CITY OF MURFREESBORO BOARD OF ZONING APPEALS

Regular Meeting, September 25, 2024, at 1:00 p.m. City Hall, 111 West Vine Street, Council Chambers, 1st Floor

AGENDA

- 1. Call to order
- 2. Determination of a quorum
- 3. Public Comments
- 4. Consideration of minutes for the regular meeting on August 28, 2024
- 5. Old Business

Special Use Permit Requests

- **a. Application Z-24-031 by Ms. Davina Ikponmwosa,** reconsidering a request for special use permit in order to operate a operate a group daycare home in a Duplex Residential (RD) zone on property located at 2537 Summit Court. (Project Planner: Joel Aguilera)
- **b.** Application Z-24-034 by Mr. Clyde Rountree of Huddleston Steele Engineering on behalf of Veterans Plaza, LLC., requesting an amendment to an existing special use permit to operate a Self-Service Storage Facility in a Commercial Fringe (CF) zone along the east side of Veterans Parkway south of Cloister Drive, on property addressed as 4558 Veterans Parkway. The application includes the construction of an additional 60,000 ft2 self-service storage building. (Project Planner: Brad Barbee).

Administrative Appeals

c. Application Z-24-024 by Shawn R. Henry, representing AutoZone, Inc., is appealing the decision of the Zoning Administrator regarding whether a proposed use at 810 NW Broad Street constitutes Distribution of Automobile Parts and Components/Warehousing, Transporting/Distributing, which is not

permitted in the Commercial Highway (CH) zone. (Presenters: Ben Newman and John Tully)

6. New Business

Special Use Permit Requests

- **a.** Application Z-24-037 by Mr. Jim Lukens of Ware Malcomb on behalf of Doors of Hope, requesting a special use permit to establish and operate a transitional home in a Duplex Residential (R-D) zone on property addressed as 434 E. Bell Street. (Project Planner: Joel Aguilera)
- 7. Staff Reports and Other Business
- 8. Adjourn

MINUTES

OF THE CITY OF MURFREESBORO

BOARD OF ZONING APPEALS

City Hall, 111 W. Vine Street, Council Chambers

August 28, 2024, 1:00 PM

Members Present:	Staff Present:
Davis Young, Chair	Ben Newman, Dir. of Planning & Land Mgmt.
Ken Halliburton, Vice-Chair	Matthew Blomeley, Asst. Planning Director
Misty Foy	Richard Donovan, Principal Planner
Tim Tipps	Holly Smyth, Principal Planner
	Brad Barbee, Principal Planner
	Joel Aguilera, Planner
	Sloane Lewis, Planner
	Roman Hankins, Deputy City Attorney
	John Tully, Assistant City Attorney
	Ashley Fulghum, Recording Assistant

Members Absent:

None

1. Call to Order:

Chair Young called the meeting to order.

2. Determination of a quorum:

Chair Young determined that a quorum was present.

3. Public Comments:

None

4. Consideration of Minutes:

With there being no objection by any of the Board members, the minutes of the July 24, 2024 BZA meeting were approved as submitted.

5. Old Business:

a. Application [Z-24-024] by Shawn Henry representing AutoZone Inc., is appealing the decision of the Zoning Administrator regarding whether a proposed use in a Commercial Highway (CH) zone on property located at 810 NW Broad Street constitutes Distribution of Automobile Parts and Components/Warehousing, Transportation/Distributing.

Mr. Ben Newman stated that the applicant and the Planning Department have agreed to defer this request.

Vice-Chair Ken Halliburton moved to defer the appeal; the motion was seconded by Mr. Tim Tipps and carried by the following vote:

Aye: Misty Foy

Tim Tipps

Vice-Chair Ken Halliburton

Chair Davis Young

Nay: None

6. New Business:

a. Application [Z-24-031] by Ms. Davina Ikponmwosa requesting a special use permit in order to operate a group daycare home in a Duplex Residential (RD) zone on property located at 2537 Summit Court.

Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these minutes by reference.

Vice-Chair Halliburton asked if a public hearing would still need to occur due to staff's recommendation for deferral. Mr. Aguilera responded that it would.

Mr. John Barney, representing Ms. Davina Ikponmwosa, agreed to the deferral.

Chair Young opened the public hearing.

There being no one to speak for or against the request, Chair Young closed the public hearing.

Mr. Tipps inquired about the minimal time the department would need to have the applicant's documentation. Mr. Richard Donovan responded that the applicant would need to submit all documentation by the submittal deadline, which is September 9^{th} .

Mr. Tim Tipps moved to defer the special use permit and added that all documentation must be submitted by September 9th; the motion was seconded by Ms. Misty Foy and carried by the following vote:

Aye: Misty Foy

Tim Tipps

Vice-Chair Ken Halliburton

Chair Davis Young

Nay: None

b. Application [Z-24-033] by Ms. Kristen Frenza requesting a special use permit in order to operate a family daycare home in a Single-Family Residential (RS-12) zone on property located at 2918 Roellen Road.

Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these minutes by reference.

Ms. Kristen Frenza spoke about her request.

Vice-Chair Halliburton recused himself from discussion and voting due to his sister living in the neighborhood.

Chair Young opened the public hearing.

There being no one to speak for or against the request, Chair Young closed the public hearing.

Ms. Misty Foy moved to approve the special use permit; the motion was seconded by Mr. Tim Tipps and carried by the following vote:

Aye: Misty Foy

Tim Tipps

Chair Davis Young

Nay: None

Abstain: Vice-Chair Ken Halliburton

c. Application [Z-24-032] by Mr. Matt Taylor of SEC, INC representing Fellowship Bible Church of Rutherford County, requesting an amendment to an existing special use permit for an existing institutional group assembly use to continue the use of a temporary modular building in a Single-Family Residential (RS-15) zone on property located at 4236 Veterans Parkway.

Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these minutes by reference.

Mr. Matt Taylor was present to answer questions.

Chair Young opened the public hearing.

There being no one to speak for or against the request, Chair Young closed the public hearing.

Mr. Tim Tipps moved to approve the special use permit; the motion was seconded by Vice-Chair Ken Halliburton and carried by the following vote:

Aye: Misty Foy

Tim Tipps

Vice-Chair Ken Halliburton

Chair Davis Young

Nay: None

d. Application [Z-24-036] by Mr. Bryan McGee requesting a special use permit in order to construct and establish an accessory apartment in a Single-Family Residential (RS-15) zone on property located at 5505 East Overall Creek Road.

Ms. Sloane Lewis presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these minutes by reference.

Mr. Tipps asked for clarification in regard to the ingress/egress of the accessory apartment. Ms. Lewis stated that access to the accessory apartment will be through the bonus room, but the bonus room will not be a part of the apartment. Mr. Tipps asked what would separate the bonus room from the apartment. Mr. Donovan replied that the way the apartment is designed, that is where the access is. He also added that under the definition, this application meets the standard for an accessory apartment.

Ms. Misty Foy inquired about an external door. Ms. Lewis responded that an external door is not part of the plan. Mr. Donovan stated that an external door added in the future would require an amendment to the special use permit.

Mr. Bryan McGee spoke about his request.

Chair Young opened the public hearing.

There being no one to speak for or against the request, Chair Young closed the public hearing.

Vice-Chair Ken Halliburton moved to approve the special use permit; the motion was seconded by Ms. Misty Foy and carried by the following vote:

Aye: Misty Foy

Vice-Chair Ken Halliburton

Chair Davis Young

Nay: Tim Tipps

e. Application [Z-24-034] by Clyde Rountree of Huddleston Steele Engineering on behalf of Veterans Plaza, LLC, requesting an amendment to an existing special use permit in order to operate a Self-Service Storage Facility in a Commercial Fringe (CF) zone on property located at 4558 Veterans Parkway.

Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these minutes by reference.

Chair Young inquired about the differences between the old and new applications. Mr. Donovan showed the Board the proposed site plan and elevations for the new application.

Vice-Chair Halliburton asked about the distance between the proposed structure and the Cloisters. Mr. Barbee responded that there is a 15ft Type D buffer, 1ft of curbing, 21 feet of drive aisle, and 3 feet of base of building area.

Vice-Chair Halliburton voiced concerns over the view shed for the neighboring properties.

Chair Young inquired about the shadow study. Mr. David Kidd described the shadow study.

Vice-Chair Halliburton asked about the height of the buffer. Mr. Barbee replied that the planned buffer will consist of 6ft tall evergreen trees that will grow larger over the years.

Vice-Chair Halliburton asked if there would be a fence . Mr. Barbee confirmed that it will be a 6ft vinyl privacy fence along the northern property line.

Vice-Chair Halliburton asked if this project would come before the Planning Commission as a site plan. Mr. Blomeley responded that the Board could add that as a condition of approval.

Ms. Foy inquired if there were any other buildings in the area adjacent to residential properties that are that tall. Mr. Barbee responded that there are none in the area that he can think of. He cited examples of buildings in other areas of similar height adjacent to residential properties. Mr. Tipps asked if the zoning of those properties was the same. Mr. Barbee replied that they are not.

Chair Young inquired about the length of the landscape buffer. Mr. Bill Huddleston spoke about the plans for the landscape buffer and fence.

Ms. Foy voiced concerns about the adverse effects on neighboring properties.

Chair Young opened the public hearing.

There being no one to speak for or against the request, Chair Young closed the public hearing.

Mr. Jimmy Freeman agreed to a deferral on behalf of the applicant.

Vice-Chair Ken Halliburton moved to defer the special use permit; the motion was seconded by Mr. Tim Tipps and carried by the following vote:

Aye: Misty Foy

Tim Tipps

Vice-Chair Ken Halliburton

Chair Davis Young

Nay: None

f. Application [Z-24-035] by Mr. Wayne Overman on behalf of Saint Rose of Lima Catholic Church, requesting to amend an existing special use permit for an existing institutional group assembly use (a church) in order to replace several accessory structures and construct additional parking stalls in a Single-Family Residential (RS-10) zone on property located at 1522 Stonewall Boulevard and 1601 North Tennessee Boulevard.

Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these minutes by reference.

Mr. Wayne Overman spoke about the request.

Chair Young opened the public hearing.

There being no one to speak for or against the request, Chair Young closed the public hearing.

Ms. Misty Foy moved to approve the special use permit; the motion was seconded by Mr. Tim Tipps and carried by the following vote:

	Aye:	Misty Foy	
		Tim Tipps	
		Vice-Chair Ken Halliburton	
		Chair Davis Young	
	Nay:	None	
7.	Staff Reports and	d Other Business:	
	Mr. Donovan	announced that there would be a meeting next month.	
8.	Adjourn:		
	There being n	o further business, Chair Young adjourned the meeting at 2:21pm.	
Cł	HAIRMAN	SECRETARY	

MURFREESBORO BOARD OF ZONING APPEALS STAFF REPORT ADENDUM SEPTEMBER 28, 2024

PROJECT PLANNER: JOEL AGUILERA

Application: Z-24-031

Location: 2537 Summit Court **Applicant:** Davina Ikponmwosa

Zoning: RD (Residential Duplex)

Requests: Reconsideration of a special use permit in order to operate a group daycare home

on property located at 2537 Summit Court.

During the August 28th meeting, staff informed the Board that Ms. Ikponmwosa had submitted to staff on August 27th a traffic impact study for her proposed group daycare home. Because the traffic impact study was sent the day before the meeting, staff had not been able to include the study in the publication of the agenda for the BZA members to review, nor did staff have enough time to review the study on its merit. As a result, the item was deferred until the September meeting.

In preparation for today's meeting, staff required that Ms. Ikponmwosa submit any other supporting evidence to give staff proper time for review. Ms. Ikponmwosa attorney, Mr. John Barney, submitted to staff on September 9th a digital link to videos and photos of Oakland High School activities, including a motorcycle class that is held on campus every weekend between now and November 30th.

The Murfreesboro Transportation Department reviewed the traffic study and determined the following:

- Traffic projections and intersection analysis were completed correctly and the study is in good order.
- Proposed pick up and drop off area will change the character of the residential street and may pose on-street parking and staging challenges to existing residents on Summit Court.

Based on the information provided by the study, and opinion of the Transportation Department, the increased number of cars, potential staging challenges, and conflict with other residential properties will pose challenges to Summit Court. The parking and staging concerns could affect neighboring properties in the following ways: by blocking free use of driveways, USPS access to mailboxes, and MFRD access to fire hydrants. Staff recommends that the BZA deliberate further on the new findings and give a clear recommendation of approval or denial.

MURFREESBORO BOARD OF ZONING APPEALS **STAFF REPORT**

SEPTEMBER 28, 2024

PROJECT PLANNER: JOEL AGUILERA

Application: Z-24-031

Location: 2537 Summit Court Applicant: Davina Ikponmwosa **Zoning:** RD (Residential Duplex)

Requests:

Reconsideration of a special use permit in order to operate a group daycare home on property located at 2537 Summit Court.



Overview of Request

This request was considered at the Board's prior meeting on July 24, 2024. After public hearing, the board voted unanimously to deny the request. The factors considered by the Board in reaching its decision included:

- The fact that the applicant's daycare license approval by the state of Tennessee was based upon distinct criteria which are separate from the criteria for a special use permit;
- The fact that the applicant's prior approval by the board was based upon a daycare with seven children;
- In the last approximately 20 years, the City has received three similar applications for a group daycare home with twelve children. Those applications contemplated either zero or one additional employee in addition to the owner and were located within either RS8 or RS10 zoning districts. The present application is zoned RD, the lot contains a duplex with two dwelling units, and the application is for twelve children and three employees;
- The applicant explained to the board that she anticipates being present on site with two additional employees at all times during operating hours;

The Board expressed concern that increasing the proposed use to allow for an additional employee plus five additional children compared with the previously approved use will severely increase the impact on surrounding streets

Background

The applicant, Ms. Davina Ikponmwosa, is requesting a Special Use Permit (SUP) to operate a group daycare home within a duplex the applicant owns located at 2537 Summit Court. The applicant previously submitted a special use permit request to the BZA earlier in March this year for a "Family Daycare Home" and was conditionally approved by the BZA. Having been approved by the Tennessee Department of Human Services in June, Ms. Ikponmwosa now wishes to expand her business to be able to care for 12 children and have 3 part-time employees to help her operate the business.

As conditioned by the BZA in March, should Ms. Ikponmwosa wish to hire additional employees and/or increase the number of children, the applicant is required to come before the BZA to demonstrate compliance with the general standards of applicability, as well as the additional standards for a Group Daycare Home Use.

Proposed use and operation

Per the applicant's attached letter, other than the request to increase the number of children and employees, there are no other requested modifications from the original approval in March. See the created table below. The applicant is committed to constructing the required improvements for the daycare use that were conditioned by the BZA. Similar to the previous request, no more than two employees will be on the premises at any one time, except during shift changes. The applicant will reside in the subject dwelling unit; neither of the other employees will live on the property or

occupy either of the dwelling units. Similar to the previous request, no new utility connections or improvements to existing services are proposed for this family daycare use.

	Approved Family Daycare Home	Proposed Group Daycare Home
Hours of Operation	6:30am to 6:00pm (Mon-Fri)	6:30am to 6:00pm (Mon-Fri)
Number of Children	7 children	12 children
Number of Employees	2 employees	3 employees
Minimum Parking	3 spaces with circular drive	3 spaces with circular drive
Fencing	Required to improve fence to wood or vinyl	Fence will be improved to be wood or vinyl
DHS approval	Required to receive DHS approval and copy of statement	Received DHS approval (see attached approval)

Staff Analysis

The purpose of a special use permit is to allow for the review of a use in a zoning district, which, by the nature of the use and its potential intensity impact on an area, is not a use allowed by right within that zoning district. A special use permit may be approved with special conditions to minimize any adverse effects and to ensure compatibility with the surrounding area.

Staff recommended approval of the family daycare application because staff believes that based on the site plan, proposed improvements, and information provided from the applicant, there would be lesser impact on adjacent properties with only 7 children. After reviewing the criteria for group daycare home uses, this application appears to meet most of the criteria with exception of Group Daycare Home Standards of General Applicability (1) and (2). Permitting a Group Daycare Home use, with more than 7 children, an additional employee, and potentially more vehicles to the site, staff is unable to sufficiently determine what, if any, impacts there may be to adjacent property, the traffic conditions, or character of the neighborhood. These items will need further review and deliberation by the Board of Zoning Appeals to determine if the requested special use, and evidence provided by the applicant, meets the standards in question.

Relevant Zoning Ordinance Section

The following are relevant sections from the Murfreesboro Zoning Ordinance that apply to family day care homes:

Section 2, Interpretations and Definitions:

- <u>Group Day Care Home</u>: A place providing, or designed to provide, care for more than seven (7), but less than thirteen (13) children, for less than twenty-four hours a day which is licensed by the Tennessee Department of Human Services.

Chart 2 of the City of Murfreesboro Zoning Ordinance allows the "Group Daycare Home" use as a special use in the RD district. City of Murfreesboro Zoning Ordinance Section 9(D)(2)(bb) sets

forth standards for day care center, family day care home, and group day care home uses in addition to the Standards of General Applicability in Section 9(C).

Standards of General Applicability with Staff Analysis:

- (1) The proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare:
 - The proposed group daycare home is internal to the site. The property is at the end of a cul-de-sac, in a neighborhood that is in close proximity to three school properties. The new driveway off of Summit Court will be constructed for the drop-off and pick-up of the children. The driveway will create 3 new parking spaces for the parents, while the part-time employees of the daycare will utilize the existing parking area in the back of the duplex. The applicant has stated that the circular driveway can also accommodate up to 4 additional cars. The applicant will be upgrading the existing chain-link fence to wood or vinyl to provide additional privacy and screening. However, as it is currently proposed, staff believes that with the increased number of children and employees, there may be some impact to the adjacent properties, without first understanding how the family daycare use operates and is managed. The BZA should review and deliberate further on the application, attached materials, and determine whether the proposed group daycare use meets the above standard.
- (2) The proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations:
 - O The proposed group daycare home will not be making any changes to the exterior of the building; it will continue to look like a residential duplex. The applicant will be constructing a new driveway in the front yard to accommodate drop-off and pick up and will be creating 3 parking spaces for the proposed use. However, with the increased number of children and employees, staff believes the use will be more intense and may not be as compatible with the immediate vicinity due to the additional number of cars coming to the site, and future tenants of the other dwelling unit at 2539 Summit Court. The BZA should review and deliberate further on the application, attached materials, and determine whether the proposed group daycare use meets the above standard.
- (3) The proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services:
 - The property has existing services and access to public facilities. The proposed building
 will be served adequately by essential public facilities and does not require any new
 connections or improvements to existing services.
- (4) The proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance:

 Staff has reviewed the subject property and the site plan and found no features of significant natural, scenic, or historic importance. However, as depicted on the site plan, one tree will be removed for the new driveway off Summit Court.

(5) The proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use:

o Additional standards for Family Daycare Home use are listed below with staff analysis.

Additional Standards for Family Day Care Home Uses with Staff Analysis:

1.) An on-site off-street area shall be provided for vehicles to load and unload passengers;

- As mentioned previously, the applicant will be constructing a new driveway off Summit Court, to accommodate at least 3 parking spaces for parents to utilize for dropoff and pick-up.
- 2.) Facilities for vehicular access to and from the site of the day care home shall be arranged to permit vehicles to exit from the site without backing onto the street or sidewalk;
 - O As depicted on the site plan, the circular driveway will be constructed to ensure that vehicles can enter the subject property and exit without backing onto Summit Court. The applicant has provided space for vehicles to turn around in the front yard and exit without impacting the public right-of-way or adjacent residential properties.
- 3.) An application for a special use permit for a day care home shall be accompanied by a statement from the State of Tennessee, Department of Human Services, that such day care home can comply with all requirements of the State of Tennessee with respect to such use;
 - As a condition of approval, the applicant has obtained a statement from the State of Tennessee, Department of Human Services, that the daycare home can comply with all the requirements of the State of Tennessee.
- 4.) Screening may be required along the lot lines of the site of the day care home to block such day care home from the view of the property classified in a residential zoning district and from the residential portion of an approved planned unit development;
 - O As depicted on the site plan, there is an existing chain link fence on the property that will be used for outdoor recreational activities for the children. The applicant will be upgrading portions of the fence to be wood or vinyl privacy fencing to provide for screening of the outdoor play area for the adjacent residential properties, and to also ensure the daycare and children shall have privacy from adjacent properties.

5.) Required off-street parking shall be located on-site;

o A new driveway will be constructed in the front yard off Summit Court to accommodate the drop-off and pick-up of children. The driveway has been designed

to accommodate at least 3 parking spaces for parents to utilize for drop-off and pickup.

Staff Recommendation:

Staff has reviewed the application and believes the proposed use has addressed the additional standards for group day home uses per Section 9(D)(2)(bb) with the exceptions of Standards of General Applicability (1) and (2). If the BZA decides to approve the application, staff recommends that approval of the special use permit be made subject to the following conditions and any additional conditions that the BZA may determine is necessary to meet the standards of general applicability or the specific use standards.

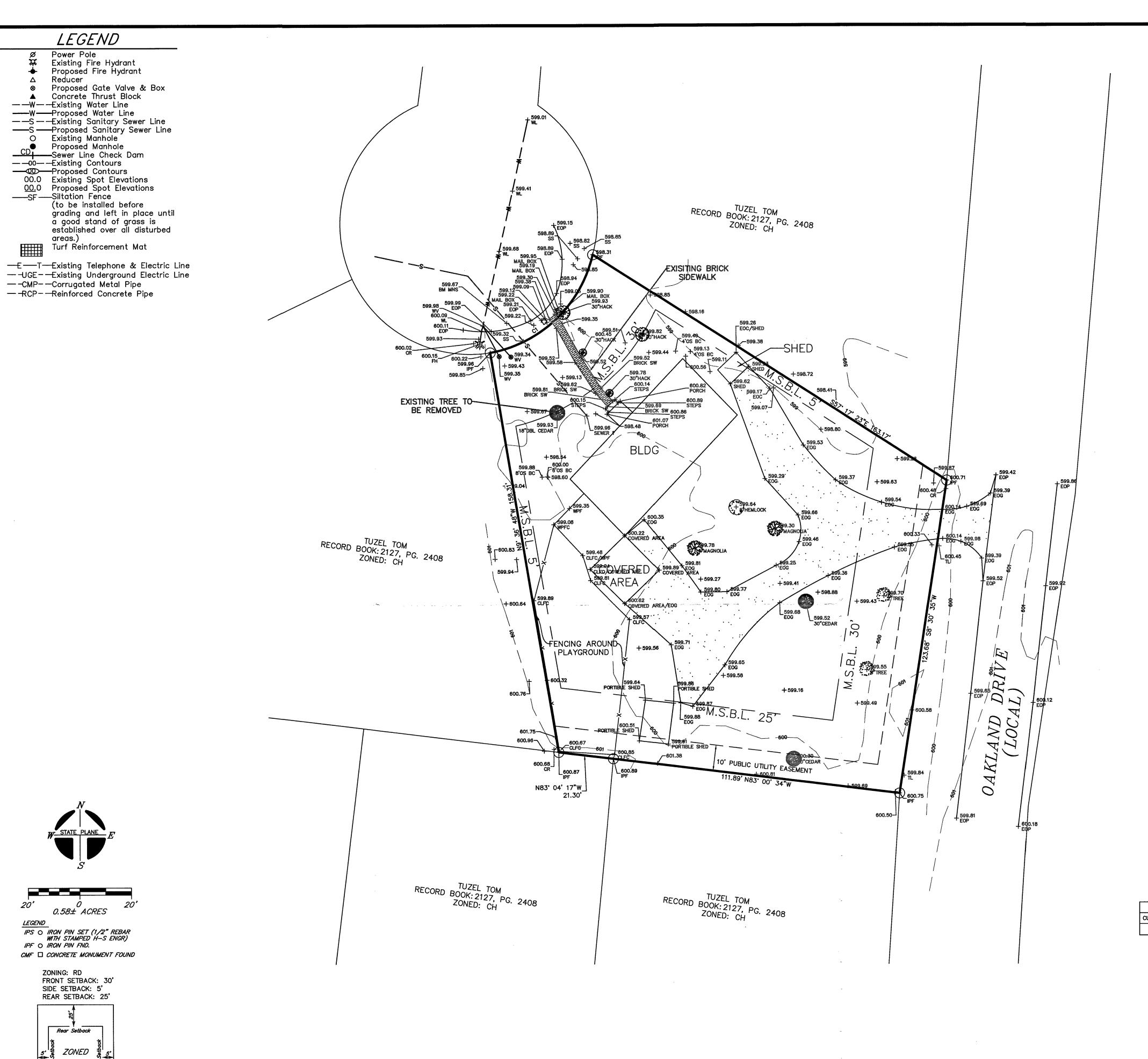
Recommended Conditions of Approval:

- 1. This special use permit for a group daycare home will allow for the care of no more than 12 children.
- 2. The hours of operations shall be from 6:30am to 6:00pm Monday through Friday. The family daycare home business shall not operate beyond these hours during the week and shall be closed Saturday and Sunday.
- 3. All child loading and unloading shall be done on the property, and no parking associated with this group daycare home use is permitted on the public right-of-way.
- 4. No tenants of the adjacent dwelling unit at 2539 Summit Court shall use or park on the proposed driveway off Summit Court. It shall be used only in conjunction with for the group daycare home business. In addition, said driveway shall be properly permitted with the City and shall be constructed and pass an inspection by the Planning Department prior to the group daycare home commencing operations.
- 5. Applicant shall construct a solid 6'-tall privacy fence made of wood or vinyl, to replace portions of the existing chain link fence around the proposed outdoor play area in the back yard. In addition, said fence shall be properly permitted with the City and shall be constructed and pass an inspection by the Planning Department prior to the group daycare home commencing operations.
- 6. Applicant shall provide a copy of the required statement from the Tennessee Department of Human Services (DHS) to the City of Murfreesboro, Planning Department. The DHS statement shall conform to the requirements listed in Section 9(D)(2)(bb)(3) of the Murfreesboro Zoning Ordinance.
- 7. Applicant shall contact the City of Murfreesboro Building and Codes Department to obtain the required building permits for any new construction and or remodeling and pass the necessary inspections.
- 8. The Special Use Permit shall lapse upon sale or transfer of the property, or, if the owner, Davina Ikponmwosa, ceases to reside at the unit at 2537 Summit Court.

Attached Exhibits

- A. Site plan
- B. Letter from applicant and floor plan

- C. Procedure form
- D. Application

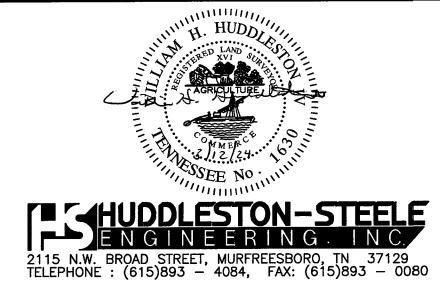


1. IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.

2. UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING

CURVE DELTA RADIUS ARC CHORD BEARING C1 66°49'57" 50.00' 58.32' 55.07' N46°03'07"E

> THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.



EXISTING CONDITIONS 2537 SUMMIT CT.

4th CIVIL DISTRICT - RUTHERFORD COUNTY - TN. Date: MARCH, 2024 Scale: 1"=20' Sheet 1 of 2

TYPICAL BUILDING SETBACK DETAIL

IPF O IRON PIN FND.

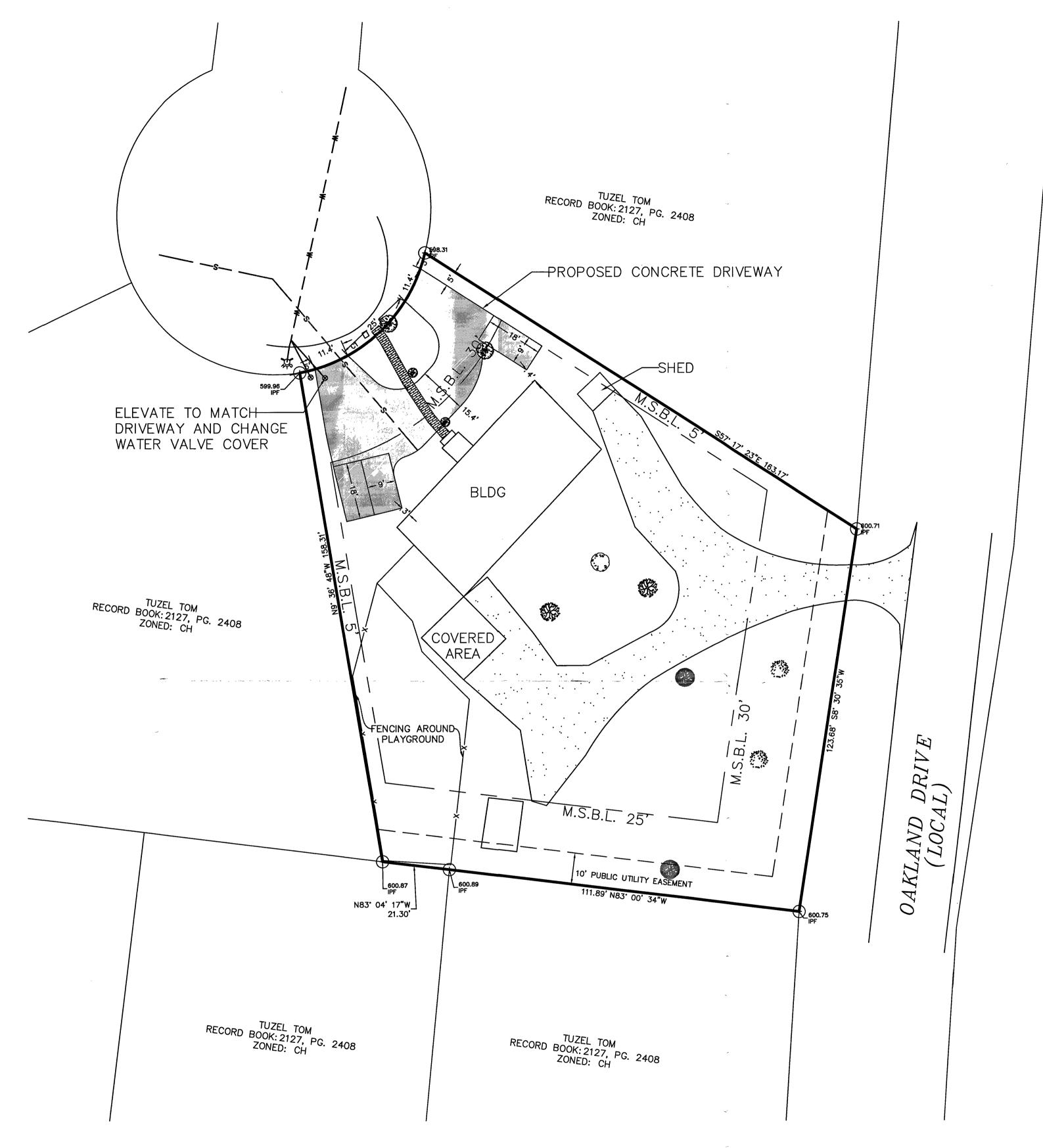
ZONED RD

Power Pole

Reducer

OWNER: IKPONMWOSA DAVINA G PROPERTY ADDRESS: 2537-2539 SUMMIT CT MURFREESBORO, TN 37130 TAX MAP: 081B, PARCEL: 016.00 RECORD BOOK: 1498, PAGE: 1906 MAP NUMBER: 47149C0163H DATED: MAY 09, 2023 ZONE: X NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOW AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY

PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.



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OWNER: IKPONMWOSA DAVINA G

MAP NUMBER: 47149C0163H

RECORD BOOK: 1498, PAGE: 1906

DATED: MAY 09, 2023 ZONE: X

TAX MAP: 081B,

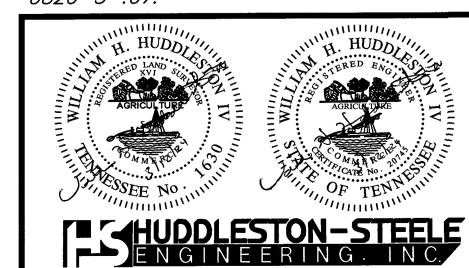
PROPERTY ADDRESS: 2537-2539 SUMMIT CT

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOW AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

MURFREESBORO, TN 37130

PARCEL: 016.00

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.



2115 N.W. BROAD STREET, MURFREESBORO, TN 37129 TELEPHONE: (615)893 - 4084, FAX: (615)893 - 0080

SITE PLAN 2537 SUMMIT CT.

4th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

Scale: 1"=20' Sheet 2 of 2 Date: MARCH, 2024

LEGEND

Existing Fire Hydrant Proposed Fire Hydrant

——S ——Proposed Sanitary Sewer Line

Proposed Manhole

Proposed Manhole

Sewer Line Check Dam

——00——Existing Contours

00.0 Existing Spot Elevations

00.0 Proposed Spot Elevations

SF——Siltation Fence

Turf Reinforcement Mat

(to be installed before

—E—T—Existing Telephone & Electric Line

— -UGE - -Existing Underground Electric Line

grading and left in place until a good stand of grass is established over all disturbed

Proposed Gate Valve & Box Concrete Thrust Block

Power Pole

Reducer

——W——Existing Water Line

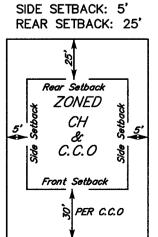
O Existing Manhole

0.58± ACRES

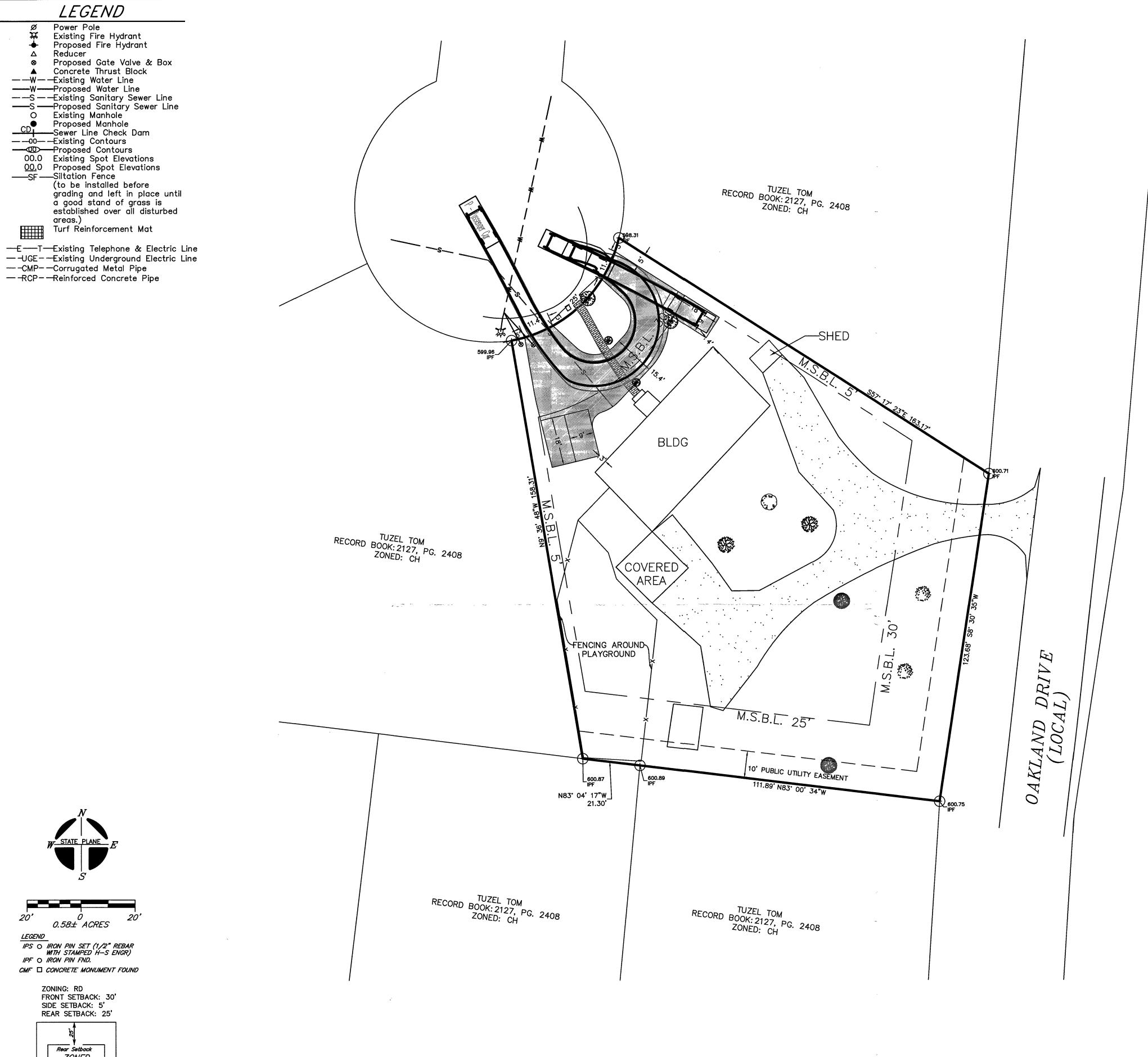
IPS O IRON PIN SET (1/2" REBAR WITH STAMPED H—S ENGR) IPF O IRON PIN FND. CMF

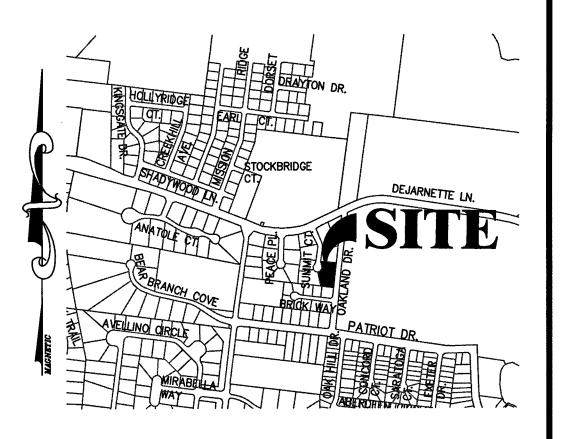
CONCRETE MONUMENT FOUND

> FRONT SETBACK: 30' SIDE SETBACK: 5'

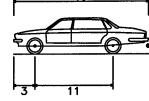


* IF ABUTTING RESIDENTAL, O' IF OTHERWISE TYPICAL BUILDING SETBACK DETAIL





- 1. IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
- 2. UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.

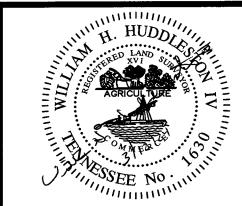


P — Passenger Car Overall Length Overall Width Overall Body Height Min Body Ground Clearance Track Width Lock—to—lock time Curb to Curb Turning Radius

CURVE DELTA RADIUS ARC CHORD BEARING C1 66°49'57" 50.00' 58.32' 55.07' N46°03'07"E

> THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

2115 N.W. BROAD STREET, MURFREESBORO, TN 37129 TELEPHONE: (615)893 - 4084, FAX: (615)893 - 0080



OWNER: IKPONMWOSA DAVINA G

MAP NUMBER: 47149C0163H

DATED: MAY 09, 2023

RECORD BOOK: 1498, PAGE: 1906

TAX MAP: 081B,

PROPERTY ADDRESS: 2537-2539 SUMMIT CT

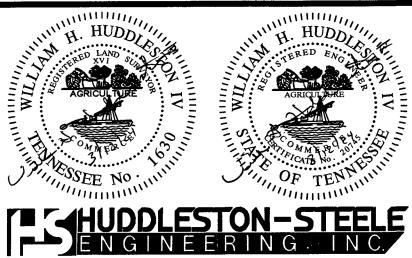
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOW AND ANY

OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY

PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

MURFREESBORO, TN 37130

PARCEL: 016.00

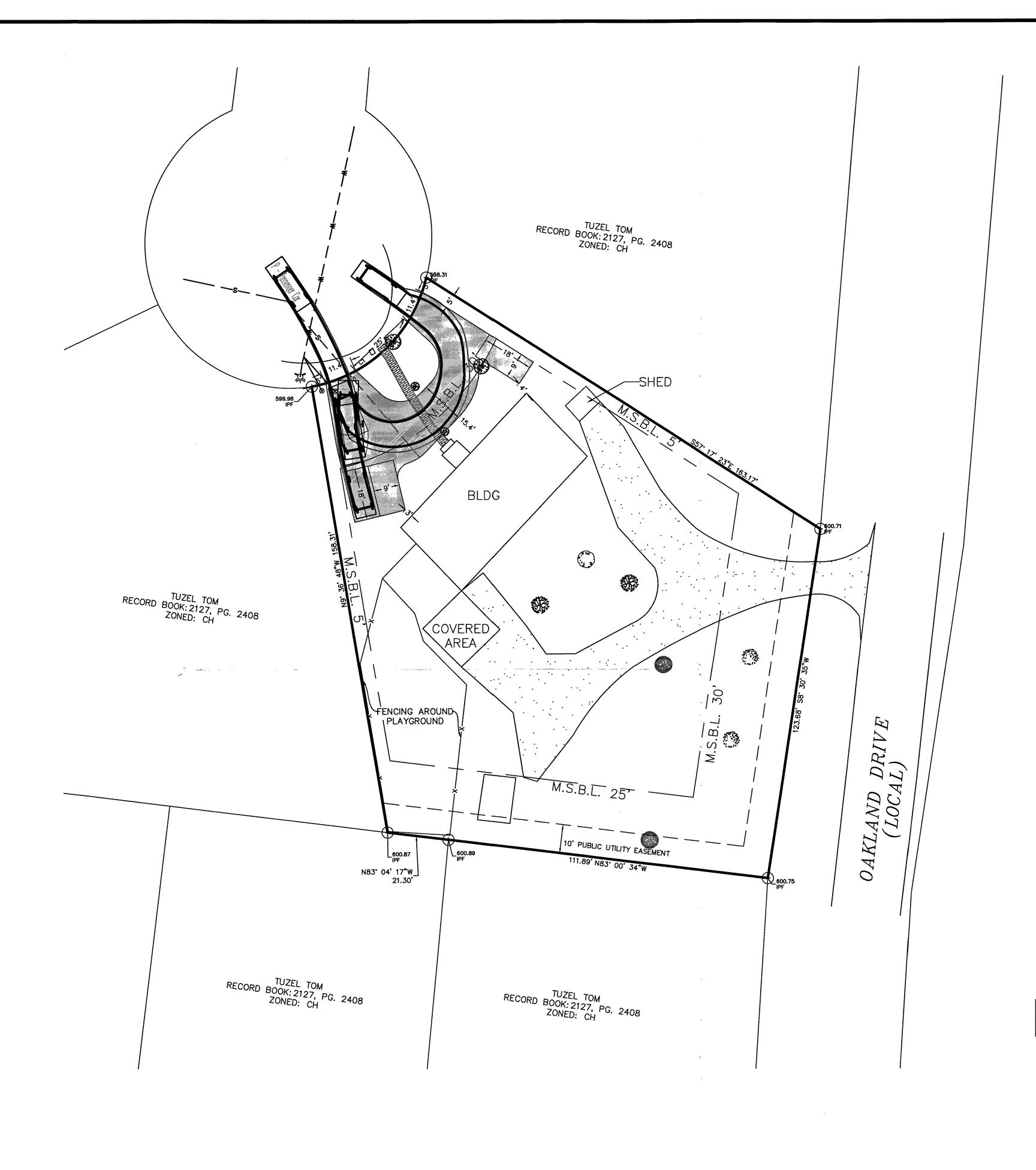


CAR TEMPLATE 2537 SUMMIT CT.

4th CIVIL DISTRICT - RUTHERFORD COUNTY - TN. Scale: 1"=20' Sheet T1 of T3 Date: MARCH, 2024

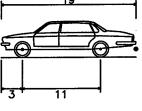
Rear Setback
ZONED CH & C.C.O Front Setback PER C.C.O

* IF ABUTTING RESIDENTAL, O' IF OTHERWISE TYPICAL BUILDING SETBACK DETAIL



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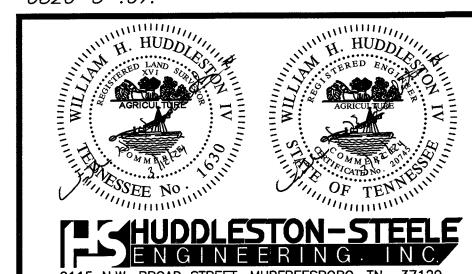
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P — Passenger Car Overall Length Overall Width Overall Body Height Min Body Ground Clearance Track Width Lock—to—lock time Curb to Curb Turning Radius

CURVE TABLE CURVE DELTA RADIUS ARC CHORD BEARING C1 66°49'57" 50.00' 58.32' 55.07' N46°03'07"E

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CAR TEMPLATE 2537 SUMMIT CT.

4th CIVIL DISTRICT - RUTHERFORD COUNTY - TN. Date: MARCH, 2024 Scale: 1"=20' Sheet T2 of T3

PROPERTY ADDRESS: 2537-2539 SUMMIT CT MURFREESBORO, TN 37130 PARCEL: 016.00 TAX MAP: 081B, RECORD BOOK: 1498, PAGE: 1906 MAP NUMBER: 47149C0163H DATED: MAY 09, 2023 ZONE: X
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOW AND ANY

OWNER: IKPONMWOSA DAVINA G

OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

0.58± ACRES

IPS O IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR) IPF O IRON PIN FND. CMF CONCRETE MONUMENT FOUND

LEGEND

Existing Fire Hydrant Proposed Fire Hydrant

——W——Existing Water Line
——W——Proposed Water Line
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——S——Proposed Sanitary Sewer Line

Proposed Gate Valve & Box Concrete Thrust Block

Power Pole

O Existing Manhole

——00——Existing Contours

Proposed Manhole
Sewer Line Check Dam

Proposed Contours

00.0 Existing Spot Elevations

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Turf Reinforcement Mat

— -CMP- -Corrugated Metal Pipe

(to be installed before

—E—T—Existing Telephone & Electric Line — -UGE - -Existing Underground Electric Line

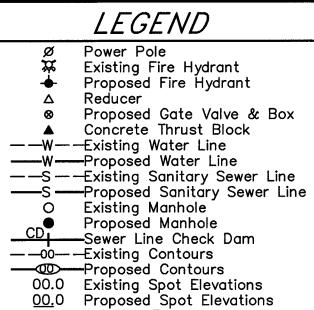
grading and left in place until a good stand of grass is established over all disturbed

Reducer

ZONING: RD FRONT SETBACK: 30' SIDE SETBACK: 5' REAR SETBACK: 25'

ZONED Side Setboo Front Setback PER C.C.O

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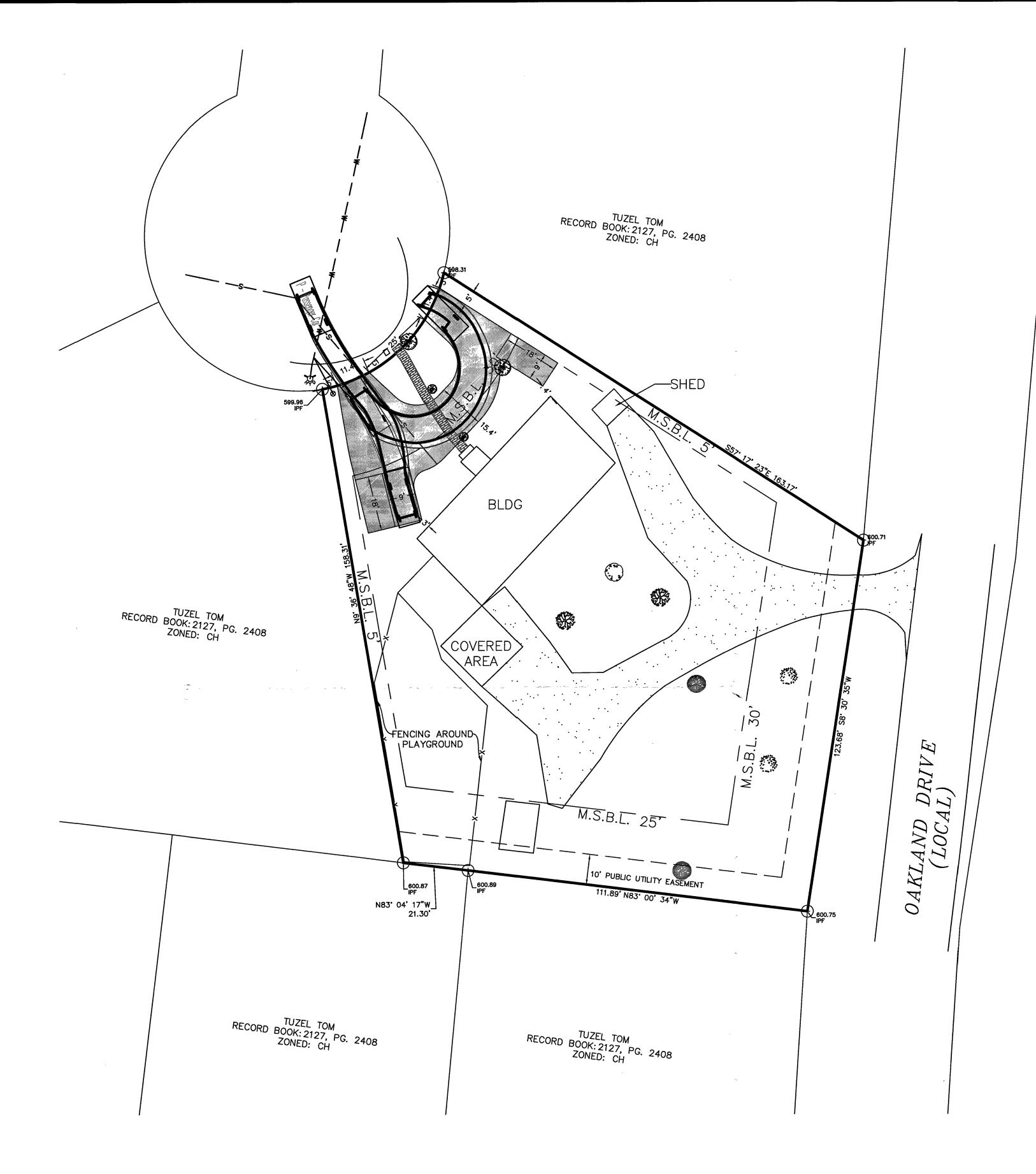


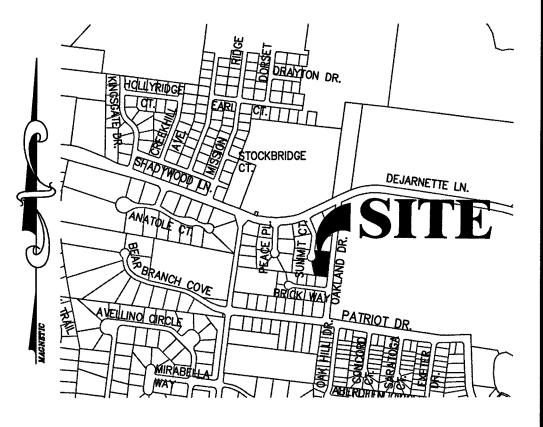
(to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)

——SF——Siltation Fence

Turf Reinforcement Mat —E—T—Existing Telephone & Electric Line

— -UGE - -Existing Underground Electric Line — -CMP- --Corrugated Metal Pipe

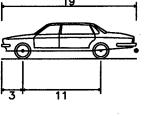




LOCATION MAP N.T.S.

