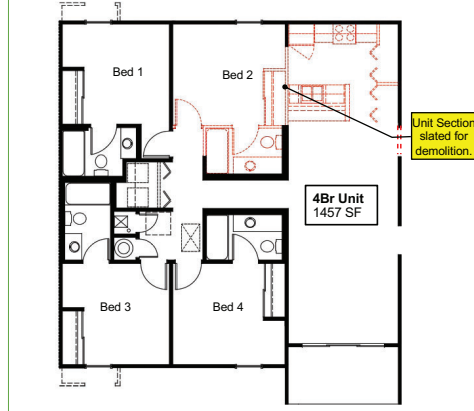
Summary

- The section of the plan view highlighted in red represents the new layout of the building once all 4-bed 4-bath units have been bifurcated using the bifurcation Type A plan shown in the proposed Layout.
- **The bifurcation of Buildings 2 and 3 will affect (12) 4-Br units and create (12) 1-Br and (12) 2-Br units**
- New kitchens will be added with no changes to existing bathroom locations.

Proposed Layout - Bifurcation Type A

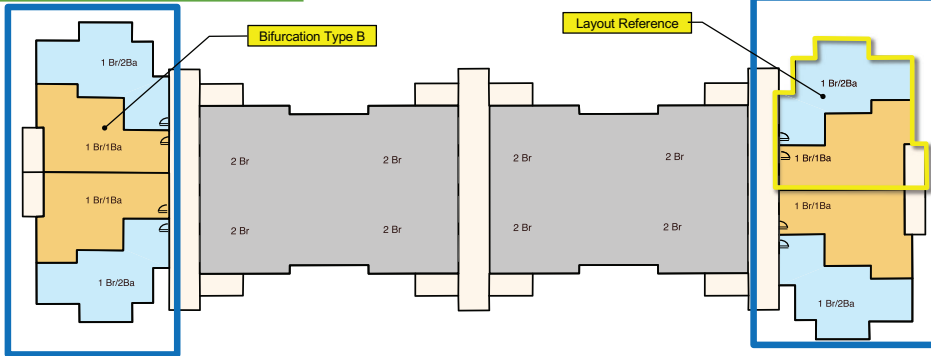


Original Layout



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Building 3 Bifurcation Plan View



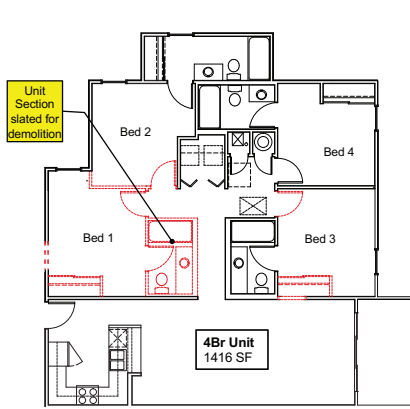
Legend

- New 2 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- New 1 Bedroom, 1 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- New 1 Bedroom, 2 Bath unit (part of existing 4 Bedroom, 4 Bath Unit)
- Existing 3 Bedroom, 3 Bath unit
- Existing 2 Bedroom, 2 Bath unit

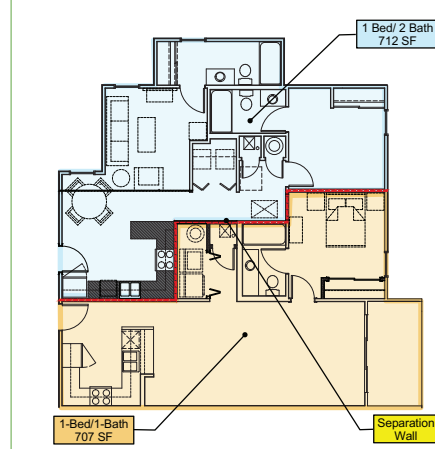
Summary

- The section of the plan view highlighted in blue represents the new layout of all 4-bed 4-bath units after bifurcation using the bifurcation Type B plan shown in the proposed Layout.
- The bifurcation of Building 3 will affect (12) 4-Br units and create (12) 1-Br/2-Ba and (12) 1-Br/1-Ba units.
- New kitchens will be added with no changes to existing bathroom locations.

Original Layout



Proposed Layout - Bifurcation Type B



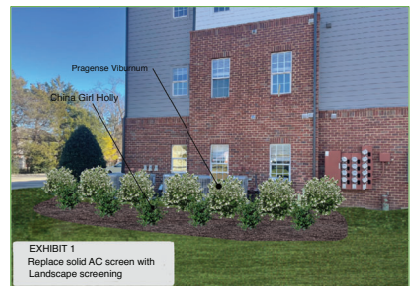
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CONCEPTUAL LANDSCAPE



Map Summary

The apartment complex has existing landscaping that will remain. The new landscaping that will be installed will be used to meet the Murfreesboro standard for screening the new and existing AC units. In addition, landscaping will be refreshed around dumpster enclosures to meet city standards and missing trees will be added where previously removed.



Legend

- New HVAC units
- Shrubs
- Trees

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PHASING PLAN



Map Summary

The Owner plans to complete the project in three phases.

- Phase 1 includes all site improvements and renovations outlined in the site improvement section of the document (pages 21-22).
- Phase 2 includes the bifurcation of (6) 4-bedroom units in Building 2 and (6) 4-bedroom units in Building 4.
- Phase 3 will include the bifurcation of (12) 4-bedroom units in Buildings 3 and 4

Phasing	Pre Bifurcation	Post Bifurcation
Phase I ■	-	-
Phase II ■	(12) 4-Br	(12) 1-Br (12) 2-Br
Phase III ■	(12) 4-Br	(24) 1-Br

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SITE IMPROVEMENT LOCATIONS



Map Summary

During the past two years, SW Capital has made substantial investments in enhancing the property, encompassing signage modifications, improvements to stairs and landings, replacement of swimming pool furniture, remodeling of the clubhouse and gym, installation of a new pickleball court, and the renewal of lighting fixtures throughout the property.

Furthermore, significant investment has been directed towards new property management software tools and enhancements to the leasing structure, aimed at better addressing the needs of residents. This has led to a notable shift in the resident population. Subsequent phases will serve to further diversify the residential community, as the 4-bedroom units are converted to traditional units.

Legend

- Signage Alteration
- Stairs and Landing improvements
- Swimming Pool Furniture Replacement
- Pickle ball court installation
- Clubhouse/Gym Refresh
- Lighting

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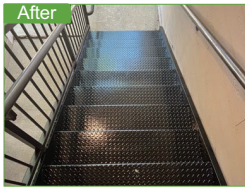
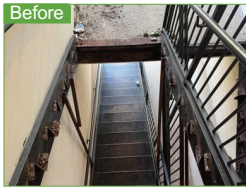
Change 1
Type: Shutter and Trim Paint.
Summary: All the trim paint was changed from electric blue to a soft gray to complement the new signage.



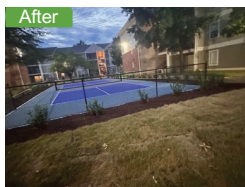
Change 2
Type: Signage.
Summary: Complete new design and package to include the monument, wayfinding and apartment signs were created to improve the curb appeal and provide a more conventional.



Change 3
Type: Stairs and Landing
Summary: Stair threads and Landing were torn down and replaced due to existing water damage; New Lighting was also added to improve safety.



Change 4
Type: Pickleball Court
Summary: New pickle ball court was installed in central location for community use.



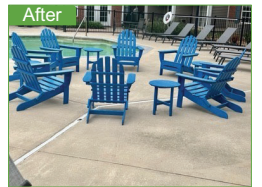
Change 5
Type: Clubhouse Renovations
Summary: Clubhouses were updated and furnishing changed to appeal to a broader demographic and family units.



Change 6
Type: Fitness Equipment.
Summary: Original Equipment was donated to the Murfreesboro Fire Department and new equipment that better matched the fitness goals of prospective residents.



Change 7
Type: Pool Furniture
Summary: Accent pieces and colors were changed to be more conservative in nature.

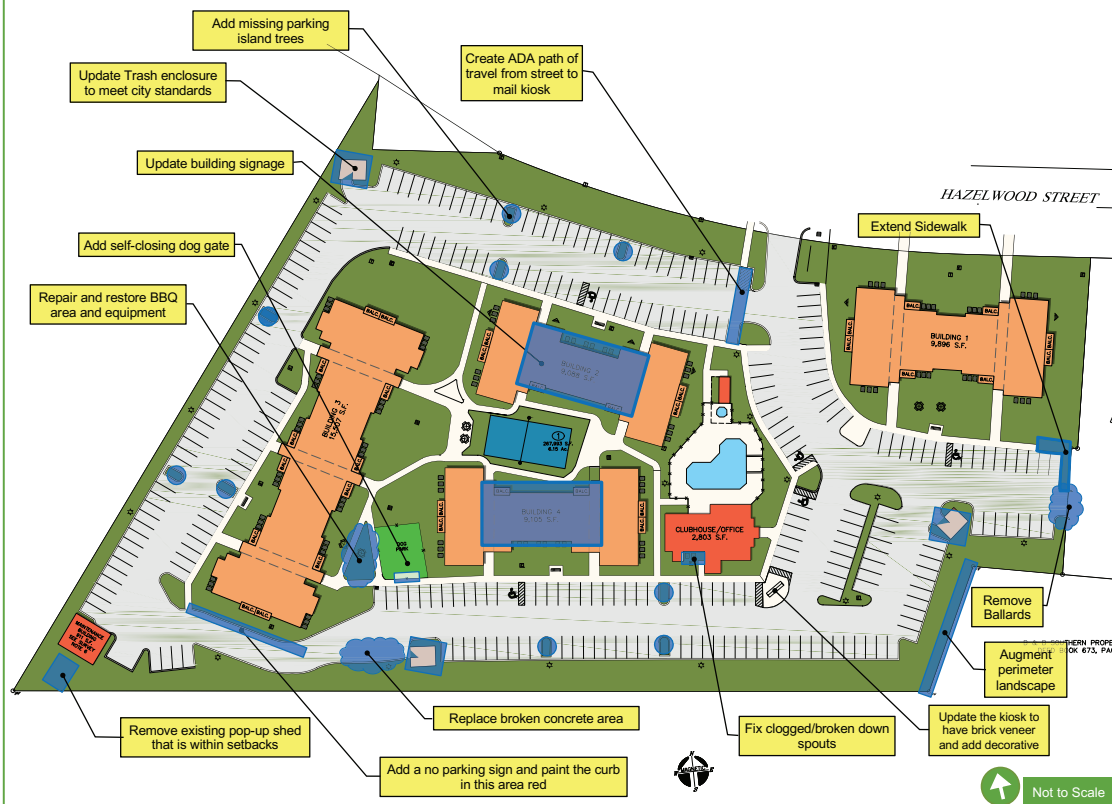


Change 8
Type: Lighting.
Summary: Pole lights were repainted with globe replacement throughout property.