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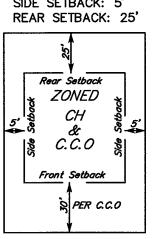


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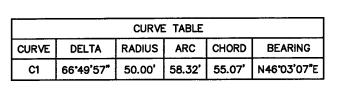
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CAR TEMPLATE 2537 SUMMIT CT.

4th CIVIL DISTRICT - RUTHERFORD COUNTY - TN. Date: MARCH, 2024 Scale: 1"=20' Sheet T3 of T3



Board of Zoning Appeals Procedure Form Request for Home Occupation

This form only pertains to *special use permit requests for the Board of Zoning Appeals*. The information contained in this document shall not be considered exhaustive and shall only serve to summarize the details of the special use permit request for the Board of Zoning Appeals and Planning Department staff. **Additional information may be requested during the review process as determined by the zoning administrator**.

ocess as acternment by the zoning administrator.		
Date: 6/27/2024		
Applicant name & title: Ms. Davina Ikponmwosa Planner name: Joel Aguilera		
Application request: Seeking a special use permit of a group daycare.		
Purpose of request:I would like to open a group daycare.		
Section 8 – Procedure for Uses Requiring Special Use Permits		
a) Name, address, and telephone number of the applicant		
Davina Ikponmwosa, 2537 Summit Court Murfreesboro TN 37130, 615-556-0844		
 b) Nature and extent of applicant's ownership interest in subject property I am the owner of the property and will be owner and operator of the group daycare. 		
c) Site plan to be submitted for review by City Staff and Board of Zoning Appeals Formal site plans by Huddleston and Steele Engineering have been included civil engineer for review for future plans.		
d) Address of the site of the proposed special use		
2537 Summit Court, Murfreesboro, TN 37130		
e) Vicinity map showing the property of the proposed special use and all parcels within a five-hundred-foot radius		
Please look see vicinity map that has been attached.		
f) Zoning classification the property of the proposed special use		
RD (residential duplex).		



- g) The property of the proposed characteristics:
- ESSEE special use shall have the following
- 1) Hours and days of operation 6:30am 6:00pm
- Duration of the proposed special use Indefinitely
- Number of expected patrons that will be expected to utilize the property of the proposed special use
 children
- 4) Projected traffic that will be expected to be generated by the proposed special use Project traffic will be 1 to 3 vehicles at a time not to exceed 15 mins for pick-up and drop-off.
- h) Potentially harmful characteristics of the proposed special use for the zoning district in which it is proposed and the manner in which the applicant proposes to eliminate or minimize them
 - The property was newly renovated in November of 2020 so currently there are no potential harmful characteristics that exist that I am aware of.

Section 9 – Standards for Special Use Permits

Standards for General Applicability.

An applicant for a special use permit shall present evidence at the public hearing on such special permit. Please explain how you will comply with the following standards:

 that the proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare;

There will be no changes to the physical structure of the home, only the use of the existing space will be occupied. The property is positioned between three schools (John Pittard Elementary, Oakland Middle and Oakland High) since I plan to follow similar schedules as the Murfreesboro City School system there should not be any adverse effects to the neighborhood. 2537 Summit Court is currently positioned on a cul-de-sac with little through traffic. I intend to have built three parking spaces and a half circle



driveway that will accommodate seven vehicles at any given time; however, we only anticipate 1 to 3 vehicles at a time in the mornings and the late afternoon. The half circle driveway will be used for traffic flow on and off the property so that there will be no vehicles parking on the roadway or backing out onto the road. Due to parents having different drop-off/pick-up times, we do not anticipate any traffic issues for the street or neighborhood. Our parents' work schedules fluctuate, and they will never all arrive at once. So, the seven spaces allotted will adequately provide parking for our group daycare.

- that the proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations;
 - There will be no changes to the physical structure of the home, only the use of the existing space will be occupied. The property is located between three schools since I plan to follow similar schedules as the Murfreesboro City School system there should not be any adverse effects to the neighborhood. This is in an effort to be compatible with the immediate vicinity and in accordance with district regulations.
- 3) that the proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services;
 - The group daycare use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water, and sewer. The City of Murfreesboro already provides all items except parking, which will be addressed below. I will not build any additional buildings.
- 4) that the proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance; and,
 - Currently, 2537 Summit Court has not been designated as a significant natural, scenic or historical cite. Also, there will be no changes to the physical structure of the home, only the use of the existing space will be occupied. Last, the half circle driveway will be used to improve traffic flow on and off the property so that there will be no vehicles parking



on the roadway or backing out onto the road which will not result destruction, loss, or damage of any feature.

5) that the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use.

To my knowledge_the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use.

Standards for (bb) Day care centers, family day care homes, and group day care homes

Please explain how you will comply with the following standards:

[1] an on-site off-street area shall be provided for vehicles to load and unload passengers;

2537 Summit Court is currently positioned on a cul-de-sac with little through traffic. I intend to have built three additional parking spaces and a half circle driveway that will accommodate four vehicles at any given time; however, we only anticipate 1 to 3 vehicles at a time in the mornings and the late afternoon. The half circle driveway will be used for traffic flow on and off the property so that there will be no vehicles parking on the roadway or backing out onto the road. Due to parents having different drop-off/pick-up times, we do not anticipate any traffic issues for the street or neighborhood. Our parents' work schedules fluctuate, and they will never all arrive at once. So, the seven spaces allotted will adequately provide parking for our group daycare.

[2] facilities for vehicular access to and from the site of the day care home shall be arranged to permit vehicles to exit from the site without backing onto any street or sidewalk;

Yes, the facility for vehicular access to and from the site of the group daycare home shall be arranged to permit vehicles to exit from the site without backing onto any street or sidewalk.

[3] an application for a special permit for a day care home shall be accompanied by a statement from the State of Tennessee, Department of Human Services, that such day care home can comply with all requirements of the State of Tennessee with respect to such use;



I am currently working to satisfy all requirements issued by Tennessee Department of Human Services to comply with all policies and procedure for such group daycare home.

[4] Screening may be required along the lot lines of the site of the day care home to block such day care home from the view of property classified in a residential zoning district and from the residential portion of an approved planned unit development;

I do understand that screening may be required along the lot lines of the site of the group daycare home to block such group daycare home from the view of property classified in a residential zoning district and from the residential portion of an approved planned unit development.

[5] required off-street parking shall be located on-site;

I understand park requirements and will comply with the required off-street parking shall be located on-site.

Date: 6/27/2024 Applicant signature:

Group Daycare

To Whom This May Concern,

My name is Davina Ikponmwosa, and I have been an educator for more than ten years at the collegiate level. I have a diploma in nursing, undergraduate degrees in chemistry and health information technology, and a master's degree in health information and informatics. And now, I want to share my wealth of knowledge with little people. I want to operate a group daycare at 2537 Summit Court, Murfreesboro, TN 37130.

Operations of Business:

My home will be open from 6:30 am to 6:00 pm, Monday through Friday. I will employ four part-time workers that I will alternate to help assist me with the children during the weekly hours of operation. The maximum number of children that will be in my care is twelve.

Purpose and Curriculum:

The purpose of the group daycare is to provide and prepare children ages 2-5 with the necessary fundamental skills to enter preschool or kindergarten. The goal is to make all the children we teach proficient in language, literacy, math, and cognitive thinking. For our 2-year-olds, we focus on independence by making our toddlers autonomous, but we incorporate group play to provide structure. We help them begin learning through story time, singing, and identifying things like patterning and counting. With our 3-year-olds, we target building their critical thinking skills, memory and focus. Through hands-on learning, they will practice language, math, science, Spanish, and social skills. Last, with our four and 5-year-olds, our objectives are an enhanced focus on higher-level skills such as language and reading development, executive function, and social and emotional development. Our goal is to deepen their knowledge of language, math, science, Spanish, and social skills by building their cognitive skills through the practice of reading, simple addition, subtraction, and science predictions.

Improvement to Property:

Property Usage:

The group daycare will only occupy the first floor of 2537 Summit Ct. The garage will be the primary classroom for the children. The kitchen will be utilized for meal preparation i.e., breakfast, lunch and snacks. The laundry room will be used to wash linens and children's clothes. The half bathroom will be the main bathroom as it well positioned between the main classroom (garage space) and recreation/play area (living room). The living room will we repurposed into a recreation area for the children for the use of activities, inclement weather and for after hour pickup. The first-floor bedroom will be used as storage area for the daycare and the full bathroom will be used as an alternate bathroom when the main bathroom is in use. Currently, 2539 Summit Ct is slated to be leased and occupied by August 2024 by one tenant and is a separate entity and will have no affiliation with 2537 Summit Ct.

Garage Space:

The garage space will be converted into a preschool classroom suitable for twelve children. Please see the floorplans of the space; furniture has yet to be moved in to occupy the space. Currently, a designated fenced play area beside the garage offers more than enough space for twelve children to roam freely. The group daycare use will be served adequately by essential public facilities and services such as highways, streets,

parking spaces, drainage structures, refuse disposal, fire protection, water, and sewer. The City of Murfreesboro already provides all items except parking, which will be addressed below. I will not build any additional buildings.

Parking Accommodations:

2537 Summit Court is currently positioned on a cul-de-sac. I intend to have added in the front yard three additional parking spaces and a half circle driveway that will accommodate four vehicles at any given time; however, we only anticipate 1 to 3 vehicles at a time in the mornings and the late afternoon. The half circle driveway will be used for traffic flow on and off the property so that there will be no vehicles parked on the roadway or backing out onto the road. Due to parents having different drop-off/pick-up times, we do not anticipate any traffic issues for the street or neighborhood. Our parents' work schedules fluctuate, and they will never all arrive at once. So, the seven spaces allotted will adequately provide parking for our group daycare. The half circular driveway in the front yard will be used for the patrons to pickup children. The back entrance has a two-car covered carport and a single uncovered graveled parking spot for staff. There will only be two employees on the premises at any given time. The only time all four staff members will be on the premises at the same time will be during shift change or a staff meeting (which are not during hours of operation), but sufficient parking is available. The daycare will not interfere with parking at 2539 Summit Ct., given that the unit has two designated parking spots allocated and the unit will only be occupied by a single tenant. There is ample parking for the tenant and a guest.



Murfreesboro Fire Rescue Community Risk Reduction Division 2140 North Thompson Lane Murfreesboro, TN 37129, 615-893-1422 www.murfreesborotn.gov

June 26, 2024 STATE INSPECTION DAYCARE

Meant To Be Loved 2537 Summit Court Murfreesboro, TN 37130

Business Tax Receipt:

Business Tax Receipt (BTR)?:

This building has passed inspection by Murfreesboro Fire Rescue Community Risk Reduction Division on Jun 26, 2024,

Please do not reply to this email. If you have any questions or concerns. Please contact Community Risk at 615-893-1422

To Whom it May Concern,

In Regards to:

Davina Parker, Meant To Be Loved Located at 2537 summit court Murfreesboro, Tn 37130.

Ms. Parker is in the process of applying for a childcare license with the Department of Human Services within the State of Tennessee. This agency will be able to comply with all the requirements with the Department of DHS once this process is completed.

Please let me know if you need any further information.

Thank you,

Lynn Spearman



STATE OF TENNESSEE DEPARTMENT OF HUMAN SERVICES

JAMES K. POLK BUILDING 505 DEADERICK STREET NASHVILLE, TENNESSEE 37243-1403

TELEPHONE: 615-313-4700 FAX: 615-741-4165 TTY: 1-800-270-1349

BILL LEE GOVERNOR www.tn.gov/humanservices

CLARENCE H. CARTER

COMMISSIONER

Date: 6/7/2024	Agency Name: Meant to be Loved
Agency Contact: Davina Ikponmwosa	Agency Address: 2537 summit court murfreesboro, tn 37130

Measuring Visit

	Measure classrooms to determine capacity: 12+3
	Check exterior and interior of the building for obvious safety hazards.
\boxtimes	Check sinks, toilets, other water sources, and number of restrooms at the agency.
\boxtimes	Check Playground area and discuss fencing requirements.
\boxtimes	Ages of children: 2 years – 6 years
\boxtimes	Hours of Operation: 700am-530p
\boxtimes	Square Footage of Facility: 875
\boxtimes	Discussion of Architectural Plans if required: □Yes ⊠No – group home

Measurements:

Garage space 13.11 x 13.7 = 179.6/30 = 5

Living room area $17.6 \times 13.11 = 230.73/30 = 7$

Room 11.3 x 10.4 = 117.5/30 = 3

By signing this form below, I am acknowledging that I understand that this visit is conducted by the PreLicensure Program Specialist to ensure that there are no hazards present for the health and safety of children in this proposed location.

I understand that State Fire, and/or Local Fire, Environmental Health Department inspection requirements, and Codes and Zoning can override this visit as approvals are required from these agencies in order for a Provisional License to be sued.

Provider Signature

11/16/22



Division of Fire Prevention **Codes Enforcement Section** 500 James Robertson Pkwy Nashville, TN 37241-1162

Inspection Date: Thursday, June 20, 2024

Inspector:

Robert Swader

County:

75 - Rutherford

Inspection Type: DHS Day Care Centers

TFM Number:

51024-INS

Document Type: Initial Inspection Follow-Up

Building/Project Name: Meant To Be Loved

Street Address:

2537 Summit Court

City:

Murfreesboro

ZIP:

37130

Contact Name: Davina Ikponmwosa

Additional Contact:

Dwanda Spearman

Email:

dwanda.l.spearman@tn.gov

Street Address: 2537 Summit Court

Additional Contact:

City:

Murfreesboro

Email:

ZIP:

37130

Additional Contact:

Phone

(615) 556-0844

Email:

Email:

dikponmwosa28@gmail.com

Additional Contact:

Email:

Additional Contact:

Email:

Additional Contact:

Email:

IBC Occupancy Type:

DHS license: Children under the age of 2 1/2: Less than 5

More than 5

NFPA Occupancy Type: Daycare

DHS License: Children over the age of 2 1/2:

Square Footage:

875

Licensed Number of Clients: 12+3

Recommend Approval for Licensing? Yes

Operation Deficiencies found. Items below must be corrected.

Item				Correction
Number	Deficiency	Code Reference	Found Date	Date
	Fire extinguisher would need to be selected and installed. A minimum of one 5lb ABC fire rating is required.	2012 NFPA 10 & 2012 IFC 906	06/17/2024	06/20/2024
	A total of two additional stand alone smoke detectors need to be installed for the foyer front entrance area and garage area. The playroom leading to the bathroom are protected with one smoke detector. This smoke detector is required to be properly maintain and operational.	101.9.6.2.10	06/17/2024	06/20/2024

Item Number	Deficiency	Code Reference	Found Date	Correction Date
	The locking mechanism of the foyer front entrance door requires more than one releasing operations. Locks, if provided, shall not require the use of a key, a tool, or special knowledge or effort for operation from the egress side.		06/17/2024	06/20/2024
4.		NFPA LSC 101 16.2.2.4	06/17/2024	06/20/2024

Notes:

06/20/2024: I performed the follow up inspection of the above home today. All deficiencies have been corrected. The home is now approved for licensure.

06/17/2024: An initial inspection was performed on 6/17/24. I was advised by the operator that the request is for a daycare building of approximately 875 square footage located at 2537 Summit Court, Murfreesboro. This request is for garage space, living room, and bedroom(play room) of the home. The operator advised that the remainder of the home would not be used for anything else other than this daycare. A few deficiencies were found and noted. All deficiencies listed above must be addressed. These deficiencies shall be completed and a follow up inspection scheduled. It was requested that the address number for the building be labeled on the building for identification. It was recommended that a gate be installed at the stairs leading upstairs to prevent kids from entering into the upstairs areas. If you have any questions or concerns, please feel free to call me at (615) 788-5785. Thanks

Helpful Information:

The State Fire Marshal's Office will perform consultation inspections if requested by DHS. If you are interested in a building to use as a day care and want to know if upgrades are needed for code compliance, contact your DHS counselor to make the request. A State Fire Marshal's Office inspector will then contact you to set up an inspection.

Fire Safety Specialist Email:

Robert.Swader@tn.gov

Allen Swader

Digitally signed by Allen Swader Date: 2024.06.20 12:31:09 -05'00'

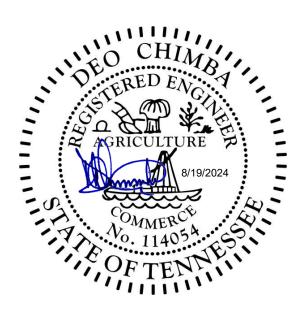
Fire Safety Specialist:



Family-Group Day Care Traffic Impact Study

Prepared by:
Deo Chimba, PhD., P.E., PTOE.
615-9748265

TN PE#: 00114054



FINAL REPORT

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1. INTRODUCTION

This Traffic Impact Study (TIS) has been conducted to assess the potential traffic implications of a proposed family/group Day Care located at 2537 Summit Court, with the study encompassing both 2537 and 2539 Summit Ct, Murfreesboro, Tennessee, 37130. The study is based on the ITE Trip Generation Manual under Code 565 as the best match for the proposed facility, which is projected to accommodate thirty children. The site is positioned at the cul-de-sac at the end of Summit Ct, which forms a T-intersection with Dejarnette Ln, a significant four-lane arterial road featuring a Two-Way Left-Turn (TWLT) median. This location is in close proximity to John Pittard Elementary School, situated directly across Dejarnette Ln to the north, Oakland High School, located along Oakland Dr just east of the proposed family/group daycare, and Oakland Middle School, located along Cushing Ave, just across the street from Oakland High School and bordered by John Pittard Elementary School.

The study area encompasses Dejarnette Ln, spanning from Pitts Ln to Oakland Dr, including critical intersections that are expected to experience traffic impacts due to the proposed development. The intersections of interest are;

- 1. The signalized intersection of Dejarnette Ln and Pitts Ln
- 2. The unsignalized intersection of Dejarnette Ln and Summit Ct, which will serve as the primary access point for the Family/group daycare, and
- 3. The unsignalized intersection of Dejarnette Ln and Oakland Dr.

Notably, the Dejarnette Ln and Oakland Dr intersection provides access to both John Pittard Elementary School and Oakland High School as well as an important intersection for traffic to and from Oakland Middle School, making it a key node in the local traffic network. Figure 1 shows the proposed family/group daycare location, and the corresponding intersections and segments analyzed which are considered to be impacted by the development. The TIS includes a comprehensive analysis of the impacted areas, focusing on existing traffic conditions, the collection and evaluation of background traffic data, and the estimation of traffic generated by the family/group daycare. Furthermore, the study involves trip distribution and assignment, Level of Service (LOS) analysis, and an assessment of access impacts. The objective is to ensure that the proposed development will not adversely affect the surrounding transportation network and to recommend any necessary mitigation measures to maintain acceptable traffic flow and safety.

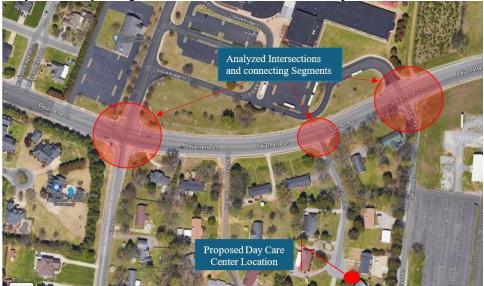


Figure 1: Day care Location and Analyzed Intersections

2. TRIP GENERATION FOR FAMILY/GROUP DAYCARE

A day care center (equivalent to family/group daycare as used in this study), as defined in the ITE Trip Generation Manual under Code 565, is a specialized facility where care and supervision for pre-school-age children are provided, typically during daytime hours. These centers are designed to cater to the developmental needs of young children in a safe and structured environment while their parents or guardians are engaged in work or other daytime activities. The primary function of a family/group daycare is to offer a nurturing setting where children can engage in educational and recreational activities under the supervision of trained staff.

ITE Trip Generation Manual describe these facilities to generally include classrooms where structured learning and play activities take place, offices for administrative purposes, eating areas where meals and snacks are provided, and outdoor playgrounds that offer space for physical activity and social interaction. In the context of traffic impact analysis, the ITE Trip Generation Manual identifies three units of measurement that can be used to estimate the number of trips generated by a family/group daycare:

- 1. The number of employees
- 2. The total square footage of the facility, and
- 3. The number of students enrolled.

Each of these units correlates with different aspects of the facility's operation, influencing the volume and pattern of vehicular traffic associated with the daycare. For this particular study, the number of students enrolled at the family/group daycare has been selected as the unit for trip generation. Appendix A shows the used rates and equations in detail. Using the number of students as the unit of analysis allows for a more accurate estimation of the traffic impacts, considering that each student typically corresponds to at least two daily trips (one inbound and one outbound).

The Trip rates and equations as well as the number of vehicle trips generated for this Family/group daycare are as shown in Table 1 (Appendix B to E include more detailed rates and equations). In this study thirty students are projected to use the daycare facility. This is the maximum estimation.

Table 1: Equations for Day Care Center Trip Generation

ITE	CODE	Unit	Daily	AM Peak	PM Peak
565	Day Care	X = Students	T=4.55(X)-5.64	T = 0.73(X) + 5.24	Ln(T)=0.87Ln(X)+0.32
	Center			53% enter, 47% exit	47% enter, 53% exit
	Day Care	X = 30	131 vpd	28 vph	27 vph
	Center		-	15 vph enter, 13 vph exit	13 vph enter, 14 vph exit

2.1. Generated family/group daycare Trip Distributions and Assignments

Based on the population density of the area, the trip distribution was considered 60% from the west side and 40% from the east with respect to the proposed Family/group daycare location. The assignments of entering and exiting traffic and their turnings at the intersections also reflected this 60/40 distribution. With 100% of the vehicles to and from the proposed daycare using Dejarnette Ln and Summit Ct, generated trip of 28 vph in the AM peak and 27 vph in the PM peak assignments are as shown in Table 2 and Figure 2.

Table 2: Generated Day Care Trip Assignments

								~-8					
		EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Dejarnette Ln &	AM		6		1	5	2			1	2		
Pitts Ln	PM		5		1	5	2			1	2		
Dejarnette Ln &	AM			9	6			8		5			
Summit Ct	PM			8	5			8		6			
Dejarnette Ln &	AM		5			6							
Oakland Dr	PM		6			5							

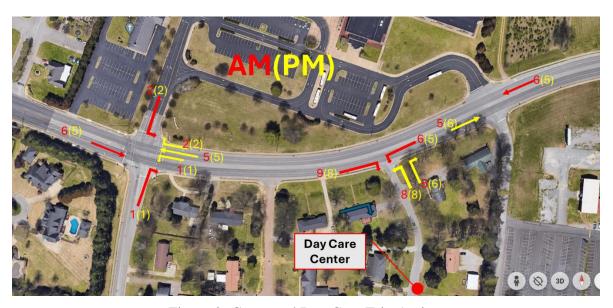


Figure 2: Generated Day Care Trip Assignments

3. EXISTING TRAFFIC CONDITION

The intersection turning movement counts (TMC) data was collected over two distinct weekdays to capture representative traffic patterns and volumes that are critical for assessing the potential impact of the proposed family/group daycare. Data collection was conducted on Thursday, August 8, 2024, and Tuesday, August 13, 2024, from 6:30 AM to 5:30 PM. These days were strategically selected to provide a comprehensive view of traffic conditions during typical weekday operations, which include peak morning drop-off and afternoon pick-up periods, as well as midday traffic flows. The traffic data for the intersection turning movement counts (TMC) was collected using Miovision Scout equipment, a state-of-the-art traffic data collection system known for its accuracy and reliability in capturing vehicular, pedestrian, and cyclist movements at intersections. As shown in Figure 3, the Miovision Scout is a portable, camera-based device designed to record highdefinition video footage, which is then processed to extract detailed traffic movement data. This equipment was deployed at the two critical intersections—the signalized intersection of Dejarnette Ln and Pitts Ln, and the unsignalized intersection of Dejarnette Ln and Oakland Dr—over the course of two days, Thursday, August 8, 2024, and Tuesday, August 13, 2024. The Miovision Scout was strategically positioned to ensure comprehensive coverage of all intersection approaches, capturing a full spectrum of turning movements from 6:30 AM to 5:30 PM on both days. Figure 3 illustrates the setup of the Miovision Scout equipment at the two intersections. The device's placement was optimized to ensure clear visibility of all vehicle movements and interactions. The collected data is instrumental in evaluating the existing traffic conditions, understanding the impact of the proposed Family/group daycare on these intersections, and informing any necessary improvements to accommodate future traffic volumes.





Figure 3: Data Collection Using Miovision Equipment

The turning movement counts recorded during the data collection period provide critical insights into the existing traffic conditions at these intersections. These counts capture the number of vehicles making left, right, and through movements at each intersection approach, offering a detailed understanding of traffic volumes and patterns during different times of the day. The data serves as a foundation for subsequent analyses, including the evaluation of intersection capacity, delays, level of service (LOS), and the potential need for traffic control measures or other improvements. The summary of the collected TMC data is presented in Table 3 which also highlights the traffic volumes observed at the signalized intersection of Dejarnette Ln and Pitts Ln and the unsignalized intersection of Dejarnette Ln and Oakland Dr.

Table 3: Collected Turning Movement Count (TMC)

		I do I c			ı ı uıııı	20 21120	. 01110110	000,111	, (11.1	-,			
		EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Dejarnette Ln	AM	27	136	209	56	204	64	208	133	56	71	126	30
& Pitts Ln	PM	26	186	263	75	303	26	249	92	51	10	126	9
Dejarnette Ln	AM	0	258			330		3		3			
& Summit Ct	PM		242			400		4		3			
Dejarnette Ln	AM	20	174	64	225	261	10	74	4	120	2	1	3
& Oakland Dr	PM	8	224	3	1	271	14	112	1	70	6	2	22

4. KEY INTERSECTIONS AND GEOMETRY

The data collection focused on two key intersections that are anticipated to bear the most significant traffic loads associated with the proposed family/group daycare, Figure 4:

- The signalized intersection of Dejarnette Ln and Pitts Ln, and
- The unsignalized intersection of Dejarnette Ln and Oakland Dr.

The choice of these intersections for detailed analysis is driven by their critical role in facilitating access to and from the Family/group daycare, as well as their proximity to nearby educational institutions, including John Pittard Elementary School, Oakland Middle School and Oakland High School.

The signalized intersection of Dejarnette Ln and Pitts Ln is a crucial node in the local traffic network, managing a high volume of vehicles during peak hours. It serves as a primary point of ingress and egress for traffic flowing from Dejarnette Ln, a major arterial road, into the surrounding residential and commercial areas. The performance of this intersection is vital for ensuring smooth traffic operations, particularly for vehicles making left and right turns onto Pitts Ln, which may include parents or guardians dropping off or picking up children from the Family/group daycare.

Similarly, the unsignalized intersection of Dejarnette Ln and Oakland Dr is of paramount importance, given its role as an access point not only for the family/group daycare but also for the adjacent schools. The absence of traffic signals at this intersection necessitates a careful examination of turning movements, especially during peak periods when traffic congestion and delays may occur. The safe and efficient operation of this intersection is essential to minimize potential conflicts and ensure the safety of pedestrians and vehicles in the vicinity of the Family/group daycare and the nearby schools.

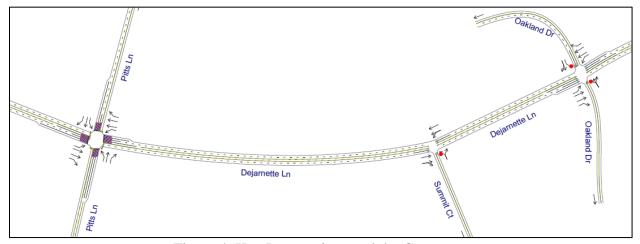


Figure 4: Key Intersections and the Geometry

5. COMBINED PROJECT GENERATED TRIPS AND COLLECTED TRAFFIC

The combined Daycare generated trip and collected traffic are as shown in Table 4. The combination of Daycare-generated trips and the collected traffic data forms a comprehensive foundation for evaluating the Level of Service (LOS) at the critical intersections impacted by the proposed family/group daycare. The integrated dataset, as presented in Table 4, merges the anticipated traffic generated by the family/group daycare with the existing traffic volumes

observed during peak morning (AM) and afternoon (PM) hours, providing a realistic assessment of the future traffic conditions. This dataset serves as the basis for conducting a detailed LOS analysis, a key metric used to assess the operational efficiency of intersections.

Table 4: Combined Daycare Generated Trips and Collected Turning Movement

		EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Dejarnette Ln &	AM	27	142	209	57	209	66	208	133	57	73	126	30
Pitts Ln	PM	26	191	263	76	308	28	249	92	52	12	126	9
Dejarnette Ln &	AM		258	9	6	330		11		8			
Summit Ct	PM		242	8	5	400		12		9			
Dejarnette Ln &	AM	20	179	64	225	267	10	74	4	120	2	1	3
Oakland Dr	PM	8	230	3	1	276	14	112	1	70	6	2	22

6. LEVEL OF SERVICE (LOS) ANALYSIS

The Level of Service (LOS) analysis for the proposed family/group daycare was conducted using Synchro software, a widely recognized tool for traffic signal timing optimization and intersection analysis. This analysis specifically focused on evaluating traffic conditions during the AM and PM peak hours, both before and after the Family/group daycare becomes operational. By comparing these two scenarios, the analysis provides critical insights into how the additional traffic generated by the family/group daycare impacts the overall efficiency and functionality of the surrounding intersections.

LOS is categorized into six distinct levels, ranging from A to F, each reflecting the average delay experienced by vehicles at the intersection, measured in seconds per vehicle, Figure 5. These categories provide a standardized way to assess and compare intersection performance. LOS A represents optimal conditions of less delays, where vehicles experience minimal delays of 0-10 seconds per vehicle. LOS B corresponds to delays of 11-20 seconds per vehicle, indicating a slight increase in traffic density but still maintaining a high level of service. LOS C, with delays of 20-35 seconds per vehicle, reflects a moderate level of congestion that is typical in urban environments but still within acceptable operational limits. LOS D, representing delays of 35-55 seconds per vehicle, indicates a more noticeable level of congestion, where traffic flow is still manageable but nearing capacity. LOS E, with delays of 55-80 seconds per vehicle, represents intersections operating at or near capacity, where congestion becomes significant, and delays are pronounced. Finally, LOS F is assigned to intersections where delays exceed 80 seconds per vehicle, indicating a failure condition where the intersection is operating over capacity, resulting in substantial delays and a breakdown of traffic flow.

Level of Service	Control Delay Per Vehicle (sec)
A	≤ 10.0
В	> 10.0 and ≤ 20.0
C	> 20.0 and ≤ 35.0
D	> 35.0 and ≤ 55.0
E	> 55.0 and ≤ 80.0
F	> 80.0

Figure 5: Intersections Level of Service (LOS) Criteria

The preferred intersection LOS for urban and suburban areas is typically within the range of A to D, where traffic flow is considered acceptable, and delays are within manageable limits. Intersections operating at LOS E or F are generally considered unsatisfactory and may require mitigation measures such as signal timing adjustments, geometric improvements, or additional lanes to alleviate congestion and improve traffic flow. The Synchro-based LOS analysis in this study provides a detailed assessment of how the proposed family/group daycare will influence intersection performance and identifies any necessary interventions to maintain or enhance the LOS within the preferred range, ensuring that the surrounding transportation network continues to operate effectively. Table 5 and Table 6 show the LOS analysis results for AM and PM peak hours respectively. More results are shown in Appendices B to E.

Table 5: Level of Service for AM Peak Hour

	Dejarnette L	n & Pitts Ln	Dejarnette Li	n & Oakland Dr	Dejarnette Ln	& Summit Ct
	Before	After	Before	After	Before	After
	Family/group	Family/group	Family/group	Family/group	Family/group	Family/group
	daycare	daycare	daycare	daycare	daycare	daycare
EBL	В	В	A	A		
EBT	В	С	A	A	A	A
EBR	В	В	A	A	A	A
WBL	В	В	A	A	A	A
WBT	В	С	A	A	A	A
WBR	В	В	A	A		
NBL	A	A	A	A	A	В
NBT	A	A	A	A		
NBR	A	A	A	A		
SBL	В	В	С	С		
SBT	В	В	C	С		
SBR	В	В	В	В		

Table 6: Level of Service for PM Peak Hour

	Dejarnette L	n & Pitts Ln	Dejarnette Ln	& Oakland Dr	Dejarnette Li	n& Summit Ct
	Before	After	Before	After	Before	After
	Family/group	Family/group	Family/group	Family/group	Family/group	Family/group
	daycare	daycare	daycare	daycare	daycare	daycare
EBL	В	В	A	A		
EBT	C	C	A	A	A	A
EBR	В	В	A	A	A	A
WBL	В	В	A	A	A	A
WBT	С	С	A	A	A	A
WBR	В	В	A	A		
NBL	A	A	A	A	A	В
NBT	A	A	A	A		
NBR	A	A	A	A		
SBL	В	В	В	В		
SBT	В	В	В	В		
SBR	В	В	A	A		

6.1. Discussion of LOS Results

As shown in Table 5 and Table 6 (and in Appendix B, C, D and E), the Level of Service (LOS) analysis was conducted for the proposed family/group daycare with 30 students reveals that the

additional trips that will be generated by the family/group daycare will not cause any significant interruption of traffic along Dejarnette Ln or at the key intersections analyzed. The LOS results, as outlined in the tables for both AM and PM peak hours, indicate that the overall traffic flow and intersection performance will remain largely unchanged, with no major adverse impacts observed.

6.1.1. Key Intersection: Dejarnette Ln and Summit Ct

The intersection of Dejarnette Ln and Summit Ct is critical for the family/group daycare's operations as it directly serves the entrance and exit traffic associated with the facility. The LOS results for this intersection demonstrate that the key movements related to the family/group daycare will continue to operate efficiently even after the facility is operational. Overall, the LOS results for the Dejarnette Ln and Summit Ct intersection during both AM and PM peak hours show that the intersection can accommodate the traffic generated by the family/group daycare without necessitating signalization or other major traffic control or access management interventions. The operations remain smooth, there is no indication of traffic flow interruptions, bottlenecks, or excessive delays.

- 1. Northbound Left (NBL) and Northbound Right (NBR) Movements:
 - **Before the family/group daycare:** Both the NBL and NBR movements operate at LOS A, indicating minimal delays of 0-10 seconds per vehicle.
 - After the family/group daycare: These movements slightly degrade to LOS B, reflecting delays of 11-20 seconds per vehicle. Despite this change, the intersection still functions efficiently, and the LOS remains within the preferred range, indicating that the additional traffic generated by the family/group daycare does not cause significant delays.
- 2. Westbound Left (WBL) and Eastbound Right (EBR) Movements:
 - **Before the Center:** The WBL and EBR movements operate at LOS B or better.
 - After the family/group daycare: These movements continue to operate at LOS B, showing no significant impact from the additional traffic. The intersection maintains a high level of service, with only minor increases in delays, well within acceptable operational limits.
 - The WBL entering Summit Ct uses TWLT as a turning lane.

6.1.2. Other Intersections: Dejarnette Ln & Pitts Ln, Dejarnette Ln & Oakland Dr

The LOS analysis for the other critical intersections—Dejarnette Ln and Pitts Ln, and Dejarnette Ln and Oakland Dr—also shows favorable results.

- 1. Dejarnette Ln and Pitts Ln:
- **Before the family/group daycare:** Most movements operate at LOS B, with a few at LOS C during peak hours.
- After the family/group daycare: The LOS remains consistent, with no significant deterioration observed. The intersection continues to operate within acceptable service levels, and the added traffic from the family/group daycare does not lead to any delays.
- 2. Dejarnette Ln and Oakland Dr:
 - **Before the family/group daycare:** The intersection operates at LOS A for most movements, indicating very low delays.
 - After the family/group daycare: The LOS remains largely unchanged, with all movements continuing to perform at LOS A or B. The intersection effectively handles the additional traffic, maintaining smooth operations.

7. CONCLUSIONS

The LOS analysis conclusively shows that the proposed Family/group daycare located at 2537 Summit Court, with the study encompassing both 2537 and 2539 Summit Ct, Murfreesboro, Tennessee, 37130 with projected 30 students will not have a significant impact on the traffic operations along Summit Ct or Dejarnette Ln or at the surrounding intersections. The LOS across all analyzed intersections remains within acceptable ranges, with minimal changes in delay times. The key movements associated with the Family/group daycare, particularly at the Dejarnette Ln and Summit Ct intersection, show only a slight shift from LOS A to B, which still reflects good operating conditions. Given these results, there is no need for signalization or access management at the Dejarnette Ln and Summit Ct intersection, and no major traffic flow interruptions, bottlenecks, or delays are anticipated. The existing traffic control measures are sufficient to accommodate the projected traffic increases, ensuring that the corridor and its intersections continue to operate efficiently and safely after development.

8. RECCOMENDATIONS

Considering the traffic impact analysis, it is recommended that the proposed family/group daycare located at 2537 Summit Ct, Murfreesboro, Tennessee, 37130 be approved, and the permit granted. The analysis shows no significant disruption to traffic flow, and no special access management measures are required. The westbound left (WBL) turn into the daycare facility will utilize the existing Two-Way Left-Turn (TWLT) lane as a refuge while waiting for opposing eastbound through (EBT) traffic, ensuring smooth and efficient access without the need for additional traffic control interventions.

Appendix A: Day care Center Trip Generation Rates and Equations

Day Care Center (565)

Average Vehicle Trip Ends vs: Students

On a: Weekday,

Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.

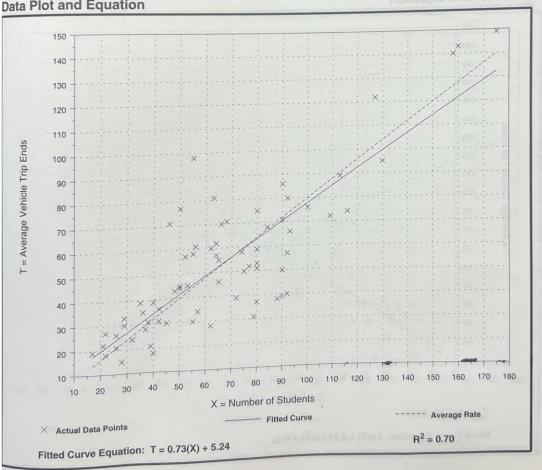
Number of Studies: 70 Average Number of Students: 67

Directional Distribution: 53% entering, 47% exiting

Trip Generation per Student

Average Rate	Range of Rates	Standard Deviation
0.80	0.39 - 1.78	0.92





Day Care Center (565)

Average Vehicle Trip Ends vs: Students and additional and a state of the state of t

On a: Weekday, eak Hour of Adjacent Street Traffic,

Peak Hour of Adjacent Street Traffic, m.a 9 bna 7 neewis 3 wolf en One Hour Between 4 and 6 p.m.

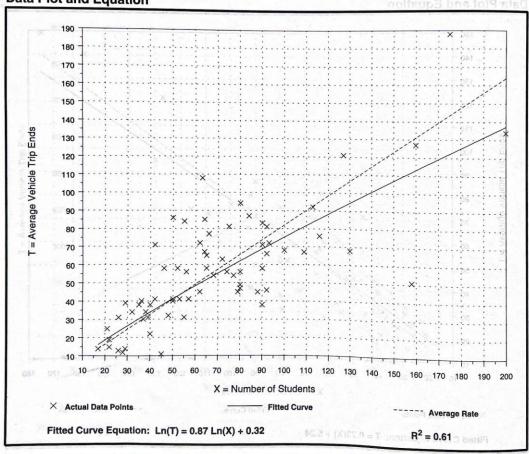
Number of Studies: 71 Average Number of Students: 69

Directional Distribution: 47% entering, 53% exiting

Trip Generation per Student

Average Rate	Range of Rates	Standard Deviation
0.82	0.24 - 1.72	0.95





Day Care Center (565)

Average Vehicle Trip Ends vs: Students

On a: Weekday

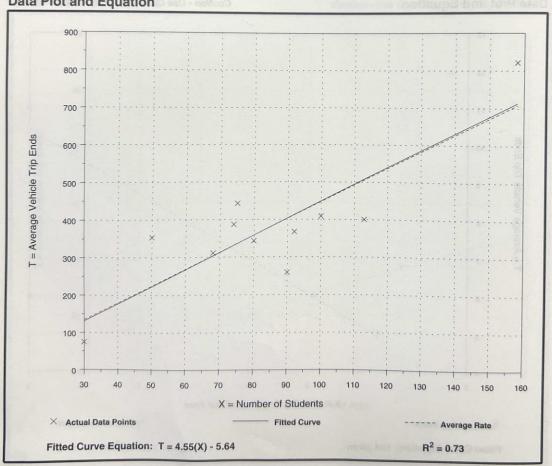
Number of Studies: 11 Average Number of Students: 85

Directional Distribution: 50% entering, 50% exiting

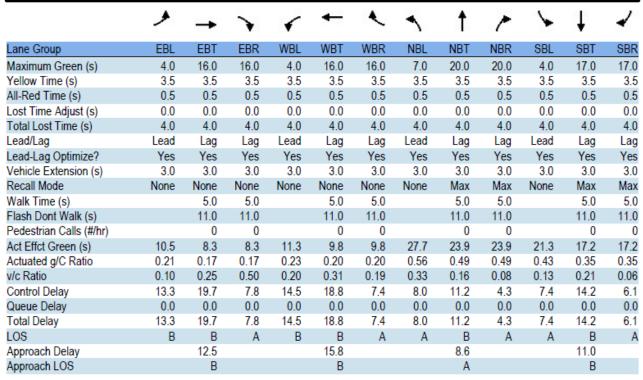
Trip Generation per Student

Average Rate	Range of Rates	Standard Deviation
4.48	2.50 - 7.06	2.37

Data Plot and Equation



Appendix B: Existing Condition AM LOS Results



Intersection Summary

Area Type: Other

Cycle Length: 60

Actuated Cycle Length: 49.1

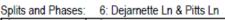
Natural Cycle: 60

Control Type: Semi Act-Uncoord

Maximum v/c Ratio: 0.50

Intersection Signal Delay: 11.9 Intersection LOS: B
Intersection Capacity Utilization 40.5% ICU Level of Service A

Analysis Period (min) 15





HCM Unsignalized Intersection Capacity Analysis

9: Dejarnette Ln & Summit Ct Before Day Ca Before Day Care Center AM Peak Hour Analsyis 8/15/2024

	-	7	1	←	1	-
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	† 1>			^	N/F	
Volume (veh/h)	258	5	8	330	3	3
Sign Control	Free			Free	Stop	
Grade	0%			0%	0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	280	5	9	359	3	3
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type	TWLTL			TWLTL		
Median storage veh)	2			2		
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume			286		480	143
vC1, stage 1 conf vol					283	
vC2, stage 2 conf vol					197	
vCu, unblocked vol			286		480	143
tC, single (s)			4.1		6.8	6.9
tC, 2 stage (s)					5.8	
tF (s)			2.2		3.5	3.3
p0 queue free %			99		100	100
cM capacity (veh/h)			1273		667	879
Direction, Lane #	EB 1	EB 2	WB 1	WB 2	NB 1	
Volume Total	187	99	128	239	7	
Volume Left	0	0	9	239	3	
Volume Right	0	5	0	0	3	
cSH	1700	1700	1273	1700	758	
Volume to Capacity	0.11	0.06	0.01	0.14	0.01	
Queue Length 95th (ft)	0.11	0.00	1	0.14	1	
Control Delay (s)	0.0	0.0	0.6	0.0	9.8	
Lane LOS	0.0	0.0	0.6 A	0.0	9.0 A	
Approach Delay (s)	0.0		0.2		9.8	
Approach LOS	0.0		0.2		9.0 A	
Intersection Summary						
Average Delay	r.		0.2			
Intersection Capacity Utiliz	zation		24.9%	IC	U Level o	of Service
Analysis Period (min)			15			

3: Dejarnette Ln &	Oakland	d Dr		ore Da	•	e Cent	er AM	Peak I	Hour A	nalsyis	8/1	15/2024
	٠	→	•	•	←	1	1	1	1	-	ţ	1
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	ሻ	**	7	ሻ	^	7		4		٦	1	
Volume (veh/h)	20	174	64	225	261	10	74	4	120	2	1	3
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	22	189	70	245	284	11	80	4	130	2	1	3
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		TWLTL			TWLTL							
Median storage veh)		2			2							
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	295			259			867	1016	95	1043	1075	142
vC1, stage 1 conf vol							233	233		773	773	
vC2, stage 2 conf vol							635	784		271	302	
vCu, unblocked vol	295			259			867	1016	95	1043	1075	142
tC, single (s)	4.1			4.1			7.5	6.5	6.9	7.5	6.5	6.9
tC, 2 stage (s)							6.5	5.5		6.5	5.5	
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	98			81			74	99	86	99	100	100
cM capacity (veh/h)	1264			1303			315	293	944	248	290	880
Direction, Lane #	EB 1	EB 2	EB3	EB 4	WB 1	WB 2	WB 3	WB 4	NB 1	SB 1	SB 2	
Volume Total	22	95	95	70	245	142	142	11	215	2	4	
Volume Left	22	0	0	0	245	0	0	0	80	2	0	
Volume Right	0	0	0	70	0	0	0	11	130	0	3	
cSH	1264	1700	1700	1700	1303	1700	1700	1700	527	248	584	
Volume to Capacity	0.02	0.06	0.06	0.04	0.19	0.08	0.08	0.01	0.41	0.01	0.01	
Queue Length 95th (ft)	1	0	0	0	17	0	0	0	49	1	1	
Control Delay (s)	7.9	0.0	0.0	0.0	8.4	0.0	0.0	0.0	16.5	19.6	11.2	
Lane LOS	Α				Α				С	С	В	
Approach Delay (s)	0.6				3.8				16.5	14.0		
Approach LOS									С	В		
Intersection Summary												
Average Delay			5.6									
Intersection Capacity Utiliza	ation		45.6%	IC	CU Level	of Service			Α			
Analysis Period (min)			15									

Appendix C: Existing Condition PM LOS Results

6: Dejarnette Ln & Pitts Ln Before Day Care Cen

Before Day Care Center PM Peak Hour Analsyis

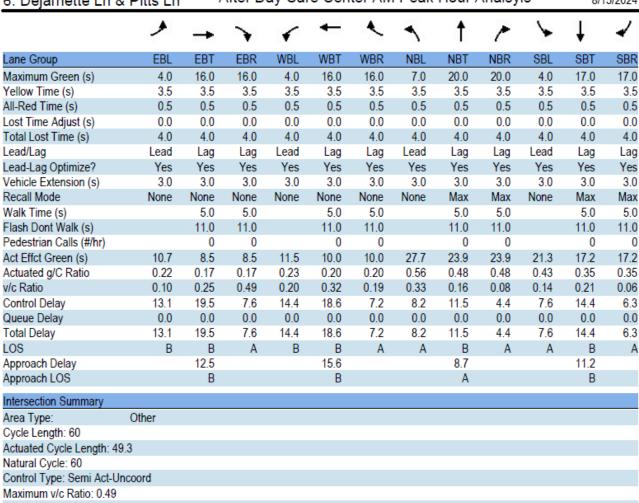
8/15/2024

6. Dejamette Lii &	ielle Lii & Fills Lii		De	lole D	ay Car	e Cen	lei Pivi	reak noul Allaisyls 0/10/2					
	٠	→	•	•	←	•	1	1	-	-	ţ	1	
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
Lane Configurations	*	**	7	ሻ	^	7	ሻ	↑	7	ሻ	^	7	
Volume (vph)	26	186	263	75	303	26	249	92	51	10	126	9	
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	
Total Lost time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	
Lane Util. Factor	1.00	0.95	1.00	1.00	0.95	1.00	1.00	1.00	1.00	1.00	1.00	1.00	
Frt	1.00	1.00	0.85	1.00	1.00	0.85	1.00	1.00	0.85	1.00	1.00	0.85	
Flt Protected	0.95	1.00	1.00	0.95	1.00	1.00	0.95	1.00	1.00	0.95	1.00	1.00	
Satd. Flow (prot)	1770	3539	1583	1770	3539	1583	1770	1863	1583	1770	1863	1583	
Flt Permitted	0.55	1.00	1.00	0.58	1.00	1.00	0.56	1.00	1.00	0.69	1.00	1.00	
Satd. Flow (perm)	1030	3539	1583	1081	3539	1583	1044	1863	1583	1290	1863	1583	
Peak-hour factor, PHF	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	
Adj. Flow (vph)	28	202	286	82	329	28	271	100	55	11	137	10	
RTOR Reduction (vph)	0	0	233	0	0	22	0	0	29	0	0	6	
Lane Group Flow (vph)	28	202	53	82	329	6	271	100	26	11	137	4	
Turn Type	pm+pt		Perm	pm+pt		Perm	pm+pt		Perm	pm+pt		Perm	
Protected Phases	7	4		3	8		5	2		1	6		
Permitted Phases	4		4	8		8	2		2	6		6	
Actuated Green, G (s)	11.8	10.4	10.4	13.4	11.2	11.2	31.7	27.0	27.0	21.3	20.6	20.6	
Effective Green, g (s)	11.8	10.4	10.4	13.4	11.2	11.2	31.7	27.0	27.0	21.3	20.6	20.6	
Actuated g/C Ratio	0.21	0.18	0.18	0.24	0.20	0.20	0.56	0.48	0.48	0.38	0.37	0.37	
Clearance Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	
Vehicle Extension (s)	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	
Lane Grp Cap (vph)	234	654	292	284	704	315	679	893	759	494	682	579	
v/s Ratio Prot	0.00	0.06		c0.01	c0.09		c0.05	0.05		0.00	0.07		
v/s Ratio Perm	0.02		0.03	0.06		0.00	c0.17		0.02	0.01		0.00	
v/c Ratio	0.12	0.31	0.18	0.29	0.47	0.02	0.40	0.11	0.03	0.02	0.20	0.01	
Uniform Delay, d1	17.9	19.8	19.4	17.1	19.9	18.1	6.5	8.1	7.8	10.9	12.2	11.3	
Progression Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	
Incremental Delay, d2	0.2	0.3	0.3	0.6	0.5	0.0	0.4	0.3	0.1	0.0	0.7	0.0	
Delay (s)	18.1	20.1	19.7	17.7	20.4	18.2	6.9	8.3	7.8	11.0	12.9	11.4	
Level of Service	В	С	В	В	С	В	Α	Α	Α	В	В	В	
Approach Delay (s)		19.8			19.8			7.4			12.6		
Approach LOS		В			В			Α			В		
Intersection Summary													
HCM Average Control Dela	ıy		15.6	Н	CM Level	of Servi	ce		В				
HCM Volume to Capacity ra	atio		0.38										
Actuated Cycle Length (s)			56.3	S	um of los	t time (s)			8.0				
Intersection Capacity Utiliza	ation		45.5%	IC	CU Level	of Service	е		Α				
Analysis Period (min)			15										
c Critical Lane Group													

	→	•	1	←	1	-
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	†			^	N.	
Volume (veh/h)	242	5	5	400	4	3
Sign Control	Free			Free	Stop	
Grade	0%			0%	0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	263	5	5	435	4	3
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type	TWLTL			TWLTL		
Median storage veh)	2			2		
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume			268		494	134
vC1, stage 1 conf vol					266	
vC2, stage 2 conf vol					228	
vCu, unblocked vol			268		494	134
tC, single (s)			4.1		6.8	6.9
tC, 2 stage (s)					5.8	
tF (s)			2.2		3.5	3.3
p0 queue free %			100		99	100
cM capacity (veh/h)			1292		664	890
Direction, Lane #	EB 1	EB 2	WB 1	WB 2	NB 1	
Volume Total	175	93	150	290	8	
Volume Left	0	0	5	0	4	
Volume Right	0	5	0	0	3	
cSH	1700	1700	1292	1700	745	
Volume to Capacity	0.10	0.05	0.00	0.17	0.01	
Queue Length 95th (ft)	0	0	0	0	1	
Control Delay (s)	0.0	0.0	0.3	0.0	9.9	
Lane LOS			Α		Α	
Approach Delay (s)	0.0		0.1		9.9	
Approach LOS					Α	
Intersection Summary						
Average Delay			0.2			
Intersection Capacity Utiliz	zation		24.6%	IC	U Level o	f Service
Analysis Period (min)			15			

3: Dejarnette Ln &	& Oakland Dr		Befo	ore Da	y Care	Cente	er PM	Peak Hour Analsyi			8/15/2024	
	۶	→	*	1	←	•	1	†	1	-	↓	1
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	*	^	7	ሻ	*	7		4		7	1	
Volume (veh/h)	8	234	3	1	271	14	112	1	70	6	2	22
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	9	254	3	1	295	15	122	1	76	7	2	24
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		TWLTL			TWLTL							
Median storage veh)		2			2							
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	310			258			446	584	127	518	572	147
vC1, stage 1 conf vol							272	272		297	297	
vC2, stage 2 conf vol							174	312		221	275	
vCu, unblocked vol	310			258			446	584	127	518	572	147
tC, single (s)	4.1			4.1			7.5	6.5	6.9	7.5	6.5	6.9
tC, 2 stage (s)							6.5	5.5		6.5	5.5	
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	99			100			81	100	92	99	100	97
cM capacity (veh/h)	1248			1304			634	567	899	578	575	873
Direction, Lane #	EB 1	EB 2	EB 3	EB 4	WB 1	WB 2	WB 3	WB 4	NB 1	SB 1	SB 2	
Volume Total	9	127	127	3	1	147	147	15	199	7	26	
Volume Left	9	0	0	0	1	0	0	0	122	7	0	
Volume Right	0	0	0	3	0	0	0	15	76	0	24	
cSH	1248	1700	1700	1700	1304	1700	1700	1700	714	578	837	
Volume to Capacity	0.01	0.07	0.07	0.00	0.00	0.09	0.09	0.01	0.28	0.01	0.03	
Queue Length 95th (ft)	1	0.07	0.07	0.00	0.00	0.03	0.03	0.01	28	1	2	
Control Delay (s)	7.9	0.0	0.0	0.0	7.8	0.0	0.0	0.0	12.0	11.3	9.4	
Lane LOS	7.9 A	0.0	0.0	0.0	7.6 A	0.0	0.0	0.0	12.0 B	11.3 B	9. 4	
Approach Delay (s)	0.3				0.0				12.0	9.8	^	
Approach LOS	0.5				0.0				12.0 B	Α.		
Intersection Summary												
Average Delay			3.4									
Intersection Capacity Utiliza	ition		31.4%	IC	U Level o	of Service			Α			
Analysis Period (min)			15									

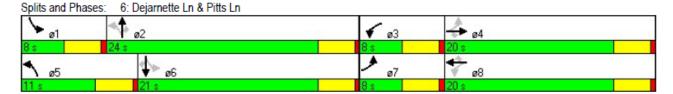
Appendix D: After Day Care Trips AM LOS Results



Intersection Signal Delay: 11.9 Intersection Capacity Utilization 40.6%

Intersection LOS: B ICU Level of Service A

Analysis Period (min) 15



HCM Unsignalized Intersection Capacity Analysis 9: Dejarnette Ln & Summit Ct After Day Care Center AM Peak Hour Analsyis

	→	•	1	←	1	-
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↑ ↑			^	N/F	
Volume (veh/h)	258	14	14	330	11	8
Sign Control	Free			Free	Stop	
Grade	0%			0%	0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	280	15	15	359	12	9
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type	TWLTL			TWLTL		
Median storage veh)	2			2		
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume			296		498	148
vC1, stage 1 conf vol					288	
vC2, stage 2 conf vol					210	
vCu, unblocked vol			296		498	148
tC, single (s)			4.1		6.8	6.9
tC, 2 stage (s)					5.8	
tF (s)			2.2		3.5	3.3
p0 queue free %			99		98	99
cM capacity (veh/h)			1263		657	872
Direction, Lane #	EB 1	EB 2	WB 1	WB 2	NB 1	
Volume Total	187	109	135	239	21	
Volume Left	0	0	15	0	12	
Volume Right	0	15	0	0	9	
cSH	1700	1700	1263	1700	733	
Volume to Capacity	0.11	0.06	0.01	0.14	0.03	
Queue Length 95th (ft)	0	0	1	0	2	
Control Delay (s)	0.0	0.0	1.0	0.0	10.1	
Lane LOS			A		В	
Approach Delay (s)	0.0		0.4		10.1	
Approach LOS			•		В	
Intersection Summary						
Average Delay			0.5			
Intersection Capacity Utiliza	ation		29.4%	IC	U Level o	f Service
Analysis Period (min)	au 211		15	- 10	2 201010	. 5011150
, maryoto i crioù (ililii)			10			

3: Dejarnette Ln &	Oakland	d Dr	Afte	er Day	Care (Center	AM P	eak Ho	our An	alsyis	8/1	5/2024
	٠	→	*	1	←	1	1	1	1	1	ļ	4
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	*	*	7	7	^	7		4		7	1	
Volume (veh/h)	20	179	64	225	267	10	74	4	120	2	1	3
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	22	195	70	245	290	11	80	4	130	2	1	3
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		TWLTL			TWLTL							
Median storage veh)		2			2							
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	301			264			876	1028	97	1053	1087	145
vC1, stage 1 conf vol							238	238		779	779	
vC2, stage 2 conf vol							638	790		273	308	
vCu, unblocked vol	301			264			876	1028	97	1053	1087	145
tC, single (s)	4.1			4.1			7.5	6.5	6.9	7.5	6.5	6.9
tC, 2 stage (s)							6.5	5.5		6.5	5.5	
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	98			81			74	99	86	99	100	100
cM capacity (veh/h)	1257			1297			313	291	940	246	287	876
Direction, Lane #	EB 1	EB 2	EB 3	EB 4	WB 1	WB 2	WB 3	WB 4	NB 1	SB 1	SB 2	
Volume Total	22	97	97	70	245	145	145	11	215	2	4	
Volume Left	22	0	0	0	245	0	0	0	80	2	0	
Volume Right	0	0	0	70	0	0	0	11	130	0	3	
cSH	1257	1700	1700	1700	1297	1700	1700	1700	524	246	579	
Volume to Capacity	0.02	0.06	0.06	0.04	0.19	0.09	0.09	0.01	0.41	0.01	0.01	
Queue Length 95th (ft)	1	0	0	0	17	0	0	0	50	1	1	
Control Delay (s)	7.9	0.0	0.0	0.0	8.4	0.0	0.0	0.0	16.6	19.8	11.3	
Lane LOS	Α				Α				С	С	В	
Approach Delay (s)	0.6				3.8				16.6	14.1		
Approach LOS									С	В		
Intersection Summary												
Average Delay			5.6									
Intersection Capacity Utiliza	ation		45.8%	IC	CU Level	of Service			Α			
Analysis Period (min)			15									

Appendix E: After Day Care Trips PM LOS Results

	۶	→	•	•	—	•	4	1	~	-	Ţ	4
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	7	^	7	7	^	7	ሻ	^	7	ሻ	^	7
Volume (vph)	26	191	263	76	308	28	249	92	52	12	126	9
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Total Lost time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lane Util. Factor	1.00	0.95	1.00	1.00	0.95	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Frt	1.00	1.00	0.85	1.00	1.00	0.85	1.00	1.00	0.85	1.00	1.00	0.85
Flt Protected	0.95	1.00	1.00	0.95	1.00	1.00	0.95	1.00	1.00	0.95	1.00	1.00
Satd. Flow (prot)	1770	3539	1583	1770	3539	1583	1770	1863	1583	1770	1863	1583
Flt Permitted	0.55	1.00	1.00	0.58	1.00	1.00	0.56	1.00	1.00	0.69	1.00	1.00
Satd. Flow (perm)	1017	3539	1583	1075	3539	1583	1036	1863	1583	1290	1863	1583
Peak-hour factor, PHF	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Adj. Flow (vph)	28	208	286	83	335	30	271	100	57	13	137	10
RTOR Reduction (vph)	0	0	233	0	0	24	0	0	30	0	0	7
Lane Group Flow (vph)	28	208	53	83	335	6	271	100	27	13	137	3
Turn Type	pm+pt		Perm	pm+pt		Perm	pm+pt		Perm	pm+pt		Perm
Protected Phases	7	4		3	8		5	2		1	6	
Permitted Phases	4		4	8		8	2		2	6		6
Actuated Green, G (s)	11.8	10.4	10.4	13.4	11.2	11.2	31.5	26.8	26.8	20.3	19.6	19.6
Effective Green, g (s)	11.8	10.4	10.4	13.4	11.2	11.2	31.5	26.8	26.8	20.3	19.6	19.6
Actuated g/C Ratio	0.21	0.19	0.19	0.24	0.20	0.20	0.56	0.48	0.48	0.36	0.35	0.35
Clearance Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Vehicle Extension (s)	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0
Lane Grp Cap (vph)	233	656	293	284	707	316	685	890	756	473	651	553
v/s Ratio Prot	0.00	0.06		c0.01	c0.09		c0.06	0.05		0.00	0.07	
v/s Ratio Perm	0.02		0.03	0.06		0.00	c0.17		0.02	0.01		0.00
v/c Ratio	0.12	0.32	0.18	0.29	0.47	0.02	0.40	0.11	0.04	0.03	0.21	0.01
Uniform Delay, d1	17.8	19.8	19.3	17.1	19.8	18.0	6.6	8.1	7.8	11.5	12.8	11.9
Progression Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Incremental Delay, d2	0.2	0.3	0.3	0.6	0.5	0.0	0.4	0.3	0.1	0.0	0.7	0.0
Delay (s)	18.0	20.1	19.6	17.6	20.3	18.1	6.9	8.3	7.9	11.5	13.6	11.9
Level of Service	В	С	В	В	С	В	Α	Α	Α	В	В	В
Approach Delay (s)		19.7			19.7			7.4			13.3	
Approach LOS		В			В			Α			В	
Intersection Summary												
HCM Average Control Delay			15.6	Н	CM Leve	of Servi	ce		В			
HCM Volume to Capacity ra	tio		0.38									
Actuated Cycle Length (s)			56.1		um of los				8.0			
Intersection Capacity Utilizat	tion		45.6%	IC	CU Level	of Service	9		Α			
Analysis Period (min)			15									
c Critical Lane Group												









2 Wheel Basic Riders Course Murfreesboro Oakland

Basic Riders Course

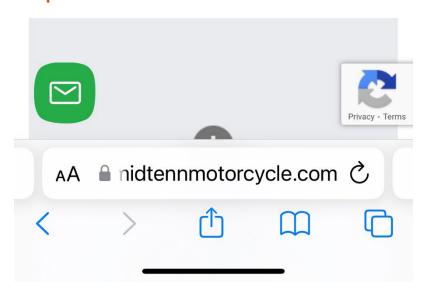
m 07/30/2022 -07/31/2022⊙ 8:00 am - 5:00 pm

We're sorry, but all tickets sales have ended because the event is expired.

Location: Murfreesboro Oakland High School

Address:

Oakland High School, 2225 Patriot Drive, Murfreesboro, Tennessee, 37130, United States



9/9/24, 3:33 PM Google Maps

Google Maps



Imagery ©2024 Airbus, Maxar Technologies, Map data ©2024 100 ft

MURFREESBORO BOARD OF ZONING APPEALS STAFF REPORT ADDENDUM

SEPTEMBER 25, 2024

PROJECT PLANNER: BRAD BARBEE

Application: Z-24-034

Location: 4546 Veterans Parkway

Applicant: Clyde Rountree of Huddleston Steele Engineering on behalf of Veterans Plaza,

LLC./Ed Freeman

Owner: Veterans Plaza, LLC – Ed Freeman

Zoning: Commercial Fringe (CF)

Requests: A Special Use Permit to operate a Self-Service Storage Facility.

During the August 28, 2024, meeting of the Murfreesboro Board of Zoning Appeals, this application was reviewed and the Board deferred action in order to allow the applicant to further work with City staff to provide a design that would lessen the potential impacts of shadow and building mass on the adjacent residential property owners.

On September 10, 2024, staff provided 3D imaging of the project with views from the Cloister Subdivision looking toward the proposed facility. Staff also made a recommendation to reduce the height of the proposed facility to 1 story in height in the area closest to the Cloister and also to provide additional separation. As an alternative, staff also presented the option of potentially locating the 1st floor below grade (basement level) and maintaining only two stories above grade.

Since that time staff has received revised architectural and site designs that restore the entirety of the proposed structure to three (3) stories in height and shift the structure south to provide approximately 100ft of separation between the Cloister neighborhood and the proposed storage facility. The loading and unloading areas have also been relocated to the north side of the building. A solid waste enclosure is still provided to the east of the proposed building.

Staff is concerned with the revision of the structure to 3 stories in height and the relocation of the loading and unloading area to the north side of the facility. In addition, the structure now appears to be located within 20ft of the proposed Sullivans Retreat residential development to the south. These items have the potential for creating negative impacts. Staff recommends that the Board review these items and discuss prior to rendering a decision.

MURFREESBORO BOARD OF ZONING APPEALS STAFF REPORT

AUGUST 28, 2024

PROJECT PLANNER: BRAD BARBEE

Application: Z-24-034

Location: 4546 Veterans Parkway

Applicant: Clyde Rountree of Huddleston Steele Engineering on behalf of Veterans Plaza,

LLC. /Ed Freeman

Owner: Veterans Plaza, LLC – Ed Freeman

Zoning: Commercial Fringe (CF)

Requests: A Special Use Permit to operate a Self-Service Storage Facility.



Overview of Request

The applicant, Clyde Rountree, representing Veterans Plaza, LLC., wishes to operate a three story, 58,057 square foot, Self-Service Storage Facility. The property is located at 4546 Veterans Parkway and is currently undeveloped. City of Murfreesboro Zoning Ordinance, Chart 1 (Uses Permitted by Zoning District) of the Murfreesboro Zoning Ordinance lists Self-Service Storage Facility as a use allowed by Special Use Permit in the CF district.

This property was previously approved for a Self-Service Storage Facility in 2016 (2016 Z 056) and included future office and retail space. The 2016 approval was for an approximately 44,000 square foot facility, divided into multiple buildings that were single story and non-climate controlled.

In 2023, this property was approved for a 55,363 square foot, single story, climate controlled self-storage building (2023 Z 072) located to the east of this current proposal.

The Commercial Fringe (CF) district serves as a transition between more intensive commercial zoning classifications and less intensive residential classifications. Due to the potential for negative impacts, self-service storage facilities are only permitted in the CF district with the issuance of a special use permit. Impacts such as increased traffic, noise, debris, and loss of light, are considerations for the site design to abate so the new development does not prevent the adjacent owners from fully enjoying their personal properties.

The potential negative impact of increased noise has been improved with a single, climate-controlled facility where the units are accessed internally. This facility design will also lessen the distribution of traffic across the property by having limited access points to the building where customers are able to load and unload items for storage. The impact of the shadow from the proposed building onto the adjacent single-family neighborhood has been discussed and the applicant has reduced the structure to two stories on the northern end of the building to reduce the shadow that overlaps onto the neighboring properties. An enclosed dumpster is shown for the disposal of debris on the eastern side of the building. In addition to these design features, a vegetative, type "D" landscape buffer is required, and shown, along portions of the northern and southern property lines. This buffer will also help lessen the visual impact of having a commercial business in close proximity to the residents of the Cloister Subdivision to the north. At maturity, this buffer will also provide additional protection for the adjacent residents by providing a barrier for debris that is not captured within the provided dumpster. A 6ft tall opaque privacy fence is also proposed along the northern and southern property lines where the vegetative buffers have been shown to limit access to the facility and provide additional screening.

The property is bordered by Section 1 of the Cloister Subdivision to the north and undeveloped property zoned Commercial Highway (CH) to the south. The Meadow Lane, Section 1 Subdivision is across Overall Creek to the east.

Relevant Zoning Ordinance Sections

Chart 1 of the City of Murfreesboro Zoning Ordinance allows Self-Service Storage Facilities as a special use in the CF district. City of Murfreesboro Zoning Ordinance Section 9(D)(2)(uuu) sets forth standards for Self-Service Storage Facilities in addition to the Standards of General Applicability in Section 9(C).

The applicable standards are listed below with information from Staff on how the applicant intends to address them. After reviewing the criteria for the special use requirements for temporary vending uses, this project appears to meet the criteria.

Standards of General Applicability with Staff analysis:

(1) The proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare:

Staff has reviewed the application and documentation and believes that additional impact may be present. The proposal is for a 3-story tall facility that is in close proximity to residential property to the north. The self-service storage facilities typically generate minimal traffic and parking demand; however, the mass of the building may cause a loss of light to the neighboring properties. The applicant has voluntarily reduced the storage building height from 3 stories to 2 stories on the northern portion of the building to reduce this impact. An exhibit has been included to show the estimated impact of the shadow on the adjacent properties.

(2) The proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations:

Staff has reviewed the application and documentation and believe that this standard has been met. The proposed development is required to provide a minimum 15ft wide, type D landscape buffer to separate this development from the residential property located to the north. The operation, construction, arrangement, and use are consistent with other Self Storage facilities and should not interfere with the development or use of the adjacent properties. Exterior lighting will be designed so that no more than 0.5 footcandles of light is present beyond the property line, and parking is designed so that no headlights will shine into the back yards of adjacent properties.

(3) The proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services:

The property is located along Veterans Parkway and can be adequately served by city services including Murfreesboro Police, Fire, public roads, water, and sewer. Staff believes this application will not hinder the above services. Parking on this site is designed to meet the minimum standards required by the Murfreesboro Zoning Ordinance.

(4) The proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be significant natural, scenic, or historic importance:

This standard has been met because no features of significant natural, scenic, or historic importance have been identified on the subject property.

(5) The proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use:

Additional standards for Self Service Storage Facilities are listed below.

Additional Standards for Self Service Storage Facilities with Staff Analysis:

Self Service Storage Facilities shall be subject to the following additional standards:

(1) The following activities shall be prohibited:

- [a] auctions; commercial, wholesale, or retail sales; and miscellaneous or garage sales; The applicant has agreed to prohibit these activities and include their prohibition as a part of the rental agreement.
- [b] the servicing, repairing, or fabrication of motor vehicles, boats, trailers, lawn mowers, appliances, or other similar equipment;

The applicant has agreed to prohibit these activities and include their prohibition as a part of the rental agreement.

[c] the operation of power tools, spray painting equipment, table saws, lathes, compressors, welding equipment, kilns, or other similar equipment;

The applicant has agreed to prohibit these activities and include their prohibition as a part of the rental agreement.

[d] the establishment of a transfer or storage business;

The applicant has agreed to prohibit these activities and include their prohibition as a part of the rental agreement.

[e] the using, operating, or permitting to be played, used or operated any radio receiving set, musical instrument, phonograph, live band, amplifiers, loudspeakers, or other machine or device for producing or reproducing sound in such a manner as to disturb the peace, quiet and comfort of neighboring residents at any time with louder volume than is necessary for convenient hearing for the persons responsible for producing or reproducing such sound;

The applicant has agreed to prohibit these activities and include their prohibition as a part of the rental agreement.

[f] any use of individual units for residential purposes, including but not limited to cooking or sleeping;

The applicant has agreed to prohibit these activities and include their prohibition as a part of the rental agreement.

[g] any use that is noxious or offensive because of odors, dust, noise, fumes, or vibrations; or

The applicant has agreed to prohibit these activities and include their prohibition as a part of the rental agreement.

[h] Any lot on which a self-service storage facility is located shall have a minimum separation of three hundred (300) feet from any major intersection. For purposes of this subsection, "major intersection" shall be defined as the as the nearest intersection of the rights-of-way of: any two arterial streets; any arterial street and any collector street; or any two collector streets. Notwithstanding the foregoing, the owner or manager of the mini-storage facility may conduct auctions and repair and maintain the premises when reasonably required in the usual and customary operation of the ministorage business;

The subject property is approximately 1,600 feet away from the closest major intersection.

(2) for self-service storage facilities that have a side or rear property line abutting a property used for single family purposes or classified in the RS or RD classifications or the residential portion of a planned development a minimum ten-foot wide landscape strip shall be provided which shall be planted in accordance with Section 27 of this article and at the discretion of the BZA may include earth berms, masonry fences, or walls. The applicant or owner shall post a surety instrument to assure the landscaping and screening will be maintained the first three years;

The proposed development will provide the required 15ft wide type D buffer along the property to the north. This property is classified Planned Residential Development (PRD).

(3) self-service storage facilities shall provide on-site a minimum ten foot landscape strip along the front property line abutting all public rights-of-way. This landscape strip shall be planted in accordance with Section 27 of this article and at the discretion of the BZA may include earth berms, masonry fences or walls;

The proposed development is a part of a larger overall development. The landscape plan provides the required 10ft landscape strip along the public right of way.

(4) all storage shall be indoors. However, an area may be provided on-site to be used for outdoor storage of RVs, trailers, cars, and boats. Such area shall be used exclusively for this purpose and shall be screened from the view of adjoining residential areas in the manner as described in sub-sections 2 and 3 above;

The applicant does not propose any outdoor storage areas with this application. The large area to the east where the future Storeplace #2 is labeled will remain undeveloped and covered with grass until such time the construction of the Storeplace #2 building is authorized.

(5) the BZA may require additional standards be met including additional screening, placement of screening, placement and orientation of on-site lighting and security systems in order to assure the compatibility of the proposed location with adjoining properties.

The applicant is aware of this standard and will comply with any additional standards.

Staff Comments:

Staff recommends approval of the Special Use Permit, based on the application materials and plans submitted which meet the minimum development standards, and subject to the following recommended conditions of approval.

Recommended Conditions of Approval:

- 1) The special use permit approval is for a three story, approximately 58,000 square foot, climate controlled self-storage facility.
- 2) The applicant shall provide a 15- foot wide, type D landscape buffer per Section 27 of the Murfreesboro Zoning Ordinance along the northern property line.
- 3) This BZA approval shall supersede all previous approvals by the BZA.
- 4) The structure shall comply with the Murfreesboro Design Guidelines and be consistent with the architectural building elevations submitted with this application.
- 5) BZA approval does not imply approval of the Site Plan. A site plan shall be submitted for review and approval, subject to compliance with the Murfreesboro Zoning Code and Design Guidelines.
- 6) The owner shall operate the self-storage facility in compliance with the Zoning Ordinance Self-Service Storage Facilities additional standards, as set forth in Section 9.(D)(2)(uuu).

Attached Exhibits

- 1. Site photos
- 2. Letter of explanation from applicant
- 3. BZA Application
- 4. Site Plan

Site Photo #1



6.6.2024

Ben Newman, Director of Land Management & Planning 111 W. Vine Street, P.O. Box 1139 Murfreesboro, TN 37133-1139

Re: BZA Application for a Special Use Permit Amendment – 4546 Veterans Parkway – Phase 1

Dear Mr. Newman,

Please review the following request for a Special Use Permit on property zoned CF. The nature of this request is resulting from a revised master plan on the subject property which was previously granted a Special Use Permit. The primary change is the removal of the approved retail/office building, and a smaller climate-controlled storage.

Section 8 (Procedure for Uses Requiring Special Permits)

- (D)Procedure.
- (1) The owner or other person having a contractual interest in the property which is the site of the proposed special use shall file an application for a special use permit with the Zoning Administrator, which application shall be accompanied by a nonrefundable fee established from time to time by the Council and shall contain the following information: (a) name, address, and telephone number of the applicant; Mr. J. Edmond Freeman Jr., StorPlace Self-Storage, 109 Murphy Court, Nashville, TN. 37203.
- (b) nature and extent of the applicant's ownership interest in the property which is the site of the proposed special use; Ed Freeman, ed@storplace.com.
- (c) a site plan of the site of the proposed special use drawn at a scale to allow adequate review. Site plans for developments of less than one hundred fifty acres will be at a scale of not less than one hundred feet to the inch. For development between one hundred fifty and one thousand acres, site plans will be at least two hundred feet to the inch. Site plans shall contain the following information: Included
- [1] property boundary lines and dimensions, available utilities, and easements, roadways, rail lines and public rights-of-way crossing and/or adjacent to the subject property; Included
- [2] the proposed height, dimensions and arrangement of buildings on a site; Included
- [3] the type and location of landscaping proposed for the site; Included
- [4] the location of points of ingress to and egress from the site; Included

- [5] the location of existing and proposed driveways, parking lots, and loading areas; Included
- [6] any proposed re-grading of the site and any topographical or physical features of the site including watercourses. Included
- (d) address of the site of the proposed special use; 4542 Veterans Parkway
- (e) unless modified less restrictively by the Department, a vicinity map showing the property which is the site of the proposed special use and all parcels of property within a five-hundred-foot radius. Such vicinity maps shall show any and all streets, roads, or alleys and shall indicate the owner's name and dimensions of each parcel of property shown; Shown on the Civil Sheets.
- (f) zoning classification of the property which is the site of the proposed special use; Commercial Fringe
- (g) the proposed special use to be located on such property with a description of the manner in which the special use will be conducted or operated, including, but not limited to, the following:
 - [1] the hours of days of operation: 8 am to 6 pm (with 24-hour controlled access)
 - [2] the duration of the proposed special use; indefinitely
 - [3] the number of expected customers, patrons, clients, or patients that will be expected to utilize any proposed facility or participate in any program connected with the proposed special use; 40 per day.
 - [4] the projected traffic that will be expected to be generated by the proposed use: 40 trips per day.
- (h) the potentially harmful characteristics of the proposed special use for the zoning district in which it is proposed to be located and the manner in which the applicant proposes to eliminate or minimize them: no harmful characteristics are anticipated with this use.

Section 9 (Standards for Special Permit Uses)

- (C)Standards of general applicability. An applicant for a special permit shall present evidence at the public hearing on such special permit, which evidence must establish:
- (1) that the proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare; no substantial or undue adverse effect upon adjacent property.
- (2) that the proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations; the subject property is currently zoned CF and will remain so. The development pattern along Veterans Parkway is trending towards commercial in the area of the subject property and should not interfere with the current development pattern.

- (3) that the proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services; Veterans Parkway is a rapidly developing corridor and as such has the infrastructure to support the proposed uses for the subject property.
- (4) that the proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance; no proposed buildings or use will have adverse effects on the nature, scenery, or history around the subject property.
- (5) that the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use. The proposed buildings are attached to this application and are believed to meet the design standards imposed on them from the zoning ordinance.

This Special Use Permit Amendment will not change the characteristics of the site utilization due to the simple change from non-climate-controlled storage to climate-controlled storage. The proposed climate-controlled storage represents an increase of 60,000+/- SF.

- D.(uuu) Self-service storage facilities shall be subject to the following additional standards:
- (1) the following activities shall be prohibited:
- [a] auctions; commercial, wholesale, or retail sales; and miscellaneous or garage sales; Activities will be prohibited will be stated in contract.
- [b] the servicing, repairing, or fabrication of motor vehicles, boats, trailers, lawn mowers, appliances, or other similar equipment; Activities will be prohibited will be stated in contract.
- [c] the operation of power tools, spray painting equipment, table saws, lathes, compressors, welding equipment, kilns, or other similar equipment; Activities will be prohibited will be stated in contract.
- [d] the establishment of a transfer or storage business; Activity will be prohibited will be stated in contract.
- [e] the using, operating, or permitting to be played, used or operated any radio receiving set, musical instrument, phonograph, live band, amplifiers, loudspeakers, or other machine or device for producing or reproducing sound in such a manner as to disturb the peace, quiet and comfort of neighboring residents at any time with louder volume than is necessary for convenient hearing for the persons responsible for producing or reproducing such sound; Activities will be prohibited will be stated in contract..
- [f] any use of individual units for residential purposes, including but not limited to cooking or sleeping; Activities will be prohibited will be stated in contract.
- [g] any use that is noxious or offensive because of odors, dust, noise, fumes, or vibrations; or Activities will be prohibited will be stated in contract.
- [h] Any lot on which a self-service storage facility is located shall have a minimum separation of three hundred (300) feet from any major intersection. For purposes of this subsection, "major intersection" shall be defined as the as the nearest intersection of the rights-of-way of: any two arterial streets; any arterial street and any collector street; or any two collector streets. Notwithstanding the foregoing, the owner or manager of the ministorage facility may conduct auctions and repair and maintain the premises when reasonably required in the usual and customary operation of the ministorage business; The criteria is met as shown on the site plan.

 (2) for self-service storage facilities that have a side or rear property line abutting a property used for single
- (2) for self-service storage facilities that have a side or rear property line abutting a property used for single family purposes or classified in the RS or RD classifications or the residential portion of a planned development a minimum ten-foot wide landscape strip shall be provided which shall be planted in accordance with Section 27

of this article and at the discretion of the BZA may include earth berms, masonry fences, or walls. The applicant or owner shall post a surety instrument to assure the landscaping and screening will be maintained for the first three years; A surety instrument will be provided.

- (3) self-service storage facilities shall provide on-site a minimum ten foot landscape strip along the front property line abutting all public rights-of-way. This landscape strip shall be planted in accordance with Section 27 of this article and at the discretion of the BZA may include earth berms, masonry fences or walls; The criteria is met as shown on the site plan.
- (4) all storage shall be indoors. However, an area may be provided on-site to be used for outdoor storage of RVs, trailers, cars, and boats. Such area shall be used exclusively for this purpose and shall be screened from the view of adjoining residential areas in the manner as described in sub-sections 2 and 3 above; and, no outdoor storage is part of this development this will be stated in the contract.
- (5) the BZA may require additional standards be met including additional screening, placement of screening, placement and orientation of on-site lighting and security systems in order to assure the compatibility of the proposed location with adjoining properties Understood. We believe we have satisfied the expectations of the zoning ordinance and the planning staff.

Thank you for considering our request.

Chyde Pant

Sincerely,

Clyde Rountree, RLA

BOARD OF ZONING APPEALS City of Murfreesboro HEARING REQUEST APPLICATION

Location/Street Address: Tax Map: 93 Group: 4540 VELEGALO PARKMAY Parcel: 26.00 Zoning District:

City: Murpessage Applicant: Hubbleson-Steple Address: 2115 N.W. PRESE STREET E-Mail: State: TM. Phone: Zip: 37129

Property Owner: VENEPAUS PLASA LLC.

Address: 109 MURRY COURT State: 71 Zip: 37763

Phone:

City:

MACHVICA

Request: SPECIAL USE PERMIT

Zoning District:

Applicant Signature: /

Date: 6.6.2024

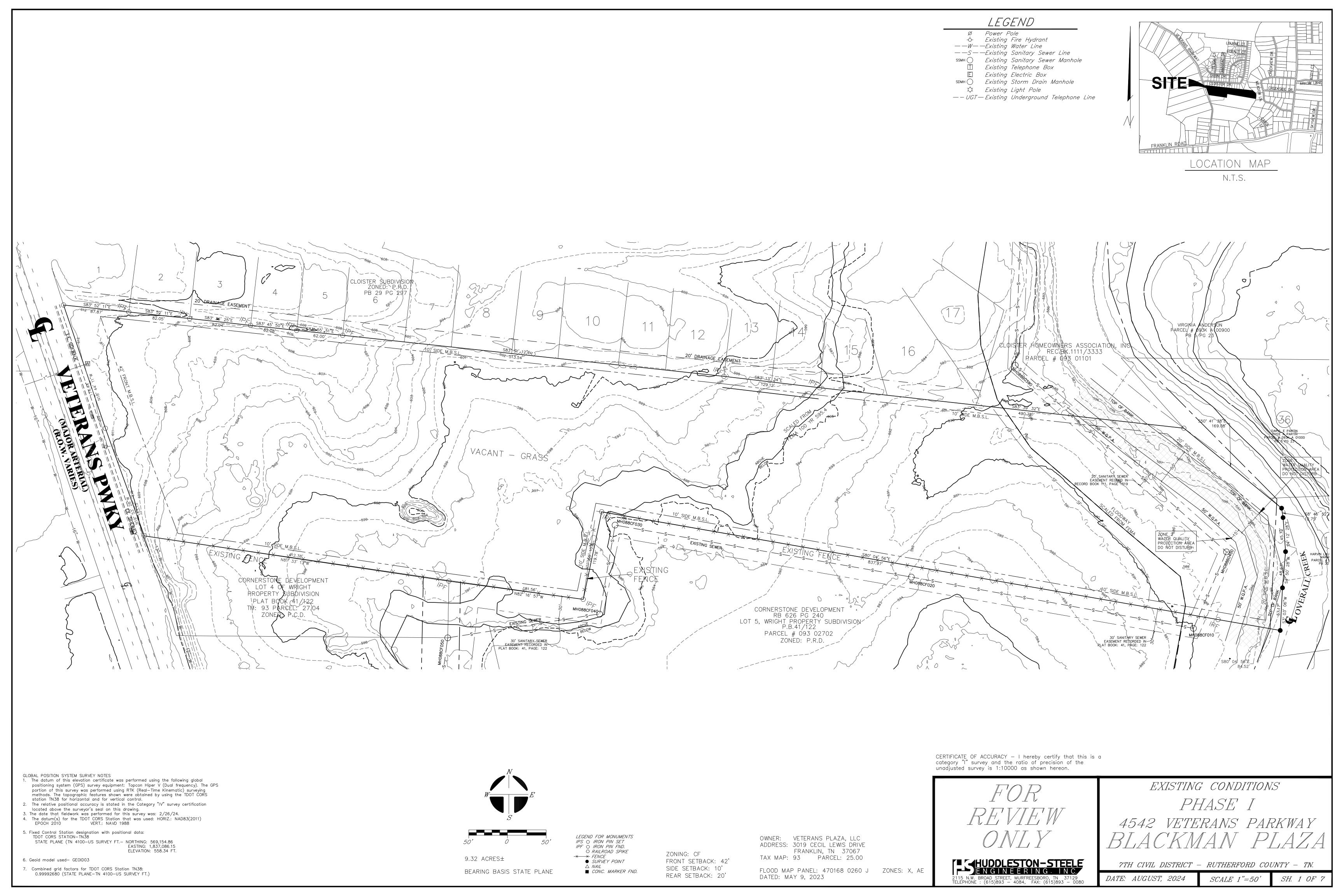
Application #: Received By: Date: Receipt #:

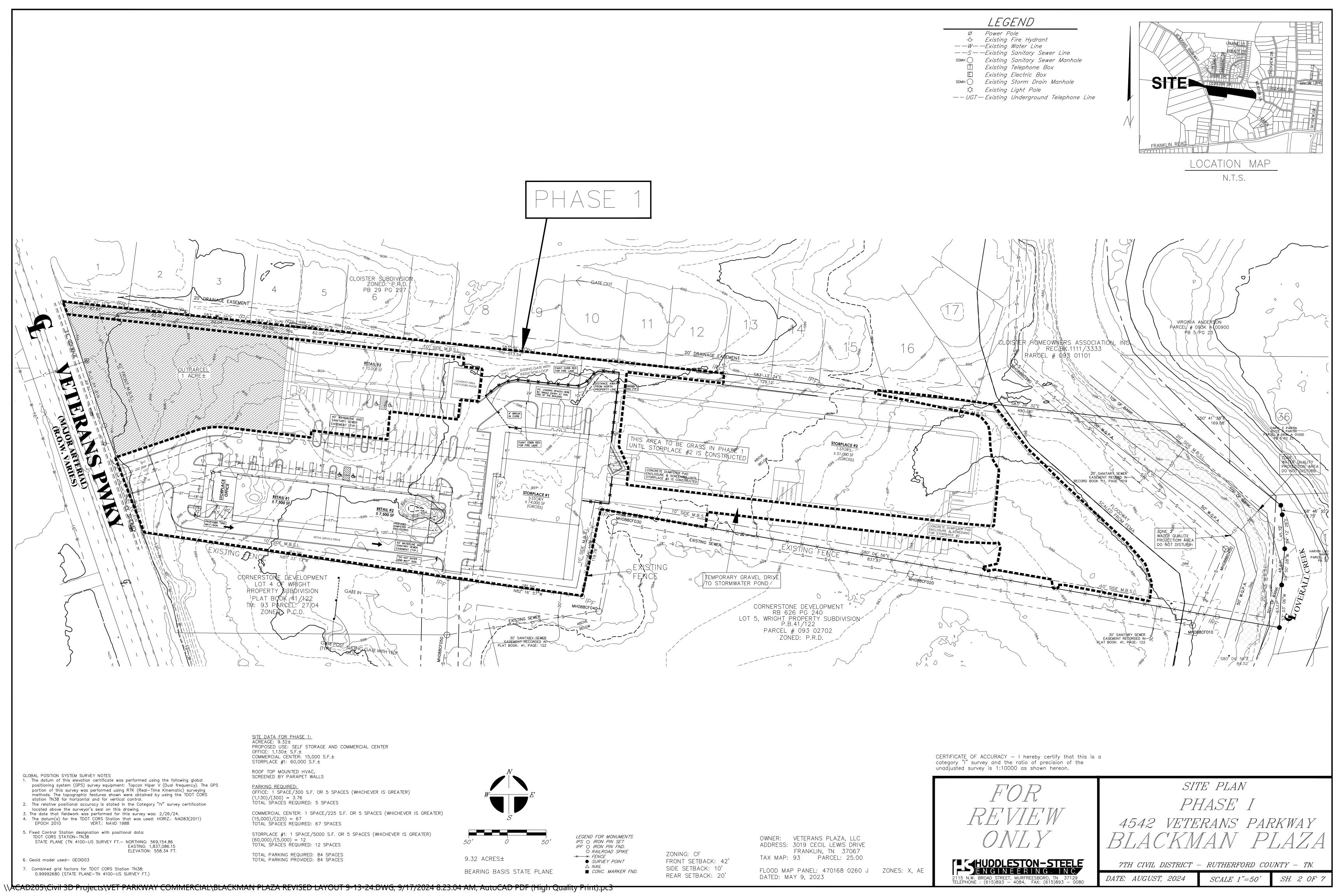
> Zoning Appeals Murfreesboro Board of



T E Z Z E S S E

GENERAL INFORMATION HEARING APPLICATION AND





1. Complete specifications for the sewer lines, "Sewer Line Specifications and Drawings", November 2022 Ed., are on file at the Murfreesboro Water Resources Department Engineering Annex and can also be found online at

https://www.murfreesborotn.gov/DocumentCenter/View/26344/ 2022-Final-Sewer-Specifications-and-Details

2. Sewer construction must be in accordance with all MWRD specifications and drawings. 3. Contractor must have a State of Tennessee license,

Municipal Utility (MU) classification, to perform work. 4. Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.

5. Trench check dams, as called out in the MWRD Specifications, are to be installed at the discretion of the Water & Sewer Department.

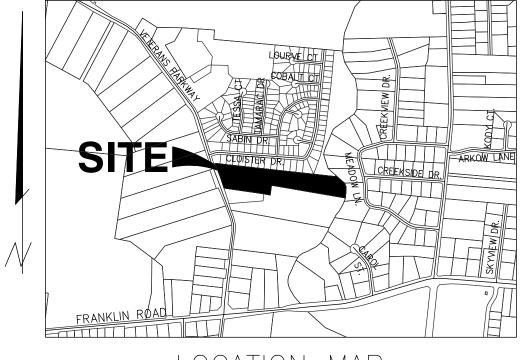
6. The existing sewer mains and/or manholes must be tested and/or televised before and after construction. Should the sewer not be tested and/or televised prior to construction any defects found after construction will be the responsibility of the contractor to repair at his or her

7. All proposed manholes must be wrapped in a Conseal, or an approved equal, 12" minimum water and soil barrier wrap at each manhole section joint and at any other manhole component as directed by MWRD. 8. No more than 25 percent of the dollar amount of the Contract may be awarded to subcontractors. 9. A maximum of 2 - 6" (6 in.) adjustment rings will be allowed per any existing or proposed manholes associated with this installation. If any manhole requires adjustment beyond the 2-6" adjustment rings allowed then the contractor must remove, adjust, or add barrel sections to the manhole to get it to grade at his or her own expense.

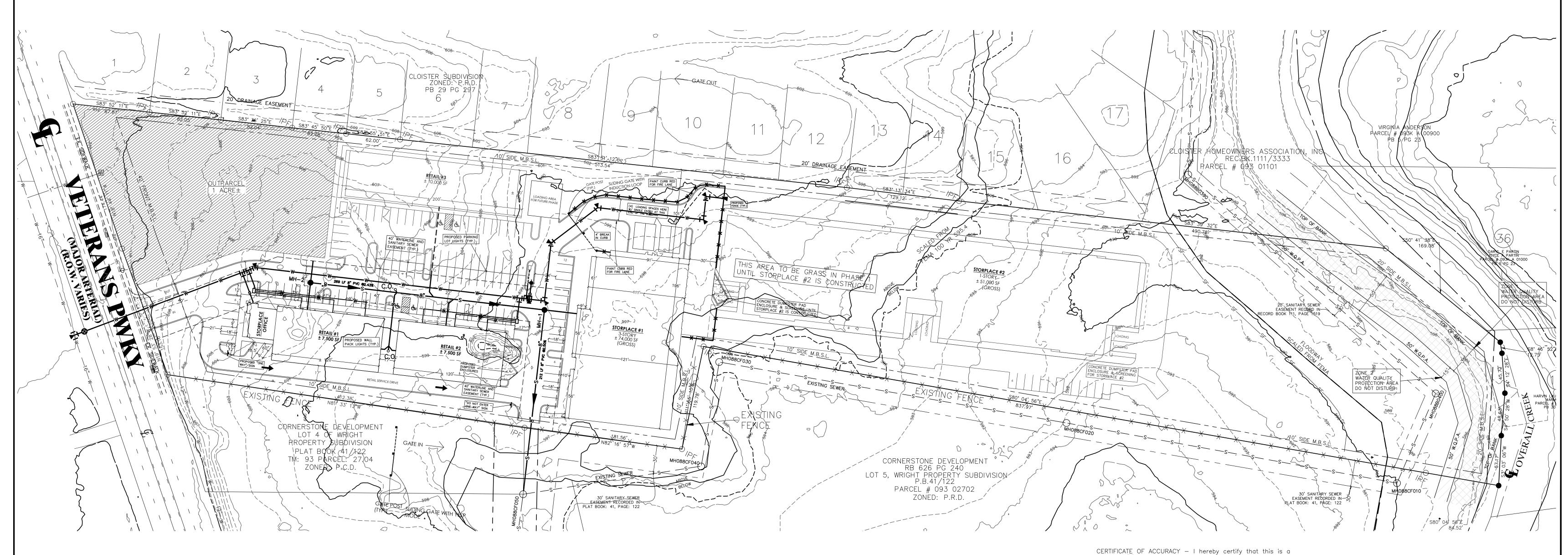
10. All newly constructed sanitary sewer mains, rehabilitated sanitary sewer laterals and mains, existing sanitary sewer mains that intersect under or over a newly constructed or removed utility, or any sewer main that has been physically altered in any way must be fully televised via an in-line Closed Circuit Television (CCTV) post construction survey fully compliant with the guidelines set forth by the National Association of Sewer Service Companies' (NASSCO) Pipeline Assessment Certification Program (PACP) at the expense of the contactor.

LEGEND

- Ø Power Pole -Ò- Existing Fire Hydrant —W— —Existing Water Line ——S——Existing Sanitary Sewer Line
- Existing Telephone Box Existing Electric Box
- Existing Light Pole — - UGT — Existing Underground Telephone Line



LOCATION MAP N.T.S.



GLOBAL POSITION SYSTEM SURVEY NOTES The datum of this elevation certificate was performed using the following global positioning system (GPS) survey equipment: Topcon Hiper V (Dual frequency). The GPS portion of this survey was performed using RTK (Real—Time Kinematic) surveying methods. The topographic features shown were obtained by using the TDOT CORS station TN38 for horizontal and for vertical control. 2. The relative positional accuracy is stated in the Category "IV" survey certification

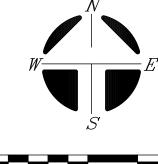
located above the surveyor's seal on this drawing. The date that fieldwork was performed for this survey was: 2/26/24. 4. The datum(s) for the TDOT CORS Station that was used: HORIZ.: NAD83(2011) VERT.: NAVD 1988

5. Fixed Control Station designation with positional data: TDOT CORS STATION-TN38 STATE PLANE (TN 4100-US SURVEY FT.- NORTHING: 569,154.86

6. Geoid model used— GEOID03

7. Combined grid factors for TDOT CORS Station TN38: 0.99992680 (STATE PLANE-TN 4100-US SURVEY FT.) NOTE: CORING OF THE MANHOLE MUST BE DONE ONLY UNDER THE SUPERVISION OF AN MWRD INSPECTOR

NOTE: THIS PROPERTY IS WITHIN OVERALL CREEK SPECIAL ACCESSMENT DISTRICT



BEARING BASIS STATE PLANE

9.32 ACRES±

× FENCE

LEGEND FOR MONUMENTS IPS O IRON PIN SET IPF O IRON PIN FND.