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SITE IMPROVEMENT LOCATIONS



Map Summary

Phase 2 of the bifurcation process will include site improvements to enhance the property further. Proposed site improvements are called out on the map and listed below.

- Update building signage to clearly show new and existing units.
- Refresh Landscaping along the dumpsters.
- Repair all broken-down pole light fixtures and globes throughout the property.
- Unscreened utility boxes will be painted to blend with surroundings.
- Add ADA sidewalks/paths to connect out to city ROW on Hazelwood Street and Old Lascassas Rd.
- Remove bollards to open vehicular access to Old Lascassas Rd.
- Remove the non-conforming shed.
- Augment missing landscape throughout property.
- Replace deteriorated BBQ grills.
- Existing trash enclosures will be rebuilt to meet city standards.

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SITE IMPROVEMENT LOCATIONS



Map Summary

Phase 3 of the bifurcation process will include site improvements to enhance the property further. Proposed site improvements are called out on the map and listed below.

- Update building signage to clearly show new and existing units.
- This will include the bifurcation of (12) 4-bedroom units in buildings 3 & 4

Development Standards

- The development will include the reconfiguration and renovation of 3 buildings.
- The maximum building height of all existing buildings will remain unchanged.
- Parking will remain unchanged. Existing parking meets the Murfreesboro city parking requirement of 1.5 for 1-bedroom units and 1.1 per additional bedroom post-bifurcation.
- Solid waste will continue to use a private hauler. The existing garbage locations will remain. Existing trash enclosures will be rebuilt to meet city standards.
- A new sidewalk extension will be added to connect the site to Old Lascassas Road and Hazelwood Street.
- Mail delivery will be accommodated via one mail kiosk to be expanded and upgraded with a brick veneer.
- All Telecommunication and television equipment existing to remain.
- New AC units will be in the current existing locations – screening by landscaping or screen fences will be added.
- Building Elevation Materials: Vinyl Siding will be pressure washed as needed.
- All existing buildings are to remain within existing setbacks.
- The 2035 Plan is not applicable since the project is bifurcation only.
- **If sewer usage does not decrease after bifurcation, the developer will add submeters for each unit.**
- **The developer is committed to upgrading all water-using fixtures to low-flow devices.**

General Applicability Section 13b for Planned Development

- **Ownership and division of land:** *The site is owned by the developer identified on Sheet 2. The lot is currently zoned RM-16 in the City of Murfreesboro. The property owner will be responsible for the long-term maintenance of the apartment complex.*
- **Waiver of BZA action:** *No BZA actions will be required.*
- **Common space and common elements:** *Amenities include a renovated gym, clubhouse, pickleball court, dog park, and pool facilities*
- **Accessibility of site:** *The site will be accessed from Hazelwood Street and will have cross-connectivity with Old Lascassas Road.*
- **Off-street parking:** *no new off-street parking will be added.*
- **Pedestrian circulation:** *Sidewalks will be extended easterly adjacent to the existing bollards towards Old Lascassas Road and at the main entrance at Hazelwood Street to the main office as an ADA path of travel.*
- **Privacy:** *Currently there is no need for privacy upgrades at this location.*
- **Relationship to zoning regulations and other zoning regulations:** *A PRD is being requested for the subject property. A Land Requirement Table is not applicable as no buildings are being expanded*
- **Development Period; Phasing:** *The project will be completed in 3 phases with phase I already completed.*
- **Annexation:** *No annexation is required for this site.*
- **Landscaping:** *Landscaping will be the responsibility of the new owner.*

City of Murfreesboro General Applicability Section 13b for Planned Development

1. Identification of existing utilities, easement, roadways, rail lines and public right-of-way crossings and adjacent to the subject property; [Shown in pattern book sheets 5-9.](#)
2. A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; [Shown in pattern book sheets 10-14.](#)
3. A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structure on-site and within two hundred feet of the subject property and the identification of the use thereof; [Shown in pattern book Sheet 10-14.](#)
4. A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; [Shown in pattern book sheet 15.](#)
5. A tabulation of the maximum number of dwelling units proposed including the number of units with two or less bedrooms and the number of units with more than two bedrooms; [Shown in pattern book sheet 15.](#)
6. A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (floor area ratio), the L.S.R. (livability space ratio), and the O.S.R. (open space ratio); [Not applicable in this situation.](#)
7. A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the City and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article; [Shown in pattern book on sheet 4.](#)
8. If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating: (aa) the approximate date when construction of the project can be expected to begin; (bb) the order in which the phases of the project will be built; (cc) the minimum area and the approximate location of common space and public improvements that will be required at each stage; and, (dd) a breakdown by phase for subsections [5] and [6] above; [Property will be developed in three phases as seen in page 20.](#)
9. Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted; [Shown in pattern book sheet 19 & 23.](#)
10. A statement setting forth in detail either (1) the exceptions which are required from the zoning and Subdivision Regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed; [In the City of Murfreesboro, bifurcation projects historically increase the overall density of their developments. The land use plan calls for a density of 16 D.U./Acre. Post Bifurcation, the new proposed density will be 19.51 D.U./Acre. However, the bedroom count will be reduced from 276 to 240 bedrooms representing a 15% overall bedroom reduction.](#)
11. The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article; [The project is not within any overlays.](#)
12. The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time; [Not applicable in this situation.](#)
13. The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated; [See Sheet 2.](#)
14. Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. [Not Applicable.](#)
15. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign: [New signage upgrade has been implemented.](#)

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 2, 2024
PRESENTER: JOHN TULLY**

5.f. Zoning Ordinance Amendment [2024-805] regarding retail and distribution uses and pertaining to the following sections:

- **Section 2: Definitions;**
- **Section 9: Standards for Special Permit Uses; and**
- **Chart 1: Uses Permitted (including its endnotes)**

City of Murfreesboro Planning Department applicant.

In recent months, several auto parts retailers have approached the Planning Department about a new type of use, one that blends a traditional retail operation with a distribution and/or fulfillment component. In these instances, the area of the respective buildings proposed to be devoted to warehousing, fulfillment, and/or distribution uses exceeds the area of the building devoted to the business' traditional retail operations. Because of this, Staff has determined that the principal use is warehousing and/or distribution instead of retail; as such, these uses are only permitted in industrial zoning districts. However, Staff sees the value in these uses, especially since they are good candidates to occupy troubled shopping centers. In addition, it appears that they offer needed services to their customers and to other nearby stores, serving them on a smaller scale and avoiding the need to open much larger distribution centers.

The Planning and Legal Departments have worked together on the attached Zoning Ordinance amendment, which adds a definition for "Auto Parts Retail Hybrid/Retail Hub" consistent with the model that has been presented to us in recent months. Much like warehousing and distribution uses, the auto parts retail hybrid/retail hub use is proposed to be allowed by right in all three industrial districts. However, the ordinance amendment also creates a path by which these uses can be approved in certain commercial zoning districts via the special use permit process before the Board of Zoning Appeals (BZA). Also included are criteria that will be required to be submitted to the BZA for its review during its deliberation, including number of deliveries and type(s) of delivery vehicles that will be used.

In adding this use to the Zoning Ordinance, Staff noticed several related gaps that it thought needed to be filled with this ordinance amendment. Definitions for the following terms are proposed to be added: "Commercial Storage," "Distribution," and "Fulfillment." Also proposed are some modifications to the existing definitions of "Accessory Structure or Use" and "Warehouse", which Staff believes add clarity and eliminate some ambiguity in these definitions. In summary, this Zoning Ordinance amendment attempts to adapt to a changing retail and business landscape, adding a new use and adding clarity to existing related uses.

Action Needed:

A draft of the language for the proposed ordinance amendment is included in the agenda packet for the Planning Commission's review. The Planning Commission should conduct a public hearing on this matter, after which it should discuss and then formulate a recommendation on it to City Council.

ORDINANCE 24-O-XX amending Murfreesboro City Code Appendix A—Zoning, Sections 2, 9, Chart 1 and Chart 1 Endnotes, pertaining to retail operations, Murfreesboro Planning Department, applicant [2024-XXX].

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MURFREESBORO, TENNESSEE, AS FOLLOWS:

SECTION 1. Appendix A, Section 2, Interpretations and Definitions, of the Murfreesboro City Code is hereby amended in the Definitions subsection by inserting the following definitions in proper alphabetical order:

Accessory structure or use: An accessory structure or use is a structure or use that:

- (A) is incidental to and serves a principal building or a principal use;
- (B) is subordinate in extent and purpose to the principal structure or principal use served;
- (C) is subordinate in area to the principal structure, with no more than 40% of the total gross floor area of the principal structure being devoted to such accessory structure or use (or, where the accessory structure is separate from the principal structure, such accessory structure must have a gross floor area of no more than 40% the gross floor area of the principal structure);
- (D) contributes to the comfort, convenience or necessity of the occupants, business or industry in the principal structure or principal use served; and,
- (E) is located on the same zoning lot as the principal structure or principal use served.

Distribution: A component use of a commercial or industrial use where goods are received and/or stored for delivery to other retail and/or commercial locations. Distribution includes the storage of inventory in support of a retail shop, where such inventory is routinely delivered to other retail locations.

Commercial storage: The storage of goods or materials in a business located on the premises for immediate sale to the ultimate customer, as opposed to warehousing, distribution or fulfillment.

Fulfillment: A component use of a commercial or industrial use where goods are received and/or stored for delivery to the ultimate customer or to a commercial location for use in provision of services to the ultimate customer. Fulfillment includes the storage of inventory in support of a retail shop, where such inventory

is routinely delivered to the customer, unless such storage is accessory to the principal retail use.

Retail shop: An establishment engaged primarily in the on-site point of sale of goods to the ultimate customer for personal use or consumption rather than for resale to the ultimate customer. On-site point of sales also include the placement of an order at the establishment or pickup of a remotely placed order by the ultimate customer. Includes Commercial Storage if accessory to the principal retail use.