O RAILROAD SPIKE SURVEY POINT ■ CONC. MARKER FND.

ZONING: CF FRONT SETBACK: 42' SIDE SETBACK: 10' REAR SETBACK: 20'

OWNER: VETERANS PLAZA, LLC ADDRESS: 3019 CECIL LEWIS DRIVE FRANKLIN, TN 37067 TAX MAP: 93 PARCEL: 25.00

FLOOD MAP PANEL: 470168 0260 J ZONES: X, AE DATED: MAY 9, 2023

category "I" survey and the ratio of precision of the unadjusted survey is 1:10000 as shown hereon.

UTILITY PLAN PHASE I 4542 VETERANS PARKWAY

DATE: AUGUST, 2024

7TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

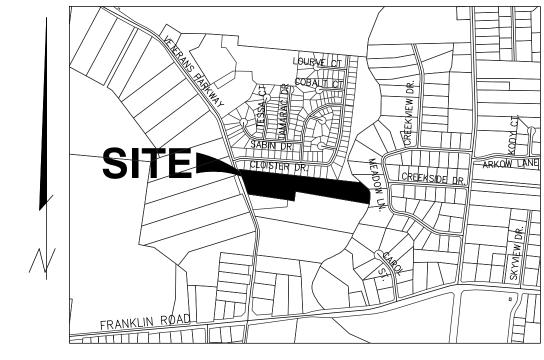
SCALE 1"=50'

SH. 3 OF 7

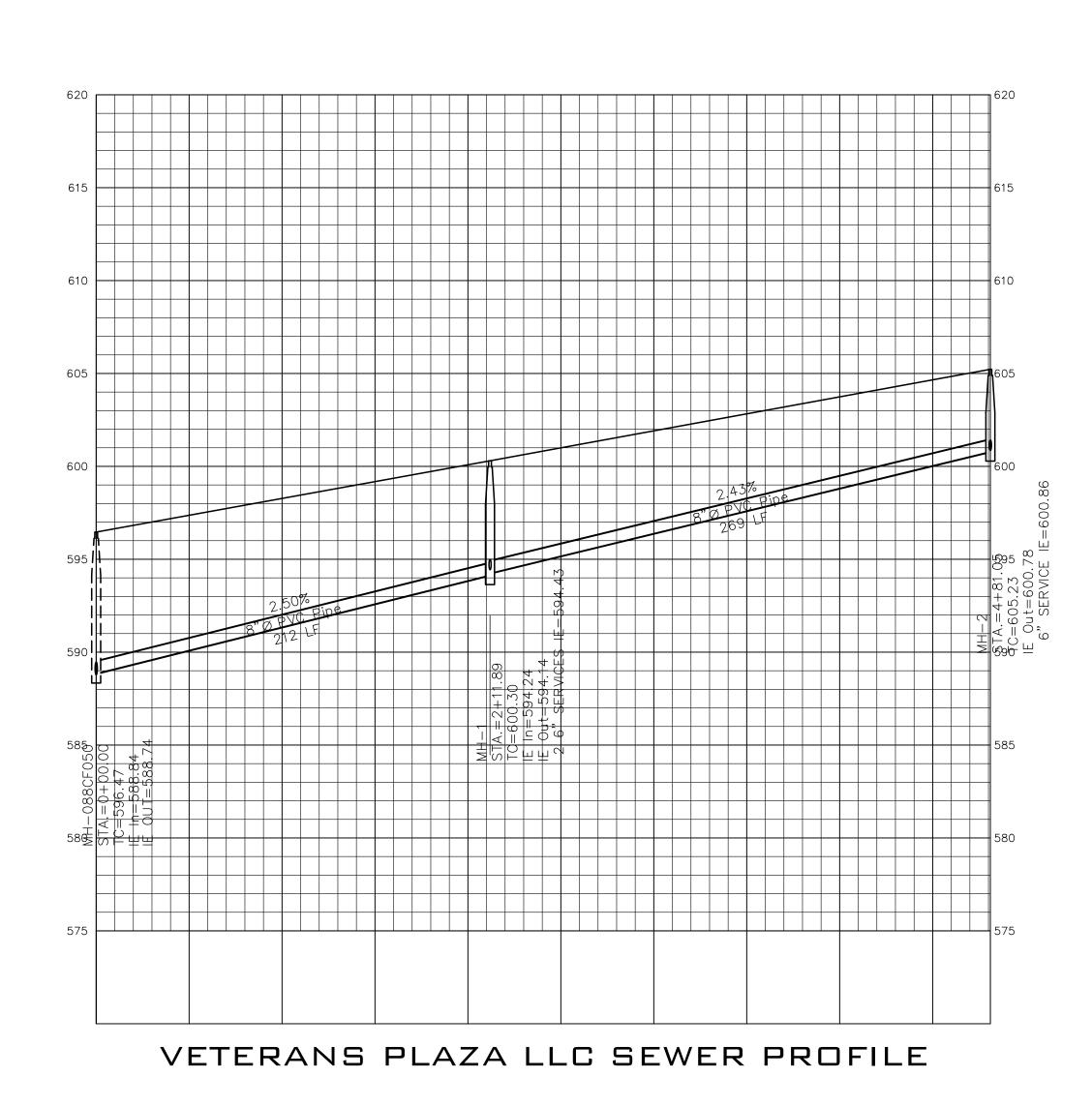
LEGEND

Ø Power Pole
-Ò- Existing Fire Hydrant
---W--Existing Water Line
---S--Existing Sanitary Sewer Line SSMH Existing Sanitary Sewer Manhole Existing Telephone Box E Existing Electric Box

SDMH Existing Storm Drain Manhole ♥ Existing Light Pole —— UGT — Existing Underground Telephone Line



LOCATION MAP N.T.S.



GLOBAL POSITION SYSTEM SURVEY NOTES 1. The datum of this elevation certificate was performed using the following global positioning system (GPS) survey equipment: Topcon Hiper V (Dual frequency). The GPS portion of this survey was performed using RTK (Real—Time Kinematic) surveying methods. The topographic features shown were obtained by using the TDOT CORS station TN38 for horizontal and for vertical control. 2. The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.

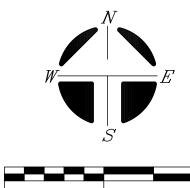
3. The date that fieldwork was performed for this survey was: 2/26/24. 4. The datum(s) for the TDOT CORS Station that was used: HORIZ.: NAD83(2011)

VERT.: NAVD 1988 EPOCH 2010

5. Fixed Control Station designation with positional data: TDOT CORS STATION—TN38 STATE PLANE (TN 4100-US SURVEY FT.- NORTHING: 569,154.86 EASTING: 1,837,086.15 ELEVATION: 558.34 FT.

6. Geoid model used— GEOID03

7. Combined grid factors for TDOT CORS Station TN38: 0.99992680 (STATE PLANE-TN 4100-US SURVEY FT.)



9.32 ACRES± BEARING BASIS STATE PLANE

LEGEND FOR MONUMENTS IPS | IRON PIN SET IPF O IRON PIN FND. SURVEY POINT

ZONING: CF FRONT SETBACK: 42' SIDE SETBACK: 10' ■ CONC. MARKER FND. REAR SETBACK: 20'

OWNER: VETERANS PLAZA, LLC ADDRESS: 3019 CECIL LEWIS DRIVE FRANKLIN, TN 37067 TAX MAP: 93 PARCEL: 25.00

FLOOD MAP PANEL: 470168 0260 J ZONES: X, AE DATED: MAY 9, 2023

CERTIFICATE OF ACCURACY — I hereby certify that this is a category "I" survey and the ratio of precision of the unadjusted survey is 1:10000 as shown hereon.

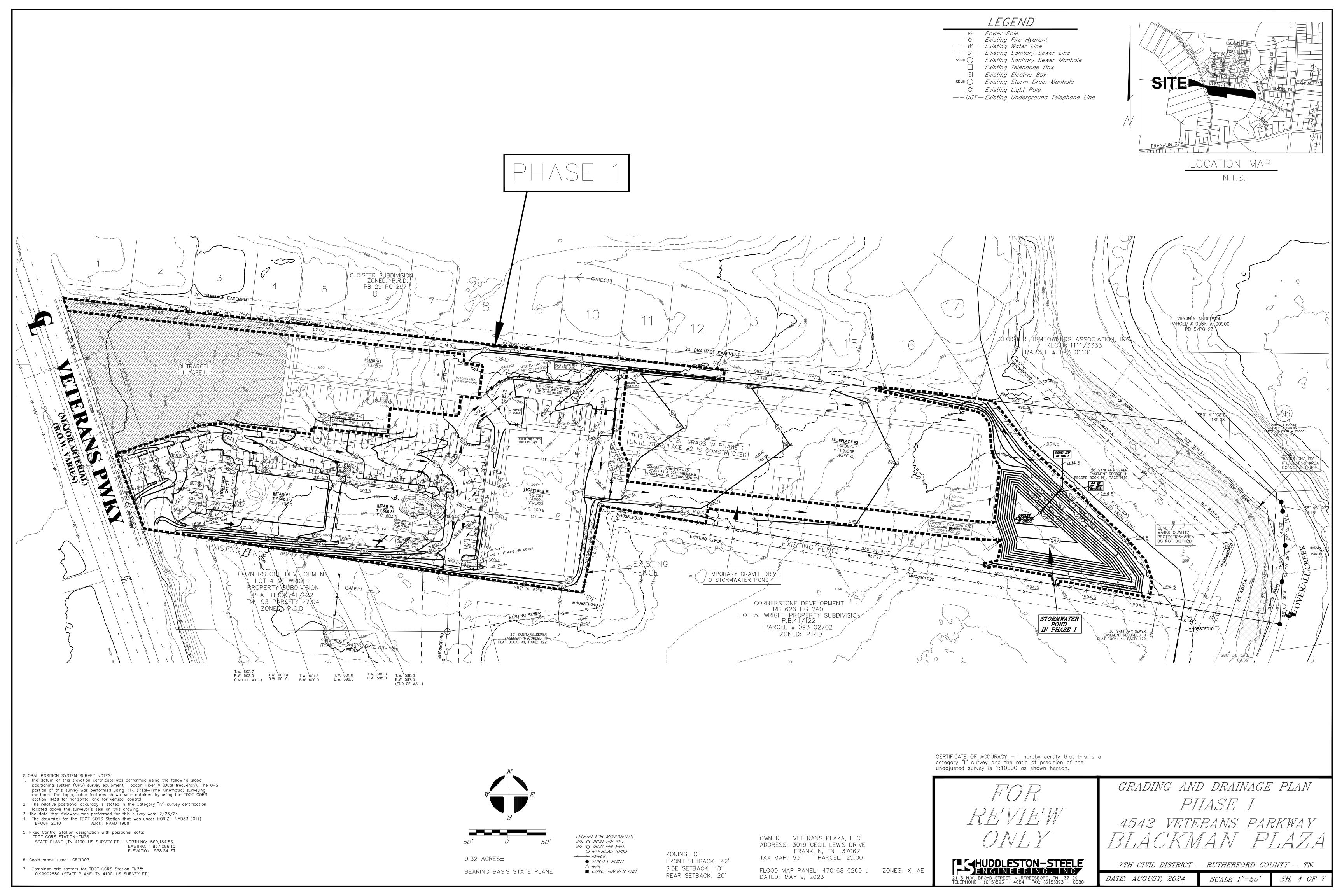


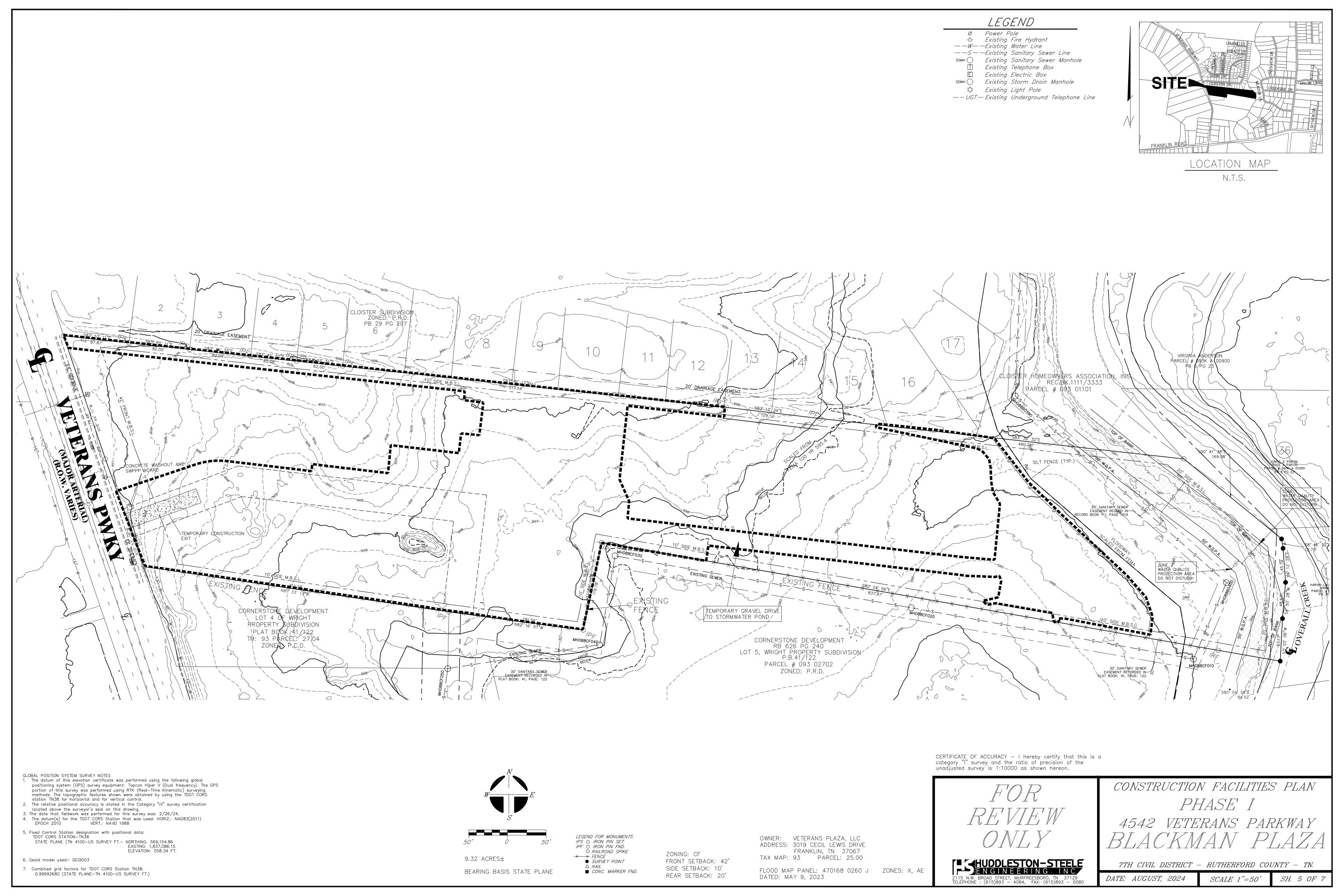
SANITARY SEWER PROFILE PHASE I 4542 VETERANS PARKWAY

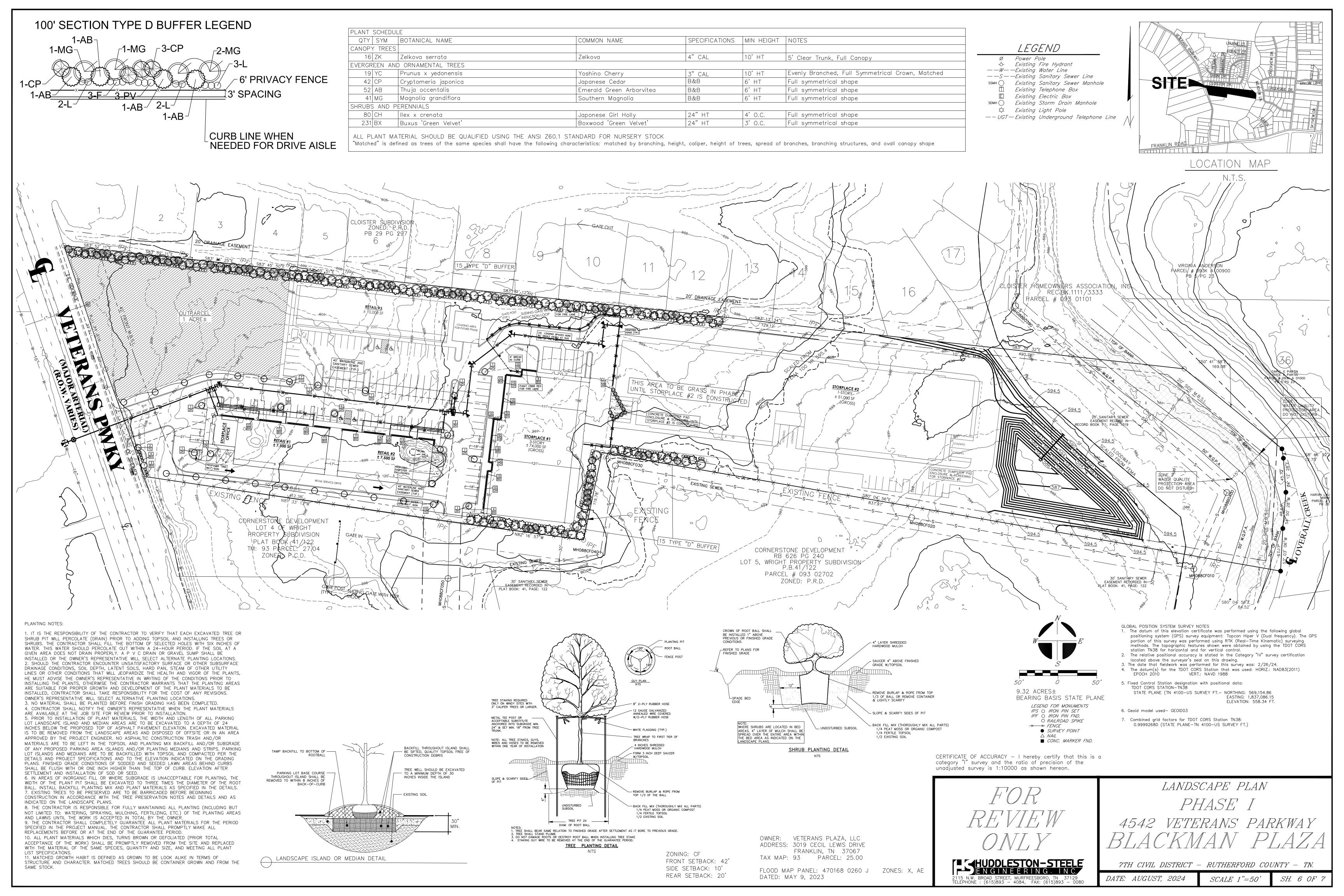
7TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

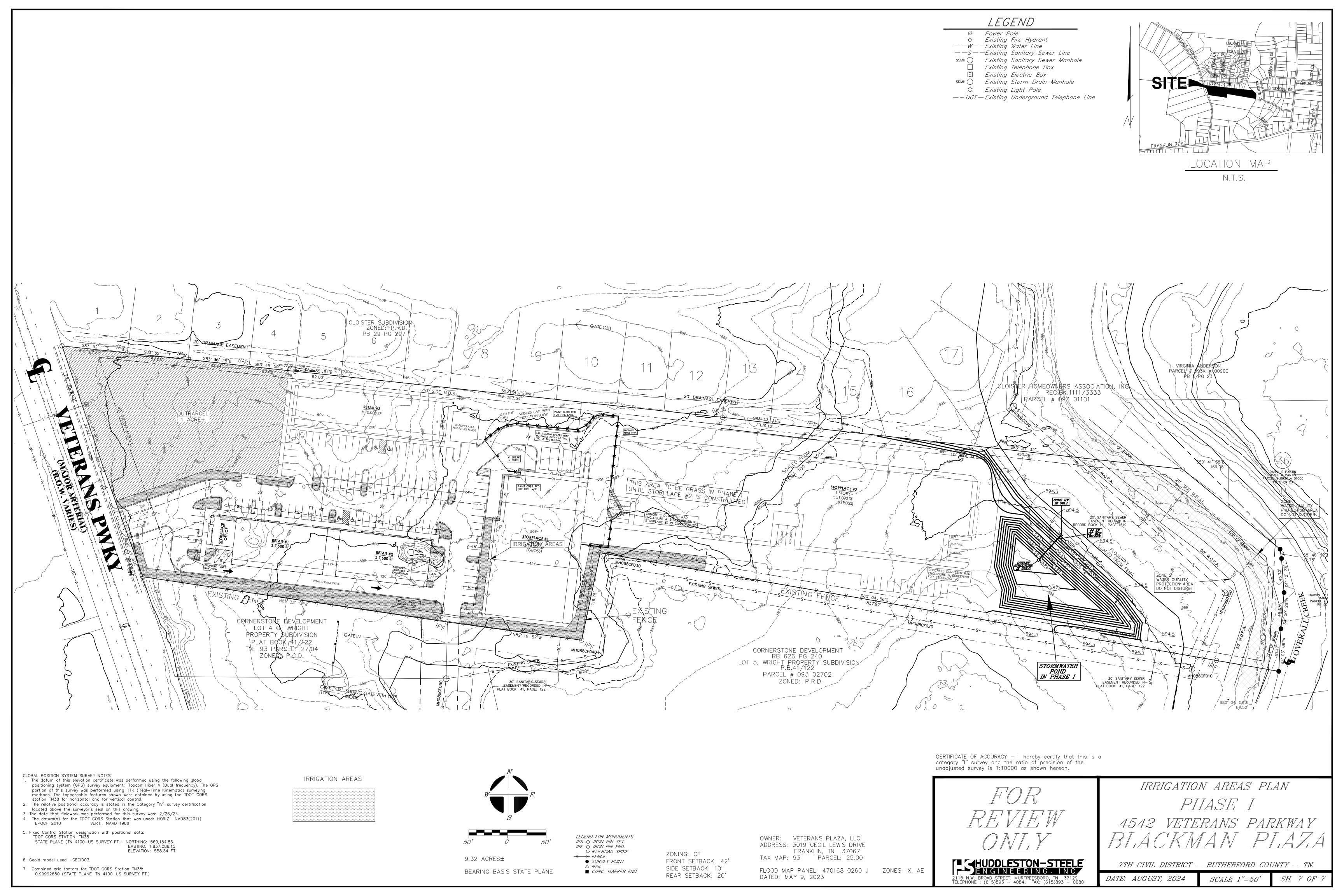
DATE: AUGUST, 2024

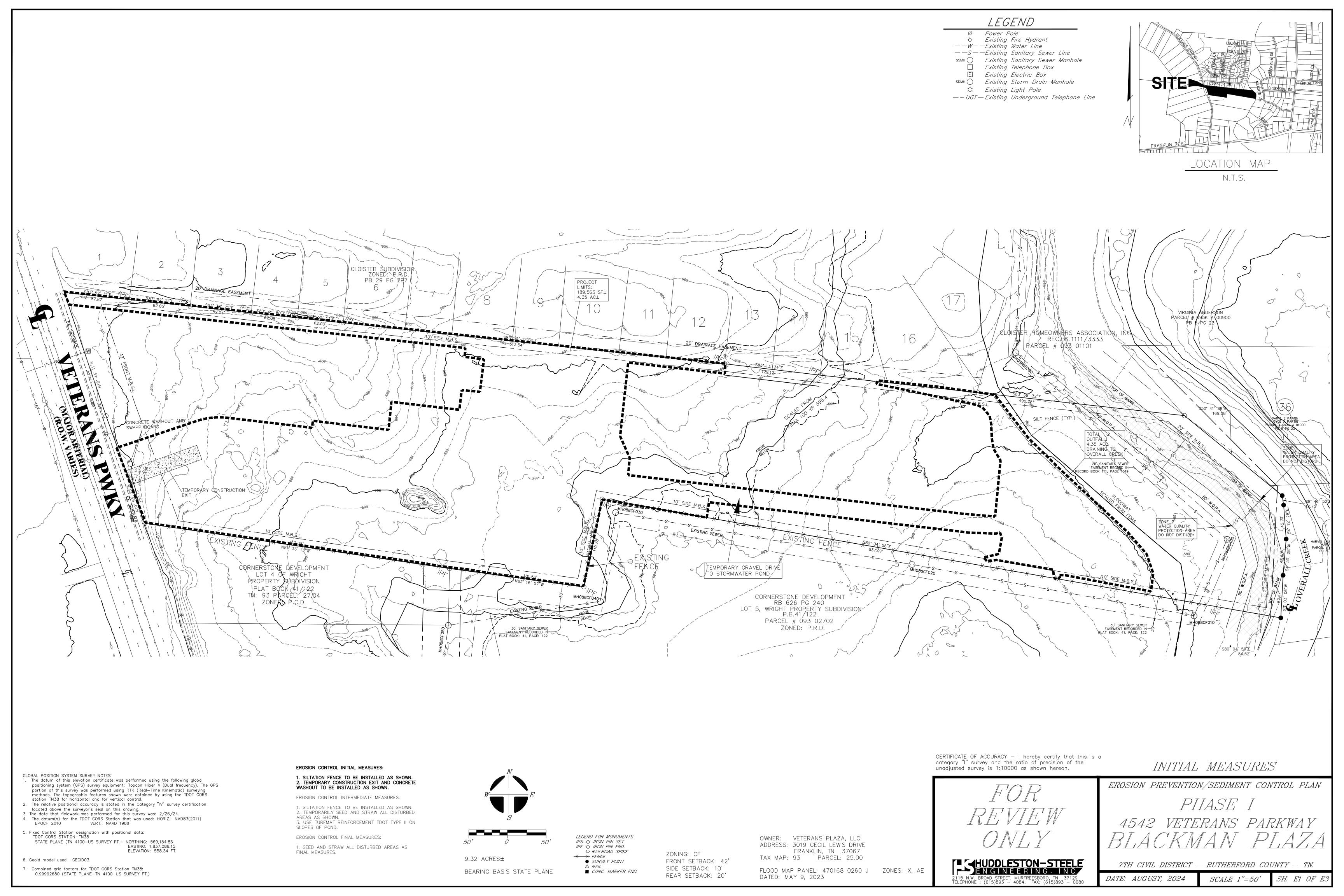
SCALE 1"=50' SH. 3A OF 7

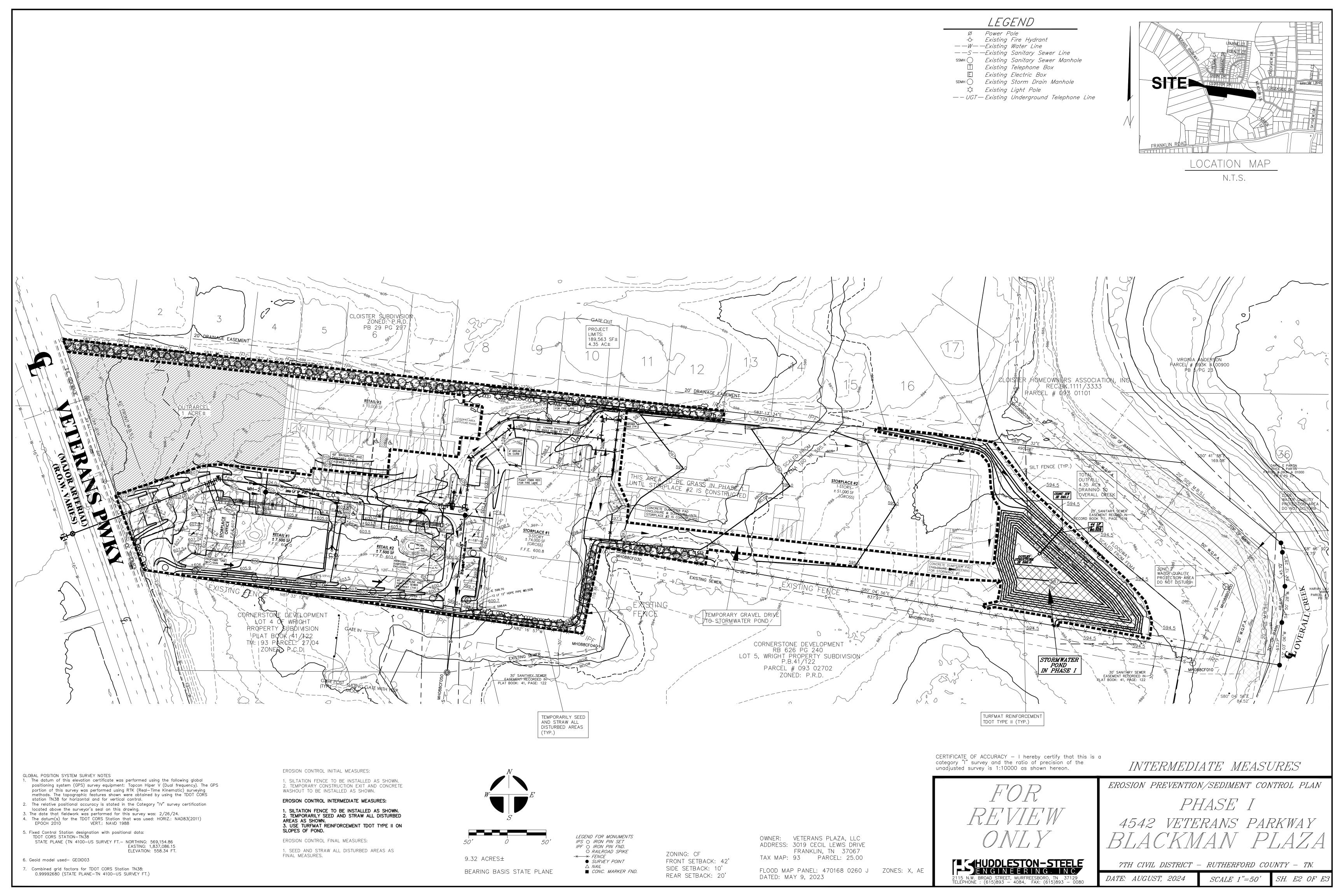


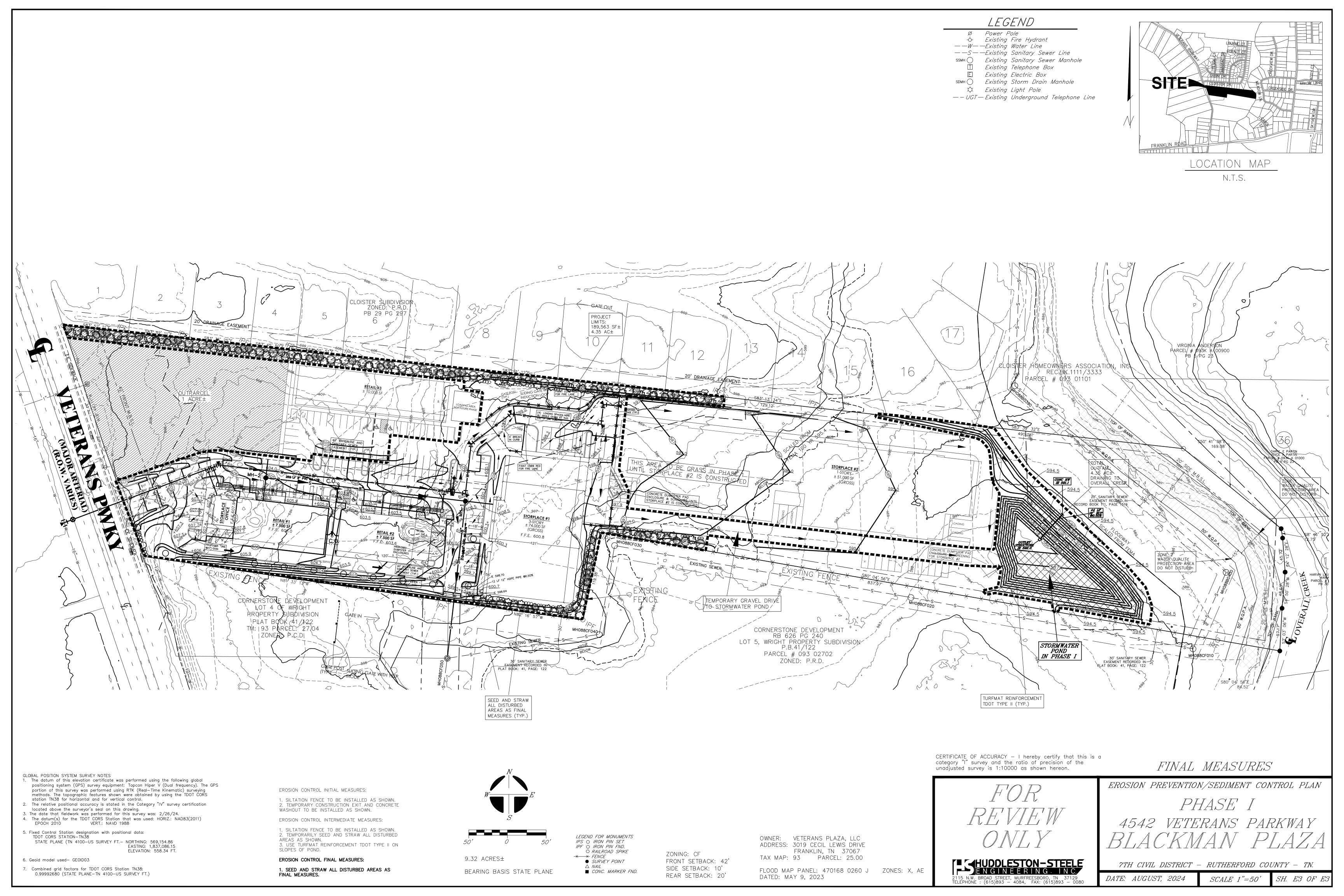


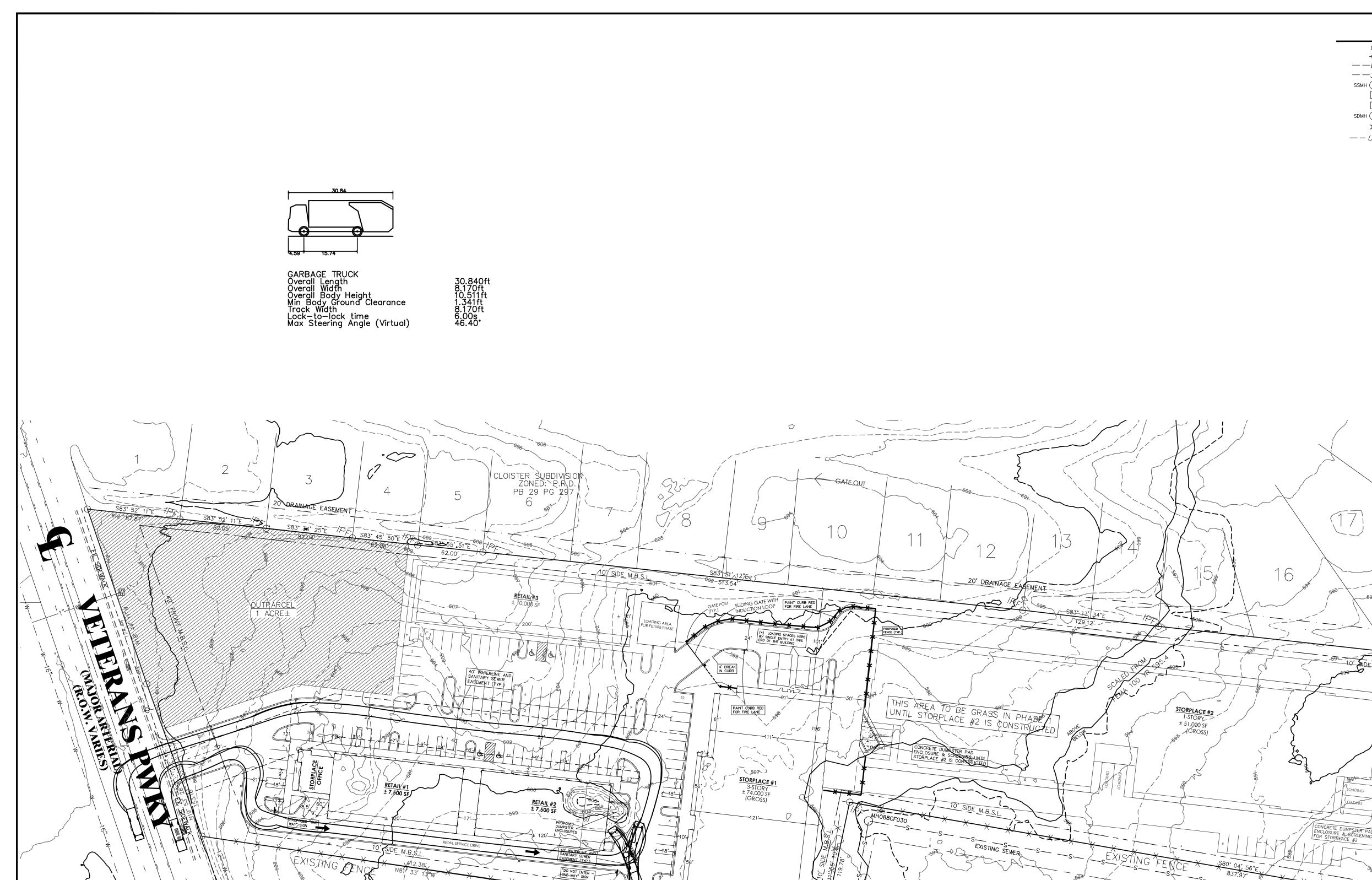


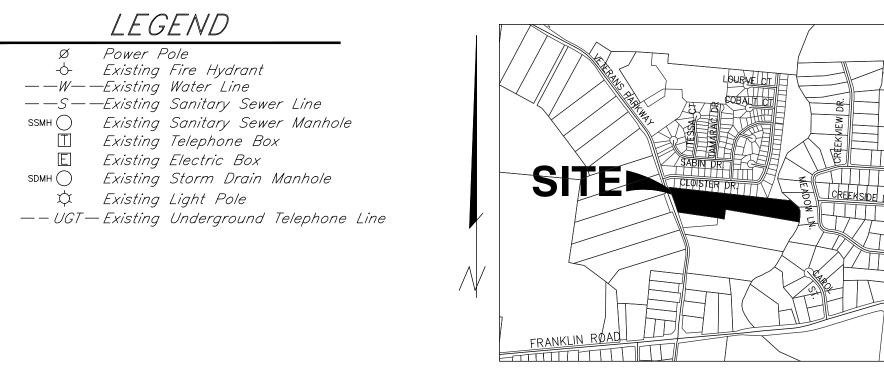












LOCATION MAP N.T.S.

VIRGINIA ANDERSON PARCEL # 193K A 00900 PB 1 PG 23

ZONE 20 WATER QUALITY PROTECTION AREA DO NOT DISTURBO

CERTIFICATE OF ACCURACY — I hereby certify that this is a category "I" survey and the ratio of precision of the unadjusted survey is 1:10000 as shown hereon.

CLOISTER HOMEOWNERS ASSOCIATION, REC.BK.1111/3333 PARCEL # 093 01101

DEVELOPMENT

WRIGHT

PLAT BOOK 41/122 TM: 93 PARCEL: 27/04 ZONER P.C.D.

BUBDIVISION

LOT 4 OF

RROPERTY

9.32 ACRES±

BEARING BASIS STATE PLANE

IPF O IRON PIN FND. SURVEY POINT ■ CONC. MARKER FND.

LEGEND FOR MONUMENTS

IPS O IRON PIN SET

ZONING: CF FRONT SETBACK: 42' SIDE SETBACK: 10' REAR SETBACK: 20'

OWNER: VETERANS PLAZA, LLC ADDRESS: 3019 CECIL LEWIS DRIVE FRANKLIN, TN 37067 TAX MAP: 93 PARCEL: 25.00

CORNERSTONE DEVELOPMENT

RB 626 PG 240

LOT 5, WRIGHT PROPERTY SUBDIVISION
P.B.41/122
PARCEL # 093 02702

ZONED: P.R.D.

FLOOD MAP PANEL: 470168 0260 J ZONES: X, AE DATED: MAY 9, 2023

GARBAGE TRUCK TEMPLATE FIRST ANGLED DUMPSTER PHASE I

30' SANITARY SEWER
EASEMENT RECORDED IN
RLAT BOOK: 41, PAGE: 122

7TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: AUGUST, 2024

SCALE 1"=50' SH. T1 OF T4

GLOBAL POSITION SYSTEM SURVEY NOTES

5. Fixed Control Station designation with positional data: TDOT CORS STATION—TN38 STATE PLANE (TN 4100-US SURVEY FT.- NORTHING: 569,154.86 EASTING: 1,837,086.15 ELEVATION: 558.34 FT.

3. The date that fieldwork was performed for this survey was: 2/26/24.

1. The datum of this elevation certificate was performed using the following global

2. The relative positional accuracy is stated in the Category "IV" survey certification

4. The datum(s) for the TDOT CORS Station that was used: HORIZ.: NAD83(2011)
EPOCH 2010 VERT.: NAVD 1988

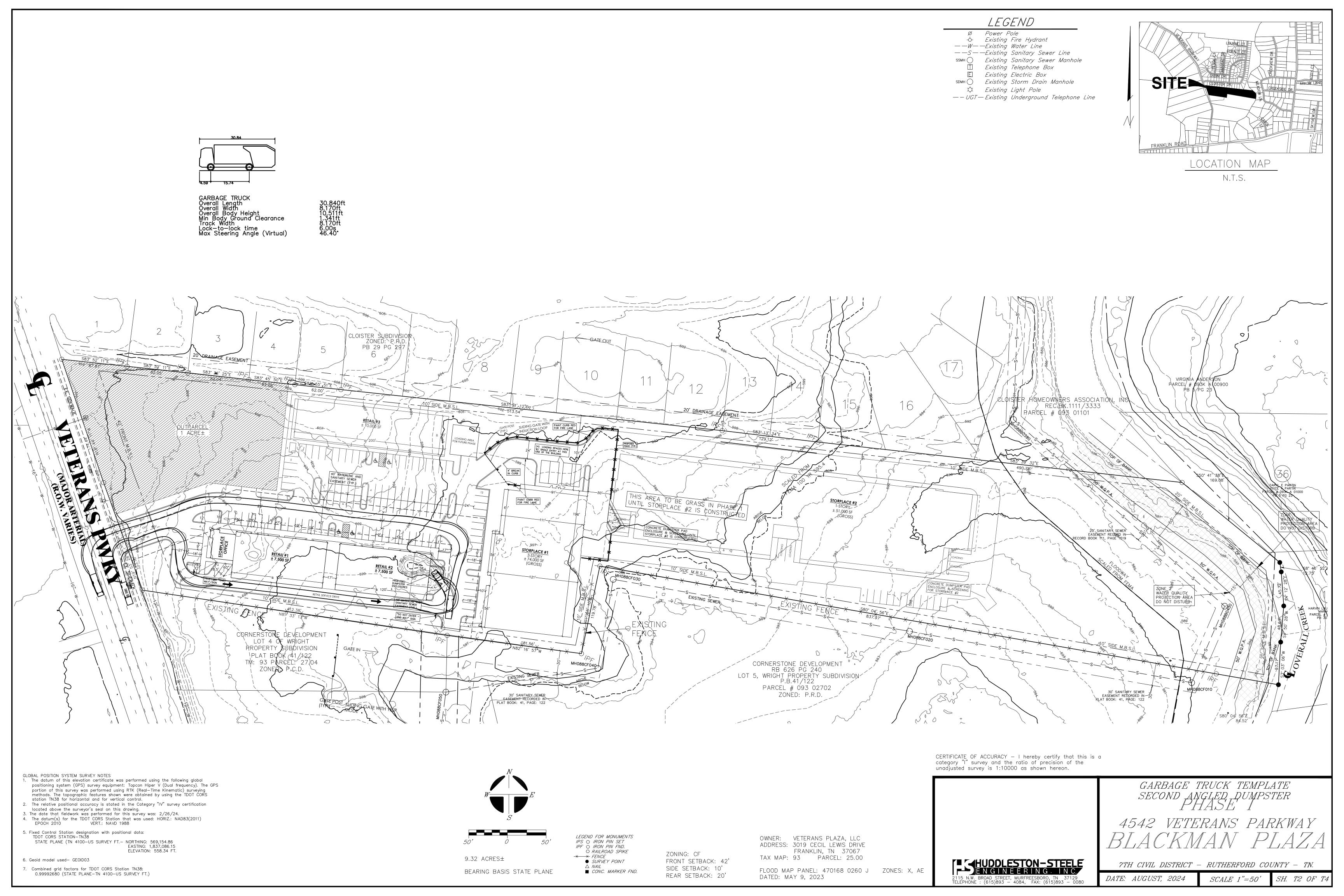
positioning system (GPS) survey equipment: Topcon Hiper V (Dual frequency). The GPS portion of this survey was performed using RTK (Real—Time Kinematic) surveying methods. The topographic features shown were obtained by using the TDOT CORS

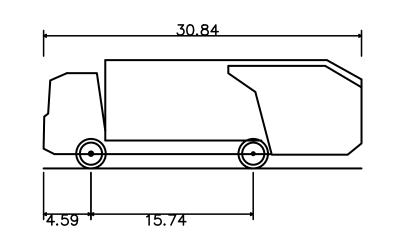
6. Geoid model used— GEOID03

7. Combined grid factors for TDOT CORS Station TN38: 0.99992680 (STATE PLANE-TN 4100-US SURVEY FT.)

station TN38 for horizontal and for vertical control.

located above the surveyor's seal on this drawing.





GARBAGE TRUCK
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock—to—lock time
Max Steering Angle (Virtual)

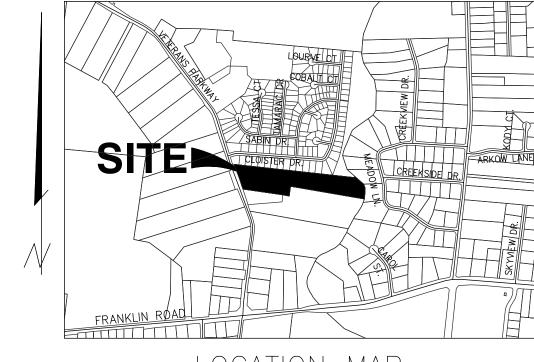
LEGEND

- Ø Power Pole
 Existing Fire Hydrant
 W Existing Water Line
 S Existing Sanitary Sewer Line

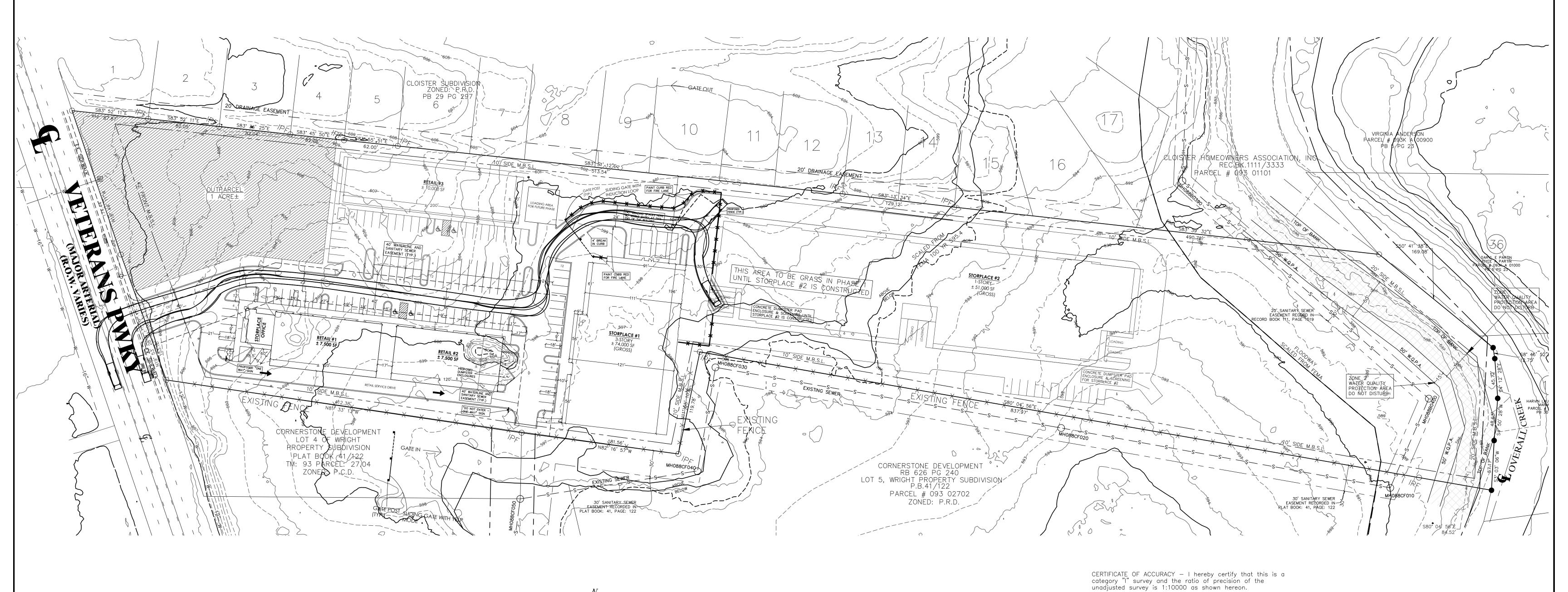
 SSMH Existing Sanitary Sewer Manhole
 Existing Telephone Box E Existing Electric Box

 SDMH Existing Storm Drain Manhole
- \Diamond Existing Light Pole

 —— UGT— Existing Underground Telephone Line



LOCATION MAP N.T.S.



GLOBAL POSITION SYSTEM SURVEY NOTES 1. The datum of this elevation certificate was performed using the following global positioning system (GPS) survey equipment: Topcon Hiper V (Dual frequency). The GPS portion of this survey was performed using RTK (Real—Time Kinematic) surveying methods. The topographic features shown were obtained by using the TDOT CORS station TN38 for horizontal and for vertical control. 2. The relative positional accuracy is stated in the Category "IV" survey certification

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5. Fixed Control Station designation with positional data: TDOT CORS STATION—TN38

STATE PLANE (TN 4100-US SURVEY FT.- NORTHING: 569,154.86 EASTING: 1,837,086.15 ELEVATION: 558.34 FT.

6. Geoid model used— GEOID03

7. Combined grid factors for TDOT CORS Station TN38: 0.99992680 (STATE PLANE-TN 4100-US SURVEY FT.)

9.32 ACRES±

BEARING BASIS STATE PLANE

LEGEND FOR MONUMENTS IPS | IRON PIN SET IPF O IRON PIN FND. O RAILROAD SPIKE × × FENCE SURVEY POINT

■ CONC. MARKER FND.

ZONING: CF FRONT SETBACK: 42' SIDE SETBACK: 10' REAR SETBACK: 20'

OWNER: VETERANS PLAZA, LLC ADDRESS: 3019 CECIL LEWIS DRIVE FRANKLIN, TN 37067 TAX MAP: 93 PARCEL: 25.00

FLOOD MAP PANEL: 470168 0260 J ZONES: X, AE DATED: MAY 9, 2023

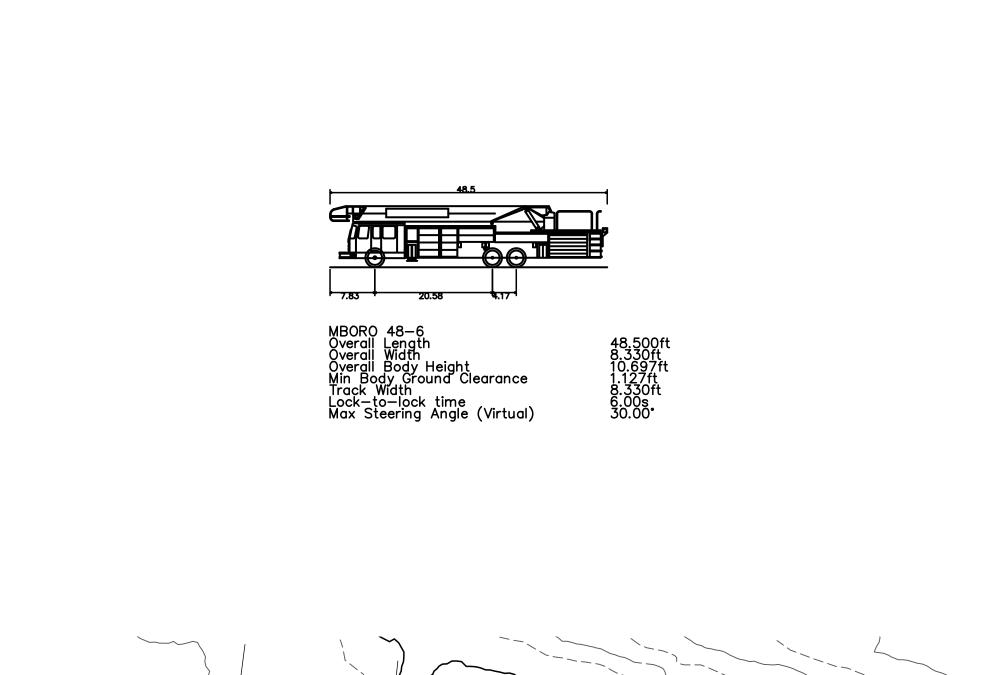
GARBAGE TRUCK TEMPLATE PHASE I 4542 VETERANS PARKWAY

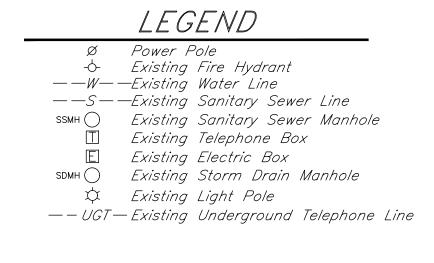
DATE: AUGUST, 2024

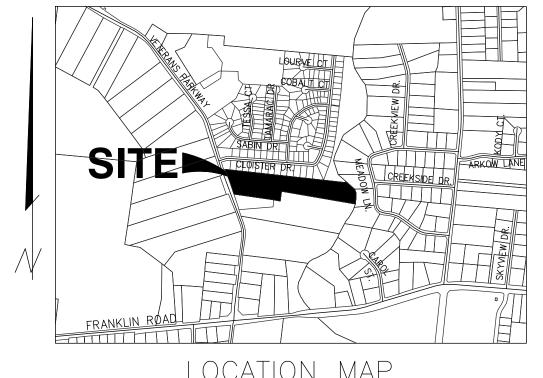
7TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

SCALE 1"=50'

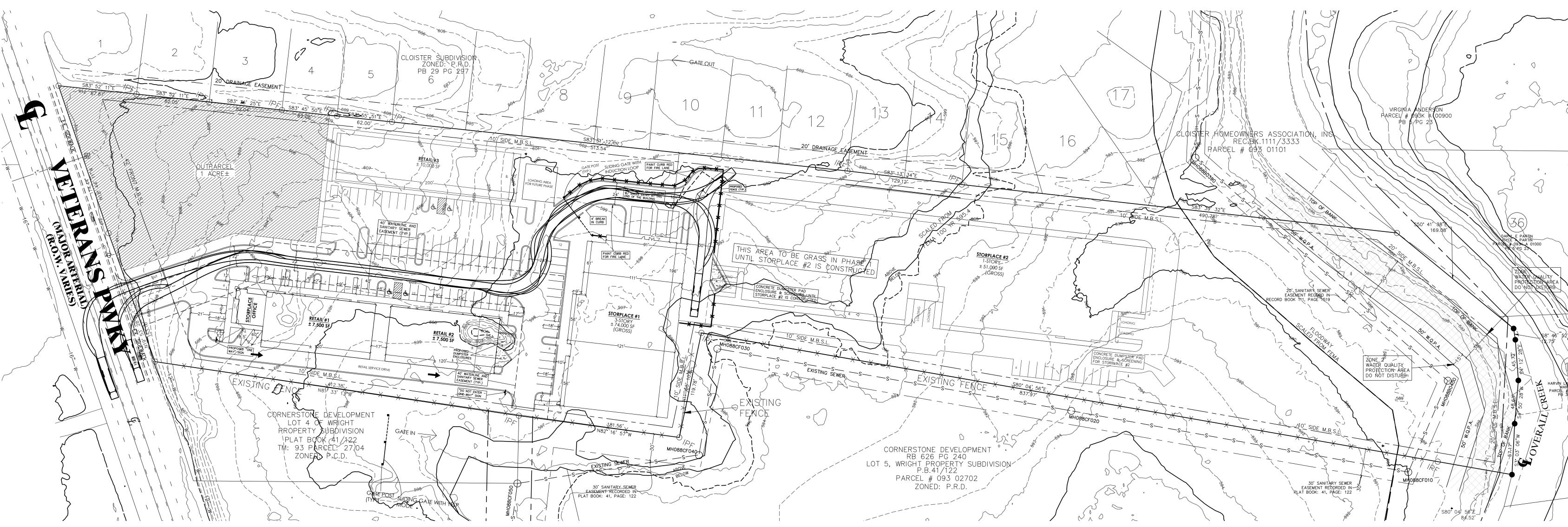
SH. T3 OF T4







LOCATION MAP N.T.S.



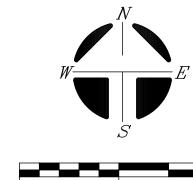
GLOBAL POSITION SYSTEM SURVEY NOTES 1. The datum of this elevation certificate was performed using the following global positioning system (GPS) survey equipment: Topcon Hiper V (Dual frequency). The GPS portion of this survey was performed using RTK (Real—Time Kinematic) surveying methods. The topographic features shown were obtained by using the TDOT CORS station TN38 for horizontal and for vertical control. 2. The relative positional accuracy is stated in the Category "IV" survey certification

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9.32 ACRES± BEARING BASIS STATE PLANE

LEGEND FOR MONUMENTS IPS | IRON PIN SET IPF O IRON PIN FND. SURVEY POINT ■ CONC. MARKER FND.

ZONING: CF FRONT SETBACK: 42' SIDE SETBACK: 10' REAR SETBACK: 20'

OWNER: VETERANS PLAZA, LLC ADDRESS: 3019 CECIL LEWIS DRIVE FRANKLIN, TN 37067 TAX MAP: 93 PARCEL: 25.00

FLOOD MAP PANEL: 470168 0260 J ZONES: X, AE DATED: MAY 9, 2023

CERTIFICATE OF ACCURACY — I hereby certify that this is a category "I" survey and the ratio of precision of the unadjusted survey is 1:10000 as shown hereon.

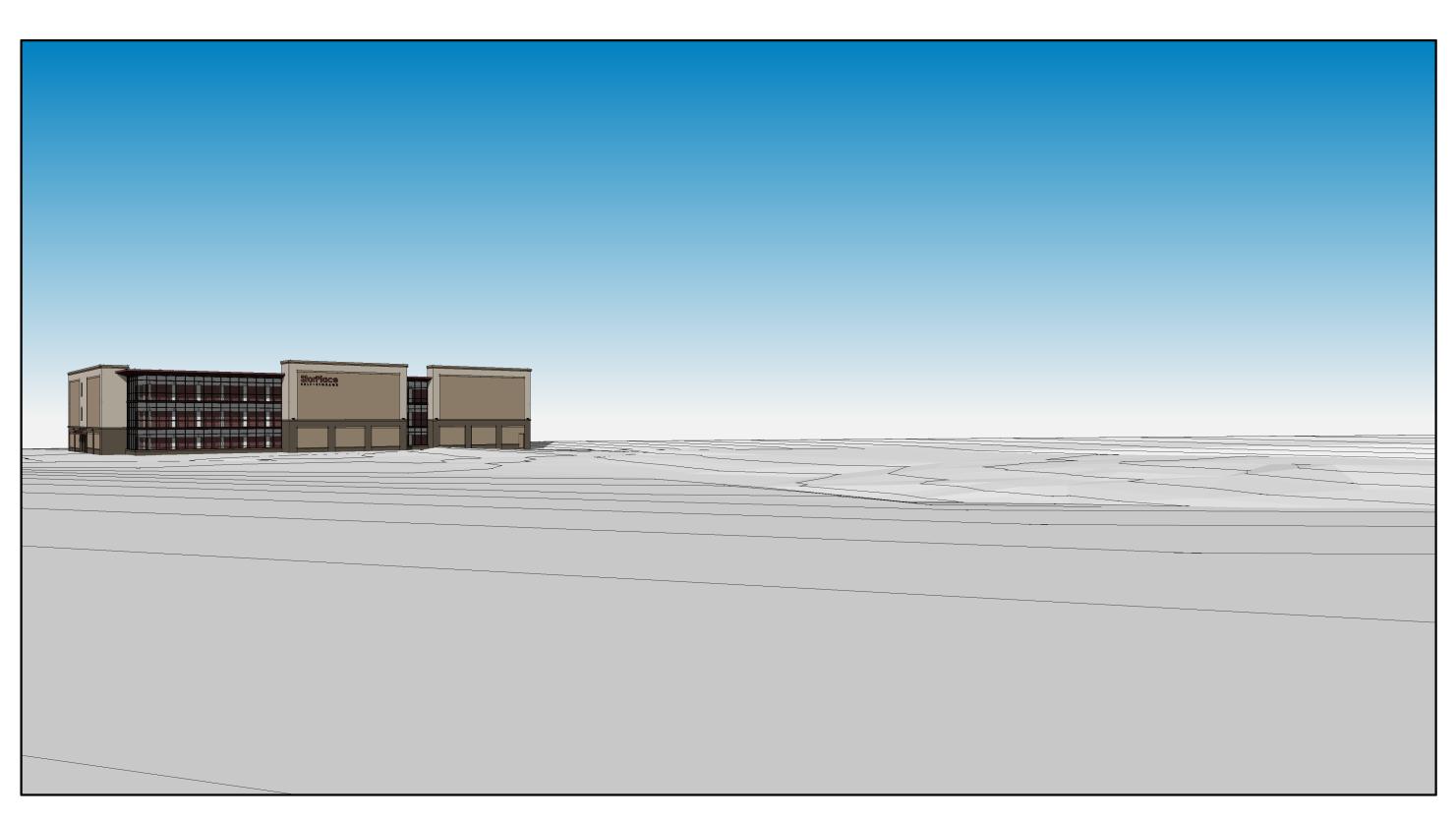
FIRE TRUCK TEMPLATE PHASE I 4542 VETERANS PARKWAY

DATE: AUGUST, 2024

7TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

SCALE 1"=50'

SH. T4 OF T4



OVERALL SITE - VIEW FROM VETERANS PARKWAY SCALE: N.T.S.



EXTERIOR - WEST SCALE: N.T.S.

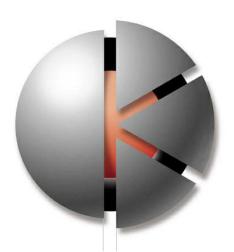


EXTERIOR - SOUTHWEST CORNER

SCALE: N.T.S.



EXTERIOR SOUTHWEST CORNER (BIRD'S EYE)
SCALE: N.T.S.



David K. Kidd Architect, LLC 725 Cool Spring Blvd, Suite 600 Franklin, Tennessee 37067 615.370.3001



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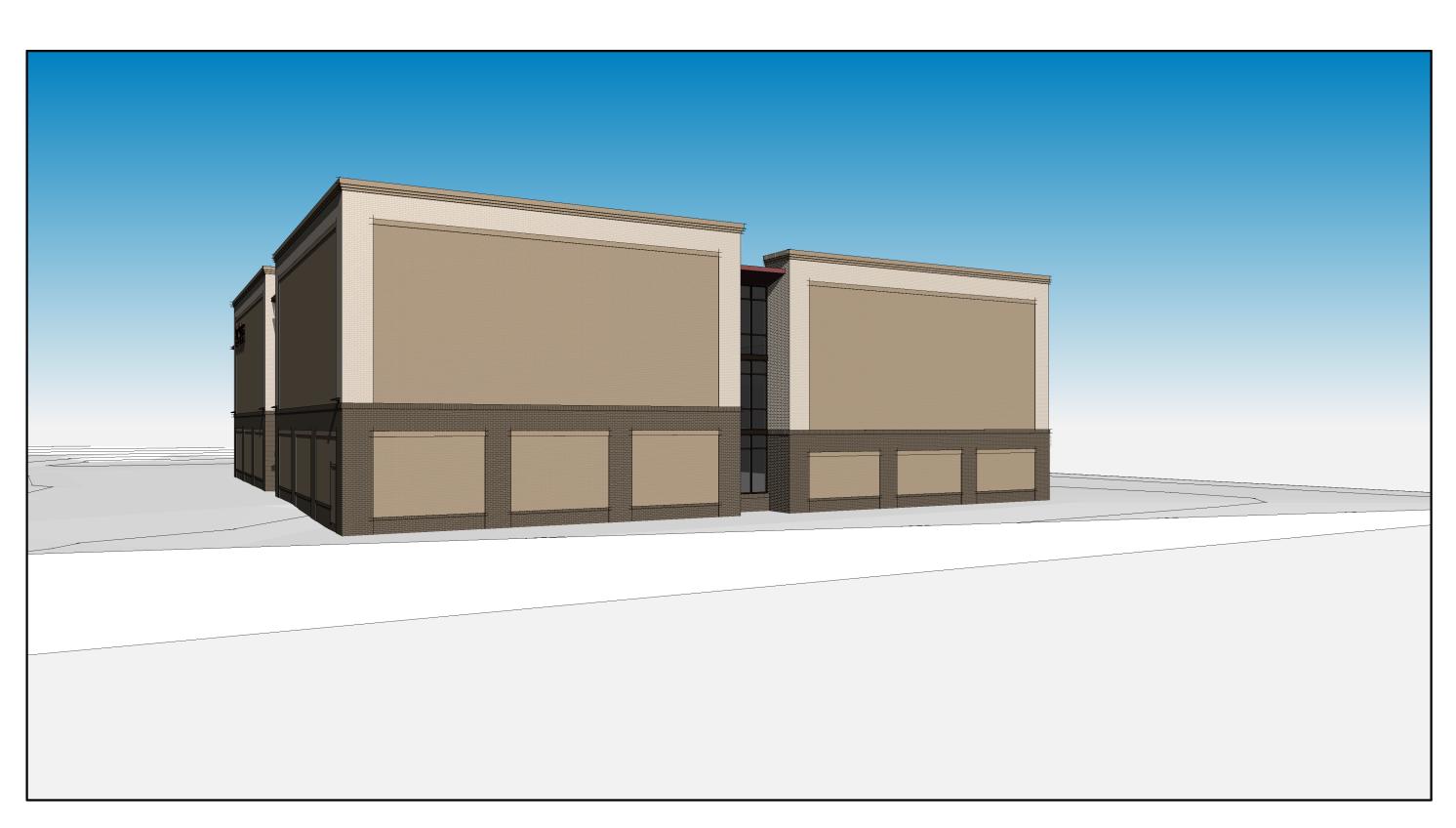
4542 VETERANS PARKWAY MURFREESBORO, TN 37128 StorPlace Bla

Description

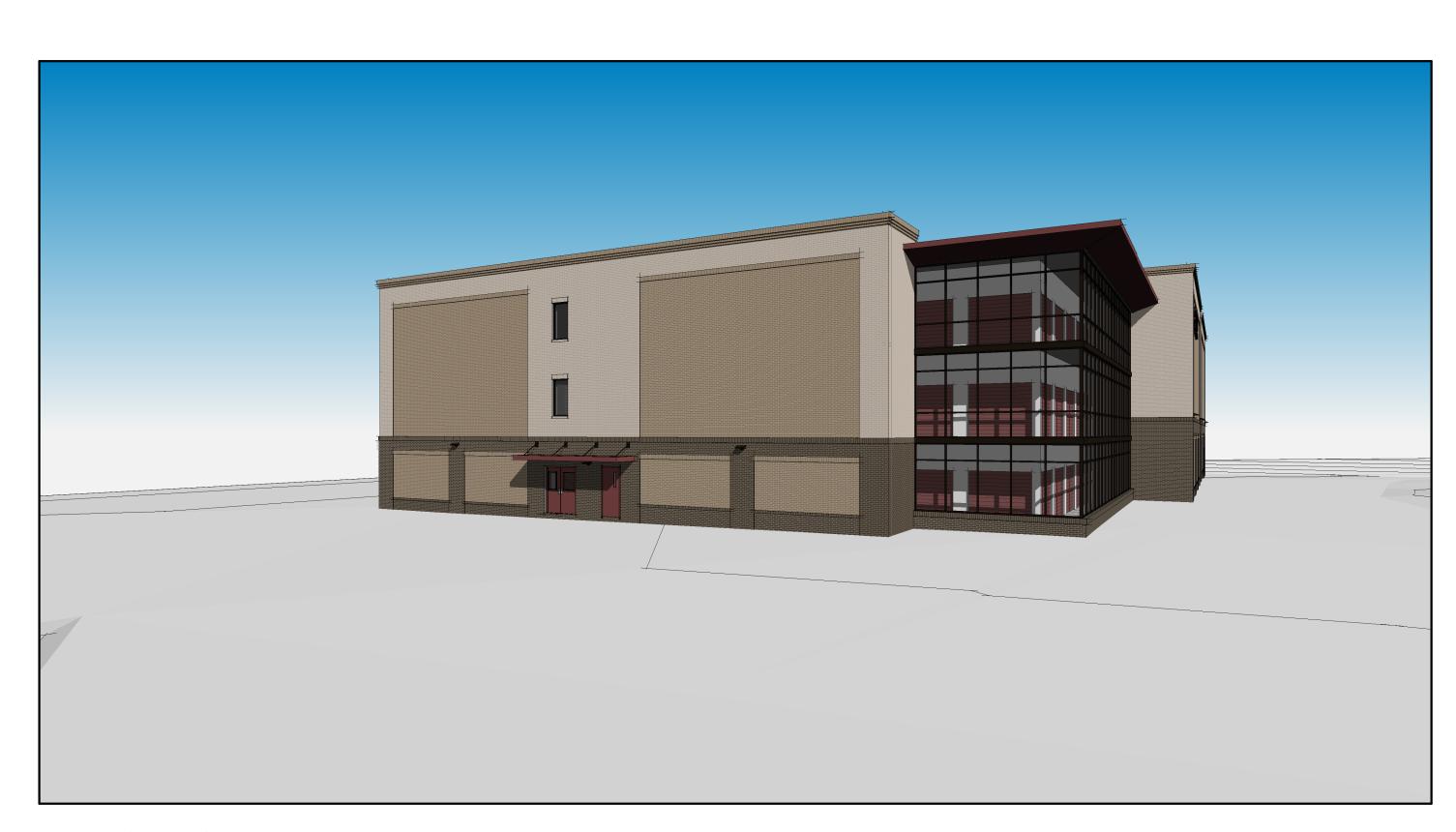
DATE: 09.16.2024 PROJECT NO.:

DRAWN BY:

SHEET TITLE: EXTERIOR 3D VIEWS



SCALE: N.T.S.



SCALE: N.T.S.



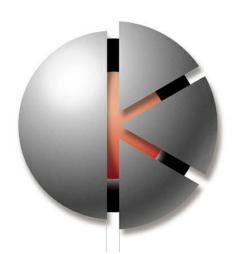
EXTERIOR - NORTHWEST CORNER (BIRD'S EYE)

SCALE: N.T.S.



EXTERIOR - NORTHWEST CORNER

SCALE: N.T.S.



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PROJECT:

StorPlace Blackman 4542 VETERANS PARKWAY MURFREESBORO, TN 37128

PEVISIONS:

<u>Date</u> <u>Description</u>

DATE:09.16.2024

PROJECT NO.: 23-401 DRAWN BY:

SHEET TITLE:

EXTERIOR 3D
VIEWS

SHEET NO.:

A0.1b



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725 Cool Spring Blvd, Suite 600
Franklin, Tennessee 37067
615.370.3001

PALAZ PALAZ PALAZ

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PROJECT:

StorPlace Blackman 4542 VETERANS PARKWAY MURFREESBORO, TN 37128

REVISIONS:

Date Description

DATE: 09.16.2024

PROJECT NO.: 23-401

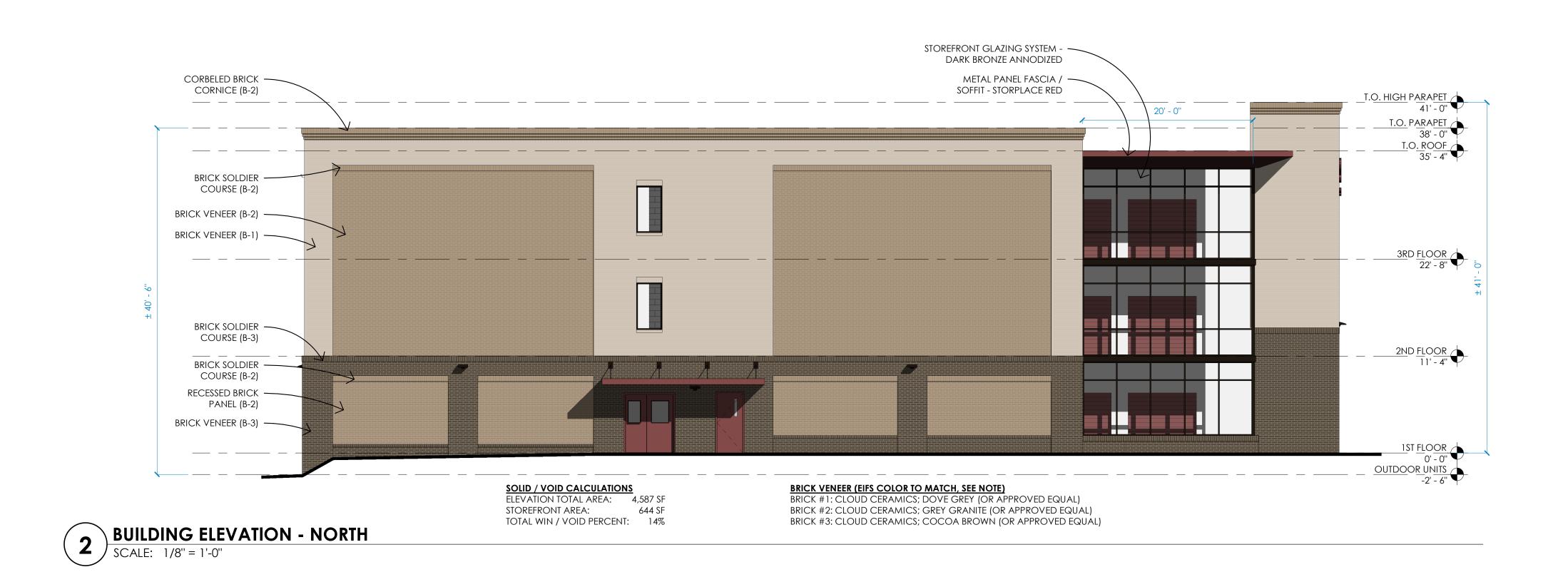
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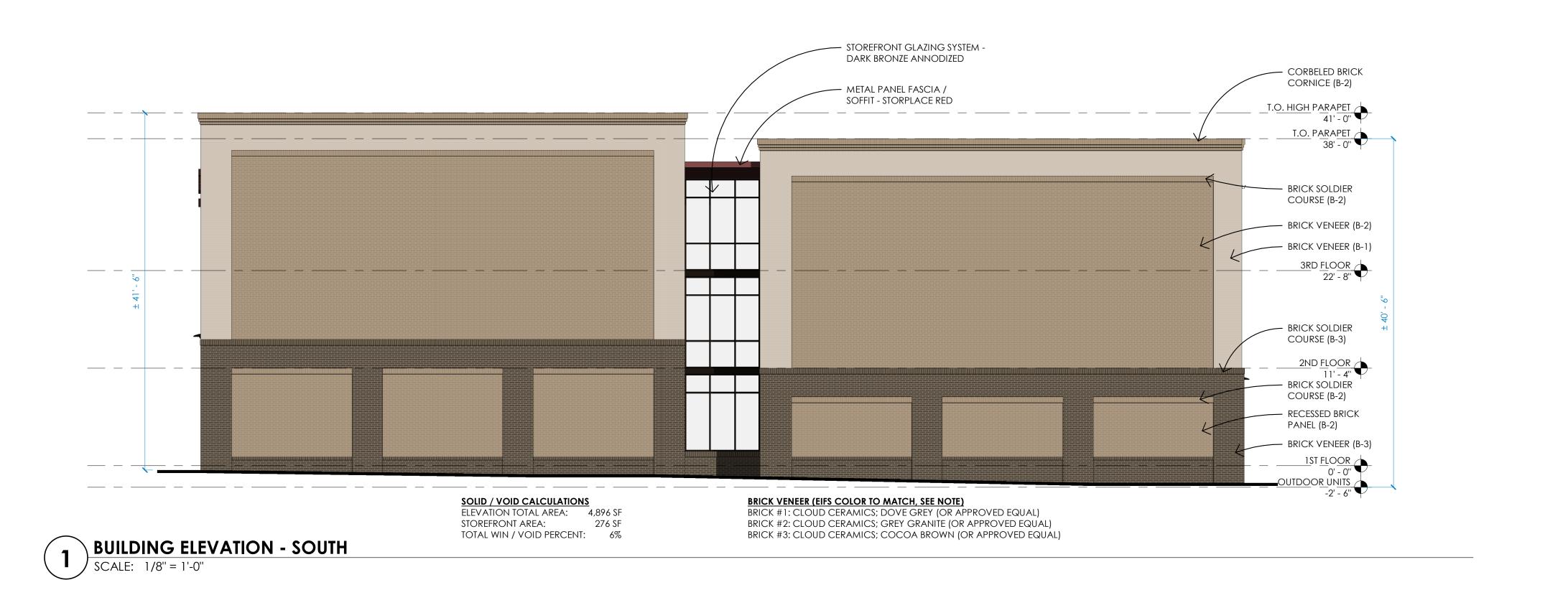
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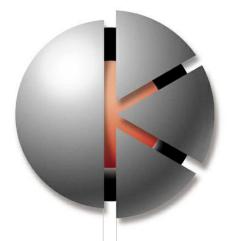
EXTERIOR
ELEVATIONS

SHEET NO.:

A0.2







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PROJECT:

StorPlace Blackman 4542 VETERANS P MURFREESBORO,

REVISIONS:

Description

DATE:

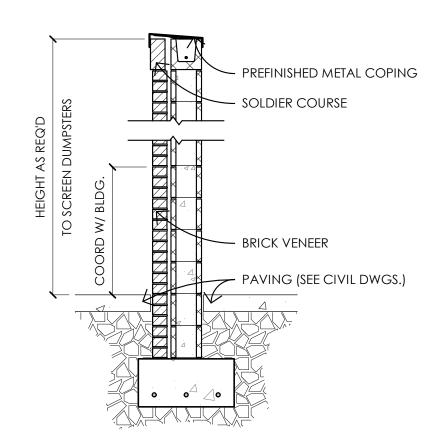
09.16.2024 PROJECT NO.:

23-401 **DRAWN BY:**

SHEET TITLE: EXTERIOR ELEVATIONS

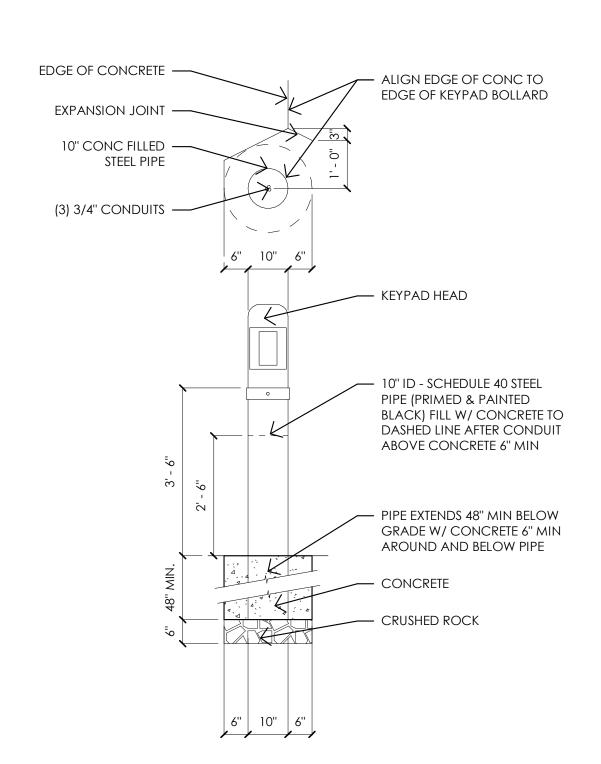
SHEET NO.:

A0.3



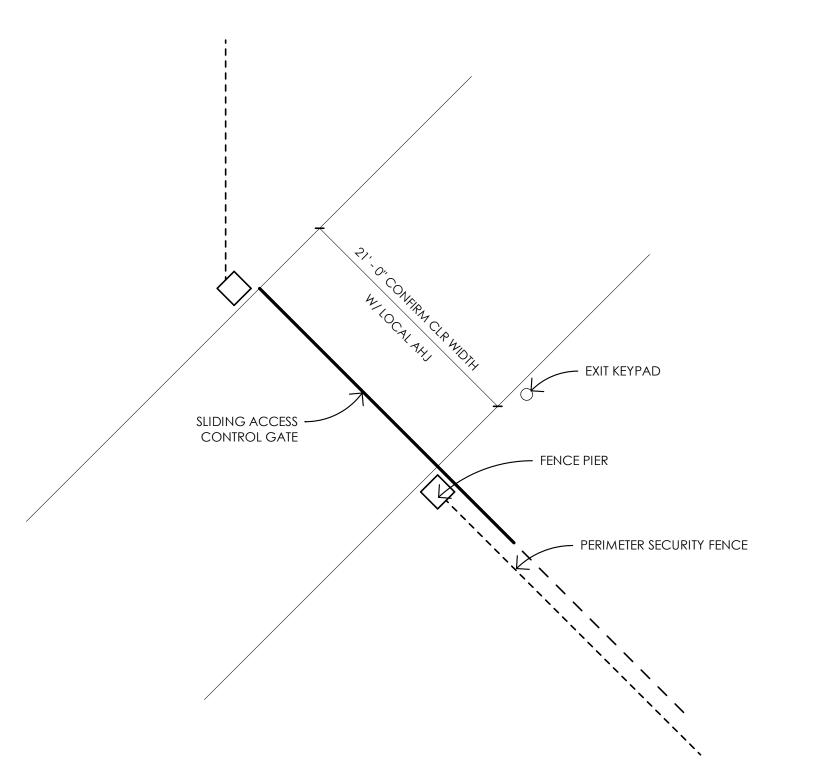
SOLID WASTE ENCLOSURE DETAIL

SCALE: 1/2" = 1'-0"



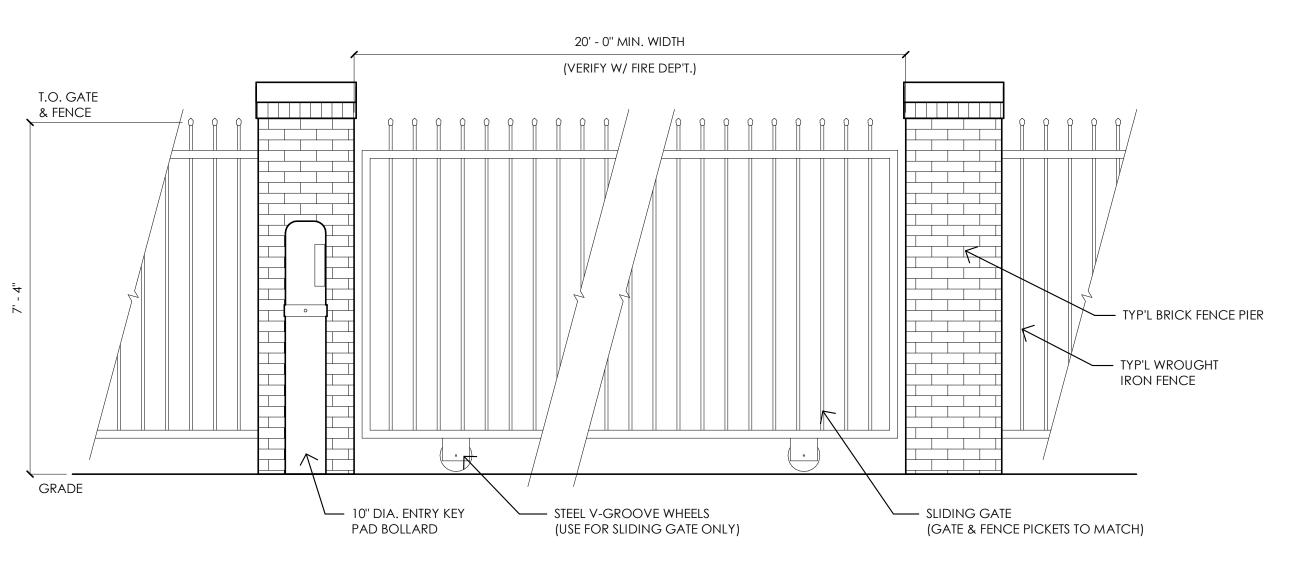
ENTRY KEYPAD DETAIL

SCALE: 1/2" = 1'-0"



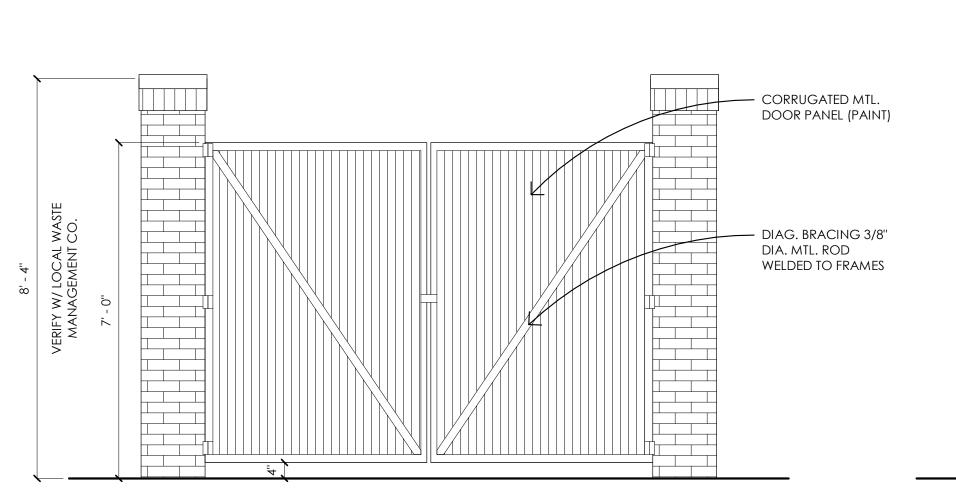
DETAIL - GATE PLAN

SCALE: 1/8" = 1'-0"



SLIDING GATE ELEVATION

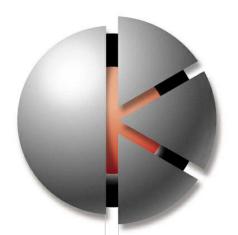
SCALE: N.T.S.



VERIFY W/ LOCAL WASTE																																	
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SOLID WASTE ENCLOSURE ELEVATION

SCALE: 1/2" = 1'-0"



David K. Kidd Architect, LLC 725 Cool Spring Blvd, Suite 600 Franklin, Tennessee 37067 615.370.3001



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David K. Kidd Architect, LLC

OWNER:

PROJECT:

StorPlace Blackman 4542 VETERANS PARKWAY MURFREESBORO, TN 37128

REVISIONS:

Date Description

<u>Descript</u>

DATE: 09.16.2024

PROJECT NO.:

23-401 **DRAWN BY**:

SHEET TITLE:

SITE DETAILS

SHEET NO.:

A0.4



370 MALLORY STATION RD, SUITE 501 FRANKLIN, TN 37067 (615) 814-6001

AGRICULT COMMEN

DATE: 09/18/2024

PROJECT NO: 124039

EP1.0

+0.2 +0.2 +0.3 +0.3 +0.2 +0.2 +0.2 0.1 0.1 0.2 0.3 0.4 0.5 0.6 0.5 0.5 0.4 0.3 0.2 0.2 0.2 0.2 0.2 0.2 NO LIGHTING IN THIS AREA DURING PHASE I OF CONSTRUCTION. OUTPARCEL 1 ACRE± 10^{4} 0.4 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.4 0.4 O WP1 @10' +5.9 +4.0 +1.7 +0.7 5.2 6.3 4.1 2.3 0.8 0.2 ₄6.1 ₄3.5 ₄1.6 0.6 0.2 _5.2 _5.8 _3.5 1.7 _0.5 _0 ₊6.4 ₊6.0 ₊3.1 ₊1.4 ₊0.4 ₊0 TO THE EAST OF HERE THERE IS NO LIGHTING WITHIN THE CURRENT PHASE OF WORK. 3-STORPLACE #1
3-STORY
± 74,000 SF
(GROSS) FIXTURE MOUNTING HEIGHTS TO MATCH ARCHITECTURAL ELEVATIONS. _0.2 _0.3 _0.4 _0.2 _0.1 0.3 +0.6 +0.9 +1.4 +2.1° +2.9 +3.5 +3.7 3.7 10.5 0.8 1.4 2 31 4.5 5.2 FIXTURE MOUNTING HEIGHTS TO MATCH ARCHITECTURAL ELEVATIONS. 0.5 _0.9 _1.5 _22 _3.5 _5.2 0.6 +1.1 +1.7 +2.5 +3.6 +5.2 OWP5 @15 0.4 0.6 1.1 1.9 2.8 3.6 47 4.5 0.0 0.0 0.0 0.0 0.0 0.1 0.1 0.2 0.2 0.2 0.2 0.3 0.4 0.5 0.7 0.6 0.9 1.0 1.2 1.2 1.3 1.4 1.5 1.4 1.3 1.2 1.3 1.6 2.0 2.2 2.4 2.4 2.6 0 2.4 0 2.3 0 40.5 1.0 1.9 3.0 3.8 4.8 3.4 $0.0 \quad 0.0 \quad 0.0 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.2 \quad 0.2 \quad 0.2 \quad 0.2 \quad 0.3 \quad 0.3 \quad 0.4 \quad 0.6 \quad 0.6 \quad 0.8 \quad 0.9 \quad 1.0 \quad 1.1 \quad 1.1 \quad 1.0 \quad 0.9 \quad 0.7 \quad 0.7 \quad 0.7 \quad 1.4 \quad 3.6 \quad 6.5 \quad 7.0 \quad 5.3 \quad 0.7$ _0.0 _0.0 _0.0 _0.0 $0.0 \quad 0.0 \quad 0.0 \quad 0.0 \quad 0.0 \quad 0.0 \quad 0.1$ 0.0

CORNERSTONE DEVELOPMENT
LOT 4 OF WRIGHT
PROPERTY SUBDIVISION
INSTALLED AS INDICATED BY THE
LUMINAIRE SCHEDULE

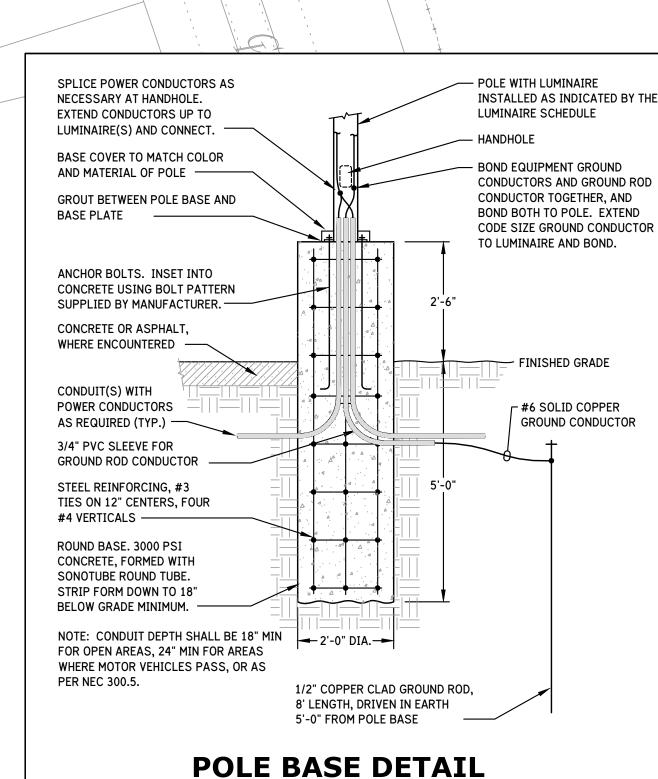
HANDHOLE

BOND EQUIPMENT GROUND
CONDUCTORS AND GROUND ROD
CONDUCTOR TOGETHER, AND

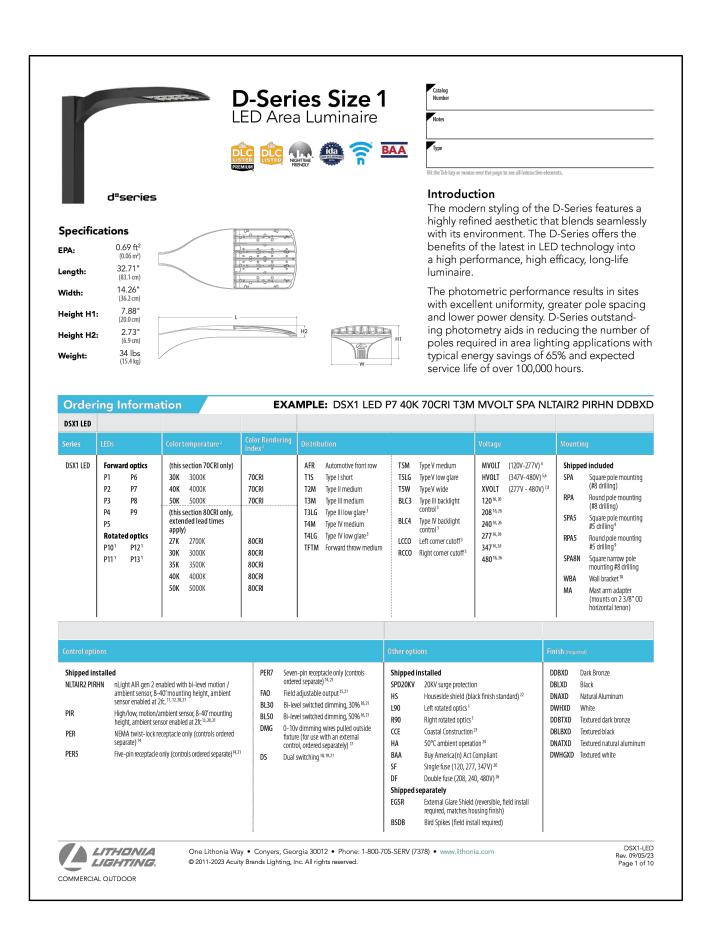
SITE PLAN - PHOTOMETRIC

SCALE: 1 = 30 -0

			LUMINAIRE SCHEDULE						
AA	AREA AND ROADWAY LUMINAIRE. TYPE 4 FORWARD THROW DISTRIBUTION. MOUNTED 20'-0" AFG, 17'-6" POLE ON 30" CONCRETE	С	8" SURFACE-MOUNTED LUMINAIRE. BRONZE FINISH. MOUNT AT INDICATED HEIGHT.	WS	6" ROUND WALL-SCONCE. MOUNTED 8'-0" ON CENTER. CLOSED TOP-CAP AND 50 DEGREE DOWNLIGHT WITH FLAT & CLEAR LENS. TEXTRED BRONZE FINISH. VERIFY IN-FIELD LOCATION TO ALIGN WITH ARCHITECTURAL SPACIN				
	BASE. BRONZE FINISH.		14 W LED, 4000K, 16300, 70 CRI						
	124 W LED, 4000K, 16300, 70 CRI	_	LUMINIS: SN800C-L1L11-K35-BZT						
	LITHONIA: DSX1 LED-P4-40K-70CRI-TFTM-MVOLT-SPA-DDBXD	WP1	AREA AND ROADWAY LUMINAIRE. TYPE 4 FORWARD THROW		13 W LED, 3500K, 16300, 70 CRI				
	AREA AND ROADWAY LUMINAIRE. TYPE 3 LARGE DISTRIBUTION.		DISTRIBUTION. BRONZE FINISH.		G LIGHTING: GL-6541-B-CC-R5-TBZ-A				
	MOUNTED 20'-0" AFG, 17'-6" POLE ON 30" CONCRETE BASE. BRONZE FINISH.		73 W LED, 4000K, 7000 LUMENS	WP4	4 AREA AND ROADWAY LUMINAIRE. LEFT CORNER CUT-OFF DISTRIBUTION, MOUNT AS NOTED AFG ON WALL BRACKET. DARK				
		-	LITHONIA: DSXW1 LED-20C-1000-40K-TFTM-MVOLT-DDBXD		BRONZE FINISH.				
	124 W LED, 4000K, 16300, 70 CRI	WP2	AREA AND ROADWAY LUMINAIRE. TYPE 3 MEDIUM DISTRIBUTION.		93 W LED, 4000K, 8000 LUMENS 70CRI				
	LITHONIA: DSX1 LED-P4-40K-70CRI-T3LG-MVOLT-SPA-DDBXD	4	BRONZE FINISH.		LITHONIA: DSX0 LED P4 40K 70CRI LCCO MVOLT WBA DDBXD				
CC	AREA AND ROADWAY LUMINAIRE. TYPE 3 MEDIUM DISTRIBUTION. MOUNTED 20'-0" AFG, 17'-6" POLE ON 30" CONCRETE BASE. BRONZE		73 W LED, 4000K, 7000 LUMENS	WP5					
	FINISH.		LITHONIA: DSXW1 LED-20C-1000-40K-T3M-MVOLT-DDBXD		DISTRIBUTION. MOUNT AS NOTED AFG ON WALL BRACKET. DARK				
	124 W LED, 4000K, 16300, 70 CRI	WP3	SAME AS "WP2" EXCEPT LOWER OUTPUT.		BRONZE FINISH.				
	LITHONIA: DSX1 LED-P4-40K-70CRI-T3M-MVOLT-SPA-DDBXD	1	19 W LED, 4000K, 2100 LUMENS		69 W LED, 4000K, 9000 LUMENS 70CRI				
			LITHONIA: DSXW1 LED-20C-1000-40K-T3M-MVOLT-DDBXD		LITHONIA: DSX0 LED P3 40K 70CRI LCCO MVOLT WBA DDBXD				