Automobile parts retail hybrid/retail hub: An establishment with greater than 10,000 square feet of gross floor area engaged primarily in the sale of automobile parts and related goods for personal use or consumption which includes routine and/or routed deliveries from the establishment to support a distribution and/or fulfillment component use.

Warehouse: A building used primarily for the storage and distribution/fulfillment of goods and materials.

SECTION 2. Appendix A, Section 9, part (ppp) is hereby amended by striking it in its entirety and replacing it with:

“Automobile Parts Retail Hybrid/Retail Hub with greater than 10,000 square feet of gross area shall be subject to the following additional standards:

- (1) any site requested for approval must submit with the application a proposed floor plan detailing the retail space and distance between storage shelves or racks;
- (2) the application must include information regarding the number of other locations that will be served by the warehouse and/or distribution use, the frequency of all distribution and fulfillment deliveries from the premises, the time of day such deliveries will be made, the number and type of vehicles used for deliveries, and any additional information requested by the Planning Director;
- (3) the application must include a site plan that includes a truck turning template, loading dock layout, and outdoor storage area(s) (if any) and demonstrates compliance with the minimum off-street loading requirements in Section 26 of this Article; and
- (4) The BZA may deny approval where the proposed Automobile Parts Retail Hybrid/Retail Hub would: have an adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare; and/or interfere with the development and use of adjacent property, including the types and frequency of anticipated deliveries to

support the accessory use, the size and types of vehicles to be used for anticipated deliveries to support the accessory use, anticipated times for delivery, and/or anticipated delivery areas and routes. In the alternative, the BZA may condition approval on the applicant modifying its site plan and conforming its delivery operations to ensure compatibility of the proposed location with adjoining properties and surrounding streets.

SECTION 3. Appendix A, Chart 1, Uses Permitted by Zoning District, of the Murfreesboro City Code is hereby amended by striking in its entirety and substituting in lieu thereof the attached Chart 1 amending Automobile Parts Retail Hybrid uses permitted by zoning district.

SECTION 4. Appendix A, Chart 1 Endnotes, Uses Permitted by Zoning District, of the Murfreesboro City Code is hereby amended by striking Endnote 18 and substituting in lieu thereof:

18. Warehouses incidental and accessory to another use (other than warehouses accessory to automobile parts retail hybrid/retail hub uses) are permitted by right wherever such other use is permitted.

SECTION 5. Appendix A, Chart 1 Endnotes, Uses Permitted by Zoning District, of the Murfreesboro City Code is hereby amended by adding a new Endnote 33, as follows:

33. Automobile Parts Retail Hybrid/Retail Hub uses of greater than 10,000 square feet of gross floor area shall only be permitted on parcels located within the Qualified Opportunity Zone, as certified by the U.S. Department of the Treasury on or about 2017, or on parcels immediately adjacent thereto if the main entrance to the primary structure is located within 500 feet of the Qualified Opportunity Zone. Notwithstanding the foregoing, however, such a use shall not be permitted where the majority of square footage of the primary structure is located within the Gateway Design Overlay.

SECTION 6. That this Ordinance shall take effect fifteen (15) days after its passage upon second and final reading, the public welfare and the welfare of the City requiring it.

Passed:

1st reading _____

2nd reading _____

ATTEST:

Erin Tucker
City Recorder

Shane McFarland, Mayor

APPROVED AS TO FORM:

Adam F. Tucker
City Attorney

SEAL

USES PERMITTED ³	ZONING DISTRICTS																														OVERLAY
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	CH	MU	CBD	HI	GI	LI	CM-RS-8	CM-R	CM	CU	P	CCO				
DWELLINGS																															
Single-Family detached	X	X	X	X	X	X	X	X	X	X ²⁷		X		X									X	X		X					
Single-Family attached or detached, zero-lot line (max. 2 units attached) ²³							X	X	X	X ²⁴		X		X									X		X						
Single-Family attached, townhouse ^{25, 26, 28}								X	X	X													X		X						
Two-Family							X	X	X			X		X									X		X						
Three-Family								X	X			X		X									X		X						
Four-Family								X	X			X		X									X		X						
Multiple-Family								X ²¹	X ²¹								X ²¹	X ²¹							X						
OTHER HOUSING																															
Accessory Apartment ⁸	S ⁸	S ⁸	S ⁸	S ⁸	S ⁸	S ⁸				S ⁸																					
Accessory Dwelling Unit												X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹						
Assisted-Care Living Facility ¹⁵							S	X	X	X		X	X	X	X	X	X	X				X	X	X	X	S					
Bed-and-Breakfast Homestay	S	S	S	S	S		S	S	X	S		S		X	X	X	X	X				S	S	S	X						
Bed-and-Breakfast Inn	S	S	S	S	S		S	S	S	S		S		S	X	X		X				S	S	S	S						
Boarding House ¹⁵							S	S	X	X		S		X	X	X	X	X					S	S	X						
Class I Home for the Aged ¹⁵	S	S	S	S	S	S	S	X	X	X		X		X	X	X	X	X				S	S	S	S						
Class II Home for the Aged ¹⁵	S	S	S	S	S		S	S	S	S		S		X	X	X		X				S	S	S	S						
Class III Home for the Aged ¹⁵							S	S				S		S	X	X	X	X				S	S	S	S						
Emergency Shelter	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X				
Extended Stay Hotel/Motel																X	X														
Family Crisis Shelter												S		S	S	S				S	S	S		S							
Family Violence Shelter							S	S				S	S	S	X	X			X	X	X		X	S	S						
Fraternity/Sorority												S		S	S	S	S						S	S	S		N				
Group Shelter							S	S				S	S	S	S	S			S	S											
Hotel																	X	X	X	X	X										
Home Occupations ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹		X ¹¹			X ¹¹					S ¹¹	S ¹¹	S ¹¹							
Mission																			S	S	S										
Mobile Homes											X																N				
Motel																	X	X		X	X	X					N				
Rooming House							S	S	S									X					S	S	X						
Student Dormitory									S																X						
Transitional Home							S	S	S			S	S										S	S							

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf

USES PERMITTED ³	ZONING DISTRICTS																									OVERLAY	
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OGR	OG	CL	CF ¹⁴	CH	MU	CBD	HI	GI	LI	CM-RS-8	CM-R	CM	CU	P	eco
INSTITUTIONS																											
Adult Day Care Center	S	S	S	S	S	S	S	S	S	S		X	X	X	X	X	X		X	X	X	S	X	X			
Adult Day Care Home	S	S	S	S	S	S	S	S	S	S	S	X	S	X	X	X		X	X	X	X	X	X	X			
Airport, Heliport	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S		X	S	S	S	S	S	S	S	S
Cemetery, Mausoleum	S	S	S	S	S	S	S	S	S	S	S	S	S			S			S	S	S						
Church ¹³	S	S	S	S	S	S	S	X	X	S	S	S	X	X	X	X	X	X	X	X	X	S	S	X	X		
College, University												X	X			X	X						X		X		
Day-Care Center							S	S	S		S	S	S	X	X	X	X	X	X	X	X	S	S	S			
Family Day-Care Home	S	S	S	S	S	S	S	S	S	S	S	S		X	X	X		X	X	X	X	S	S	S	X		
Group Day-Care Home	S	S	S	S	S	S	S	S	S	S	S	S		X	X	X		X	X	X	X	S	S	S	X		
Hospital												X	X			X	X		X	X	X	X	X	X			
Lodge, Club, Country Club ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X	X	X	X	X	S	S	S			
Mental Health Facility												X	X	X		X	X		X	X	X		X	X			
Morgue																X	X		X	X	X		X	X			
Museum							S	S	S			S	S	S	X	X	X	X	X	X	X	S	S	S	X	S	
Nursery School							S	S	S		S	S	S	S	S	S	X		S	S	S	S	S	S	X		
Nursing Home												X	X	S	S	S	X		X	X	X	X	X	X			
Park	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Pet Cemetery	S	S	S												S	S			S	S	S						
Philanthropic Institution							S	S	S			X	X	X	X	X	X	X	X	X	X	X	X	X	X		
Public Building ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X	X	X	X	X	S	S	S	X		
Recreation Field ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X		X	X	X	S	S	S	X	X	
Senior Citizens Center	S	S	S	S	S	S	S	X	X	S		X	X	X	X	X	X		X	X	X	S	X	X			
School, Public or Private, Grades K - 12 ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X	X	X	X	X	S	S	S	X		
Student Center								S	S			S	S	S	S	S	X						S	S	X		
Technology/Vocation School (Indoor)													X		X	X	X		X	X	X		X	X			
Trade School (includes outdoor)																			X	X	S						
AGRICULTURAL USES																											
Customary General Farming	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X	X	X	X ⁶	X	X	X	X	X	X	X	X	X	X	X	X
Crop, Soil Preparation Agricultural Services	S	S	S	S	S	S	S	S	S	S	S				X	X			X	X	X				X	X	
Farm Labor and Management Services												X	X	X	X	X		X	X	X	X				X		
Fish Hatcheries and Preserves																											
Grain, Fruit, Field Crop and Vegetable Cultivation and Storage	X	X	X	X	X	X	X	X	X	X	X								X	X	X				X		
Livestock, Horse, Dairy, Poultry, and Egg Products	S	S	S	S	S	S	S	S	S	S	S								X	X	X				X		
Timber Tracts, Forest Nursery, Gathering of Forest Products	S	S	S	S	S	S	S	S	S	S	S								X	X	X						

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COMMERCIAL																											
Adult Cabaret																			X ⁹								
Adult Entertainment Center																			X ⁹								
Adult Motel																			X ⁹								
Adults-Only Bookstore																			X ⁹								
Adults-Only Motion Picture Theater																			X ⁹								
Amusements, Commercial Indoor															X	X	X	X	X	X	X				S		
Amusements, Commercial Outdoor excluding Motorized																X	X		X	X	X				S	S	N
Amusements, Commercial Outdoor Motorized except Carnivals																			S	S	S						N
Animal Grooming Facility															X	X	X		X	X	X						
Antique Mall															X	X	X	X	X	X	X						
Antique Shop <3,000 sq. ft.												X	X	X	X	X	X	X	X	X	X		X				
Art or Photo Studio or Gallery												X	X	X	X	X	X	X	X	X	X		X		X		
Artisan Use < 3,000 sf, other than enumerated elsewhere														X	X	X	X	X	X	X	X						
Automobile Body Shop ¹²														X	X	X	X	X	X	X	X						N
Automobile Parts Retail Hybrid/Retail Hub equal to or greater than 10,000 sq. ft.															S ³³	S ³³			X ³³	X ³³	X ³³						N
Automotive/Motor Vehicle Repair ¹²																			X	X	X						N
Automotive/Motor Vehicle Service															S	X	X		X	X	X						
Bakery, Retail														X	X	X	X	X	X	X	X						
Bank or Credit Union, Branch Office or Main Office												X	X	X	X	X	X	X	X	X	X						
Bank, Drive-Up Electronic Teller												X	X	X	X	X	X	X	X	X	X	X	X				
Barber or Beauty Shop												X	X	X	X	X	X	X	X	X	X		X				
Beer, Packaged														X	X	X		X	X	X	X						
Boat Rental, Sales, or Repair																			X	X	X						N
Book or Card Shop												X	X	X	X	X	X	X	X	X	X		X				
Brewery, Artisan ²⁹														X	X	X		X	X	X	X						
Brewery, Micro ²⁹																X		X	X	X	X						
Brewpub ³⁰														X	X	X	X	X	X	X	X						
Business and Communication Service												X	X	X	X	X	X	X	X	X	X						
Business School												X	X		X	X	X	X	X	X	X						
Campground, Travel-Trailer Park																			S	S	S						N

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Carnivals																S				S	S	S					S	N
Catering Establishment												X	X	X	X	X	X	X	X	X	X		X					
Cigar Lounge																S	S	S	S	X	X	X						
Clothing Store															X	X	X	X	X	X	X	X						
Coffee, Food, or Beverage Kiosk															X	X	X	X	X	X	X	X						
Commercial Center (≤25,000 SF)															X	X	X	X	X	X	X	X						
Convenience Store, ≤5,000 SF															X	X	X	X	X	X	X	X						
Convenience Store > 5,000 SF																	X	X		X	X	X						N
Crematory																				S	S	S						N
Data Center ≤15,000 SF													X			X	X			X	X	X						N
Department or Discount Store															X	X	X	X	X	X	X	X						
Distillery, Artisan ²⁹																X		X	X	X	X	X						
Drive-In Theater																X		X	X	X	X	X						N
Dry Cleaner ≤3,000 SF (No On-Site Cleaning)														X	X	X	X	X	X	X	X	X						
Financial Service												X	X	X	X	X	X	X	X	X	X	X						
Fireworks Public Display																										X		
Fireworks Retailer																S				S	S	S						N
Fireworks Seasonal Retailer															S	S	S			S	S	S						N
Fitness/ Health Club Facility >5,000 SF															X	X	X	X	X	X	X	X						
Fitness studio/ personal instruction ≤5,000 SF												X	X	X	X	X	X	X	X	X	X	X	X	X	X			
Flower or Plant Store												X	X	X	X	X	X	X	X	X	X	X		X				
Funeral Home															S	X	X		X	X	X							
Garden and Lawn Supplies																S	X	X	X	X	X	X						
Gas--Liquified Petroleum, Bottled and Bulk																	X			X	X	X						
Gasoline Sales														X	X	X	X			X	X	X						N
General Service and Repair Shop																	X		X	X	X	X						
Glass--Auto, Plate, and Window																	X	X		X	X	X						
Glass--Stained and Leaded														X	X	X	X	X	X	X	X	X						
Greenhouse or Nursery																	X	X		X	X	X						N
Grocery Store														X	X	X	X	X	X	X	X	X						
Group Assembly, <250 persons												S	S			X	X	X	X	X	X	X	S	S	S			
Group Assembly, >250 persons												S	S			S	S	X	S	S	S	S	S	S	S			
Ice Kiosk, Automated																X	X			X	X	X						N
Interior Decorator												X	X	X	X	X	X	X	X	X	X	X		X				
Iron Work																	X			X	X	X						N*
Janitorial Service																X	X	X	X	X	X	X						
Kennels																	X			X	X	X						N

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Keys, Locksmith															X	X	X	X	X	X	X										
Laboratories, Medical												X	X		X	X	X		X	X	X	X	X	X							
Laboratories, Testing															X	X	X		X	X	X										
Laundries, Self-Service															X	X	X		X	X	X										
Lawn, Tree, and Garden Service																X			X	X	X										
Liquor Store															X	X	X		X	X	X						N				
Livestock, Auction																			X	X	X						N				
Lumber, Building Material																			X	X	X						N				
Manufactured Home Sales																			X	X							N				
Massage Parlor																				X ³											
Motor Vehicle: Sales , Rental (Automobiles) ³																	S	S	X ³	X ³	X ³						N				
Motor Vehicle: Sales, Rental (Other Than Automobiles) ³																					X ³	X ³	X ³				N				
Motor Vehicle: Sales, Rental, Repair (Medium & Heavy Duty Commercial Vehicles) ³																				X ³	X ³						N				
Movie Theater															X	X	X	X	X	X	X										
Music or Dancing Academy															X	X	X	X	X	X	X										
Offices												X	X	X	X	X	X	X	X	X	X	X ⁵	X ⁵	X ⁵							
Optical Dispensaries												X	X		X	X	X	X	X	X	X	X	X	X							
Parking Structure																X	X	X	X	X	X				X	X					
Pawn Shop																X			X	X	X						N				
Payday Loan, Title Loan, or Check-Cashing Service																X			X	X	X						N				
Personal Service Establishment														X	X	X	X	X	X	X	X										
Pet Crematory																				S	S	S					N				
Pet Funeral Home															X	X			X	X	X						N				
Pet Shops															X	X	X	X	X	X	X										
Pharmacies, Apothecaries												X	X	X	X	X	X	X	X	X	X	X	X	X							
Plasma Donation Center																			X	X	X				X						
Radio, TV, or Recording Studio																	X	X	X	X	X	X									
Radio and Television Transmission Towers															S	S			S	S	S				S		N				
Rap Parlor																				X ³											
Restaurant and Carry-Out Restaurant														X	X	X	X	X	X	X	X										
Restaurant, Drive-In																X			X	X	X						N				
Restaurant, Specialty														X	X	X	X	X	X	X	X										
Restaurant, Specialty -Limited												S	S	X	X	X	X	X	X	X	X	S	S	S							
Retail Shop, firearms																			X	X	X						N				
Retail Shop, other than enumerated elsewhere															X	X	X	X	X	X	X										
Retail Shop: Tobacco, Vape, Dispensary ³¹																X ³¹				X ³¹	X ³¹	X ³¹					N				
Salvage and Surplus Merchandise																X			X	X	X						N				

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Sauna																			X ⁶									N	
Self-Service Storage Facility ¹⁶															S	X	S		X	X	X							N	
Sheet Metal Shop																X			X	X	X							N	
Shopping Center, Community (150-300K SF)																X	X		X	X	X							N	
Shopping Center, Neighborhood (25-150K SF)															X	X	X		X	X	X								
Shopping Center, Regional (>300,000 SF)																X	X		X	X	X							N	
Specialty Shop												X	X	X	X	X	X		X	X	X			X					
Tavern																X		X		X	X								
Taxidermy Studio																S			S	S	X							N	
Veterinary Clinic															X	X	X		X	X	X								
Veterinary Hospital																X	X		X	X	X							N	
Veterinary Office												X	X	X	X	X	X		X	X	X			X					
Vehicle Wash														X		X			X	X	X							N	
Wholesaling, Wholesale Establishments																X			X	X	X							N	
Winery, Artisan ²⁹														X	X	X		X	X	X	X								
Wireless Telecommunications Towers, Antennas ¹⁷	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S		S	S	S	S	S	S	S	S	S	N	
Wrecker/Towing Service, Wrecker Storage Yard ¹²																			X	X	X							N	
INDUSTRIAL																													
Manufacture, Storage, Distribution and/or Fulfillment of:																													
Abrasive Products																			X	X								N	
Asbestos Products																			S									N	
Automobile Dismantlers and Recyclers ^{7 & 12}																			S									N	
Automobile Manufacture																			X	X								N	
Automobile Parts and Components Manufacture																			X	X								N	
Automobile Seats Manufacture																			X	X								N	
Bakery Goods, Candy																			X	X	X							N*	
Boat Manufacture																			X	X								N	
Bottling Works																			X	X	X							N	
Brewery ²⁰																			X	X	X							N	
Canned Goods																			X	X								N	
Chemicals																			X									N	
Composting Facility																			S						S			N	
Contractor's Storage, Indoor																X			X	X	X							N	
Contractor's Yard or Storage, Outdoor ³²																			X	X	X							N	
Contractor's/Construction Equipment: Sales, Rental, Repair ³²																			X	X	X								
Cosmetics																			X	X	X							N	

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf

USES PERMITTED ³	ZONING DISTRICTS																									OVERLAY	
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	CH	MU	CBD	HI	GI	LI	OM-RS-8	CM-R	CM	CU	P	CCO
Custom Wood Products																			X	X	X						N*
Data Center / Server Farm > 15,000																			S	S	S						N
Distillery ²⁰																			X	X	X						N
Dry Cleaning- Laundering Facility > 3,000																X			X	X	X						N
Electrical or Electronic Equipment, Appliances, and Instruments																			X	X	X						N
Fabricated Metal Products and Machinery																			X	X	X						N*
Fertilizer																			X								N
Food and Beverage Products except animal slaughter, stockyards, rendering, and brewery																			X	X	X						N
Furniture and Fixtures																			X	X							N*
Jewelry																			X	X	X						N*
Junkyard																			S								N
Leather and Leather Products except tanning and finishing																			X	X	X						N*
Leather and Leather Products, Tanning and Finishing																			X								N
Lumber and Wood Products																			X	X							N
Mobile Home Construction																			X								N
Musical Instruments																			X	X	X						N*
Office/Art Supplies																			X	X	X						N*
Paints																			X	X							N
Paper Mills																			S								N
Paper Products excluding paper and pulp mills																			X	X							N
Petroleum, Liquified Petroleum Gas and Coal Products except refining																			S								N
Petroleum, Liquified Petroleum Gas and Coal Products refining																											N
Pharmaceuticals																			X	X	X						N
Photographic Film Manufacture																			X	X							N
Pottery, Figurines, and Ceramic Products																			X	X	X						N*
Primary Metal Distribution and Storage																			X	X							N
Primary Metal Manufacturing																			X	X							N
Printing and Publishing																X	X	X	X	X	X						
Recycling center																S			X	X	X						N
Recycling Center: Temporary Mobile															S	S			S	S	S				S		N
Rubber and Plastic Products except rubber or plastic manufacture																			X	X							N