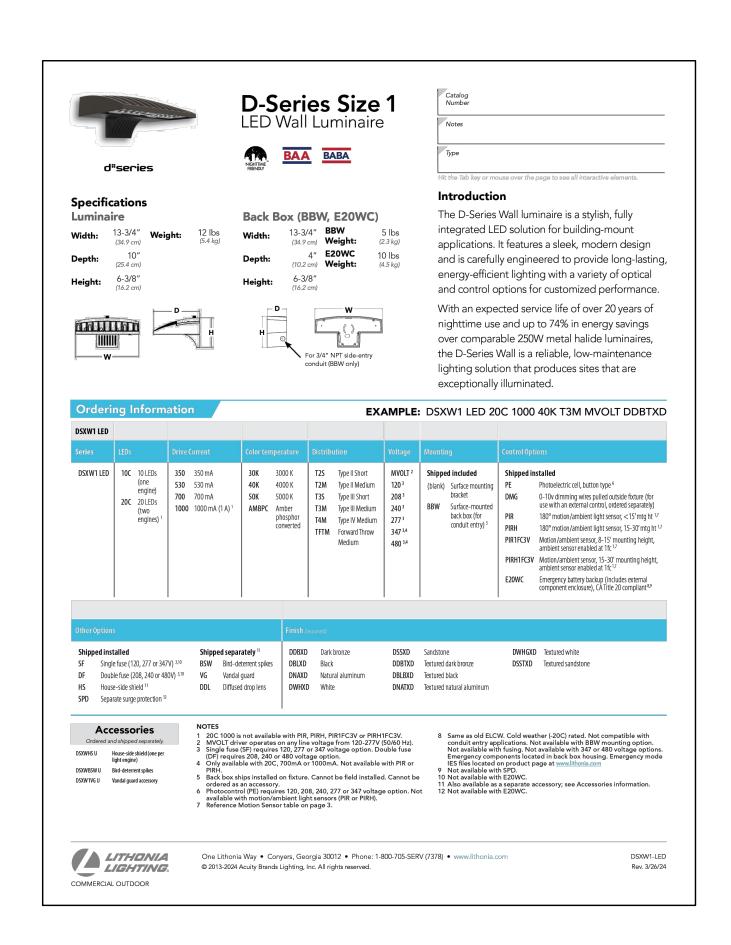
SCALE: 1/2" = 1'-0"



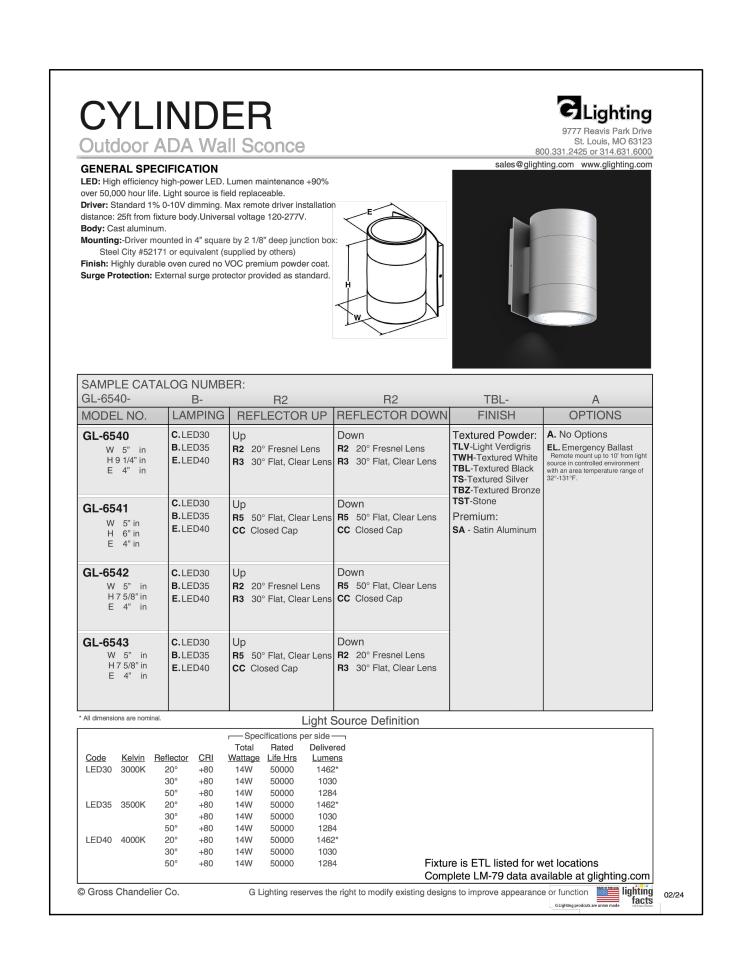
LUMINAIRES - "AA","BB", & "CC"



LUMINAIRE - "C"



LUMINAIRES - "WP1", "WP2", & "WP3"



LUMINAIRE - "WS"

	A STATE OF THE PARTY OF THE PAR			es Size (Luminaire	Number		
н			DLC DLC ISTED NIGHTI FRIEND		Туре	awase over the page to see all interactive	
	0.44 ft ² (0.04 m ²) 26.18 " (66.5 cm) 14.06 " (35.7 cm) 2.26 " (5.7 cm)		BAA B	lt d	Introdu The monology of the mo	dern styling of the fined aesthetic tenvironment. The of the latest in Lerformance, high e. botometric performatellent uniformity, er power density etry aids in reducquired in area ligenergy savings of ife of over 100,000 ect	e D-Series features a hat blends seamlessly D-Series offers the ED technology into n efficacy, long-life nance results in sites greater pole spacing D-Series outstanding ting the number of hiting applications, wi
	ing Informa	tion	EXAMF	PLE: DSX0 LED P6	40K 70CRI T3	M MVOLT SPA N	ILTAIR2 PIRHN DDBX
Series	LEDs	Color temperature ²	Color Rendering Dis			Voltage	
DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 P4 Rotated optics P101 P121 P111 P131	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K (this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	80CRI T4	row T5 S Type I short T5 M Type II medium BL G Type III low glare 3 M Type IV medium LG Type IV low glare 3 LC TOWN T1 LG Type IV low glare 3	LG Type V low glare W Type V wide C3 Type III backlight control 3 C4 Type IV backlight control 3	MVOLT (120V-277V) ⁴ HVOLT (347V-480V) ⁵⁶ XVOLT (277V-480V) ^{7,8} 120 ^{16, 24} 208 ^{16, 24} 240 ^{16, 24} 277 ^{16, 24} 347 ^{16, 24} 480 ^{16, 24}	Shipped included SPA Square pole mounting (#8 drilling, 3.5" min. SQ pole) RPA Round pole mounting (#8 drilling, 3" min. RND pole) SPAS Square pole mounting (#5 drilling, 3" min. SQ pole) RPAS Round pole mounting (#5 drilling, 3" min. SQ pole) SPASN Square narrow pole mounting (#5 drilling, 3" min. SQ pole) WBA Wall bracket "0 MA Mast arm adapter (mounts of 23/8" 0D horizontal tenon)
Control opti	ons			Other options			Finish (required)
Shipped in NLTAIR2 PIR PIR PER		nabled with mobient sensor, ight, ambient sensor, ght, ambient fic 1.12 k.9.9 BLSO B growth fic 1.3 k.9.9 BLSO B growth fic 1.3 k.9.9 DMG Operate) M DMG Ope	even-pin receptacle only ontrols ordered separate) 14.19 eld adjustable output 15.19 eld editional eld editional eld editional eld eld eld eld eld eld eld eld eld el	Shipped installed HS Houseside shield (b L90 Left rotated optics¹ R90 Right rotated optics CCE Coastal Constructior HA 50°C ambient opera BAA Buy America(n) Act SF Single fuse (120, 27 DF Double fuse (208, 2: Shipped separately	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminur DWHGXD Textured white		

LUMINAIRES - "WP4" & "WP5"

HARPETH PARK ENGINEERING LLC
370 MALLORY STATION RD, SUITE 501

FRANKLIN, TN 37067

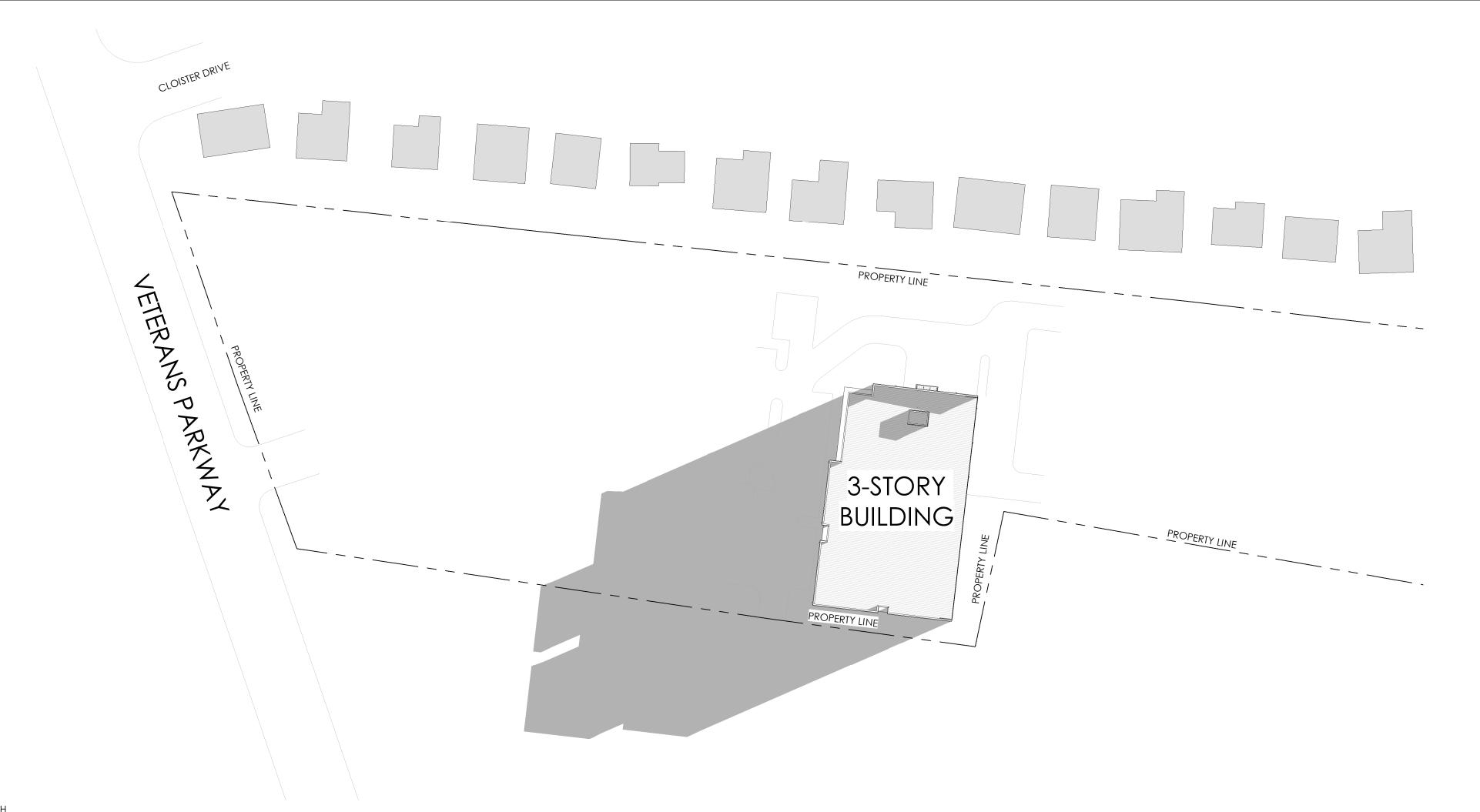
(615) 814-6001

LACKMAN PLAZA
S VETERANS PARKWAY
UNRFREESBORO, TN 37128

AGNICULTURE TO AGNICU
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DATE:	09/18/2024
PROJECT NO:	124039

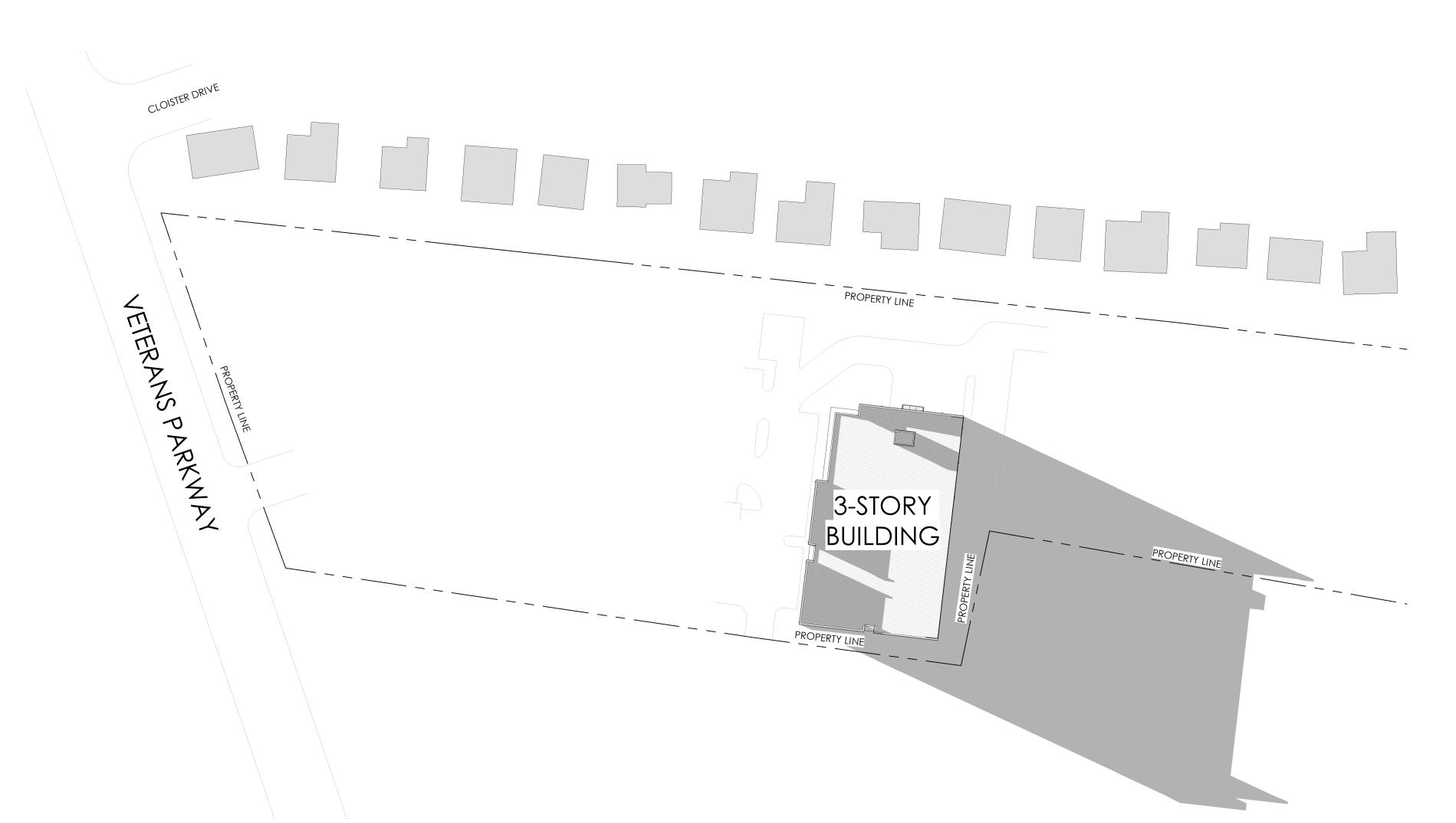
EP1.1



NORTH

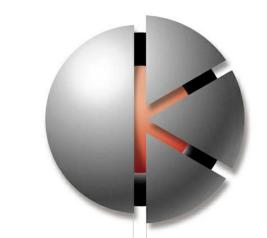
Solar Plan - Summer Solstice Sunrise

SCALE: 1/64" = 1'-0"



Scale: 1/64" = 1'-0"

IMPORTANT NOTE: THE FOLLOWING SOLAR PLANS ARE CONCEPTUAL STUDIES FOR REFERENCE ONLY. FACTORS SUCH AS TOPOGRAPHY, EXACT GEOLOCATION, PRECISE ALIGNMENT TO THE SUN, AND OTHER GEOGRAPHIC / MAN-MADE FEATURES CANNOT BE FULLY ACCOUNTED FOR IN THE SOFTWARE USED TO PRODUCE THIS STUDY. ALSO, OTHER REQUIRED LANDSCAPING FEATURES SUCH AS TREES PLANTED IN THE BUFFER BETWEEN PROPERTIES HAVE NOT BEEN SHOWN AND COULD HAVE ADDITIONAL SHADING IMPACT ONCE MATURED ON THE ADJACENT PROPERTIES.



David K. Kidd Architect, LLC 725 Cool Spring Blvd, Suite 600 Franklin, Tennessee 37067 615.370.3001



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David K. Kidd Architect, LLC

OWNER:

PROJECT:

StorPlace Blackman
4542 VETERANS PARKWAY
MURFREESBORO, TN 37128

REVISIONS:

DATE: 09.16.2024

09.16.20
PROJECT NO.:

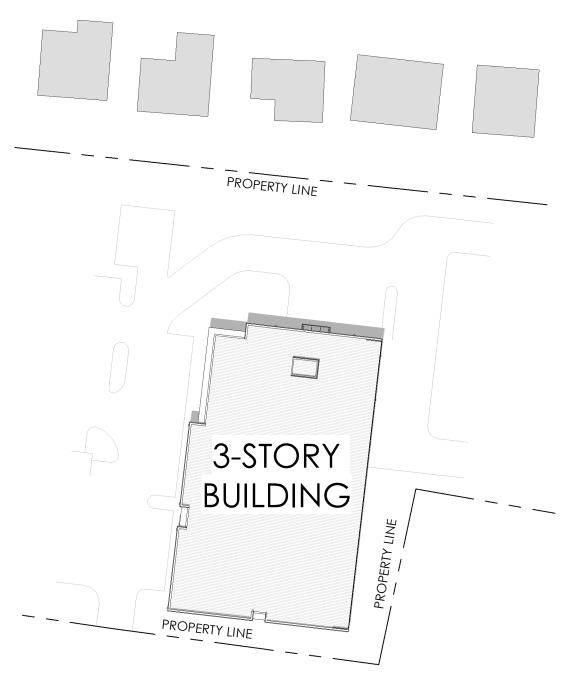
23-401 **DRAWN BY**:

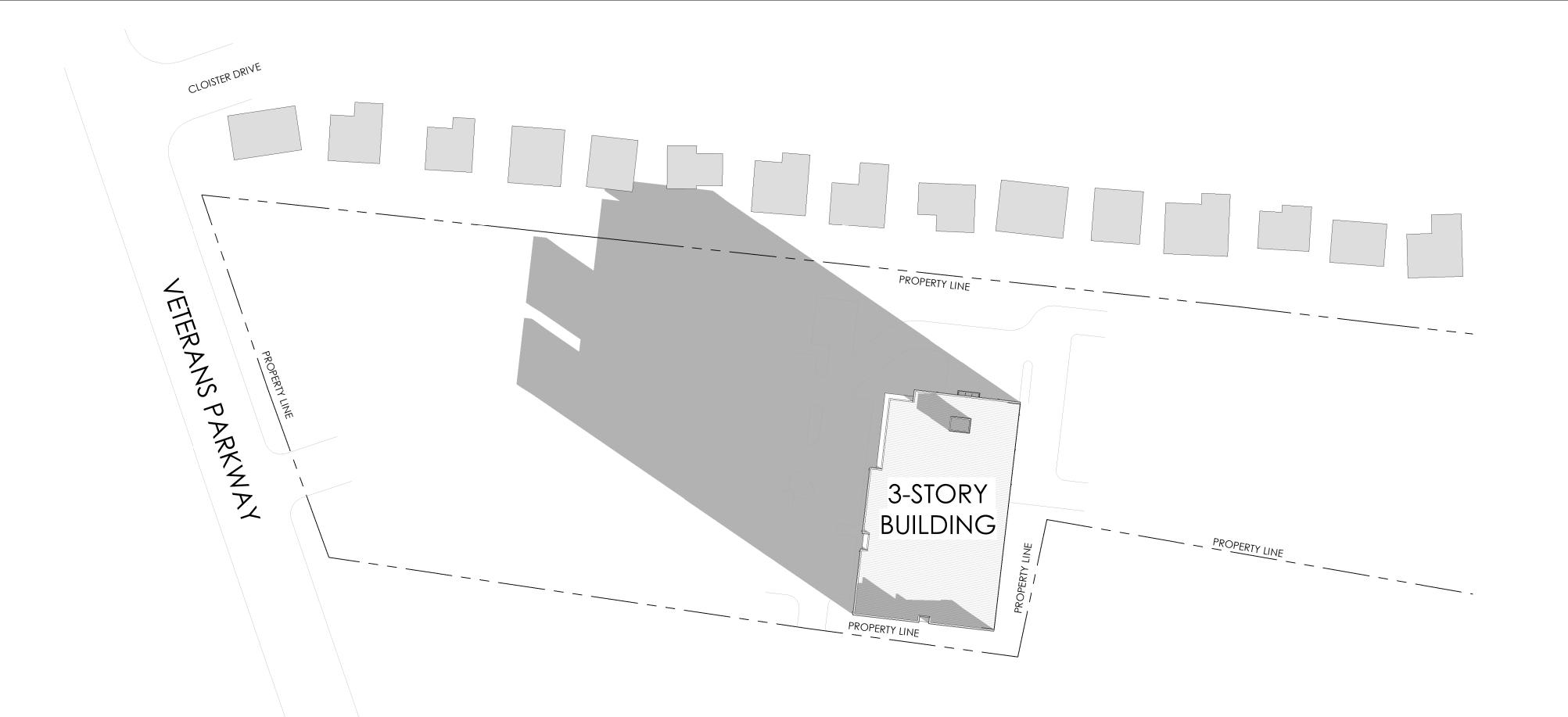
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SOLAR STUDY

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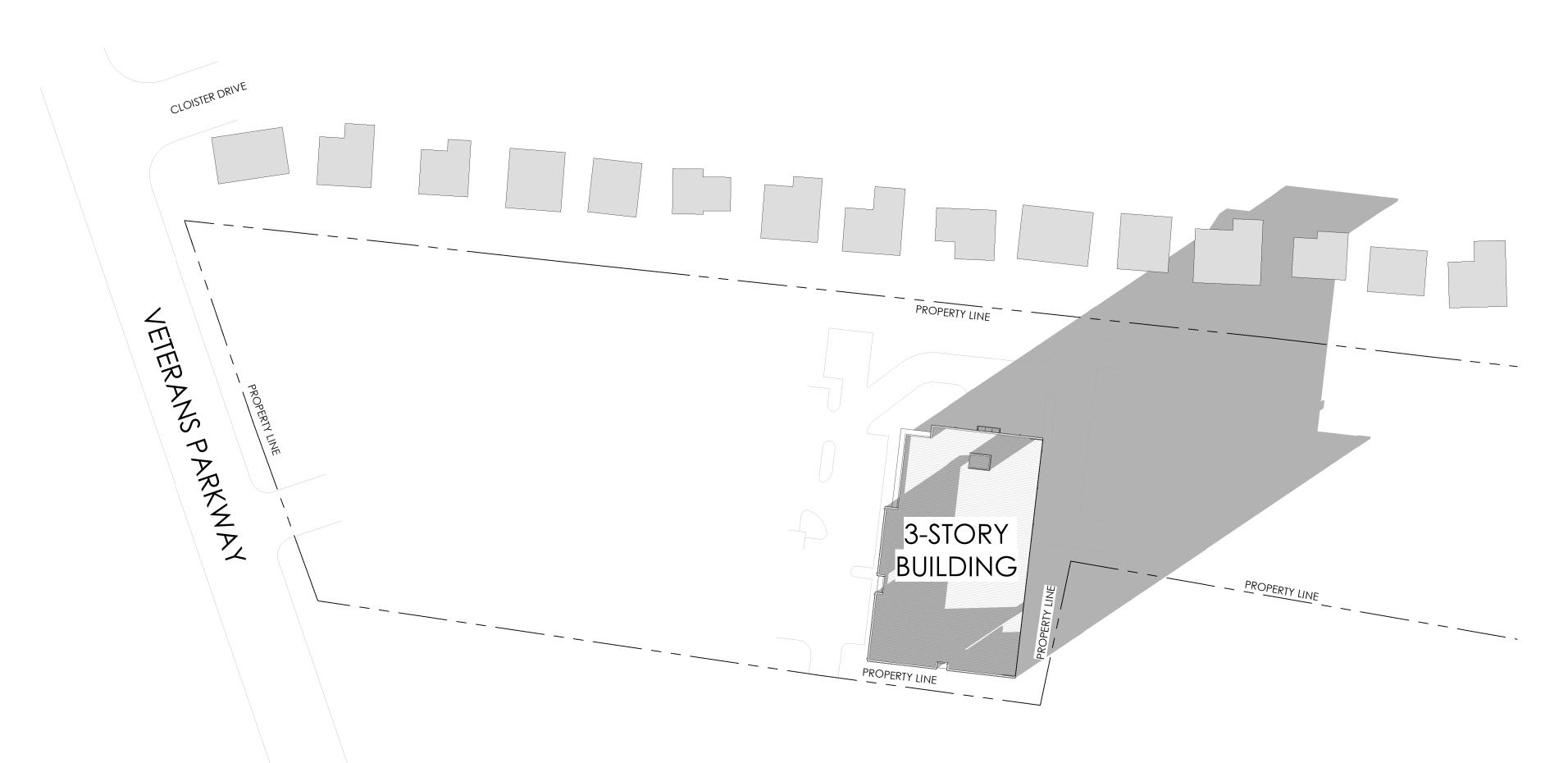




NORTH

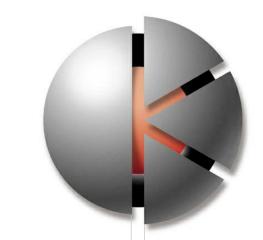
Solar Plan - Winter Solstice Sunrise

SCALE: 1/64" = 1'-0"



Solar Plan - Winter Solstice Sunset

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David K. Kidd Architect, LLC

OWNER:

PROJECT:

kman RKWAY

StorPlace Blackmai 4542 VETERANS PARKW, MURFREESBORO, TN 377

DEMOIONO.

Date Descr

DATE:

09.16.2024

PROJECT NO.: 23-401

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SHEET TITLE:

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A STORY BUILDING

NORTH

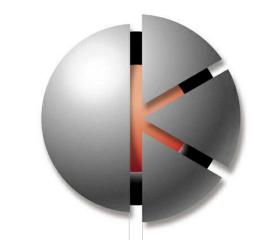
Solar Plan - Equinox Sunrise

SCALE: 1/64" = 1'-0"

ETERANGE PARKET BUILDING

Solar Plan - Equinox Sunset

IMPORTANT NOTE: THE FOLLOWING SOLAR PLANS ARE CONCEPTUAL STUDIES FOR REFERENCE ONLY. FACTORS SUCH AS TOPOGRAPHY, EXACT GEOLOCATION, PRECISE ALIGNMENT TO THE SUN, AND OTHER GEOGRAPHIC / MAN-MADE FEATURES CANNOT BE FULLY ACCOUNTED FOR IN THE SOFTWARE USED TO PRODUCE THIS STUDY. ALSO, OTHER REQUIRED LANDSCAPING FEATURES SUCH AS TREES PLANTED IN THE BUFFER BETWEEN PROPERTIES HAVE NOT BEEN SHOWN AND COULD HAVE ADDITIONAL SHADING IMPACT ONCE MATURED ON THE ADJACENT PROPERTIES.



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OWNER:

PROJECT:

ROJECI.

StorPlace Blackman 4542 VETERANS PARKWAY MURFREESBORO, TN 37128

DEVISIONS

Date Descri

DATE: 09.16.2024

PROJECT NO.: 23-401

DRAWN BY:

SHEET TITLE: SOLAR STUDY

SHEET NO.:

A0.5c



PROPERTY LINE

3-STORY

BUILDING

StorPlace of North Murfreesboro 3451 Memorial Blvd Murfreesboro, TN 37129 +1 (615) 890-4789

Unit #: 101 Gate Access:

Welcome! The following contains pertinent information about the policies of this self-storage facility.

RULES TO STORE BY

Regarding Payments:

- 1. Your monthly rent is \$0.00 due on the first (1st) of each month. Your monthly StorPlace Protection amount due is N/A.
- 2. You can pay online at www.StorPlace.com by phone, US mail or in person during business hours.
- 3. We accept credit cards or cash for monthly payments.
- 4. No partial payments will be accepted.
- 5. Late Payments: If we have not received your payment by the 5th day past due, your gate access will be denied. If payment is not received by the 10th day of each month, a \$20 dollar late fee will be added to your account. If no payment is made for 45 days, a \$50 foreclosure fee will be charged, and we will begin to process your unit for sale at public auction.
- 6. Returned Payment Fee of \$30.00 is charged for all returned payments. Only cash or bank-issued cashier's check is accepted for Returned Payments.

Regarding your storage unit and access to the property:

- 7. **Property Protection** We do not assume liability for your stored items. Tenant is responsible for maintaining Insurance or StorPlace Property Protection (SPP) on all stored property.
- 8. **Do not store any of the following:**Food, seeds, animal feed, explosives, ammunition, liquids, chemicals, accelerants, inflammables (e.g. gas, paint, etc.), live animals, toxic material, odor-producing materials, wet or damp items, hazardous or illegal items.
- 9. Prep work before storing appliances Defrost freezers, drain washer hoses and fuel from lawn equipment, small engines, etc.
- 10. One provided lock only is allowed per door latch. If more than one lock is used, you may be subject to a removal fee.
- 11. Speed Limit on the property is 5 MPH. Please be safe and watch out for each other, especially children and pets.
- 12. Gate hours are 6 A.M to 10 P.M., seven days a week. The gate will not open after 10 P.M. so be sure you are out on time.
- 13. Always use your gate access code. Do not follow anyone through the gate without first putting in your gate code. The gate may close on you or you may not be able to exit.
- 14. The dumpster is NOT provided for customer use and trash removal service is not included with your rent. Do not litter. Anything that has been brought into the facility with you needs to leave with you when you vacate. Anyone caught misusing the dumpster will be subject to a minimum fee of \$100 per occurrence or more depending on the severity of the offense.
- 15. Driveways and aisles should remain clear and do not block another tenant's door.
- 16. Deliveries are to be made directly to your unit and are not accepted in the office. Drivers are not to block driveways or gates.
- 17. Electrical outlets are not for tenant use. StorPlace does not provide tenants with access to electricity, water, or other utilities.
- 18. **Vehicles** are not to be left on the premises overnight. Vehicles stored inside a unit or leased parking spot, must have proof of ownership and up to date insurance coverage documents on file with StorPlace.
- 19. Lock your unit when it is unattended, even for a moment.
- 20. Your storage unit is NOT to be used to conduct daily business, or as a workspace, office space or living space.
- 21. While on the property all individuals are expected to behave in a civil and courteous manner. Courteous use of aisles, driveways and carts are also expected. Abusive language, loud music, aggressive or other inappropriate behavior will not be tolerated.
- 22. Children must be supervised at all times when on the premises.
- 23. If you are using a moving company to move your belongings, you are required to stay with them during the entirety of the move.

Regarding Move Out Procedure:
 24. We require a 10 day advanced written notice of move out. The unit must be vacated on or before the paid-to-date. 25. Rent is Month to Month. We DO NOT pro-rate last months' rent. 26. NO REFUNDS for partial months' used. 27. When moving out - notify the office, the storage unit must be left completely empty, broom swept, clean and ready to re-rent. 28. REMOVE YOUR LOCK when you move out. The lock belongs to you, you paid for it and we do not have a master key for it. Failure to remove your lock will result in continued rental charges and late fees.
Thank you! We appreciate your business and look forward to you having a pleasant stay with us. If we can be of further help, please let us know.

Tenant Signature:	StorPlace NM	Date: 08/08/2023

StorPlace of North Murfreesboro 3451 Memorial Blvd Murfreesboro, TN 37129 Phone: +1 (615) 890-4789

Tenant Information Form

Tenant Contact Information:	Unit #: 101 Lease Date: 04/03/2024 Unit Size: 10 x 10 Rate: \$0.00 StorPlace Protection: N/A
StorPlace NM	Email: nm@storplace.com
3451 Memorial Blvd Murfreesboro, TN 37130	Home Phone: Cell Phone: +1 (615) 631-9731 Work Phone: D.L #:***8888,
Social Security #:	
Alternate Contact Information:	Email: Phone:
, ,	1.10.10
List Authorized Accessors:	
Recovery of Collection Expenses:	
Returned Payment Charge: \$30 fee 0 Days Late: \$20 fee (occurs on Day 11 of each month) 15 Days Late: \$50 fee 0 Days prior to Auction: \$150 Auction fee	
These fees subject to change without notice	
J.N. Initial Here	
StorPlace NM	

I, StorPlace NM, electronically consent to the enforceability of this electronically signed document. I further agree that the electronic

exchange between myself and StorPlace of North Murfreesboro is intended to ultimately create a contract.

Document Ref: UYXE2-KXGSO-ZIYTQ-CCO5Y

StorPlace of North Murfreesboro 3451 Memorial Blvd Murfreesboro, TN 37129 Self-Storage Rental Agreement

Tenant Name: StorPlace NM Unit #: 101 Unit Size: 10 x 10

Unit Type: storage

Tenant Address:

3451 Memorial Blvd, Murfreesboro, TN 37130

Tenant Home Phone:

Tenant Cell Phone:+1 (615) 631-9731

Tenant Work Phone:

Tenant Email:nm@storplace.com

Lease Date: 04/03/2024

Please Remit To: StorPlace of North Murfreesboro 3451 Memorial Blvd

Murfreesboro, TN 37129 **Driver's License** #:****8888,

- 1. RENT MONTH TO MONTH. The term shall be month to month on the first day of each month and shall automatically extend to cover each succeeding monthly period, unless tenant delivers to StorPlace of North Murfreesboro (herein referred to as "StorPlace"), written notice of his intention to terminate this agreement. This must be done prior to the first day of the succeeding month. Tenant shall not be entitled to a refund of first month's rent for any reason. Tenant shall not be entitled to a refund of rent for any portion of the month in which the refund request is made. StorPlace reserves the right to terminate a lease agreement.
- 2. RENT IS DUE ON THE FIRST DAY OF EACH MONTH. The monthly rate shall be payable to StorPlace on or before the first day of each month and is delinquent if not paid by the 5th of the month. StorPlace reserves the right to refuse payment by check. All payments shall first be applied to outstanding late charges or fees ("Additional Rent") before being applied to the outstanding rent. In the event of a lockout and/or Denial of Access it is expressly agreed that rent shall continue at current rate for this size unit until paid in full or until termination of the Rental Agreement by StorPlace, whichever occurs first. The monthly rate may be changed at any time by StorPlace by giving written notice to the tenant. StorPlace reserves the right to use email to send notices to the tenant and the tenant agrees to receive such notices by email.
- **3. STORPLACE DOES NOT PROVIDE CLIMATE CONTROLLED UNITS.** Some storage units are heated or cooled, depending on outside temperature, as an alternative to standard non-heated & cooled units. Heated & cooled units do not provide constant internal temperature or humidity control and StorPlace does not guarantee that temperature and humidity will not fluctuate. Tenant releases StorPlace from liability for damage to stored property (such as mold or mildew) from fluctuations in temperature or humidity from any cause including the negligence of StorPlace agents and employees.
- **4. ABANDONMENT.** Your unit must be secured with a lock in the absence of written notice to StorPlace to the contrary. If all property is removed from the rental unit for fifteen (15) consecutive days and if the Tenant has failed to make his monthly payment before the due date, OR if the tenant has removed his lock from the rental unit, the Tenant shall be deemed to have abandoned the premises.
- **5. AVOID FEES AND LOCKOUT BY PAYING ON TIME.** If the Tenant has an outstanding balance after 5 days of the due date, StorPlace may deny the Tenant access to the premises. Since StorPlace may incur additional costs in the event of the Tenant breaching his agreement, StorPlace can charge additional rent (late charges). The Tenant has read the list of late charges and "Rules to Store By" addendum to this lease. Late charges may be changed without notice.
- **6. YOUR GOODS CAN BE SOLD.** a) Pursuant to the Self Service Storage Facility Act in Tennessee Code Annotated Title 66, Chapter 31, StorPlace and its heirs, executors, administrators, successors, and assigns shall have a Lien upon all personal property located at our self-storage facility for rent, labor, or other charges, present or future, in relation to the expenses reasonably incurred in its sale or other disposition pursuant to this article. The Lien attaches when the personal property is brought to the self-storage facility and continues so long as StorPlace retains possession and until the default is corrected, or a sale is conducted, or the property is otherwise disposed of to satisfy the Lien. The Lien provided for in this section is superior to any other Lien or security interest, except as otherwise provided by law. StorPlace's Lien may be enforced by sending written notice to the Tenant, via hand delivery, by verified mail or by electronic mail to the Tenant's last known address, of StorPlace's claim showing the sum due at the time of the notice and the date when the sum became due. Tenant shall have thirty days from the date of the notice to pay the balance due or the property shall be advertised for public sale.

Before any sale or other disposition of personal property pursuant to this section, the Tenant may pay the amount necessary to satisfy StorPlace's Lien and the reasonable expenses incurred under the statute and thereby redeem the personal property. b) If the property upon which the Lien is claimed is a vehicle and rent and other charges related to the property remain unpaid or unsatisfied sixty (60) days after the maturity of the obligation to pay rent, StorPlace may have the vehicle towed or may sell the vehicle via public auction. StorPlace shall not be liable for the vehicle or any damages to the vehicle once StorPlace takes possession of the property. c) StorPlace's liability arising from the Lien sale is limited to the net proceeds received from the sale of the personal property. d) StorPlace is not liable for identity theft or other harm resulting from misuse of information contained in a document or electronic storage media that are part of the Tenant's property sold or otherwise disposed; and (ii) of which StorPlace did not have actual knowledge.

Are you storing a vehicle in this space? If yes, you will need to provide proof of ownership and insurance for us to retain on file. Tenant must be the vehicle owner. **Yes No**

J.N.

7. USE OF THE STORAGE UNIT. StorPlace is not engaged in the business of storing goods for hire and no bailment is created under this Agreement. StorPlace does not have, nor take care, custody or control over Tenant's stored property. Tenant agrees to use the storage unit only for the storage of property wholly owned by Tenant.

TENANT HEREBY REPRESENTS TO LANDLORD THAT THE TOTAL VALUE OF ALL PROPERTY STORED OR TO BE STORED IN THE FUTURE IN THE STORAGE UNIT IS LESS THAN \$5,000. Tenant agrees that the maximum liability of StorPlace to Tenant for any claim or suit by Tenant, including, but not limited to any suit which alleges wrongful or improper foreclosure or sale of the contents of a storage unit, is \$5,000. Nothing in this section shall be deemed to create any liability on the part of StorPlace to Tenant for any loss or damage to Tenant's property, regardless of the cause.

- **8. PROPERTY IS STORED AT YOUR SOLE RISK**. All of Tenant's personal property stored within or upon the storage unit shall be at Tenant's sole risk. StorPlace, its agents or employees shall not be liable for any loss of or damage to any personal property while at the self-storage facility arising from any cause whatsoever including, but not limited to, burglary, mysterious disappearance, fire, water damage, rodents, Acts of God, or the active or passive acts or omission or negligence of StorPlace, its agents or employees.
- **9. YOU MUST INSURE YOUR PROPERTY**. Tenant, at Tenant's expense, shall maintain a policy of fire, extended coverage endorsement, burglary, vandalism and malicious mischief Insurance for the actual cash value of stored property. Insurance on Tenant's property is a material condition of this Agreement and is for the benefit of both Tenant and StorPlace. Failure to carry the required Insurance is a breach of this Agreement and Tenant assumes all risk of loss to stored property that would be covered by such insurance. Tenant expressly agrees that the insurance company providing insurance shall not be subrogated to any claim of Tenant against StorPlace, StorPlace agents or employees for loss of or damage to property. In lieu of such tenant insurance, tenant may acquire StorPlace Protection up to the value of the stored property (max \$5,000).

10. ANY LIENS ON YOUR STORED GOODS? YES or NO? Yes No

If you responded YES above, fill out information pertaining to secured parties/lienholders below. If you responded NO, please continue to number 11.

SECURED PARTIES/LIENHOLDERS: TENANT DISCLOSES TO LANDLORD:

The property which Tenant intends to store in the storage unit IS subject to security interest or lien in favor of:

(Name and Address)

, ,

- 11. CONDITION OF UNIT. Tenant has examined the storage unit and agrees that the storage unit is satisfactory for all purposes, including safety, security, and size for which Tenant will use it. Tenant has had an opportunity to measure the usable interior space of the storage unit and understands that all representation by StorPlace of the storage unit's size in terms of measurement are approximate. Tenant will, at all times, keep the storage unit neat, clean and in a sanitary condition and will return it to StorPlace in the same condition as when received by Tenant, usual wear and tear expected. All repairs to the storage unit or self-storage center, required as a result of Tenant's acts or omissions shall be at Tenant's sole cost and expense.
- 12. RULES TO STORE BY. DO NOT STORE any of the following: food, explosives or ammunition; petroleum products (e.g. gasoline, diesel fuel, kerosene, mineral spirits, etc.): other flammables (e.g. paint, thinners, propane or butane gas, etc.) hazardous or toxic materials, substances, or wastes; live animals; or odor-producing materials. DO NOT LITTER. Dumpster is for our StorPlace office use only and is NOT provided for Tenant disposal of personal items, petroleum products, hazardous or toxic materials, landscaping materials or any other items. StorPlace shall have the right to promulgate rules and regulations for this operation, safety, care and cleanliness of the premises, or the

preservation of good order on the facility. Tenant agrees to follow all StorPlace's rules now in effect, or that may be put into effect from time to time.

- 13. StorPlace IS NOT LIABLE FOR BODILY INJURY. StorPlace, its agents and employees shall not be liable to Tenant for injury or death to Tenant as a result of Tenant's use of the storage unit or the self-storage facility, even if such injury is caused by the active or passive acts or omissions or negligence of StorPlace, its agents or employees.
- **14. YOU WILL INDEMNIFY** StorPlace. Tenant agrees to indemnify, hold harmless and defend StorPlace, its agents and employees from all claims, demands or lawsuits (including attorney's fees and all costs) that are hereinafter brought by others arising out of Tenant's use of the premises, including claims for StorPlace's active negligence.
- 15. STORAGE OF HAZARDOUS MATERIAL PROHIBITED. Tenant is strictly prohibited from storing or using in the storage unit, or on the premises, petroleum products, flammable materials, or materials and substances classified as hazardous or toxic under any local, state or federal laws or regulations, and from engaging in activities that produce such products, materials, substances, or wastes associated therewith. Tenant's obligations of indemnity as set forth in the Rental Agreement specifically include any cost, expense, fines or penalties imposed against StorPlace, arising out of the storage or use of any hazardous or toxic material by Tenant, Tenant's agents, employees, invitees or guests. StorPlace may inspect any vehicle Tenant drives onto the premises and enter the Tenant's storage unit at any time to remove and dispose of prohibited items.
- **16. DO NOT MAKE CHANGES TO YOUR UNIT.** Tenant will make no alterations or addition to the leased unit or units without the advance written consent of StorPlace, and Tenant will have no power to subject the premises to any mechanic's lien. Any alterations, additions or fixtures shall be made at Tenant's sole cost and shall become the property of StorPlace at termination of this Agreement. However, StorPlace will have the right to compel Tenant, at Tenant's sole expense, to remove any alterations, additions, or fixtures, and to return the unit or units to their original condition at the termination of the Agreement's term.
- 17. WE CAN ENTER YOUR UNIT. StorPlace will have, at all times, the right to enter the unit or units; to make any repairs (however, this provision shall not impose any obligation on StorPlace to make repairs); to ascertain if the provisions of this Agreement have been or are being complied with; and to enforce the provisions of the Agreement including all rights or remedies. Further, Tenant grants StorPlace the right to remove any lock or other security device of Tenant securing the unit without notice to Tenant, if Tenant is in default under this Agreement. Tenant agrees that StorPlace will not be responsible for any loss, theft, or damage to any of Tenant's goods which may occur after Tenant's lock or other security device has been removed. In the event of an emergency, StorPlace or its agents or any representatives of any government authority shall have the right to remove the Tenant's lock and enter his unit.
- **18. DO NOT LEASE YOUR UNIT TO SOMEONE ELSE.** Tenant shall not assign this Agreement or sublet the whole or any portion of the space rented.
- 19. LET US KNOW IF YOU CHANGE YOUR ADDRESS OR CONTACT INFORMATION. Tenant recognizes StorPlace and Tenant are entering into a business relationship. As such, Tenant hereby consents to StorPlace mailing, phoning, faxing, emailing, and texting Tenant with business related communications, marketing, social media and/or other. It shall be the duty of the Tenant to furnish StorPlace notification, in writing, of any changes of physical address, mailing address, phone number, email address or text number.
- **20. NO ORAL AGREEMENTS ACCEPTED.** This Agreement contains the entire agreement between "StorPlace" and the Tenant, and Tenant agrees that he is not relying and will not rely upon any oral representations made by StorPlace, and of Its agents or employees purporting to modify or add to this Agreement in any way.
- **21. ATTORNEY'S FEES.** In the event of any litigation arising out of this Agreement or the use of storage facilities owned by StorPlace, Tenant agrees to reimburse StorPlace all costs associated with such litigation, including reasonable attorney's fees.
- I, StorPlace NM electronically consent to the enforceability of this electronically signed document. I further agree that the electronic exchange between myself and StorPlace of North Murfreesboro is intended to ultimately create a contract.

Unit #: 101	
Executed on:	04/03/2024

By (Management Agent): StorPlace of North Murfreesboro

StorPlace NM

Tenant Name: StorPlace NM

StorPlace of North Murfreesboro 3451 Memorial Blvd Murfreesboro, TN 37129 Phone: +1 (615) 890-4789

Tenant Information Form

Tenant Contact Information:	Unit #: 101 Lease Date: 04/03/2024 Unit Size: 10 x 10 Rate: \$0.00 StorPlace Protection: N/A
StorPlace NM	Email: nm@storplace.com
3451 Memorial Blvd Murfreesboro, TN 37130	Home Phone: Cell Phone: +1 (615) 631-9731 Work Phone: D.L #:***8888,
Social Security #:	
Alternate Contact Information:	Email: Phone:
, ,	1.10.10
List Authorized Accessors:	
Recovery of Collection Expenses:	
Returned Payment Charge: \$30 fee 0 Days Late: \$20 fee (occurs on Day 11 of each month) 15 Days Late: \$50 fee 0 Days prior to Auction: \$150 Auction fee	
These fees subject to change without notice	
J.N. Initial Here	
StorPlace NM	

I, StorPlace NM, electronically consent to the enforceability of this electronically signed document. I further agree that the electronic

exchange between myself and StorPlace of North Murfreesboro is intended to ultimately create a contract.

Document Ref: UYXE2-KXGSO-ZIYTQ-CCO5Y

Signature Certificate

Reference number: UYXE2-KXGSO-ZIYTQ-CCO5Y

Signer Timestamp Signature

StorPlace NM

Email: nm@storplace.com

 Sent:
 03 Apr 2024 16:35:46 UTC

 Viewed:
 03 Apr 2024 16:37:42 UTC

 Signed:
 03 Apr 2024 16:38:21 UTC

Recipient Verification:

✓Email verified 03 Apr 2024 16:37:42 UTC

IP address: 70.90.196.174

Location: Nashville, United States

StorPlace NM

Document completed by all parties on:

03 Apr 2024 16:38:21 UTC

Page 1 of 1



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StorPlace of North Murfreesboro 3451 Memorial Blvd Murfreesboro, TN 37129 +1 (615) 890-4789

Unit #: 101 Gate Access:

Welcome! The following contains pertinent information about the policies of this self-storage facility.

RULES TO STORE BY

Regarding Payments:

- 1. Your monthly rent is \$0.00 due on the first (1st) of each month. Your monthly StorPlace Protection amount due is N/A.
- 2. You can pay online at www.StorPlace.com by phone, US mail or in person during business hours.
- 3. We accept credit cards or cash for monthly payments.
- 4. No partial payments will be accepted.
- 5. Late Payments: If we have not received your payment by the 5th day past due, your gate access will be denied. If payment is not received by the 10th day of each month, a \$20 dollar late fee will be added to your account. If no payment is made for 45 days, a \$50 foreclosure fee will be charged, and we will begin to process your unit for sale at public auction.
- 6. Returned Payment Fee of \$30.00 is charged for all returned payments. Only cash or bank-issued cashier's check is accepted for Returned Payments.