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf

USES PERMITTED ³	ZONING DISTRICTS																													OVERLAY
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	CH	MU	CBD	HI	GI	LI	CM-RS-8	CM-R	CM	CU	P	CCO			
Rubber and Plastic Products, Rubber and Plastic Manufacture																			X	X							N			
Saw Mills																			X								N			
Scrap Metal Processors																			S								N			
Scrap Metal Distribution and Storage																			S								N			
Scrap Processing Yard																			S								N			
Secondary Material Dealers																			S								N			
Silverware and Cutlery																			X	X	X						N*			
Small Moulded Metal Products																			X	X							N			
Sporting Goods																			X	X	X						N			
Stone, Clay, Glass, and Concrete Products																			X	X							N*			
Textile, Apparel Products, Cotton--Factoring, Grading																			X	X	X						N*			
Textile, Apparel Products, Cotton Gin																			X	X							N			
Tire Manufacture																			X	X							N			
Tobacco Products																			X	X							N			
Toiletries																			X	X	X						N*			
Transportation Equipment																			X	X	X						N			
Warehousing, Transporting/Distributing/Fulfillment ¹⁸																			X	X	X						N			
Winery ²⁰																			X	X	X						N			
TRANSPORTATION AND PUBLIC UTILITIES																														
Bus Terminal or Service Facility																	X		X	X	X									
Electric Transmission, Gas Piping, Water/Sanitary Sewer Pumping Station	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X				
Freight Terminal, Service Facility																	X		X	X	X						N			
Garbage or Refuse Collection Service																			X	X							N			
Gas, Electric (Including Solar Farms), Water, Sewerage Production and/or Treatment Facility, Landfill ¹⁹																			X	X	S						N			
Post Office or Postal Facility														X	X	X	X	X	X	X	X									
Railroad Station/Terminal																	S		S	S	S									
Refuse Processing, Treatment, and Storage																			S								N			
Telephone or Communication Services															X	X	X	X	X	X	X									
Taxicab Dispatch Station																	X		X	X	X						N			

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 2, 2024
PROJECT PLANNER: HOLLY SMYTH**

6.a. Mandatory Referral [2024-722] to consider the abandonment of a portion of a drainage easement along Southpointe Way, ARCO/Murray Nashville applicant.

This easement abandonment request is for a portion of a 10' drainage easement along the eastern boundary of Lots 17 and 18 of the Southpointe Business Campus subdivision (aka 1919 and 1931 Southpointe Way). The segment of easement in question is approximately 396' long by 10' wide, highlighted in golden rod on the adjacent aerial photo and as shown in the shaded area on the attached engineering drawing exhibit. This easement was dedicated by Plat book 33, page 221 Section II.



rod on the adjacent aerial photo and as shown in the shaded area on the attached engineering drawing exhibit. This easement was dedicated by Plat book 33, page 221 Section II.

The original development plan for the Southpointe Business Campus subdivision from 2005 included a drainage ditch to be located in this easement. Over time the ditch has been filled in and is no longer a functioning drainage facility. Staff has reviewed all properties that could drain to this easement and determined that it is not currently being utilized and can therefore be abandoned as shown on the sketch provided. The City Engineer has reviewed the request and does not object.

Therefore, Planning Staff recommends that the Planning Commission vote to recommend approval of the request to City Council subject to the following conditions:

- 1) The applicant will be responsible for providing the information necessary for the Legal Department to prepare the legal documents for the easement abandonment. Said legal documents will be subject to the final approval of the City Legal Department.
- 2) The applicant will be responsible for recording the aforementioned documents, including payment of any recording fees.
- 3) The abandonment area will be referenced on the Final Plat to be recorded, combining the two lots in question.

If approved by the City Council, then the Mayor will be authorized to sign the necessary documents to convey the City's interest back to the owner.

**ABANDONED EASEMENT EXHIBIT
SOUTHPOINTE BUSINESS CAMPUS
SECTION 2, LOTS 17 & 18**

MAP 113C, GROUP C, PARCELS 17.00 & 18.00

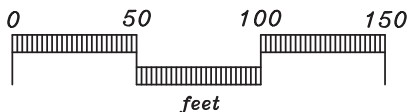
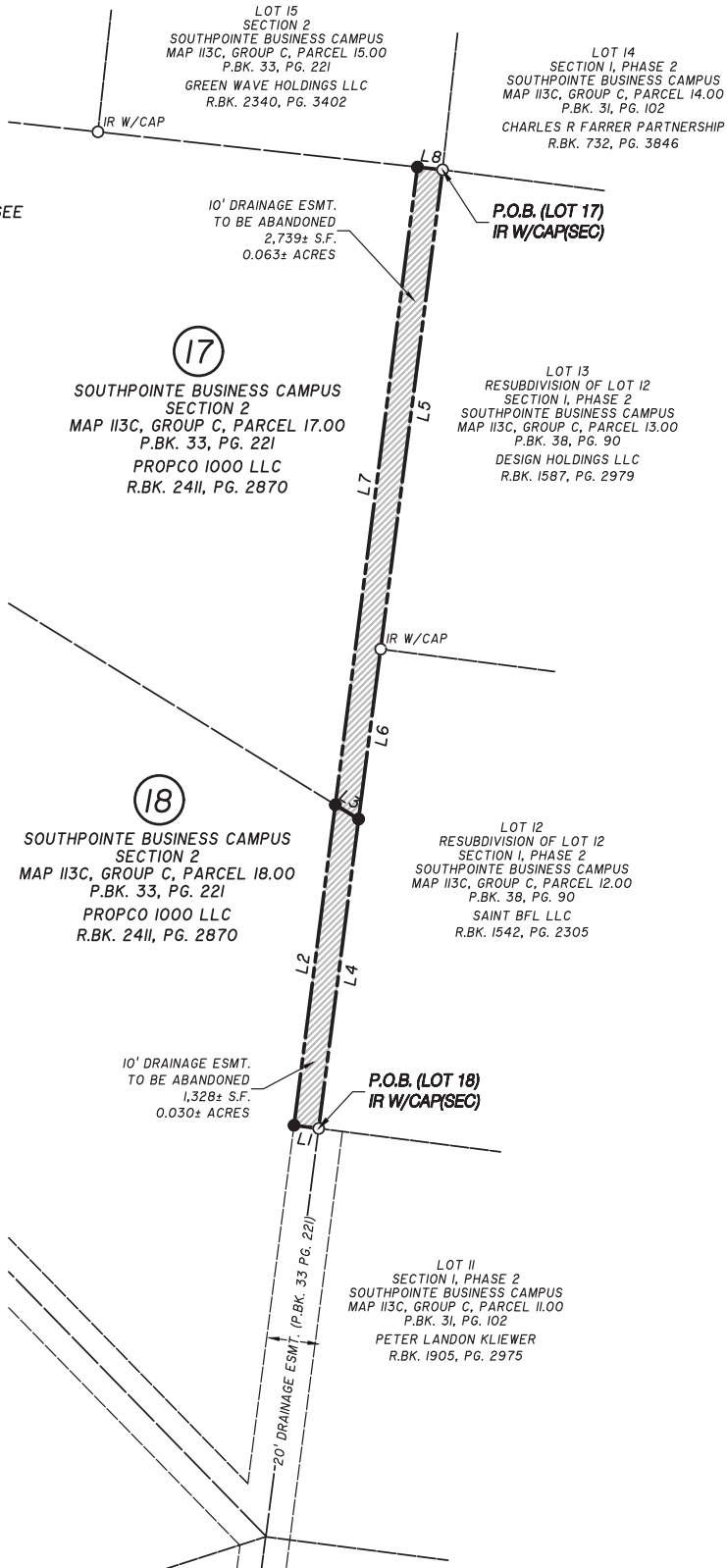
PROPCO 1000, LLC

13TH CIVIL DISTRICT RUTHERFORD COUNTY, TENNESSEE

R.B.K. 2411, PG. 2870, P.B.K. 33, PG. 221 R.O.R.C., TN

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 82° 39' 39" W	10.17'
L2	N 07° 20' 21" E	132.55'
L3	S 58° 20' 57" E	11.22'
L4	S 07° 22' 00" W	127.93'
L5	S 07° 22' 00" W	198.25'
L6	S 07° 22' 00" W	70.28'
L7	N 07° 20' 21" E	263.72'
L8	S 83° 43' 09" E	10.36'



MAP 113C, GROUP C, PARCEL 17.00
PROPCO 1000, LLC
RECORD BOOK 2411, PAGE 2870 R.O.R.C., TN
PLAT BOOK 33, PAGE 221 R.O.R.C., TN
2,739 SQUARE FEET, 0.063± ACRES

ABANDONED EASEMENT

AN EASEMENT IN THE LANDS OF PROPCO 1000, LLC LYING IN THE 13TH CIVIL DISTRICT OF RUTHERFORD COUNTY, TENNESSEE AND BOUNDED IN GENERAL BY SOUTHPOINTE BUSINESS CAMPUS, SECTION 2 - LOT 15 – P.BK. 33, PG. 221 (R.O.R.C., TN) ON THE NORTH; RESUBDIVISION OF LOT 12, SECTION 1, PHASE 2, SOUTHPOINTE BUSINESS CAMPUS – LOTS 12 & 13 – P.BK. 38, PG. 90 (R.O.R.C., TN) ON THE EAST; SOUTHPOINTE BUSINESS CAMPUS, SECTION 2 - LOT 18 – P.BK. 33, PG. 221 (R.O.R.C., TN) ON THE SOUTH; AND THE REMAINING PORTION OF THIS PARCEL ON THE WEST BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON ROD (SEC) LOCATED AT THE NORTHEAST CORNER OF THIS PARCEL, THE SOUTHEAST CORNER OF SOUTHPOINTE BUSINESS CAMPUS, SECTION 2 - LOT 15, AND THE NORTHWEST CORNER OF RESUBDIVISION OF LOT 12, SECTION 1, PHASE 2, SOUTHPOINTE BUSINESS CAMPUS – LOT 13;

THENCE, WITH THE WEST LINE OF LOT 13, S 07° 22' 00" W FOR A DISTANCE OF 198.25' TO AN IRON ROD LOCATED AT THE SOUTHWEST CORNER OF LOT 13 AND THE NORTHWEST CORNER OF LOT 12;

THENCE, WITH THE WEST LINE OF LOT 12, S 07° 22' 00" W FOR A DISTANCE OF 70.28' TO A POINT LOCATED AT THE SOUTHEAST CORNER OF THIS PARCEL AND THE NORTHEAST CORNER OF SOUTHPOINTE BUSINESS CAMPUS, SECTION 2 - LOT 18;

THENCE, WITH THE NORTH LINE OF LOT 18, N 58° 20' 57" W FOR A DISTANCE OF 11.22' TO A POINT;

THENCE, WITH A LINE THROUGH THIS PARCEL, N 07° 20' 21" E FOR A DISTANCE OF 263.72' TO A POINT ON THE SOUTH LINE OF SOUTHPOINTE BUSINESS CAMPUS, SECTION 2 - LOT 15;

THENCE, WITH THE SOUTH LINE OF LOT 15, S 83° 43' 09" E FOR A DISTANCE OF 10.36' TO THE **POINT OF BEGINNING**.
HAVING AN AREA OF 2,739± SQUARE FEET, 0.063± ACRES.