Regarding your storage unit and access to the property:

- 7. **Property Protection** We do not assume liability for your stored items. Tenant is responsible for maintaining Insurance or StorPlace Property Protection (SPP) on all stored property.
- 8. **Do not store any of the following:**Food, seeds, animal feed, explosives, ammunition, liquids, chemicals, accelerants, inflammables (e.g. gas, paint, etc.), live animals, toxic material, odor-producing materials, wet or damp items, hazardous or illegal items.
- 9. Prep work before storing appliances Defrost freezers, drain washer hoses and fuel from lawn equipment, small engines, etc.
- 10. One provided lock only is allowed per door latch. If more than one lock is used, you may be subject to a removal fee.
- 11. **Speed Limit** on the property is **5 MPH.** Please be safe and watch out for each other, especially children and pets.
- 12. Gate hours are 6 A.M to 10 P.M., seven days a week. The gate will not open after 10 P.M. so be sure you are out on time.
- 13. Always use your gate access code. Do not follow anyone through the gate without first putting in your gate code. The gate may close on you or you may not be able to exit.
- 14. The dumpster is NOT provided for customer use and trash removal service is not included with your rent. Do not litter. Anything that has been brought into the facility with you needs to leave with you when you vacate. Anyone caught misusing the dumpster will be subject to a minimum fee of \$100 per occurrence or more depending on the severity of the offense.
- 15. Driveways and aisles should remain clear and do not block another tenant's door.
- 16. Deliveries are to be made directly to your unit and are not accepted in the office. Drivers are not to block driveways or gates.
- 17. Electrical outlets are not for tenant use. StorPlace does not provide tenants with access to electricity, water, or other utilities.
- 18. **Vehicles** are not to be left on the premises overnight. Vehicles stored inside a unit or leased parking spot, must have proof of ownership and up to date insurance coverage documents on file with StorPlace.
- 19. Lock your unit when it is unattended, even for a moment.
- 20. Your storage unit is NOT to be used to conduct daily business, or as a workspace, office space or living space.
- 21. While on the property all individuals are expected to behave in a civil and courteous manner. Courteous use of aisles, driveways and carts are also expected. Abusive language, loud music, aggressive or other inappropriate behavior will not be tolerated.
- 22. Children must be supervised at all times when on the premises.
- 23. If you are using a moving company to move your belongings, you are required to stay with them during the entirety of the move.

Regarding Move Out Procedure:
 24. We require a 10 day advanced written notice of move out. The unit must be vacated on or before the paid-to-date. 25. Rent is Month to Month. We DO NOT pro-rate last months' rent. 26. NO REFUNDS for partial months' used. 27. When moving out - notify the office, the storage unit must be left completely empty, broom swept, clean and ready to re-rent. 28. REMOVE YOUR LOCK when you move out. The lock belongs to you, you paid for it and we do not have a master key for it. Failure to remove your lock will result in continued rental charges and late fees.
Thank you! We appreciate your business and look forward to you having a pleasant stay with us. If we can be of further help, please let us know.

Date: 08/08/2023

Signature Certificate

Reference number: TSJCA-CS9B2-E77HA-3V3VZ

Signer Timestamp Signature

StorPlace NM

Email: nm@storplace.com

 Sent:
 08 Aug 2023 20:44:43 UTC

 Viewed:
 08 Aug 2023 20:49:48 UTC

 Signed:
 08 Aug 2023 20:50:35 UTC

Recipient Verification:

✓ Email verified 08 Aug 2023 20:49:48 UTC

StorPlace NM

IP address: 70.90.196.174 Location: Nashville, United States

Document completed by all parties on:

08 Aug 2023 20:50:35 UTC

Page 1 of 1



Signed with PandaDoc

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MURFREESBORO BOARD OF ZONING APPEALS STAFF REPORT

AUGUST 28, 2024

PRESENTERS: ASSISTANT CITY ATTORNEY JOHN TULLY AND DIRECTOR OF PLANNING BEN NEWMAN

Application: Z-24-024

Location: 810 Northwest Broad Street

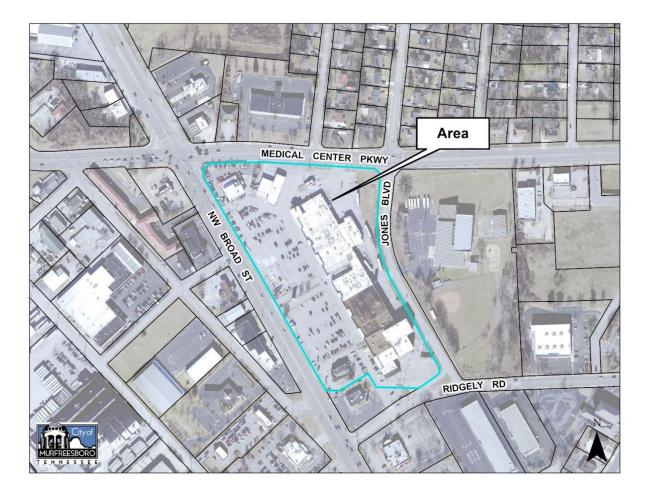
Applicant: AutoZone, Inc., represented by Shawn Henry, Esq., Tune, Entrekin & White, PC

Zoning: CH (Commercial Highway) & GDO-4 (Gateway Design Overlay District)

Request: Administrative appeal of a decision from the Zoning Administrator regarding

whether a proposed use at 810 NW Broad Street constitutes Distribution of Automobile Parts and Components and/or Warehousing, Transporting/Distributing, which are not permitted in the Commercial Highway

(CH) zone.

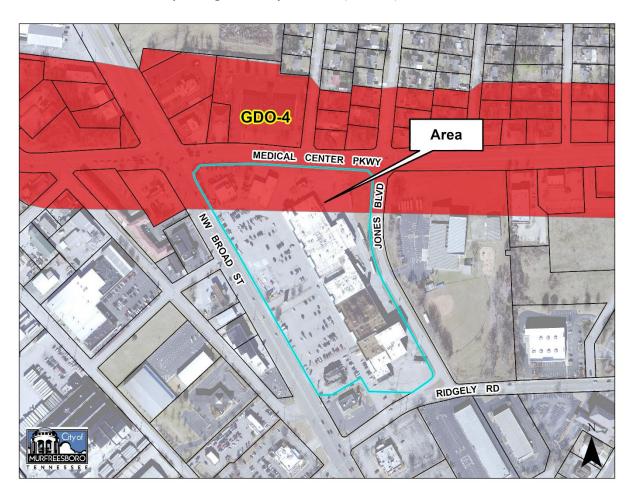


Overview

The applicant, AutoZone, Inc., represented by Shawn Henry, Esq., Tune, Entrekin & White, PC, has submitted a notice of appeal from an administrative decision regarding whether a proposed use constitutes Distribution of Automobile Parts and Components and/or Warehousing, Transporting/Distributing. The subject property is located at 810 Northwest Broad Street, located at the Jackson Heights Commercial Center. The property is zoned Commercial Highway (CH), with a portion of the property, and building, located within the Gateway Design Overlay District (GDO-4). The Jackson Heights commercial center contains a number of retail uses that are permitted in the CH zone district. AutoZone wishes to develop a Hub/Megahub that will have a retail store front in the commercial suite but will primarily consist of storage space for inventory in support of the Megahub distribution model.

Applicable Zoning Law

The property is zoned Commercial Highway (CH), with a portion of the property, and building, located within the Gateway Design Overlay District (GDO-4).



Staff Analysis and Recommendation

Staff recommends upholding the Director of Planning's determination that the planned use falls under Chart 1 as "Warehousing, Transporting/Distributing" and Distribution of Automobile Parts and Components. These uses are only permitted in the L-I, G-I, and H-I zoning districts.

BZA Role in Appeal

Section 12 of the Zoning Ordinance provides that the Board of Zoning Appeals has the authority to hear and decide appeals from any order, requirement, decision or determination by any department, office or bureau responsible for the administration of the Zoning Ordinance. Upon the timely filing of a proper notice of appeal, the BZA must hold a hearing on the appeal within forty-five days.

Prior to the adjournment of the meeting, the BZA may affirm, reverse, or modify the decision or determination appealed from. In doing so, the BZA may issue an order, impose a requirement or render a decision or determination which it deems appropriate under the same powers as the Planning Department. Alternatively, the BZA may take the appeal under advisement or defer the decision until the next regular meeting of the BZA.

AutoZone's proposal is not a retail shop

In an attempt to categorize the building as non-warehouse, Autozone classified the building as a "retail shop, other than enumerated elsewhere" in the BZA appeal paperwork. Retail shop is defined in Section 2 of the Zoning Ordinance as "an establishment engaged primarily in the sale of goods for personal use or consumption rather than for resale to the ultimate customer." Autozone's communications with the Planning Department make clear that it intends to use this location as a warehouse and distribution center for its other stores in and around the City.

Autozone's proposal is not an accessory structure or use

The Hub/Megahub which Autozone proposes is comprised of a small portion of retail and commercial space (4933 sq ft), with the majority of the footprint being a warehouse (19,750 sq ft). "Warehouse: is defined as "a building used primarily for the storage of goods and materials" per Section 2 of Zoning Ordinance. Zoning Ordinance Chart 1, Endnote 18 provides that warehouses are permitted by right when they are "incidental and accessory to another use." Section 2 of the Zoning Ordinance defines "accessory structure or use" as "a structure or use which:

- (A) is subordinate to and serves a principal building or use;
- (B) is subordinate in area, extent and purpose to the principal structure or principal use;
- (C) contributes to the comfort, convenience or necessity of the occupants, business or industry in the principal structure or principal use served; and,
 - (D) is located on the same zoning lot as the principal structure or principal use.

The proposed Autozone building, inclusive of the warehouse space does not meet all of the criteria for an "accessory structure or use." Therefore, the proposed use is not accessory to a permitted use, but rather is properly considered a warehouse.

Autozone's SEC Form 10-k filing defines Hub/Megahub as Distribution Centers

Autozone is a publicly-traded company, and as such is required by the U.S. Securities and Exchange Commission to file an annual report in Form 10-K. In its most recent Form 10-K, AutoZone has made clear that Hubs and MegaHubs deliver products to local stores, are used to stock its stores, and are used to increase AutoZone's ability to timely distribute products to its stores. Moreover, when Planning staff requested that AutoZone provide addresses of other store locations which would operate similarly to the proposed location, AutoZone responded by directing Planning staff to tour its MegaHub located on Nolensville Pike. The Nolensville Pike MegaHub operation is consistent with AutoZone's representations and description in its 2023 Form 10-K report. This intended use is properly considered distribution of automobile parts and components, which is not permitted in Jackson Heights Commercial Center. The Zoning Ordinance does not permit distribution of automobile parts and components in areas zoned CH or GDO-4, whether or not such distribution is accessory to another use.

Attachments:

- 1. Write Up on Information Used to Review and Support Director's Determination for AutoZone Hub as Warehousing/Distribution.
- 2. Emails between Staff and AutoZone or Representative
- 3. Application for Administrative Appeal and Supporting Documents

Information Used to Review and Support Director's Determination for AutoZone Hub as Warehousing/Distribution.

Endnote18 to Chart 1 of the Murfreesboro Zoning Ordinance provides that "Warehouses incidental and accessory to another use are permitted by right wherever such other use is permitted."

An "Accessory Structure or Use" is defined in Section 2 of that Zoning Ordinance as "An accessory structure or use is a structure or use which:

- (A) is subordinate to and serves a principal building or use;
- (B) is subordinate in area, extent and purpose to the principal structure or principal use;
- (C) contributes to the comfort, convenience or necessity of the occupants, business or industry in the principal structure or principal use served; and,
- (D) is located on the same zoning lot as the principal structure or principal use."

Based upon that definition, City staff has determined that, due to its purpose and size relative to the retail component, the "Hub" or "Mega Hub" warehouse planned by AutoZone is the principal use, and that it is not "incidental and accessory" to the retail component. As the principal use, it is classified in Chart 1 as "Warehousing, Transporting/Distributing", which is only permitted in the L-I, G-I, and H-I zoning districts. The zoning classification for the proposed AutoZone location is CH.

The following is a list of information used to help determine the use of AutoZone's request for 810 NW Broad St otherwise known as Jackson Heights Shopping Center.

- 1. AutoZone Annual Report
- 2. Emails between Brad Barbee and Phillip Pecord.
- 3. Information gathered in a City/AutoZone meeting April 16, 2024.
- 4. Site visit to an AutoZone MegaHub on Nolensville Pike.
- 5. Review of the proposed site.

AutoZone's Annual Reports including its Form 10-k submitted to the United States Securities and Exchange Commission was reviewed. A 10-K report is a yearly report that is intended to keep shareholders and potential investors informed about the company's business activities. In essence, the 10-K report tells the public what AutoZone is doing and expects to continue doing.

Within the form, AutoZone makes very clear that the Hubs are for distribution. Below are some excerpts from AutoZone's 2023 Form 10-K found at https://about.autozone.com/static-files/a4ebf7cd-8800-45ac-b4d5-57772b3cdafb:

Page 9, paragraph 1: Our hub stores (including mega hubs, which carry an even broader assortment) carry a larger assortment of products that are delivered to local satellite stores.

Page 10, paragraph 2: We ended fiscal 2023 with 308 domestic and 39 international hub stores, which have a larger assortment of products as well as regular replenishment items that can be delivered to a store in its network within 24 hours. Hub stores are generally replenished from distribution centers multiple times per week. Hub stores have increased our ability to distribute products on a timely basis to many of our stores and to expand our product assortment.

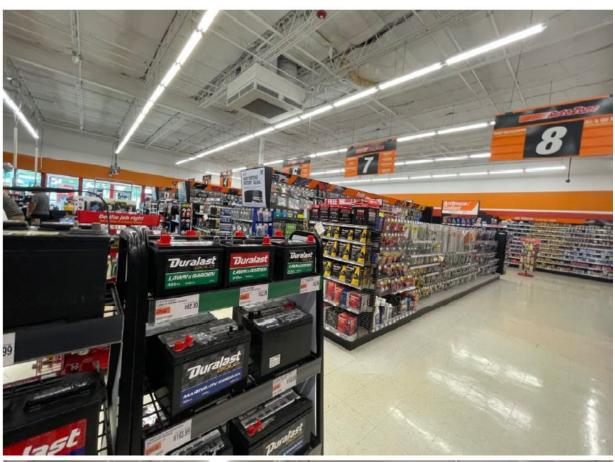
Page 10, paragraph 3: Mega hubs provide coverage to both surrounding stores and other hub stores multiple times a day or on an overnight basis. Currently, we have over 6,000 domestic stores with access to mega hub inventory. A majority of these stores currently receive mega hub service same day.

Page 17, 3rd heading: Our ability to grow depends in part on new store openings, existing store remodels and expansions and effective utilization of our existing supply chain and hub network.

Page 18, paragraph 1: In addition, we extensively utilize our hub network, our supply chain and our logistics management techniques to efficiently stock our stores.

Emails between Principal Planner, Brad Barbee, and AutoZone representative Phillip Pecord, relayed information regarding the requested use. Mr. Pecord described, among other things, the use of 8 vehicles, vans and pickup trucks, for deliveries. The last email from Mr. Barbee to Mr. Pecord was March 6, 2024 stating that the warehousing use was not permitted in the area. On April 16, 2024, representatives of AutoZone and the City met virtually to exchange more information. Some of the helpful information gleaned from this meeting showed generally that the distribution model of AutoZone is moving to a hub and spoke type of model in a large portion of their markets. The Hub is located in the center of an area with retail stores surrounding the hub. This was clear from the proposed Hub and other retail locations shown to the City. AutoZone informed City Staff that the Hub would supply other stores with parts purchased by customers at those stores.

On May 10, 2024, City representatives visited and toured the Nolensville Pike AutoZone Hub store to get a better understanding of its operation. Pictures were taken at this visit and representatives spoke to an AutoZone team member who was very familiar with the operation. The AutoZone rep informed the City that the retail operation was limited to two areas: The space open to the public with merchandise isles and the shelving behind the retail sales counter. The retail shelving storage protrudes back until it stops at perpendicular shelving for Hub and other operations. The two following pictures highlight the retail dedicated space.





The AutoZone rep stated that the main square footage of the building was dedicated to Hub activity utilizing a team of employees and delivery vehicles that distributed to 16 stores. The following pictures show the warehouse space with tall racks and thousands of parts ready to be distributed to other locations. The general public is not allowed in the Hub area.





The AutoZone rep stated that there was an area dedicated to commercial sales in the side of the Nolensville Pike building pictured below.



The Nolensville Pike building pictured below is approximately 34,000 square feet whereas the proposed site for the Hub in Murfreesboro is 25,000 to 28,000 square feet.



AutoZone's requested location is approximately 25,000 square feet. 2,000 to 4,000 will be used for retail space and the remaining 21,000 to 23,000 square feet will be dedicated to warehouse racking full of auto parts that the public is excluded from accessing.



In conclusion, the warehousing use is not subordinate in area, extent nor purpose to the retail space. All of the information gathered in an attempt to understand AutoZone's proposed use point to warehousing and distribution as the primary or principal use with retail on site as a secondary or subordinate use. This warehousing/distribution use as the principal use is not permitted in the CH zone.

Richard Donovan

From: Pecord, Phil <phil.pecord@autozone.com>

Sent: Tuesday, March 5, 2024 3:22 PM

To: Brad Barbee

Cc: yuri civilengineeringservices.net

Subject: [EXTERNAL]- FW: store 6591- Murfreesboro TN

You don't often get email from phil.pecord@autozone.com. Learn why this is important

Below is the explanation regarding the store operation, and the address of the Megahub that will support the surrounding stores. We will have 8 vehicles for commercial deliveries only.

Phillip Pecord AutoZone Store Development phone (901) 495-8706 fax (901) 495-8969



From: Hancock, James <James.Hancock@autozone.com>

Sent: Tuesday, March 5, 2024 3:14 PM

To: Pecord, Phil <phil.pecord@autozone.com>

Cc: Bentley, David <david.bentley@autozone.com>; Scharf, Thomas <Thomas.Scharf@autozone.com>

Subject: RE: store 6591- Murfreesboro TN

Phil-

A "No Route" MegaHub store is a stand-alone MegaHub, and will not routinely deliver parts to surrounding AutoZone stores in and around Murfreesboro. The reason we're planning a "Stand Alone" MH in Murfreesboro is because AZ#5963, located at 5731 Nolensville Rd, in Nashville, is an open and operating "routed" MH, and does make deliveries to other AutoZone stores on the south side of Nashville.

The store will have a commercial program. Please see e-mail from John Stelljes regarding the number of commercial vehicles (light trucks and cars) John envisions for the store.

James D. (JD) Hancock
Real Estate Development Manager
Customer Satisfaction
AutoZone, Inc.
123 S Front Street
Memphis, TN 38103

From: Scharf, Thomas < Thomas. Scharf@autozone.com>

Sent: Tuesday, March 5, 2024 10:50 AM

<James.Hancock@autozone.com>

Cc: Bentley, David <david.bentley@autozone.com>

Subject: RE: store 6591- Murfreesboro TN

JD – this is for you

Thomas Scharf

AutoZone Inc Real Estate Zone Manager US Relocations & Southeast Zone (901)495-7935

From: Pecord, Phil < phil.pecord@autozone.com>

Sent: Tuesday, March 5, 2024 10:41 AM

To: Groff, Richard <ri>chard.groff@autozone.com>; Scharf, Thomas <</ri>

Cc: Bentley, David < david.bentley@autozone.com >

Subject: store 6591- Murfreesboro TN

I have some issues for you to help clarify for this store to respond to the city planner.

First, what is a "no route" megahub? The planner wants to know if we are servicing other stores and how many outbound shipments are made weekly.

Second, he has concerns that the loading dock is visible to the public along the side street (Medical Center Parkway), which is against the overlay district. Since this is on the shopping center land, we will need help from the landlord.

Phillip Pecord AutoZone Store Development phone (901) 495-8706 fax (901) 495-8969



Richard Donovan

From: Brad Barbee

Sent: Monday, February 26, 2024 3:57 PM **To:** yuri civilengineeringservices.net

Cc: Matthew Blomeley; Greg McKnight; ray civilengineeringservices.net; Nathaniel Palmer

Subject: RE: AutoZone Store - Remodel

Good afternoon Yuri,

Thanks for the response. I need to have a better idea of the inbound and outbound traffic for the store. Total number of all inbound deliveries and what types of vehicles are used to make them. I also need the same for outgoing shipments. I'm looking for details so we can best understand how the property might be used.

I didn't find an elevation for the dock side of the building. We will also need to see how this area will be treated and screened. This building fronts on several public streets.

Will any inventory be unloaded in other areas or staged for shipments other than directly to/from the dock?

The Gateway Design Overlay district and Design Guidelines both have standards for this property. Determining the specific use is a part of the information that have requested above.

The Due Diligence meeting is typically scheduled once we have received the completed request form and we have enough information hold a productive meeting.

Please reach out with any questions.

Best regards,

BRAD BARBEE
PRINCIPAL PLANNER
CITY OF MURFREESBORO
PLANNING DEPARTMENT
111 W. Vine Street

Murfreesboro, TN 37130 P: 615-893-6441 ext: 1611

From: yuri civilengineeringservices.net < yuri@civilengineeringservices.net >

Sent: Monday, February 26, 2024 12:12 PM

To: Brad Barbee <bbarbee@murfreesborotn.gov>

Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>; ray civilengineeringservices.net <ray@civilengineeringservices.net>; Nathaniel Palmer

<nathaniel@civilengineeringservices.net>

Subject: RE: AutoZone Store - Remodel

You don't often get email from yuri@civilengineeringservices.net. Learn why this is important

Hi Brad,

AutoZone looked at the zoning code, and said they did not find any design standards for our use. Attached are the color elevation drawing and photos of the building. The building work includes a new storefront entrance, raising a part of the canopy for our sign, and painting the side wall of the building. As for deliveries, most will be the semi truck from the distribution center. There may be a couple of vendor deliveries, either from the vendor directly or by FedEx. This store is expected to service 20 stores in the area, which are currently

Do you have set meeting dates for the Due Diligence Meeting Request? Sorry, I thought I had that written down, but cannot find it.

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

From: Brad Barbee <bbarbee@murfreesborotn.gov>

served by the megahub in Nashville (5731 Nolensville Pike).

Sent: Thursday, February 22, 2024 3:46 PM

To: yuri civilengineeringservices.net < <u>yuri@civilengineeringservices.net</u>>

Cc: Matthew Blomeley mblomeley@murfreesborotn.gov; Greg McKnight gregmcknight@murfreesborotn.gov;

Subject: RE: AutoZone Store - Remodel

Good afternoon Yuri,

When you reach out to AutoZone could you also request the number of stores that this location will service, the number of deliveries expected each week by vehicle type (box truck, semi, etc.), and any other information that would help staff to unbetter understand the proposal?

Best regards,

BRAD BARBEE
PRINCIPAL PLANNER
CITY OF MURFREESBORO
PLANNING DEPARTMENT
111 W. Vine Street
Murfreesboro, TN 37130
P: 615-893-6441 ext: 1611

From: yuri civilengineeringservices.net < yuri@civilengineeringservices.net >

Sent: Thursday, February 22, 2024 3:03 PM

To: Brad Barbee <bbarbee@murfreesborotn.gov>

Cc: Matthew Blomeley mblomeley@murfreesborotn.gov; Greg McKnight gregmcknight@murfreesborotn.gov;

Subject: RE: AutoZone Store - Remodel

You don't often get email from yuri@civilengineeringservices.net. Learn why this is important

Thank you Brad,

Can you please direct me to the Gateway Design Overlay Regs?

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

From: Brad Barbee <bbarbee@murfreesborotn.gov>

Sent: Thursday, February 22, 2024 2:56 PM

To: yuri civilengineeringservices.net < yuri@civilengineeringservices.net >

Cc: Matthew Blomeley mblomeley@murfreesborotn.gov; Greg McKnight gregmcknight@murfreesborotn.gov;

Subject: AutoZone Store - Remodel

Good afternoon Yuri,

It was good speaking with you earlier today. Please complete the attached request for and return it to me with the items specified in #7 and #8 of the form.

Once I receive the requested documents a due diligence meeting will be scheduled.

Please reach out with any questions.

Best regards,

BRAD BARBEE
PRINCIPAL PLANNER
CITY OF MURFREESBORO

PLANNING DEPARTMENT

111 W. Vine Street Murfreesboro, TN 37130 P: 615-893-6441 ext: 1611

From: yuri civilengineeringservices.net < yuri@civilengineeringservices.net >

Sent: Thursday, February 22, 2024 2:45 PM

To: Brad Barbee

bbarbee@murfreesborotn.gov> Subject: [EXTERNAL]- RE: AutoZone Store - Remodel

You don't often get email from yuri@civilengineeringservices.net. Learn why this is important

Respectfully,

Yuri Hawley **Senior Project Manager Civil Engineering Services, PC** P.O. Box 1302 Fairview, Tennessee 37062 Ph#(615)495-0132

yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

From: yuri civilengineeringservices.net Sent: Thursday, February 22, 2024 2:34 PM

To: Brad Barbee <bbarbee@murfreesborotn.gov>

Subject: FW: AutoZone Store - Remodel

Respectfully,

Yuri Hawley **Senior Project Manager Civil Engineering Services, PC** P.O. Box 1302 Fairview, Tennessee 37062 Ph#(615)495-0132 yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

From: yuri civilengineeringservices.net **Sent:** Thursday, February 22, 2024 2:31 PM

To: Matthew Blomeley < mblomeley@murfreesborotn.gov >

Subject: FW: AutoZone Store - Remodel

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

From: yuri civilengineeringservices.net **Sent:** Wednesday, February 7, 2024 6:01 PM

To: hsmyth@murfreesborotn.gov

Cc: Nathaniel Palmer <nathaniel@civilengineeringservices.net>; ray civilengineeringservices.net

<<u>ray@civilengineeringservices.net</u>> **Subject:** RE: AutoZone Store - Remodel

Hi Holly,

Please see answers below:

The dumpster is located behind the store, shown as Keynote 3 on attached Sheet C1

The existing loading dock is used for the deliveries. It is currently in poor shape and will be repaired or replaced.

We will try to work the truck turn drawing tomorrow to send to you.

The public sales floor (Mercantile) is 4933SF. The hard parts area (storage occupancy) is 19,750SF.

The landlord will be removing the following tenants for AutoZone- Scoopy's Mexican Ice cream, H&R Block, Thai Pattaya restaurant in front (with 1 vacant space), and Aya Sushi restaurant on the side. I don't know if the landlord intends to relocate them or to just vacate them.

Deliveries will be one per day during the middle of the day.

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From: yuri civilengineeringservices.net **Sent:** Wednesday, February 7, 2024 2:46 PM

To: hsmyth@murfreesborotn.gov

Cc: Nathaniel Palmer < nathaniel@civilengineeringservices.net >

Subject: AutoZone Store - Remodel

Please see attached, thanks Holly!

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132

yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

Richard Donovan

From: yuri civilengineeringservices.net < yuri@civilengineeringservices.net>

Sent: Monday, February 26, 2024 12:12 PM

To: Brad Barbee

Cc: Matthew Blomeley; Greg McKnight; ray civilengineeringservices.net; Nathaniel Palmer

Subject: RE: AutoZone Store - Remodel **Attachments:** TN6591-CE1 09-12-23-Model.pdf

Some people who received this message don't often get email from yuri@civilengineeringservices.net. Learn why this is important

Hi Brad,

AutoZone looked at the zoning code, and said they did not find any design standards for our use.

Attached are the color elevation drawing and photos of the building. The building work includes a new storefront entrance, raising a part of the canopy for our sign, and painting the side wall of the building.

As for deliveries, most will be the semi truck from the distribution center. There may be a couple of vendor deliveries, either from the vendor directly or by FedEx. This store is expected to service 20 stores in the area, which are currently served by the megahub in Nashville (5731 Nolensville Pike).

Do you have set meeting dates for the Due Diligence Meeting Request? Sorry, I thought I had that written down, but cannot find it.

Respectfully,

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Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

From: Brad Barbee <bbarbee@murfreesborotn.gov>

Sent: Thursday, February 22, 2024 3:46 PM

To: yuri civilengineeringservices.net < yuri@civilengineeringservices.net >

Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>

Subject: RE: AutoZone Store - Remodel

Good afternoon Yuri,

When you reach out to AutoZone could you also request the number of stores that this location will service, the number of deliveries expected each week by vehicle type (box truck, semi, etc.), and any other information that would help staff to unbetter understand the proposal?

Best regards,

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PRINCIPAL PLANNER
CITY OF MURFREESBORO
PLANNING DEPARTMENT

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To: Brad Barbee <bbarbee@murfreesborotn.gov>

Cc: Matthew Blomeley <mblomeley@murfreesborotn.gov>; Greg McKnight <gregmcknight@murfreesborotn.gov>

Subject: RE: AutoZone Store - Remodel

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Thank you Brad,

Can you please direct me to the Gateway Design Overlay Regs?

Respectfully,

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yuri@civilengineeringservices.net



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Subject: FW: AutoZone Store - Remodel

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Subject: FW: AutoZone Store - Remodel

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Senior Project Manager
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Ph#(615)495-0132
yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

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Sent: Wednesday, February 7, 2024 6:01 PM

To: hsmyth@murfreesborotn.gov

Cc: Nathaniel Palmer <nathaniel@civilengineeringservices.net>; ray civilengineeringservices.net

<<u>ray@civilengineeringservices.net</u>> **Subject:** RE: AutoZone Store - Remodel

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Ph#(615)495-0132
yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

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To: hsmyth@murfreesborotn.gov

Cc: Nathaniel Palmer <nathaniel@civilengineeringservices.net>

Subject: AutoZone Store - Remodel

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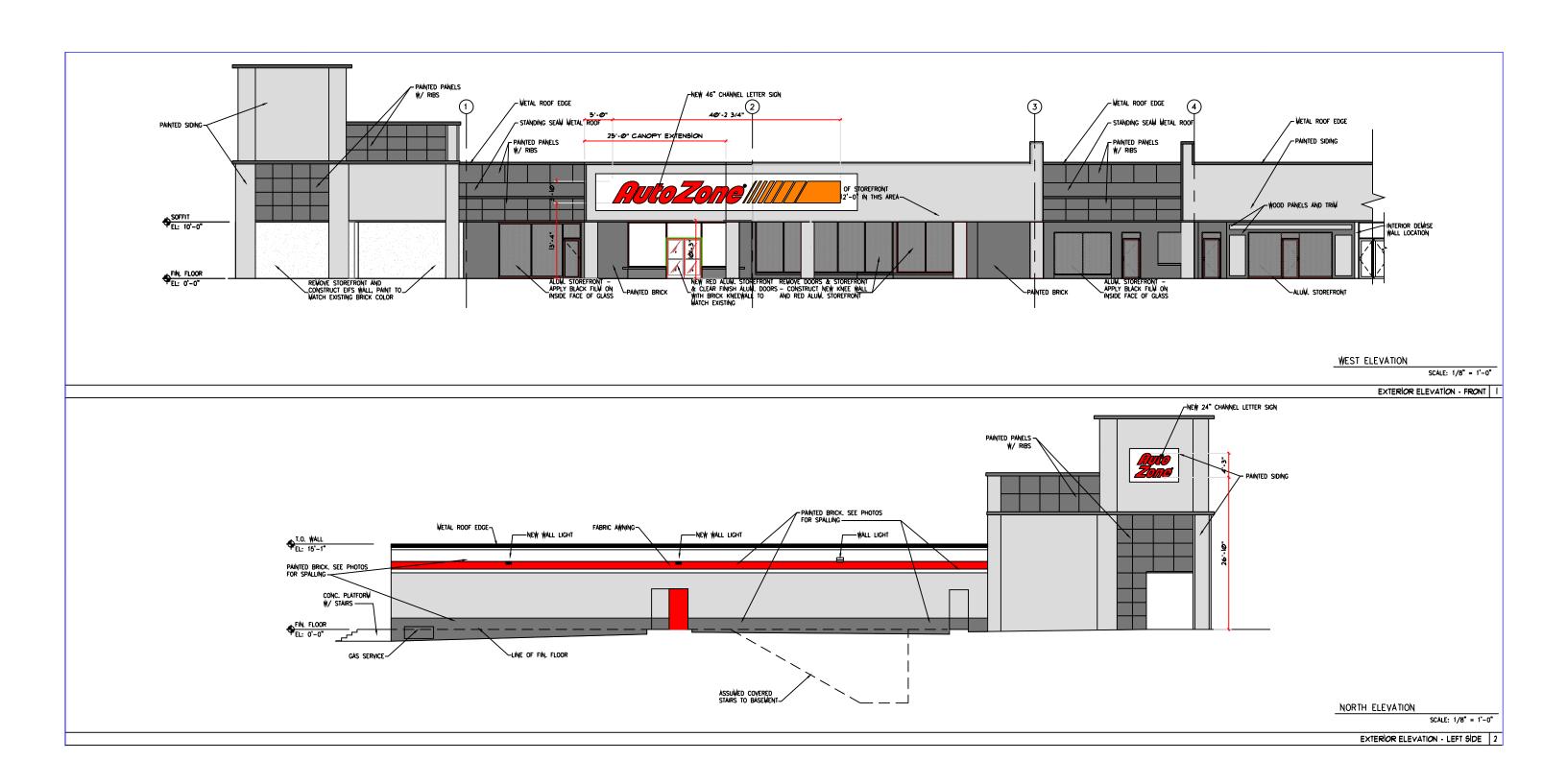
Respectfully,

Yuri Hawley Senior Project Manager Civil Engineering Services, PC P.O. Box 1302 Fairview, Tennessee 37062 Ph#(615)495-0132

yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/



Richard Donovan

From: Brad Barbee

Sent: Tuesday, March 5, 2024 9:38 AM

To: Pecord, Phil; yuri civilengineeringservices.net

Cc: Bentley, David; Hancock, James; ray civilengineeringservices.net

Subject: RE: AutoZone Store - Remodel

Good morning Phil,

Can you please provide the address of a couple store locations like the one proposed for this location in order to provide some additional perspective?

Thank you,

BRAD BARBEE
PRINCIPAL PLANNER
CITY OF MURFREESBORO
PLANNING DEPARTMENT

111 W. Vine Street Murfreesboro, TN 37130 P: 615-893-6441 ext: 1611

From: Pecord, Phil <phil.pecord@autozone.com>

Sent: Thursday, February 29, 2024 4:12 PM

To: Brad Barbee

barbee@murfreesborotn.gov>; yuri civilengineeringservices.net <yuri@civilengineeringservices.net>

Cc: Bentley, David <david.bentley@autozone.com>; Hancock, James.Hancock@autozone.com>; ray

civilengineeringservices.net <ray@civilengineeringservices.net>

Subject: RE: AutoZone Store - Remodel

You don't often get email from phil.pecord@autozone.com. Learn why this is important

Brad, here are our responses for you:

- 1. 1-2 deliveries per week, from semi truck from DC in Lexington TN
- 2. No outbound shipments. There will be commercial customers that will need deliveries. These will be handled in small vehicles (vans or pickup trucks) on as-needed basis.
- 3. Attached is our permit drawing relative to exterior elevations. We intend to paint the wall dark and medium gray to match the building color.
- 4. No. this store will not serve other stores, as that is and will be handled from our hub in Nashville.

Phillip Pecord AutoZone Store Development phone (901) 495-8706 fax (901) 495-8969



From: Brad Barbee < bbarbee@murfreesborotn.gov >

Sent: Thursday, February 29, 2024 3:21 PM

To: yuri civilengineeringservices.net < <u>yuri@civilengineeringservices.net</u> >; Pecord, Phil < <u>phil.pecord@autozone.com</u> >

Cc: Bentley, David < david.bentley@autozone.com>; ray

civilengineeringservices.net < ray@civilengineeringservices.net >

Subject: RE: AutoZone Store - Remodel

Good afternoon Yuri,

I apologize as I was expecting more information. I still need:

- Total number of all inbound deliveries and what types of vehicles are used to make them.
- Number of outgoing shipments.
- Elevation for the dock side of the building. We will also need to see how this area will be treated and screened. This building fronts on several public streets.
- Will any inventory be unloaded in other areas or staged for shipments other than directly to/from the dock? The response indicated only counter purchases. How will this location serve 20 stores with no shipments?

The Gateway Design Overlay district and Design Guidelines both have standards for this property. Determining the specific use is a part of the information that have requested above.

The Due Diligence meeting is typically scheduled once we have received the completed request form and we have enough information hold a productive meeting.

Please reach out with any questions.

Best regards,

Thank you,

BRAD BARBEE
PRINCIPAL PLANNER
CITY OF MURFREESBORO
PLANNING DEPARTMENT

111 W. Vine Street Murfreesboro, TN 37130 P: 615-893-6441 ext: 1611 From: yuri civilengineeringservices.net < yuri@civilengineeringservices.net >

Sent: Thursday, February 29, 2024 3:12 PM

To: Pecord, Phil <phil.pecord@autozone.com>; Brad Barbee
bbarbee@murfreesborotn.gov>

Cc: Bentley, David <<u>david.bentley@autozone.com</u>>; Hancock, James <<u>James.Hancock@autozone.com</u>>; ray

<u>civilengineeringservices.net</u> < <u>ray@civilengineeringservices.net</u> >

Subject: RE: AutoZone Store - Remodel

You don't often get email from yuri@civilengineeringservices.net. Learn why this is important

Hi Brad,

Do you have everything you need sir to set a meeting date?

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

From: Pecord, Phil < phil.pecord@autozone.com>
Sent: Tuesday, February 27, 2024 11:34 AM

To: Brad Barbee < barbee@murfreesborotn.gov >; yuri civilengineeringservices.net < yuri@civilengineeringservices.net >

Cc: Bentley, David < david.bentley@autozone.com>

Subject: FW: AutoZone Store - Remodel

I have a further clarification regarding the store operation. This store will not have route deliveries, since that will be handled by the store on Nolensville Pike in Nashville. Instead, all products in this store are to be sold at the checkout counter (for DIY customers) and by commercial customers (at the commercial counter at the front of the store).

Phillip Pecord AutoZone Store Development phone (901) 495-8706 fax (901) 495-8969



From: Pecord, Phil

Sent: Tuesday, February 27, 2024 10:25 AM

To: yuri <u>civilengineeringservices.net</u> <<u>yuri@civilengineeringservices.net</u>>; Brad Barbee <<u>bbarbee@murfreesborotn.gov</u>>
Cc: Matthew Blomeley <<u>mblomeley@murfreesborotn.gov</u>>; Greg McKnight <<u>gregmcknight@murfreesborotn.gov</u>>; ray civilengineeringservices.net <ray@civilengineeringservices.net>; Nathaniel Palmer

civilengineeringservices.net < ray@civilengineeringservices.net >; Nathaniel @civilengineeringservices.net >

Subject: RE: AutoZone Store - Remodel

Brad, here are my responses to your questions:

- 1. The existing loading dock is to remain and be repaired. Attached is picture of this area. Other doors will be replaced with masonry infill, to be painted to match the existing wall color. This is the only area for deliveries to this store.
- 2. We will have 2 doors on the side wall, which will be used to send out products to satellite stores (the hub function). The delivery vehicles are vans or pickup trucks.
- 3. Can you inform me of specific design issues in the overlay district relative to the building modifications. I looked at the overlay regulations, but I did not see where the design standards are to be found.

Phillip Pecord AutoZone Store Development phone (901) 495-8706 fax (901) 495-8969



From: yuri <u>civilengineeringservices.net</u> < <u>yuri@civilengineeringservices.net</u> >

Sent: Monday, February 26, 2024 4:01 PM

To: Brad Barbee

bbarbee@murfreesborotn.gov>

Cc: Matthew Blomeley <<u>mblomeley@murfreesborotn.gov</u>>; Greg McKnight <<u>gregmcknight@murfreesborotn.gov</u>>; ray civilengineeringservices.net; Nathaniel Palmer

<nathaniel@civilengineeringservices.net>; Pecord, Phil phil.pecord@autozone.com>

Subject: RE: AutoZone Store - Remodel

Hi Brad, I am including Phil with AutoZone to answer your questions and provide additional information sir.

Phil, please see below email sir. Can you please assist?

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

From: Brad Barbee < bbarbee@murfreesborotn.gov >

Sent: Monday, February 26, 2024 3:57 PM

To: yuri civilengineeringservices.net <yuri@civilengineeringservices.net>

Cc: Matthew Blomeley <<u>mblomeley@murfreesborotn.gov</u>>; Greg McKnight <<u>gregmcknight@murfreesborotn.gov</u>>; ray

<u>civilengineeringservices.net</u> <<u>ray@civilengineeringservices.net</u>>; Nathaniel Palmer

<nathaniel@civilengineeringservices.net>
Subject: RE: AutoZone Store - Remodel

Good afternoon Yuri,

Thanks for the response. I need to have a better idea of the inbound and outbound traffic for the store. Total number of all inbound deliveries and what types of vehicles are used to make them. I also need the same for outgoing shipments. I'm looking for details so we can best understand how the property might be used.

I didn't find an elevation for the dock side of the building. We will also need to see how this area will be treated and screened. This building fronts on several public streets.

Will any inventory be unloaded in other areas or staged for shipments other than directly to/from the dock?

The Gateway Design Overlay district and Design Guidelines both have standards for this property. Determining the specific use is a part of the information that have requested above.

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Please reach out with any questions.

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PRINCIPAL PLANNER

CITY OF MURFREESBORO PLANNING DEPARTMENT

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<nathaniel@civilengineeringservices.net>
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Do you have set meeting dates for the Due Diligence Meeting Request? Sorry, I thought I had that written down, but cannot find it.

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To: yuri civilengineeringservices.net>

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PLANNING DEPARTMENT
111 W. Vine Street

Murfreesboro, TN 37130 P: 615-893-6441 ext: 1611

From: yuri <u>civilengineeringservices.net</u> < <u>yuri@civilengineeringservices.net</u> >

Sent: Thursday, February 22, 2024 2:45 PM

To: Brad Barbee < bbarbee@murfreesborotn.gov >
Subject: [EXTERNAL]- RE: AutoZone Store - Remodel

You don't often get email from yuri@civilengineeringservices.net. Learn why this is important

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

From: yuri civilengineeringservices.net
Sent: Thursday, February 22, 2024 2:34 PM
To: Brad Barbee bbarbee@murfreesborotn.gov

Subject: FW: AutoZone Store - Remodel

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

From: yuri <u>civilengineeringservices.net</u> **Sent:** Thursday, February 22, 2024 2:31 PM

To: Matthew Blomeley < mblomeley@murfreesborotn.gov >

Subject: FW: AutoZone Store - Remodel

Respectfully,

Yuri Hawley
Senior Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062
Ph#(615)495-0132
yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

From: yuri <u>civilengineeringservices.net</u>
Sent: Wednesday, February 7, 2024 6:01 PM

To: hsmyth@murfreesborotn.gov

Cc: Nathaniel Palmer <nathaniel@civilengineeringservices.net>; ray civilengineeringservices.net

<ray@civilengineeringservices.net> Subject: RE: AutoZone Store - Remodel

Hi Holly,

Please see answers below:

The dumpster is located behind the store, shown as Keynote 3 on attached Sheet C1

The existing loading dock is used for the deliveries. It is currently in poor shape and will be repaired or replaced.

We will try to work the truck turn drawing tomorrow to send to you.

The public sales floor (Mercantile) is 4933SF. The hard parts area (storage occupancy) is 19,750SF.

The landlord will be removing the following tenants for AutoZone- Scoopy's Mexican Ice cream, H&R Block, Thai Pattaya restaurant in front (with 1 vacant space), and Aya Sushi restaurant on the side. I don't know if the landlord intends to relocate them or to just vacate them.

Deliveries will be one per day during the middle of the day.

Respectfully,

Yuri Hawley Senior Project Manager Civil Engineering Services, PC P.O. Box 1302 Fairview, Tennessee 37062 Ph#(615)495-0132

yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

From: yuri civilengineeringservices.net Sent: Wednesday, February 7, 2024 2:46 PM

To: hsmyth@murfreesborotn.gov

Cc: Nathaniel Palmer <nathaniel@civilengineeringservices.net>

Subject: AutoZone Store - Remodel

Please see attached, thanks Holly!

Respectfully,

Yuri Hawley Senior Project Manager Civil Engineering Services, PC P.O. Box 1302 Fairview, Tennessee 37062 Ph#(615)495-0132 yuri@civilengineeringservices.net



https://www.civilengineeringservices.net/

Richard Donovan

From: Scharf, Thomas <Thomas.Scharf@autozone.com>

Sent: Wednesday, March 27, 2024 9:21 AM **To:** Hancock, James; Greg McKnight

Cc: Brad Barbee

Subject: RE: [EXTERNAL] - Proposed AutoZone, Jackson Heights Plaza, Murfreesboro, TN

You don't often get email from thomas.scharf@autozone.com. Learn why this is important

Greg,

Hope you are doing well! We would like to show you our large store operations. We currently have just over 100 of the large stores open in the US. Occasionally we have experienced push back due to back room inventory, but all were eventually approved and opened. AutoZone Store SKUs: Standard Prototype 20,000 SKUs; HUB Store 55,000 - 64,000 SKUs; and Mega HUB is 85,000 - 100,000 SKUs.

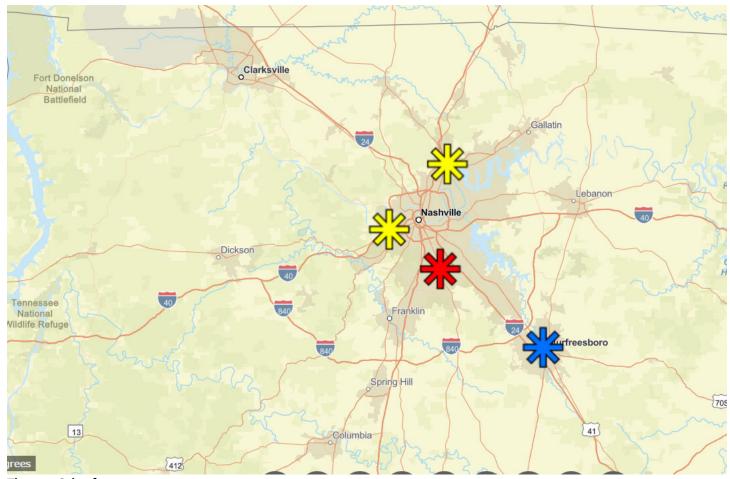
Pushback has always centered around two subjects – distribution and sales floor to back room ratio. First I want you to understand that stores are replenished from Distribution Centers and the Distribution Center in Lexington, TN handles this area. The original Mega HUB concept had a distribution component – three times a day a van would go out with parts for sister stores. Now that AutoZone has a target of 200+ Mega HUBs the concept has changed. Example – Atlanta has 5 open Mega HUBs with 1 in Pipeline – only 3 of those 6 will distribute parts. Murfreesboro Mega HUB will not have that distribution component as it is handled out of our Nashville Mega HUB. Murfreesboro will stand alone on its four wall sales (DIY and Commercial Program). AutoZone can not afford to put this inventory in all of our stores and that is why we landed on 200 of our 6,000 US. The sales floor of a mega is just a little bit bigger than standard prototype(with the addition of one more gondola). AutoZone is different from standard retailer in that we can not let the customer sort through all of our parts. We can not have a customer sort through the spark plugs of all the cars manufactured or the brake rotors for every application.

FYI – we expect one semi-truck from DC per day at this location.

Below is our Mega HUB footprint. Red = Open Mega HUB; Blue = Pipeline(approved) Mega HUB; and Yellow = Mega HUB target.

Please work with us to set up a tour of Nashville Mega HUB.





Thomas Scharf

AutoZone Inc Real Estate Zone Manager US Relocations & Southeast Zone (901)495-7935

From: Hancock, James < James. Hancock@autozone.com>

Sent: Tuesday, March 26, 2024 12:48 PM

To: Greg McKnight <gregmcknight@murfreesborotn.gov>

Subject: RE: [EXTERNAL]- Proposed AutoZone, Jackson Heights Plaza, Murfreesboro, TN

Greg-

Any update on when you'd be able to meet me at the AutoZone store on Nolensville Rd just north of Old Hickory Boulevard? I would like to give Store Operations a little notice so we can arrange to show you the operation. Please advise.

James D. (JD) Hancock
Real Estate Development Manager
Customer Satisfaction
AutoZone, Inc.
123 S Front Street
Memphis, TN 38103
901-545-9190-Cell

From: Greg McKnight < gregmcknight@murfreesborotn.gov >

Sent: Friday, March 15, 2024 11:12 AM

To: Hancock, James < <u>James.Hancock@autozone.com</u>>

Cc: Scharf, Thomas <Thomas.Scharf@autozone.com>; Brad Barbee

bbarbee@murfreesborotn.gov>

Subject: Re: [EXTERNAL]- Proposed AutoZone, Jackson Heights Plaza, Murfreesboro, TN

Hello JD,

It was nice meeting you as well. I will be taking a trip to your Nolensville location. Once I've had a chance to see the operation I don't mind sitting back down with you.