THIS TRACT IS SUBJECT TO ANY EASEMENTS, RECORDED OR BY PRESCRIPTION, THAT A COMPLETE AND ACCURATE TITLE REPORT MAY REVEAL.

BEING A PORTION OF THE SAME PROPERTY CONVEYED TO PROPCO 1000, LLC BY WARANTEE DEED OF RECORD IN BOOK 2411, PAGE 2870 (DATED 2/9/2024) AND OF RECORD IN PLAT BOOK 33, PAGE 221 (DATED 12/21/2007) IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

MAP 113C, GROUP C, PARCEL 18.00
PROPCO 1000, LLC
RECORD BOOK 2411, PAGE 2870 R.O.R.C., TN
PLAT BOOK 33, PAGE 221 R.O.R.C., TN
2,739± SQUARE FEET, 0.063± ACRES

ABANDONED EASEMENT

AN EASEMENT IN THE LANDS OF PROPCO 1000, LLC LYING IN THE 13TH CIVIL DISTRICT OF RUTHERFORD COUNTY, TENNESSEE AND BOUNDED IN GENERAL BY SOUTHPOINTE BUSINESS CAMPUS, SECTION 2 - LOT 17 - P.BK. 33, PG. 221 (R.O.R.C., TN) ON THE NORTH; RESUBDIVISION OF LOT 12, SECTION 1, PHASE 2, SOUTHPOINTE BUSINESS CAMPUS - LOT 12 - P.BK. 38, PG. 90 (R.O.R.C., TN) ON THE EAST; AND THE REMAINING PORTION OF THIS PARCEL ON THE SOUTH AND THE WEST BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON ROD AT THE SOUTHWEST CORNER OF RESUBDIVISION OF LOT 12, SECTION 1, PHASE 2, SOUTHPOINTE BUSINESS CAMPUS - LOT 12 AND IN THE EAST LINE OF THIS PARCEL;
THENCE, WITH LINES THROUGH THIS PARCEL, FOR THE FOLLOWING (2) CALLS:

1. N 82° 39' 39" W FOR A DISTANCE OF 10.17' TO A POINT;
2. N 07° 20' 21" E FOR A DISTANCE OF 132.55' TO A POINT LOCATED ON THE SOUTH LINE OF SOUTHPOINTE BUSINESS CAMPUS, SECTION 2 - LOT 17;

THENCE, WITH THE SOUTH LINE OF LOT 17, S 58° 20' 57" E FOR A DISTANCE OF 11.22' TO A POINT LOCATED ON THE WEST LINE OF RESUBDIVISION OF LOT 12, SECTION 1, PHASE 2, SOUTHPOINTE BUSINESS CAMPUS - LOT 12;
THENCE, WITH THE WEST LINE OF LOT 12, S 07° 22' 00" W FOR A DISTANCE OF 127.93' TO THE **POINT OF**

BEGINNING.

HAVING AN AREA OF 1,328± SQUARE FEET, 0.030± ACRES.

THIS TRACT IS SUBJECT TO ANY EASEMENTS, RECORDED OR BY PRESCRIPTION, THAT A COMPLETE AND ACCURATE TITLE REPORT MAY REVEAL.

BEING A PORTION OF THE SAME PROPERTY CONVEYED TO PROPCO 1000, LLC BY WARANTEE DEED OF RECORD IN BOOK 2411, PAGE 2870 (DATED 2/9/2024) AND OF RECORD IN PLAT BOOK 33, PAGE 221 (DATED 12/21/2007) IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[illegible]

*MIN. FEE REQUIRED

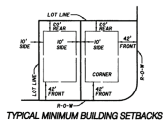
LOTS 25 & 25 ARE NOT WITHIN A FLOOD ZONE;
HOWEVER, MINIMUM PAD ELEVATIONS HAVE BEEN
ESTABLISHED TO PROTECT THE HOMEOWNER FROM
POSSIBLE HIGH WATER IN NEARBY DRAINAGE DITCHES.

LOTS 35 & 36 ARE NOT WITHIN A FLOOD ZONE;
HOWEVER, MINIMUM PAD & FLOOR ELEVATIONS
ARE SHOWN BASED ON FLOODPLAIN CONSIDERATIONS.

L.INE	BEARING	DISTANCE
1.1	183°46'02"E	18.84'
1.2	212°42'29"W	171.28'
1.3	279°58'16"W	52.45'
1.4	345°07'15"W	30.00'
1.5	344°52'45"W	61.48'
1.6	341°35'59"E	82.25'
1.7	348°30'02"W	195.53'
1.8	341°29'58"W	58.11'
1.9	351°16'09"W	55.55'
1.10	341°22'17"E	15.82'

LOT	SQ FT	ACRES
15	29,097	0.666
16	29,673	0.686
17	39,151	1.356
18	32,018	1.003
19	29,766	0.683
20	30,000	0.689
21	30,000	0.689
22	34,530	0.796
23	33,212	2.140
25	30,085	1.150
26	50,156	1.151
27	47,856	1.099
28	74,230	1.704
29	46,101	1.058
30	34,947	0.800
31	23,381	0.539
32	32,464	0.749
33	42,634	0.984
34	42,634	0.975
35	42,981	0.987
36	36,620	1.137

1. LOT 16 IS TO BE GRADED TO DRAIN TO ROADWAY.
2. LOTS 18 & 19 MUST DRAIN TO CATCH BASIN #3. (SEE APPROVED GRADING PLANS). PROVIDE KNOCKOUTS TO EACH LOT TO DISCHARGE TO BASIN #3.
3. LOTS 20 & 21 MUST DRAIN TO CATCH BASIN #10. (SEE APPROVED GRADING PLANS). PROVIDE KNOCKOUTS TO EACH LOT TO DISCHARGE TO BASIN #10.



LEGEND

- FROM PW FOUND
- FROM PW SET (NEW)
- ☆ FIRE HYDRANT

I hereby certify that this plat has been reviewed for the Rutherford County Development Tax. No Development Tax Required. YN 12-21-07

PLAT BOOK 33, PAGE 221
TIME OF RECORDING: 3:31 P.M.
DATE OF RECORDING: Dec 21 1900

FINAL PLAT

SECTION II

SOUTHPOINTE BUSINESS CAMPUS

SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE
15th CIVIL DISTRICT OF RUTHERFORD COUNTY

SEC. Inc. **SITE ENGINEERING CONSULTANTS**
ENGINEERING • SURVEYING • LAND PLANNING
670 MOBLE TENNESSEE BLVD. • MURFREESBORO, TENNESSEE 37079

September 12th, 2024

Holly Smyth / Murfreesboro Planning & Zoning
Mandatory Referral Application
City of Murfreesboro Planning Department
RE: Drainage Easement Abandonment - Southpointe Way Lots 17 & 18
111 West Vine Street, 2nd Floor
Murfreesboro, TN 37133

RE: City of Murfreesboro Mandatory Referral Application
Beacon Murfreesboro Flex Industrial

Dear Holly / Murfreesboro Planning & Zoning Department,

Please consider this letter and the attached exhibit on this application our formal request to abandon portions of the easement along the eastern boundary line of the proposed development on Southpointe Way. I have clouded the notes on our formally submitted Civil drawing sheet C1.0 "Existing Conditions & Initial EPSC Plan" for your review.

We are looking forward to getting started with this project. Don't hesitate to reach out if you have any questions leading to the formal prior to permit approval for this project.

Sincerely,



Tanner Smith
Project Manager

CC: Aws L. Ahmed, P.E.
SEC, Inc.



City of Murfreesboro Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, INCLUDING abandonment of right-of-way.....	\$350.00
Mandatory Referral, NOT INCLUDING abandonment of right-of-way.....	\$150.00

Property Information:

Tax Map/Group/Parcel: 113C-Group C, Parcel 17.00 & 18.00	Address (if applicable): 1931 & 1919 Southpointe Way, Murfreesboro, TN 37129
--	--

Street Name (if abandonment of ROW):

Type of Mandatory Referral: Drainage Easement Abandonment

Applicant Information:

Name of Applicant: Tanner Smith

Company Name (if applicable): ARCO/Murray Nashville

Street Address or PO Box: 1005 17th Avenue South

City: Nashville

State: TN

Zip Code: 37212

Email Address:

Phone Number: 615-401-3971

Required Attachments:

- ☐ Letter from applicant detailing the request
- ☐ Exhibit of requested area, drawn to scale
- ☐ Legal description (if applicable)

9/13/2024

Applicant Signature

Date

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 2, 2024
PROJECT PLANNER: AMELIA KERR**

6.b. Mandatory Referral [2024-721] to consider the abandonment of portions of a drainage easement located east of Suzanne Landon Drive, David Cumming with M/I Homes of Nashville, LLC applicant.

This easement abandonment request is from David Cumming with M/I Homes of Nashville, LLC. The subject property is located at the southeast corner of Cedar View Drive and Suzanne Landon Drive.



In this mandatory referral, the Planning Commission is being asked to consider abandoning portions of an existing drainage easement on property being developed by M/I Homes of Nashville, LLC as the Villas of Regal Square, Phase 3. The request is to abandon portions of the existing drainage easement in order to resolve inadvertent conflicts with building locations as shown in red on the plan exhibits. The drainage easement for this development will be reconfigured and relocated as shown in the attached Phase 3 HPR plat submitted by Catalyst

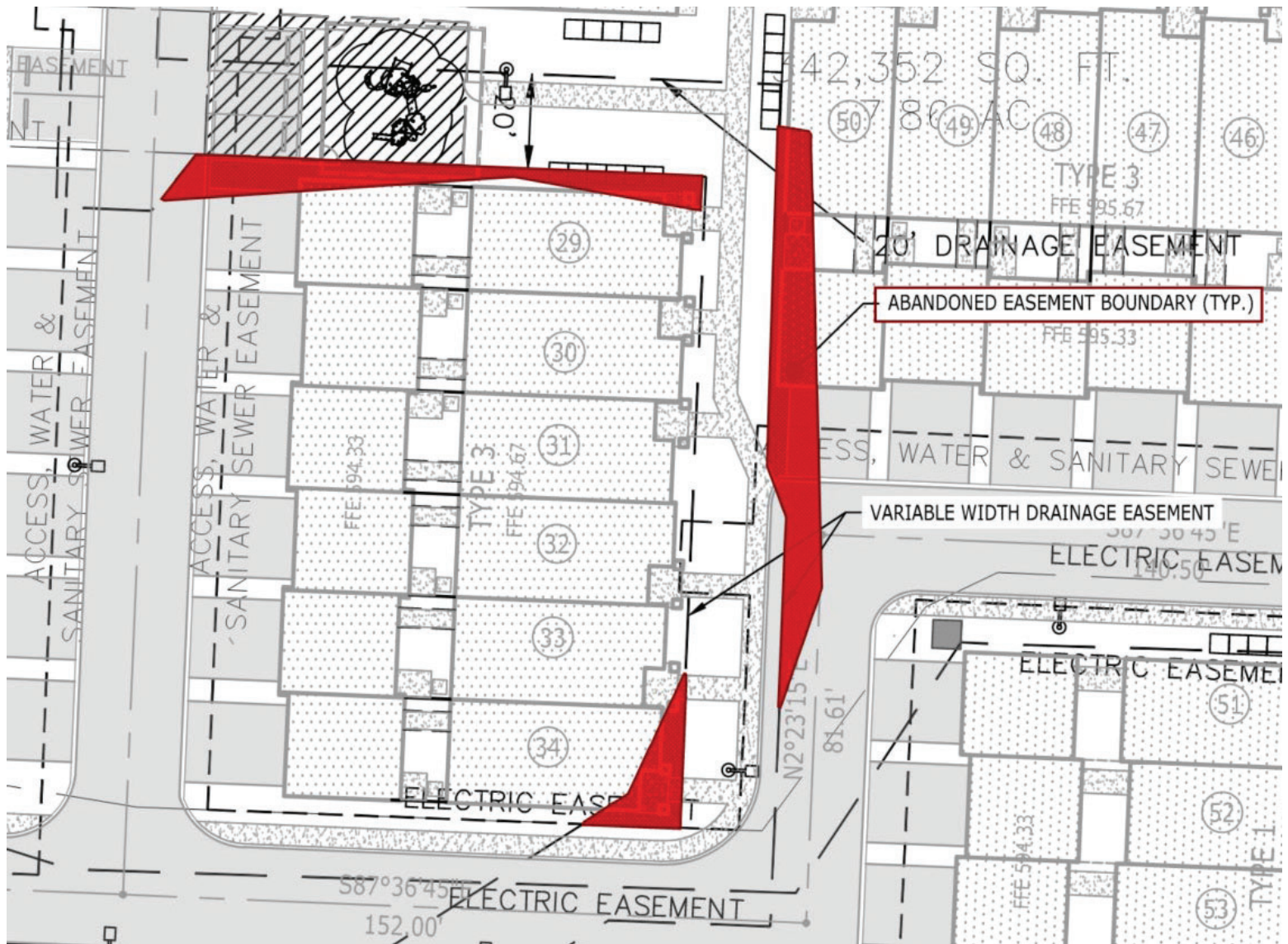
Design Group, PC.

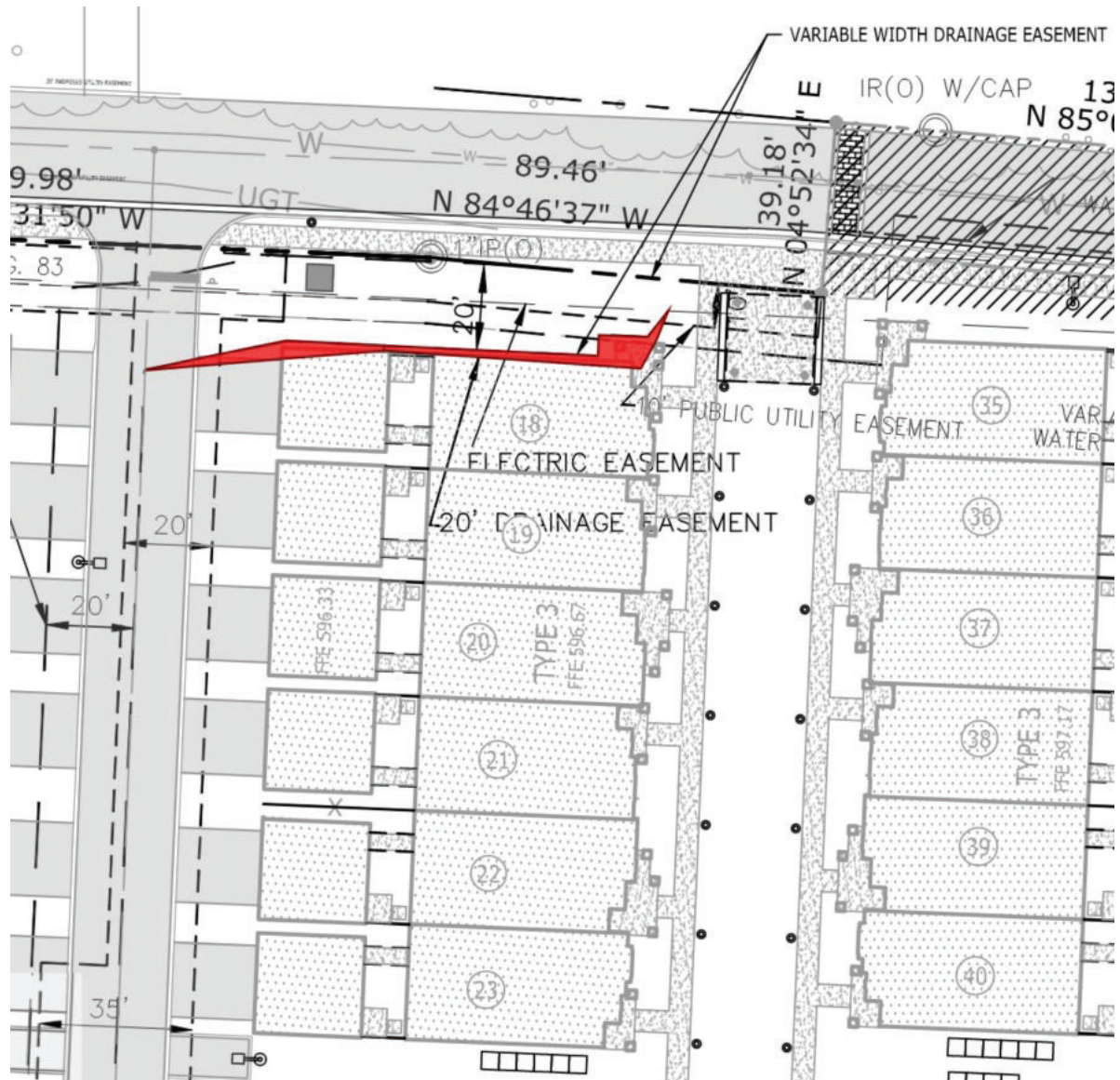
In order to abandon the drainage easement, the Murfreesboro Engineering Department requires that the drainage easement should be subject to submission and recording of a final plat that relocates the easement as proposed by the applicant and which notes the HOA's responsibility to maintain the portions of the easement that are less than 20'-wide. The drainage easement abandonment and final plat recording should be done simultaneously. The HOA must amend and record HOA documents obligating itself to maintain the drainage easement that is less than the required 20' width. This is due to the fact that, in order for the City to maintain drainage easements, a minimum of 20' width is required. However, the City consents to a width of less than 20', as long as mechanisms are in place for the HOA to maintain those portions of the easement. A copy of the correspondence from the City Engineer has been included in the agenda materials.

Staff further recommends that this request be subject to the following conditions in order to facilitate the abandonment process:

- 1) The applicant must provide to the City Legal Department all the necessary documentation (including any needed legal descriptions and exhibits) required to prepare and record the legal documents. Such documents shall be subject to final review and approval of the City Legal Department.
- 2) The applicant shall submit amended HOA documents transferring maintenance responsibilities for the drainage easement for the review and approval of the City Legal Department.
- 3) The applicant will be responsible for paying any recording fees.
- 4) The final plat dedicating the new drainage easement shall be recorded simultaneously with the recording of the quitclaim deed abandoning the easement, as should any documents needed to transfer maintenance responsibilities of the drainage easement to the HOA.

The Planning Commission will need to discuss this application and make a recommendation to the City Council. If approved by the City Council, then the Mayor will be authorized to sign the necessary documents to convey the City's interest back to the owner.







City of Murfreesboro
Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, **INCLUDING** abandonment of right-of-way..... \$350.00
Mandatory Referral, **NOT INCLUDING** abandonment of right-of-way..... \$150.00

Property Information:

Tax Map/Group/Parcel: 069-029.01-000 Address (if applicable): [REDACTED]

Street Name (if abandonment of ROW): N/A

Type of Mandatory Referral: (Partial) Drainage Easement Abandonment

Applicant Information:

Name of Applicant: M/I Homes of Nashville, LLC

Company Name (if applicable): —

State: TN

Zip Code: 37067

Email Address: [REDACTED]

Phone Number: [REDACTED]

Required Attachments:

- ☒ Letter from applicant detailing the request
- ☒ Exhibit of requested area, drawn to scale



9/9/24

Date



September 9, 2024

City of Murfreesboro Planning Department
111 West Vine Street
Murfreesboro, TN 37130

Re: Regal Square Subdivision, Phase 3 Partial Drainage Easement Abandonment

City of Murfreesboro Planning Department

M/I Homes of Nashville, LLC, owners of Regal Square Subdivision Phase 3, hereby request that portions of the Drainage Easement on Parcel ID 069-029.01-000 be abandoned in order to resolve inadvertent conflicts with building locations as depicted in the approved site plan.

M/I Homes of Nashville, LLC





. . . creating a better quality of life.

MEMORANDUM

DATE: September 24, 2024
TO: Amelia Kerr
FROM: Michele Emerson
RE: Drainage Easement Abandonment for Regal Square

We have reviewed the drainage easement abandonment request for Regal Square and offer the following comments on behalf of the Engineering Department.

The request to abandon the drainage easement should be subject to submission and recording of a final plat that relocates the easement and notes the HOA's responsibility to maintain the easement. The drainage easement abandonment and final plat recording should be done simultaneously. The HOA must amend and record HOA documents obligating itself to maintain the drainage easement.

In order to facilitate the abandonment process, the applicant should be prepared to provide legal descriptions and exhibits necessary for the City to draft the necessary legal documents as well as any recording fees. In addition, the drainage easement abandonment should be subject to the final approval of the legal documents by the City Attorney.

C: Chris Griffith
John Tully
Josh Upham
Katie Noel
Holly Smyth



OWNER: MH HOMES OF NASHVILLE, LLC
CONTACT: DAVID M. CUMMING
725 COOL SPRINGS BLVD, SUITE 180
FRANKLIN, TN 37067
224-402-5607



SURVEYOR'S NOTES:

VICINITY MAP

THIS SURVEY WAS NOT FURNISHED WITH A TITLE SEARCH OR TITLE CURATIVE REPORT. THE SURVEYOR HAS CONDUCTED A VISUAL SEARCH OF AN ACCURATE TITLE SEARCH, ONLY THE DOCUMENTS NOTED HEREON ARE LISTED TO PROVIDE A SUMMARY OF THE SURVEY. THE SURVEYOR HAS CONDUCTED A VISUAL SEARCH OF THE SURVEY RECORDS TO VERIFY THAT THE SURVEY WOULD HAVE THE CORRECT SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE CURATIVE REPORT.

3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON IS BASED ON RECORDS, FIELD SURVEY, AND/OR PLANS OR RECORDS. ACTUAL PLACED UTILITIES AND SIZES MAY VARY FROM THE INFORMATION SHOWN HEREON. THERE MAY BE ADDITIONAL BENEATH UTILITIES AND/OR STRUCTURES NOT SHOWN HEREON. THE SURVEYOR DOES NOT HAVE THE MEANS OR PROPERIES OF THIS SURVEY TO LOCATE BENEATH UTILITIES AND/OR STRUCTURES. HEREON IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE CALL 1-800-331-1111 FOR UNDERGROUND UTILITY LOCATIONS.

4. ALL BUILDING, SURFACE IMPROVEMENTS, AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THIS SURVEY ARE NOT CONSIDERED AS PART OF THIS SURVEY.

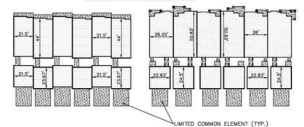
5. ELEVATIONS AND ANY DIMENSIONAL CONDITIONS WERE NOT EXAMINED OF NECESSITY AS A FURTHER SURVEY.

6. EARNINGS SURVEY OF THE BANK OF CHINA, CHINESE STATE BANK, COORDINATE SYSTEM, ZONE 4100, NAD 1988.

7. THIS IS A CATEGORY 1 SURVEY IN COMPLIANCE WITH THE RULES OF THE BOARD OF ENGINEERS AND SURVEYORS FOR LAND SURVEYING, CHAPTER 0602-3, STANDARDS OF PRACTICE, THE ERROR OF CLOSURE SHALL BE 1/10,000 OF THE DISTANCE SURVEYED.

8. NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD PLANE AND IS DETERMINED IN ZONE A OR PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) MAPS. THE PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD ZONE OF THE PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON THE FLOOD HAZARD MAP HAS BEEN MADE FOR THE COMMUNITY IN WHICH THE PROPERTY IS LOCATED.

9. THE EXISTING PROPERTY IS ZONED PD.

[illegible]

CERTIFICATE OF COMPLIANCE WITH THE HORIZONTAL PROPERTY ACT
I HEREBY CERTIFY THAT THIS PLAT HAS BEEN PREPARED IN CONFORMANCE WITH THE
HORIZONTAL PROPERTY ACT. TCA 66-27-101.

DATE: _____ ATTORNEY: _____

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE
I HEREBY CERTIFY THAT (1) THE STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORM WATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH THE CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF THE SAME.

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE: _____ PLANNING COMMISSION SECRETARY _____

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, COMMUNITY PUBLIC SEWER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF THE SAME, OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: MURFREESBORO WATER RESOURCES OFFICIAL:

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT TO THE BEST OF KNOWLEDGE AND BELIEF THE HEREON SHOWN BOUNDARY SURVEY REPRESENTS A CATEGORY "1" SURVEY HAVING AN UNADJUSTED RATIO OF PRECISION GREATER THAN 1:10,000 AND IS TRUE AND CORRECT.

JASON J. STIVERS TN REGISTERED SURVEYOR'S NO. 2219

CERTIFICATE OF OWNERSHIP AND DEDICATION

(WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN, AND DESCRIBED HEREON AND THAT (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT AND ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS AND UTILITIES HEREIN, PARKS AND OTHER OPEN SPACES TO THE PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____
RECORD BOOK: 2413, PAGE 2201

OWNER: MH HOMES OF NASHVILLE, LLC
DAVID M. CUMMINGS

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BYLAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, THE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEBSITE. [WWW.MTEMC.COM](http://www.mtemc.com) COLLECTIVE MEMBER AGREEMENTS FOR ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.

DATE: _____
CORP OFFICIAL: _____

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HAVE BEEN INSTALLED IN ACCORDANCE WITH THE CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MEMPHIS TO ASSURE COMPLETION OF THE SAME.

DATE:

MURFREESBORO WATER RESOURCE OFFICIAL

FINAL PLAT, REGAL SQUARE SUBDIVISION
HORIZONTAL PROPERTY REGIME

SUZANNE LANDON DRIVE & CEDAR VIEW DRIVE	
CITY OF MUFRRESSBORO, 9TH CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE	
TOTAL ACRES = 7.86 ±	TOTAL LOTS = 1
2018-430 REGAL SQUARE SUBD.	CIVIL DISTRICT: 9TH
OWNER: MH HOMES OF NASHVILLE LLC	CITY OF MUFRRESSBORO
SCALE: 1"=60'	JOB #20-017
SURVEYOR: JASON J. STIVERS	STATE OF TENNESSEE
RUTHERFORD COUNTY	
DATE: SEPTEMBER 10, 2024	SHEET NO. 1 OF 1

CITY OF MURFREESBORO
2025 Planning Commission Meeting Calendar
(Draft - for Planning Commission consideration)

1 st Meeting of the Month (6:00 PM)	2 nd Meeting of the Month (1:00 PM)
January 8	January 15
February 5	February 19
March 5	March 19
April 9	April 16
May 7	May 21
June 4	June 18
July 9	July 16
August 6	August 20
September 3	September 17
October 1	October 15
November 5	November 19
December 3	December 17

2025 PLAN REVIEW CALENDAR <i>(DRAFT - FOR PLANNING COMMISSION CONSIDERATION)</i>									
Initial Submittal Due	Completeness Review Due	Staff Review Meeting	Staff Comments Due	Tech Review Meeting	Resubmittal Due	Staff Review Meeting	Staff Reports Due	Planning Commission Meeting	Planning Commission Meeting
<i>10:00 AM</i>	<i>Noon</i>	<i>1:00 PM</i>	<i>Noon</i>	<i>9:00 AM</i>	<i>10:00 AM</i>	<i>9:00 AM</i>	<i>Noon</i>	<i>1:00 PM</i>	<i>6:00 PM</i>
<i>Thursday</i>	<i>Friday</i>	<i>Thursday</i>	<i>Wednesday</i>	<i>Friday</i>	<i>Wednesday</i>	<i>Monday</i>	<i>Wednesday</i>	<i>Wednesday</i>	<i>Wednesday</i>
December 12, 2024	December 13, 2024	December 17, 2024 <i>Tuesday at 1 pm</i>	December 23, 2024 <i>Monday at Noon</i>	December 26, 2024 <i>Wednesday</i>	January 2, 2025 <i>Thursday</i>	January 6, 2025	January 8, 2025	January 15, 2025	February 5, 2024
January 16	January 17	January 23	January 29	January 31	February 5	February 10	February 12	February 19	March 5
February 13	February 14	February 20	February 26	February 28	March 5	March 10	March 12	March 19	April 9
March 13	March 14	March 20	March 26	March 28	April 2	April 7	April 9	April 16	May 7
April 17	April 18	April 24	April 30	May 2	May 7	May 12	May 14	May 21	June 4
May 15	May 16	May 22	May 28	May 30	June 4	June 9	June 11	June 18	July 9
June 12	June 13	June 19	June 25	June 27	July 2	July 7	July 9	July 16	August 6
July 17	July 18	July 24	July 30	August 1	August 6	August 11	August 13	August 20	September 3
August 14	August 15	August 21	August 27	August 29	Sept. 3 <i>(2:00 PM)</i>	September 8	September 10	September 17	October 1
September 11	September 12	September 18	September 24	September 26	October 1	October 6	October 8	October 15	November 5
October 16	October 17	October 23	October 29	October 31	November 5	November 10	November 12	November 19	December 3
November 13	November 14	November 18 <i>Tuesday at 1 pm</i>	November 24 <i>Monday at Noon</i>	November 26 <i>Wednesday</i>	December 3	December 8	December 10	December 17	January 7, 2026
December 11	December 12	December 16 <i>Tuesday at 1 pm</i>	December 22 <i>Monday at Noon</i>	December 26 <i>Friday</i>	January 7, 2026	January 12, 2026	January 14, 2026	January 21, 2026	February 4, 2026