Get Outlook for iOS

From: Hancock, James <James.Hancock@autozone.com>

Sent: Friday, March 15, 2024 10:57:29 AM

To: Greg McKnight <gregmcknight@murfreesborotn.gov>

Cc: Scharf, Thomas < Thomas. Scharf@autozone.com >; Brad Barbee < bbarbee@murfreesborotn.gov >

Subject: [EXTERNAL]- Proposed AutoZone, Jackson Heights Plaza, Murfreesboro, TN

You don't often get email from james.hancock@autozone.com. Learn why this is important

Greg-

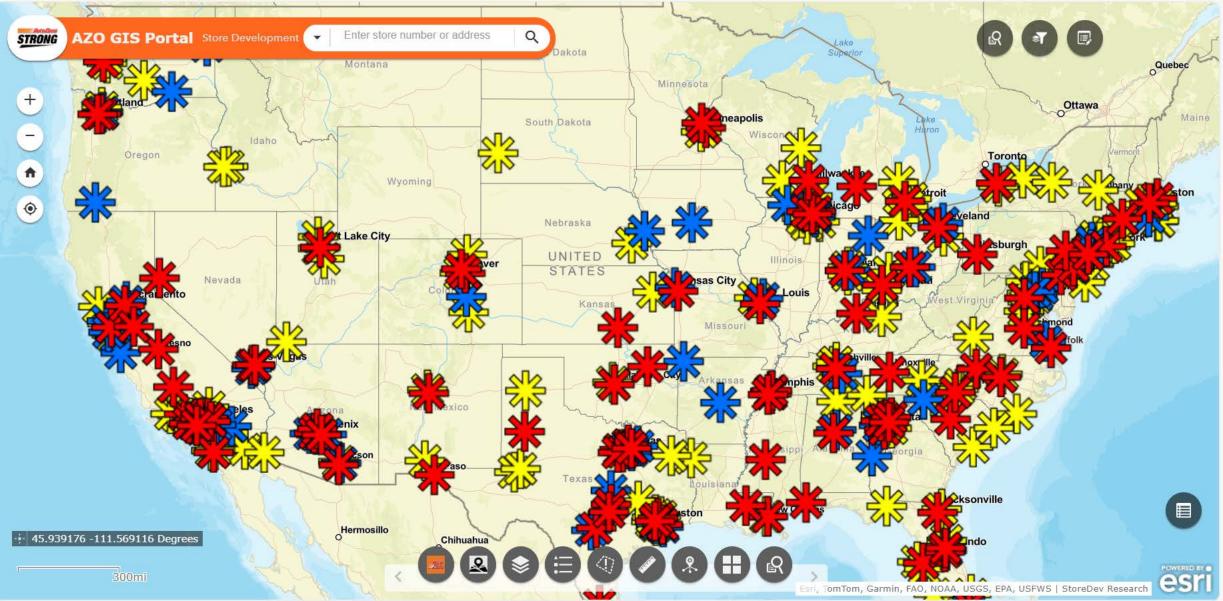
Thanks for meeting with me yesterday in regard to AutoZone's proposed use in the Jackson Heights Plaza shopping center. I spoke with Brad Barbee a few minutes ago, who indicated you're unwilling to review the sales of AutoZone's sales at our MegaHub location on Nolensville Rd in Nashville.

I indicated to Brad this morning that 74% of our sales at that location in Nashville are derived from retail DIY customers, and 26%, commercial. We're clearly a retail use. Most of the 100 MegaHubs we have open in the U.S. have a 70% DIY/30% Commercial sales ratio. We expect the same in Murfreesboro.

Please advise when I can reschedule a meeting in your office to discuss AutoZone's use with you and Brad, and confidentially review the sales breakdown of our Nolensville Rd store. I can also address any questions or concerns about AutoZone's use in Jackson Heights Plaza.

I look forward to hearing from you.

James D. (JD) Hancock
Real Estate Development Manager
Customer Satisfaction
AutoZone, Inc.
123 S Front Street
Memphis, TN 38103
901-545-9190-Cell



City of Murfreesboro BOARD OF ZONING APPEALS

NOTICE OF APPEAL FROM ADMINISTRATIVE DECISION

	Appellant Name: TonE	ENTREKIN & WHITE, FC. (ATTN: SHAWN TENRY)
		277-2466(D) 615-244-2770(O)
		11THAVEN. SUITE GOO
	City: NASHVILLE	State: TN Zip: 37403
	Control of the Contro	
	City Department responsible f	or decision: PLANNING DEPT.
	Person making Decision: 💍	EN NEWMAN Decision Date: APRIL 30 2024
-	Decision/Order/Requirement	Determination being Appealed: Attach Copy
	AUTOZONE	"RETAIL" PARTS STORE
	DETERM	NED TO BE A
	"WAREHOU	SING TRANSPORTING DISTRIBUTING USE
		Ordinance with which Decision is inconsistent and describe
	nature of inconsistency. Attac	COPY APPENDIX A: ZONING CHART 1
	RETAIL SHOP O	THER THAN ENUMERATED ELSEGHERE IS
		RIGHT IN COMMERCIAL HIGHCIAY DISTRICT
	IF WAREHOUSE	S ARE PERMITTED BY RIGHT IF INCIDENTAL &
		THER USE, 50 TOO MUST PARTS WENTER DEING
	Signature:	Date: 5/15/24 5010 OVER THE
		CHAILCOUNTER
		(FN18)
	Received by:	Make check payable to: City of Murfreesboro
	Date:	Paid: Cash Check No:
		Receipt No:
	Appeal No:	

TUNE, ENTREKIN & WHITE, P.C.

THOMAS V. WHITE
PETER J. STRIANSE
HUGH W. ENTREKIN
ROBERT L. DELANEY
LESA HARTLEY SKONEY
JOSEPH P. RUSNAK
SHAWN R. HENRY
T. CHAD WHITE
TIMOTHY N. O'CONNOR
SAMUEL J. BLANTON
EMILY A. GUTHRIE

ATTORNEYS AT LAW

CAPITOL VIEW
500 11th AVENUE NORTH, SUITE 600
NASHVILLE, TENNESSEE 37203

TEL (615) 244-2770 FAX (615) 244-2778

May 15, 2024

JOHN C. TUNE (1931-1983)

ERVIN M. ENTREKIN (1927-1990)

OF COUNSEL:
JOHN W. NELLEY, JR.
THOMAS C. SCOTT
JOHN P. WILLIAMS
GEORGE A. DEAN

Via Email to: mblomeley@murfreesborotn.gov

Mr. Davis Young, Chairman City of Murfreesboro Board of Zoning Appeals C/O Matthew Blomeley, Asst. Planning Dir. 111 W. Vine Street City Hall, 1st Floor Murfreesboro, TN 37130

RE: Appeal of Administrative Decision in re AutoZone (810 NW Broad St)

Dear Chairman Young and Board Members:

On behalf of AutoZone, please accept this letter, application and fee today and place this matter on the BZA agenda for June 26, 2024. This appeal is filed pursuant to Zoning Ordinance § 12 – a challenge to the "Planning Director's Determination on Proposed Use at 810 NW Broad St (Jackson Heights)" issued on April 30, 2024, by Ben Newman, Director of Land Management and Planning (attached). The land use determination is in error based on the following information:

- 1. The building was constructed in the early 1960s as Jackson Heights Shopping Center. A variety of restaurants, grocers, and retailers occupied the site including Western Auto, a retail parts store. See attached photo.
- 2. AutoZone has 6 retail stores in Murfreesboro, all are open to the general public.
- 3. To my knowledge, AutoZone stores have never been classified by the city as warehouses for parts distribution.
- 4. The proposed 7th store at 810 NW Broad St. will operate and function the same as the other 6 stores. It will simply be larger with more inventory like a retail super store.
- 5. Each AutoZone store has most of the floor area devoted to inventory. This fact is no different to its competitors and well-known big box retailers.
- 6. The renovation of this building will eliminate several "dock doors" presently visible from the street. The aesthetic improvements cannot be overstated. See attached elevation comparisons.

Zoning Ordinance Land Use Definitions

• "Retail shop: An establishment engaged primarily in the sale of goods for personal use or consumption rather than for resale to the ultimate customer."

TUNE, ENTREKIN & WHITE, P.C.

Mr. Davis Young, BZA Chairman

May 15, 2023 Page 2

- "Warehouse: A building used primarily for the storage of goods and materials."
- "Principal use: A use that fulfills a primary function of an establishment, institution, household, or other entity located on a given lot."
- Chart 1 fn 18: "Warehouses incidental and accessory to another use are permitted by right wherever such other use is permitted." (p. App A:305)
- AutoZone is a "Retail Shop, other than enumerated elsewhere." Subject to Chart 1 Footnote 18.

This AutoZone location will be a retail shop with accessory storage of inventory no different than any other retailer. The amount of floor space devoted to product inventory is immaterial to the primary function of the business, which is to sell product, not warehouse it. The terms "Hub" and "MegaHub" are akin to "SuperStore" and should not be interpreted by the city to mean the principal use is "warehousing, transporting/distributing."

This store location will not be devoted "primarily for the storage of goods and materials." A retail superstore with substantial inventory of product incidental to retail sales is still a retail shop. Chart 1 footnote 18 explicitly authorizes retailers to stock inventory so long as such inventory is incidental and accessory to the principal retail use of the property, as is the case here.

Based on this information, and more to be proven at the hearing, we respectfully request that the Board reverse the administrative land use decision.

Respectfully,

Shawn R. Henry

CC: Ben Newman (<u>bnewman@murfreesborotn.gov</u>)
David Ives (<u>dives@murfreesborotn.gov</u>)



. . . creating a better quality of life.

4/30/2024

Phillip Pecord AutoZone Stores Development Phil.pecord@autozone.com 901.495.8706

RE: Planning Director's Determination on Proposed Use at 810 NW Broad St (Jackson Heights)

Dear Mr. Pecord,

I am writing to inform you of the decision regarding your proposed use of Distribution of Automobile Parts and Components/Warehousing, Transporting/Distributing at 810 NW Broad Street in the City of Murfreesboro. After careful review and consideration of the Zoning Ordinance and relevant regulations, it has been determined that the proposed use is not compatible with the allowed uses in the specified zone.

The proposed Hub/MegaHub has been determined to be more consistent with the categories of Distribution of Automobile Parts and Components/Warehousing, Transporting/Distributing; Distribution of Automobile Parts and Components/Warehousing, Transporting/Distributing is not one of the permitted uses under the Zoning Ordinance for the specified zone.

The determination aims to ensure that proposed uses adhere to the established Zoning Ordinances, which are designed to promote the health, safety and welfare of the residents of the City of Murfreesboro.

Although the proposed use has been denied in its current form, I encourage you to explore alternative options that may be more compatible with the Zoning Ordinances. Should you have any questions or require further clarification regarding this determination, please do not hesitate to contact our office. You may appeal this determination through the process found in Sections 12 and 30 of the City of Murfreesboro Zoning Ordinances located at https://www.murfreesborotn.gov/DocumentCenter/View/7181/Zoning-Ordinance--2024-Appendix-A-PDF?bidId=

Thank you for your understanding and cooperation in this matter.

Sincerely.

Ben Newman

Director of Land Management and Planning City of Murfreesboro Planning Department

MURFREESBORO BOARD OF ZONING APPEALS STAFF REPORT SEPTEMBER 25, 2024 PROJECT PLANNER: JOEL AGUILERA

Application: Z-24-037

Location: 434 E Bell Street

Applicant: Jim Lukens, Ware Malcomb., on behalf of Doors of Hope

Owner: Doors of Hope

Zoning: OG-R (Office General-Residential) & City Core Overlay (CCO)

Request: A special use permit to establish and operate a transitional home in an Office

General-Residential (OG-R) zone on property addressed as 434 E. Bell Street.



Overview of Request

Background

Doors of Hope, represented by Jim Lukens, is requesting a Special Use Permit (SUP) to construct a 2,275 square-foot building addition, for a transitional home, located at 434 East Bell Street, to help expand the current transitional home operations. Per the attached letter, Doors of Hope has been providing counseling and other transitional services in Murfreesboro since 2011, at the property located at 428 E Bell Street. In 2017, Doors of Hope purchased the property at 434 E Bell Street to be used by clients to assist them with their reentry program. No special use permit was obtained for the transitional home in 2017 when operations first began. To rectify this issue, when discussions began, staff informed the applicant that a SUP would have to be obtained from the Board of Zoning Appeals to establish the existing special use, and for approval of the proposed expansion of the special use.

As stated previously, Doors of Hope currently utilizes the existing building at 434 E Bell Street for its reentry program, housing of clients, and other counseling and recovery services. The square footage of the existing house is approximately 2,230 square feet. The new 2,275 square foot building addition will allow Doors of Hope to keep additional clients housed, on-site. There are no anticipated changes with the property at 428 E Bell Street with this request, or the property owned at 421 E Bell Street.

The property at 434 E Bell Street is zoned Office General Residential (OG-R) and is within the City Core Overlay (CCO) District. The surrounding properties are zoned OG-R and RS-8 to the west, OG-R to the north, and south, and CM-R to the east. The uses are transitional home to the west, institutional uses to the east, and a mixture of residential uses to the north, and south.

Building addition & site modifications

As shown on the attached elevations, the proposed addition will continue the same architectural character of the existing building, and neighborhood, by utilizing Hardie board siding, and shingle roofing. The proposed addition will look and function as a detached single-family dwelling. The height of the proposed addition is 34.7 feet, which complies with the height standards of the OG-R zone district. The location of the building addition does comply with the setbacks of a property zoned OG-R and located in the CCO District. Under the OG-R zone district, for "offices and other uses", there is no maximum lot coverage requirement, so special use would not conflict with those requirements.

Staff and the applicant team worked to ensure parking and circulation would be managed efficiently and designed the site to be one way entry and exit. The Zoning Ordinance parking standard for a transitional home use is 1 space for each 3 beds, or 3 spaces, whichever is greater. In the existing structure there are approximately 8 beds. The proposed addition will also have 8 beds. For this special use, the required parking is 5 total spaces. The applicant has proposed 3 parking spaces, plus 1 ADA parking space. Additional parking spaces are provided through a parking agreement.

Parking agreement

The applicant has proposed a parking agreement as a solution to alleviate the constraints they feel the site faces. Being a corner lot, the space becomes even more limited when factoring in the required parking, landscaping, the existing structure, and the proposed new structure. Per Section 26, Off-Street Parking, Section (3), of the Zoning Ordinance, joint use of the required off-street parking spaces between two parcels can be approved by the Planning Director. Doors of Hope has prepared a joint parking agreement between 434 and 428 E Bell Street, with Doors of Hope allocating 2, out of the 5 required parking spaces, to be located on 428 E Bell Street.

Staff has reviewed the request further and determined the agreement to be compliant with the requirements of Section 26. The existing "office" use at 428 E Bell Street has a total of 15 spaces but is only required to have 11 parking spaces and would thus allow for joint use of parking between the two parcels. The legal department will be working with the applicant's lawyer to finalize the language of the agreement, so that it may be properly recorded with the Office of Register of Deeds. To ensure that the applicant satisfies this requirement, staff will require that the parking agreement be recorded as a condition of approval for this special use.

Relevant Zoning Ordinance Sections

Chart 2 of the City of Murfreesboro Zoning Ordinance allows transitional home as a special use in the OG-R district. City of Murfreesboro Zoning Ordinance sets forth standards listed under the Standards of General Applicability in Section 9(C).

The applicable standards are listed below with information from staff on how the applicant intends to address them. After reviewing the standards of general applicability as well as the specific standards for transitional home uses, this request appears to meet the standards.

Standards of General Applicability with Staff analysis

- 1. That the proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, and utility facilitates, and other matters affecting the public health, safety, and general welfare.
 - The proposed expansion should not have any substantial adverse effect on the adjacent property or neighborhood. As stated by the applicant, Doors of Hope has been operating in this area for 5 years with no complaints made to Planning staff. The proposed addition will be built as a single-family dwelling and match the existing character of the neighborhood. Any existing and new activities in this area will be contained within the structures and will not pose any substantial adverse effect to the adjacent properties or neighborhood. Staff does not anticipate any change to existing traffic patterns and that any new traffic will be minimal to the site and adjacent properties.

- 2. That the proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations.
 - O The proposed addition has been designed and arranged to match the existing structure and surrounding properties as much as possible. The proposed addition will utilize cementitious siding material, with shingle roofing. The proposed addition and use will be compatible with the immediate vicinity and should not interfere with the development and use of the adjacent properties. The proposed addition also complies with all yard requirements set forth by the OG-R zoning district.
- 3. That the proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewer; or persons or agencies responsible would provide such services.
 - The proposed addition will be served adequately by public facilities. Several improvements on-site will be required by MWRD, that the applicant will be working to address. As stated previously, due to site constraints, a joint parking agreement has been drafted for staff between 434 and 428 E Bell Street. Doors of Hope will be allocating 2, out of the 5 required parking spaces, to be located on 428 E Bell Street, while still retaining 3 spaces plus 1 ADA space on-site. Staff has reviewed the request determined the agreement to be compliant with requirements of Section 26. The existing "office" use at 428 E Bell Street has a total of 15 spaces but is only required to have 11 parking spaces and would thus allow for joint use of parking between the two parcels. With this parking arrangement, parking will be handled efficiently and will not cause any adverse effect to adjacent properties.
- 4. That the proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be significant natural, scenic, or historic importance.
 - New trees will be planted on the perimeter, as required by Section 27 Landscaping and Screening. Staff is not aware of any such historic features on-site that will be impacted.
- 5. That the proposed building/use complies with all additional standards imposed on it by the particular provision of this section authorizing use.
 - o Transitional home use does not have any additional standards imposed by the Zoning Ordinance.

Staff Recommendation:

Staff recommends approval of the special use permit, based on the request meeting the minimum development standards of the ordinance, and to expand a transitional home use, as presented in the application documents, with the following conditions:

Recommended Conditions of Approval:

- 1. BZA approval does not imply approval of the Site Plan. The site plan submittal shall include civil plans, landscape plan, and building elevations and any other plans necessary to demonstrate compliance with the Zoning Ordinance. The plans submitted shall be substantially consistent with what has been represented to the BZA.
- 2. A shared parking agreement, for the joint use of parking between 428 E Bell Street and 434 E Bell Street, shall be approved by the Planning Director, and produce documentation that said agreement has been recorded with Office of Register of Deeds prior to the issuance of building permits.

Attached Exhibits

- 1. BZA Application
- 2. Procedure Form
- 3. Site Plan
- 4. Elevations

City of Murfreesboro BOARD OF ZONING APPEALS

HEARING REQUEST APPLICATION

Location/Street Add	dress: 434 E	. Bell St. 091L-N-005.00-00 Parcel:	O Zoning Dis	strict: OGR
- The state of the	G104p.010	T dicci.		
Applicant: Jim Luker	ns	E-Mail:	_	
Address: 3401 Mallo	ory Ln S-130		Phone:	•
City: Franklin			State: TN	Zip: 37067
Property Owner: D	oors of Hope	- Elizabeth Wı	right	
Address: 434 E. Bell St.			Phone:	
City: Murfreesboro		State: TN	Zip: 37130	
Request:				
request				
Zoning District, OCB				
Zoning District: OGR				
Applicant Signature: Date: 9/6/2024				
Received By:		Recei	nt #:	
J			r · · · ·	

Murfreesboro Board of Zoning Appeals



HEARING APPLICATION

AND

GENERAL INFORMATION

INTRODUCTION:

The **Board of Zoning Appeals** hears appeals of the requirements of the Zoning and Sign Ordinances, appeals from administrative decisions, and requests for Special Exception uses listed on Chart 1 of the Zoning Ordinance.

VARIANCES:

Required yard and height variances may be granted in accordance with Section 10 of the Zoning Ordinance in cases where the strict application of the ordinance imposes hardship or practical difficulty on the property owner due to the unusual character of the property, which makes compliance extraordinarily difficult or impossible. *Financial hardships will not be considered*.

Variances of the Sign Ordinance may be granted in cases where the strict application of the ordinance imposes hardship or practical difficulties as a result of unusual characteristics of the applicant's property, which make compliance extraordinarily difficult or impossible. Financial hardships will not be considered.

SPECIAL USE PERMITS:

Special use permits may be granted in accordance with Sections 8 and 9 of the Zoning Ordinance for uses specified in Chart 1 of the Zoning Ordinance.

APPEALS FROM ADMIN-ISTRATIVE DECISIONS:

The Board of Zoning Appeals has authority to hear appeals from any order, requirement, decision, or determination by any department, office, or bureau responsible for the administration of the Zoning or Sign Ordinances.

APPLICATION PROCESS:

The owner or other party having contractual interest in the affected property must file an application with the Board's secretary no later than 3:00 PM on the submittal deadline date on the official BZA Calendar.

The applicant must submit the following:

- A completed application (included on this brochure).
- 2. A \$350 application fee; or in the case of a special meeting, a \$450 application fee (checks to be made payable to the City of Murfreesboro).
- 3. Supporting materials which should include:
- -- For special use permits, a site plan indicating the location of all existing and proposed structures, parking spaces, access points, fences, driveways, and property lines. Home occupation requests should include a statement of the proposed hours of operation, the volume of traffic anticipated, and the nature of the

business. Day-care centers should include a statement from the Department of Human Services that such center can be licensed by the State.

- -- For yard variance requests, a site plan showing all existing and proposed structures, property lines, and the distance between structures and the property lines.
- -- For appeals from administrative decisions, a statement indicating the order, requirement, decision, or determination being appealed and a statement setting forth the applicant's argument.
- -- Additional information may be required at the discretion of the Board's Secretary.

MEETING TIME AND PLACE:

The Board of Zoning Appeals meets once a month at 1:00 PM in the Council Chambers located in the City Hall Building at 111 West Vine Street. See BZA Calendar for meeting dates.

MEMBERSHIP

Davis Young, Chairman	Julie R.P. King
Ken Halliburton, Vice-Chair	Tim Tipps
Misty Foy	

STAFF

Matthew Blomeley, Asst Planning Director Teresa Stevens, Sign Administrator David Ives, Assistant City Attorney Brenda Davis, Recording Assistant



Board of Zoning Appeals Procedure Form Request for Transitional Home

This form only pertains to *special use permit requests for the Board of Zoning Appeals*. The information contained in this document shall not be considered exhaustive and shall only serve to summarize the details of the special use permit request for the Board of Zoning Appeals and Planning Department staff. **Additional information may be requested during the review process as determined by the zoning administrator**.

Date: _	4/29/2024					
Applica	ant name & title:					
Applica	ation request: Special exception for a Transitional Home land use in the CGB zoning					
Purpose of request: Doors of Hope is a charitable organization providing transitional hou						
They operate an existing residential home at the subject site and plan to add a new house to provide four additional bedrooms with 8 beds. The project will be residential in nature and therefore fit will with the existing community. In addition, the project will include improvements to the pedestrian sidewalk system and more landscape to improve and fit within the existing community character.						
Section a)	Section 8 – Procedure for Uses Requiring Special Use Permits a) Name. address. and telephone number of the applicant					
	Jim Lukens (Ware Malcomb) 3401 Mallory Station, Ste 100, Franklin, TN 37067					
b) Nature and extent of applicant's ownership interest in subject property None						
c)	Site plan to be submitted for review by City Staff and Board of Zoning Appeals					
d)	Address of the site of the proposed special use- <u>434 E. Bell St., Murfreesboro, TN 37130</u>					
e)	Vicinity map showing the property of the proposed special use and all parcels within a five-hundred-foot radius					



f)	Zoning classification the property of the proposed special use OGR	
g)	The property of the proposed special use shall have the following characteristics: 1) Hours and days of operation Home will operate 24 hrs as it will be a primary residence for (8) people max.	
	Duration of the proposed special use Unlimited	
	3) Number of expected patrons that will be expected to utilize the property of the proposed special use	
	4) Projected traffic that will be expected to be generated by the proposed special use By agreement between Doors of Hope and their residents, residents are not allowed to have their own vehicles. Estimated 4 trips per day for service and visitors with parking available at the Doors of Hope office across Lee Street and additional parking on the propery.	
h) Potentially narmful characteristics of the proposed special use for the zoning which it is proposed and the manner in which the applicant proposes to eliminate them None		

Section 9 – Standards for Special Use Permits

Standards for General Applicability.

An applicant for a special use permit shall present evidence at the public hearing on such special permit. Please explain how you will comply with the following standards:

 that the proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare;



	The existing Doors of Hope facility has been in operation at the current location for several years without incident.
)	that the proposed building or use will be constructed, arranged, and operated so as to
	be compatible with the immediate vicinity and not to interfere with the development
	and use of adjacent property in accordance with the applicable district regulations;
	The home will be consistent in its design aesthetic with the fabric of the
	neighborhood. The architectural style of the neighborhood has a historical element and
	this new building will reflect this.
5)	that the proposed buildings or use will be served adequately by essential public facilities
	and services such as highways, streets, parking spaces, drainage structures, refuse
	disposal, fire protection, water and sewers; or that the persons or agencies responsible
	for the establishment of the proposed use will provide adequately for such services;
	Yes, this structure will be a typical home with access to all amenities
	including all of the above mentioned items.
	Sidewalk is added or replaced along both street frontages included an ADA
	ramp at the intersection. Utilities will be private with new services run to the new
	bldg. Solid waste pick up will be residential in nature with residential rolling containers as currently used.
	Containers as currently used.
ŀ)	that the proposed building or use will not result in the destruction, loss, or damage of
	any feature determined by the BZA to be of significant natural, scenic, or historic
	importance; and,
	No significant demolition will occur. The site lies within an existing parcel
	with no obstructing structures within proposed setbacks

5) that the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use.



-	This home will	TENNESSEE	comply with all standards set forth	ir
the current	city provisions.			
				_
			1 11	
0/0/0004			Mode	
9/6/2024	A	Applicant signature	()	
			V	

Date: 9/6/2024

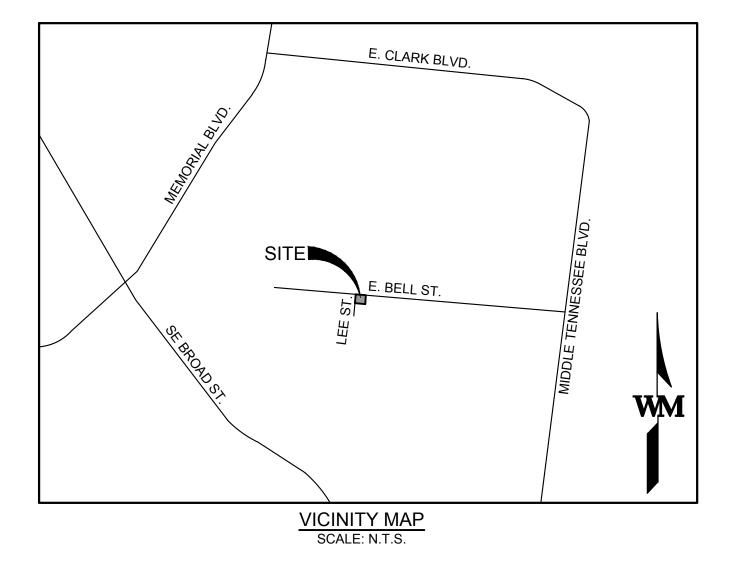
4

- 1. IN ACCORDANCE WITH TCA SECTION 7-59-310(B)(1), COMPETITIVE CABLE AND VIDEO SERVICES ACT, IN CASES OF NEW CONSTRUCTION OR PROPERTY DEVELOPMENT WHERE UTILITIES ARE TO BE PLACED UNDERGROUND, THE DEVELOPER OR PROPERTY OWNER SHALL GIVE ALL PROVIDERS OF CABLE OR VIDEO SERVING THE CITY OF MURFREESBORO DATES ON WHICH OPEN TRENCHING WILL BE AVAILABLE FOR THE PROVIDERS' INSTALLATION OF CONDUIT, PEDESTALS OR VAULTS, AND LATERALS, REFERRED TO AS "EQUIPMENT," TO BE PROVIDED AT EACH SUCH PROVIDERS' EXPENSE.
- ALL SIGNAGE, INCLUDING FLAGS AND FLAGPOLES, IS SUBJECT TO REVIEW BY THE DEVELOPMENT SERVICES DIVISION. ALL SIGNAGE MUST CONFORM TO THEIR REQUIREMENTS AND REQUIRE SEPARATE SIGN PERMITS.
- A LAND DISTURBANCE PERMIT MAY BE REQUIRED. DETERMINATION WHETHER A LAND DISTURBANCE PERMIT IS REQUIRED SHALL BE MADE BY THE DEVELOPMENT SERVICES DIVISION. A SEPARATE LAND DISTURBANCE PERMIT APPLICATION SHALL BE MADE WITH THE OFFICE OF THE DEVELOPMENT SERVICES DIVISION FOR REVIEW AND UPON APPROVAL FOR ISSUANCE OF A LAND DISTURBANCE PERMIT.
- FOR ANY WORK PROPOSED IN THE PUBLIC RIGHT-OF-WAY, CONTRACTOR TO COORDINATE WITH THE TRAFFIC ENGINEER IN THE CITY TRANSPORTATION DEPARTMENT PRIOR TO COMMENCEMENT OF WORK IN THIS AREA TO AVOID DAMAGE TO
- SITE PLANS THAT ARE NOT EXEMPT FROM PROVIDING A STORMWATER MANAGEMENT PLAN: A STORMWATER MANAGEMENT PLAN DEMONSTRATING THAT THE SITE PROVIDES FOR TREATMENT OF THE WATER QUALITY VOLUME AND PROVIDES FOR MANAGEMENT OF THE STREAMBANK PROTECTION VOLUME MUST BE PROVIDED.
- AN ENGINEERS CERTIFICATION OF THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES MUST BE PROVIDED TO THE DIRECTOR OF THE MURFREESBORO WATER RESOURCES DEPARTMENT PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- A STORMWATER FEE CREDIT APPLICATION MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- 8. A STORMWATER FACILITIES OPERATION AND MAINTENANCE PLAN AND A STORMWATER FACILITIES MAINTENANCE AGREEMENT MUST BE SUBMITTED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- 9. THE STORMWATER FACILITIES MAINTENANCE AGREEMENT MUST BE RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.

CONSTRUCTION DOCUMENTS

DOORS OF HOPE

CITY OF MURFREESBORO, RUTHERFORD COUNTY, TENNESSEE



CONTACT LIST OWNER/DEVELOPER

DOORS OF HOPE 428 E. BELL ST MURFREESBORO, TN 37130 (615)203-5221 CONTACT: BETH WRIGHT

CIVIL ENGINEER

WARE MALCOMB 3401 MALLORY LANE SUITE 130 FRANKLIN, TN 37067 (615) 647-5547 CONTACT: JIM LUKENS

ARCHITECT

WARE MALCOMB 3401 MALLORY LN, SUITE 100 & 200 FRANKLIN, TN 37037 (615)647-5547

PROJECT BENCHMARK

88 (SEE PLAN FOR LOCATION)

BASIS OF BEARINGS

SURVEY INFORMATION

FOR THIS SURVEY.

PROJECT BENCHMARK ELEVATION DATUM IS BASED UPON GPS SURVEY METHODS AND PROCEDURES. TOP OF "CAPPED" IRON PIN SET ELEVATION = 617.30' N.A.V.D.

BEARINGS SHOWN ARE REFERENCED FROM GLOBALLY

POSITIONED SATELLITE MONUMENTS AS ESTABLISHED

THESE PLANS AND THE ABOVE INFORMATION ARE BASED

ON THE SURVEY BY FRANK V. NEELEY, TENNESSEE PLS 1493 FOR AND ON BEHALF OF SHARONDALE SURVEYING

PROVIDED TO WARE MALCOMB ON 03/18/2024.

SHEET INDEX

1 C1.0 - COVER SHEET 2 C2.0 - EXISTING CONDITIONS & DEMOLITION PLAN

3 C3.0 - EROSION CONTROL & GRADING PLAN 4 C4.0 - SITE PLAN

5 C5.0 - UTILITY PLAN 6 C6.0 - LANDSCAPE PLAN

FOR AND ON BEHALF OF WARE MALCOMB

00

005.

OZ			
JOB NO.:	NSH23-6045		
PA / PM:	J. LUKENS		
DESIGNED:	Z. ZIEMBA		
DATE:	09/12/2024		
PLOT DATE:	09/12/24		

LEGEND

EXISTING		PROPOSED
	BOUNDARY LINE	
	EASEMENT	
	CENTERLINE	
	CURB & GUTTER	
	TREE (VARIOUS)	* 6 *
<i>— (5280)— —</i>	CONTOUR	
CATV	CATV	CATV
—— E ——— E ———	ELECTRIC	—— E ——— E ——
——— OH ———	OVERHEAD UTILITY	——— ОН ———
——— FO———	FIBER OPTIC	— FO—— FO—
IRR	IRRIGATION	IRR
NGAS	NATURAL GAS	NGAS
SS	SANITARY	ss
	STORM DRAIN	SD
— т — т —	TELEPHONE	— T —— T —
UKWN	UNKNOWN UTIL	N/A
WM	WATER LINE	WM
DW	DOMESTIC WATER	——— DW———
FW	FIRE WATER	FW
	RECLAIMED WATER	

INVERT LINEAR FEET

MAHNOLE

MATCH EXISTING

NATURAL GROUND

ABBRE	VIATIONS		
AB AC BFV CF CL/L CO DF DIP EG EL EOA ESMT EX FDC FES FG FH FF/FFE FG FGW FL/L FS GB GBW GTW GW HP	AGGREGATE BASE ASPHALT CONCRETE BACK FLOW VALVE CURB FACE CENTERLINE CLEANOUT DEEPENED FOOTING DUCTILE IRON PIPE EXISTING GRADE ELEVATION EDGE OF ASPHALT EASEMENT EXISTING FIRE DEPARTMENT CONNECTION FLARED END SECTION FINISHED GRADE FIRE HYDRANT FINISH FLOOR ELEVATION FINISHED GRADE FINISH GRADE AT WALL FLOW LINE FINISHED SURFACE GRADE BREAK GRADE AT BOTTOM OF WALL GAS METER GAS VALVE HIGH POINT	OC PB PCC PL/R PVC R (RAD) RCP R/W /ROW SD/STRM STA SS/SAN TG SW TBC TFI TC TOP TOW TYP. VIF WM WSEL WV	ON CENTER PULL BOX PORTLAND CEMENT CONCRETE PROPERTY LINE POLYVINYL CHLORIDE PIPE RADIUS RADIAL BEARING REINFORCED CONCRETE PIPE RIGHT OF WAY STORM DRAIN STATION SANITARY SEWER TOP OF GRATE SIDE WALK TOP BACK OF CURB TOP OF CURB TOP OF PIPE TOP OF WALL TYPICAL VERIFY IN FIELD WATER SURFACE ELEVATION WATER VALVE
LP	LOW POINT	1	

WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractor's responsibility to field verify the location of all utilities prior to the commencement of any construction.

FOR AND ON BEHALF OF WARE MALCOMB

005

NSH23-6045 J. LUKENS DESIGNED: Z. ZIEMBA 09/12/2024 PLOT DATE: 09/12/24

NOTIFICATION. CONTRACTOR. POSSIBLE. PLACE. LEGEND

REMOVE FENCE DOORS OF HOPE DEED BOOK 1645, PAGE 3081 (PARCEL 091L "N" 005.00) REMOVE TREE -

TED PETTY

DEED BOOK 815, PAGE 2494

(PARCEL 091L "N" 017.00)

ESSAM & SAFAA FATHY

DEED BOOK 394, PAGE 091

(PARCEL 091L "N" 018.00)

EXISTING TWO-STORY RESIDENCE

MAINTAIN UTILITY SERVICES TO ←

THE EXISTING BLDG THROUGHOUT CONSTRUCTION. COORDINATE WITH UTILITY OWNERS FOR TEMPORARY OR PERMANENT ELECT/TELE SERVIC₽ ROUTING NEEDED FOR CONSTRUCTION

EAST BELL STREET

REPRESE

RESERVACE

A A A A A A A A A A A

AMARAKAA

FORORORORORORORORORO

- DEMOLISH GRAVEL

NABIL & KATHERINE WAKID

DEED BOOK 2138, PAGE 2129

(PARCEL 091L "N" 016.00)

STEPHEN GRACE DEED BOOK 731, PAGE 1528

(PARCEL 091L "N" 006.00)

EXISTING CONDITIONS NOTES

1. CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. ENGINEER SHALL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER

2. WARE MALCOMB WAS NOT CONTRACTED TO CONDUCT ONSITE UTILITY INVESTIGATIONS NOR TO BE DIRECTLY INVOLVED WITH OVERSIGHT OF FIELD-VERIFICATIONS PERFORMED PRIOR TO COMMENCEMENT OF/DURING CONSTRUCTION. THE EXISTING UTILITIES SHOWN ON THESE PLANS/EXHIBITS HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION: HOWEVER, IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD-VERIFY ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

DEMOLITION NOTES

1. CONTRACTOR TO FIELD-VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.

2. EXCAVATION SPOILS SHALL NOT BE USED IN EARTHWORK OPERATIONS UNLESS ALLOWED PER THE GEOTECHNICAL REPORT. DISPOSAL OF NON-USABLE SPOILS TO BE THE RESPONSIBILITY OF THE

3. TOPSOIL TO BE STOCKPILED AND REUSED ONSITE WITHIN ARES OF PROPOSED LANDSCAPE WHENEVER

4. EXISTING STRUCTURES, CONCRETE, PAVEMENT, FENCING MATERIAL, CURBS, UTILITY BOXES, LIGHTS, GATES, ETC., NOT CALLED OUT IN THE PLANS TO BE REMOVED OR REPLACED SHALL BE PROTECTED IN

5. CONTRACTOR TO PROVIDE TREE PROTECTION AS NECESSARY DURING CONSTRUCTION TO PRESERVE EXISTING TREES TO REMAIN. ANY TREES NOT IDENTIFIED TO BE REMOVED ARE ASSUMED TO REMAIN AND SHALL BE PROTECTED IN PLACE.

LEGEND		
EXISTING		REMOVE / DEM
	BOUNDARY	
	LOT LINE	
	EASEMENT	
	CENTERLINE	
	CURB / GUTTER	
	SIDEWALK	
x	FENCE	—X—
N/A	SAWCUT	
	STORM DRAIN	
SS	SANITARY	
WM	WATERLINE	
IDD	IDDICATION	IDD

OVERHEAD UTILITY ——— OH——— CABLE TV —— CATV ——

— UKWN — UNKNOWN UTILITY — UKWN —

SCALE: 1" = 10'

Call before you dig.

FOR AND ON BEHALF OF WARE MALCOMB

.005

SCALE: 1" = 10'

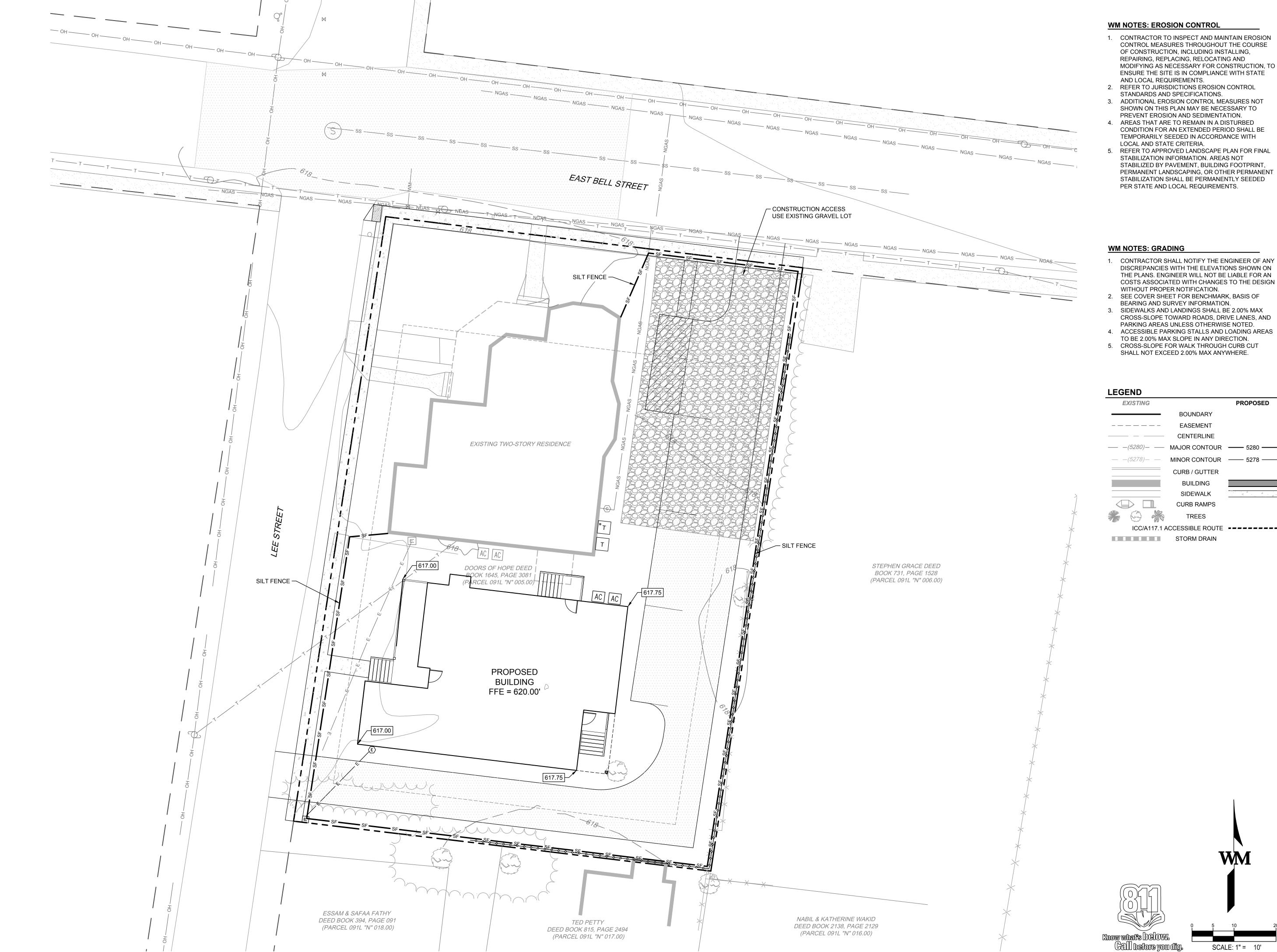
PROPOSED

ICC/A117.1 ACCESSIBLE ROUTE ========

BUILDING

60

NSH23-6045 J. LUKENS DESIGNED: Z. ZIEMBA 09/12/2024 PLOT DATE: 09/12/24



FOR AND ON BEHALF OF WARE MALCOMB

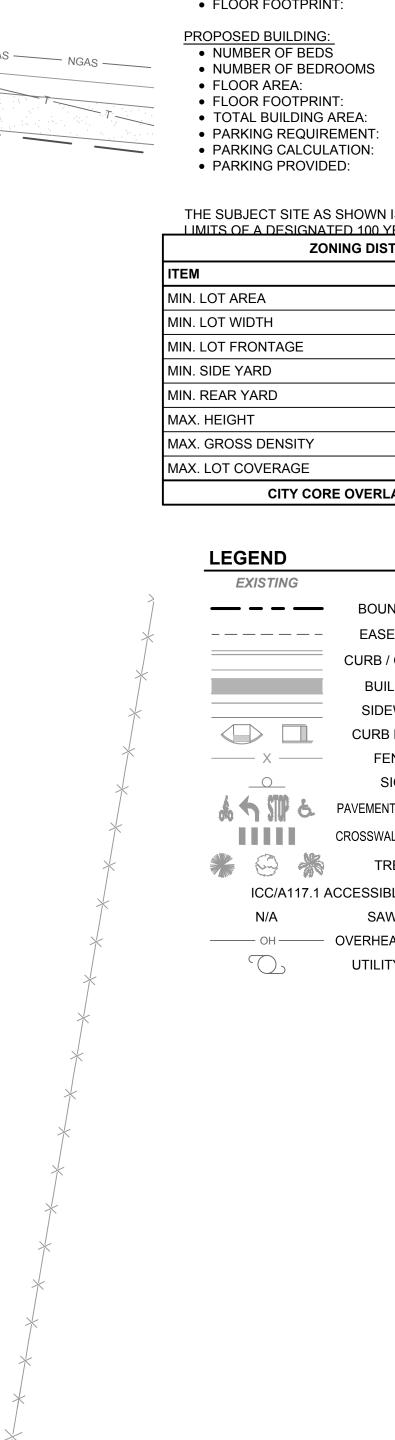
.005

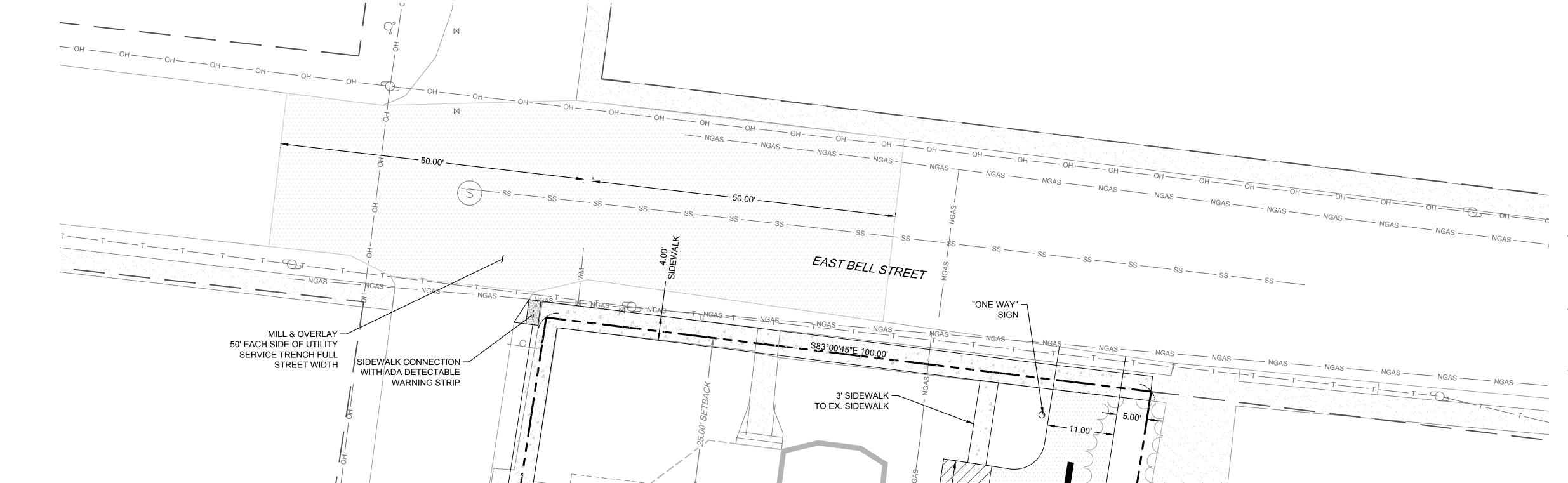
NSH23-6045 J. LUKENS DESIGNED: Z. ZIEMBA 09/12/2024 PLOT DATE: 09/12/24

SCALE: 1" = 10'

WM NOTES: SITE 1. CONTRACTOR TO FIELD-VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION. 2. SEE COVER SHEET FOR BENCHMARK, BASIS OF GEOTECHNICAL REPORT. ETC. **SITE DATA** • ADDRESS 434 E. BELL ST, MURFREESBORO, TN ZONING: OG-R LAND USE: TRANSITIONAL HOUSING • LOT SIZE = 14,539 S.F. (0.33 AC.) **EXISTING BUILDING:** NUMBER OF BEDS NUMBER OF BEDROOMS: FLOOR AREA: 4,360 S.F. • FLOOR FOOTPRINT: 2,233 S.F. PROPOSED BUILDING: NUMBER OF BEDS NUMBER OF BEDROOMS FLOOR AREA: FLOOR FOOTPRINT: TOTAL BUILDING AREA: 4,102 S.F. PARKING REQUIREMENT: PARKING CALCULATION: PARKING PROVIDED: THE SUBJECT SITE AS SHOWN IS NOT LOCATED WITHIN THE LIMITS OF A DESIGNATED 100 YEAR FLOOD ZONE PER FEMA\FIRM CITY CORE OVERLAY DISTRICT: CCO **LEGEND EXISTING** BOUNDARY ---- EASEMENT CURB / GUTTER BUILDING SIDEWALK CURB RAMPS **FENCE** A PAVEMENT MARKINGS CROSSWALK STRIPING SAWCUT OVERHEAD UTILITY UTILITY POLE

Call before you dig.





EXISTING TWO-STORY RESIDENCE

TRASH CAN -4' SIDEWALK — FROM PL TO PL

> PROPOSED BUILDING 2,275 SQ. FT. FFE - 620.00'

"DO NOT ENTER" -

ESSAM & SAFAA FATHY DEED BOOK 394, PAGE 091 TED PETTY (PARCEL 091L "N" 018.00)

DEED BOOK 815, PAGE 2494 (PARCEL 091L "N" 017.00)

FENCE

NABIL & KATHERINE WAKID DEED BOOK 2138, PAGE 2129 (PARCEL 091L "N" 016.00)

- ADA PARKING SPACE

&AISLE

- 3 PARKING SPACES

STEPHEN GRACE DEED

BOOK 731, PAGE 1528 (PARCEL 091L "N" 006.00)

AT 9' x 23'

/- FENCE

BEARINGS, AND SURVEY INFORMATION. 3. PAVEMENT THICKNESS AND DESIGN ARE PER THE

4. CONTRACTOR SHALL REMOVE AND REPLACE CURB, GUTTER, PAVING, LANDSCAPE AND ANY OTHER

ITEMS DAMAGED DURING CONSTRUCTION. 5. ALL SUBGRADE TO BE PREPARED AND CONFIRMED PER THE APPROVED GEOTECHNICAL REPORT PRIOR TO THE START OF FOUNDATIONS, SLABS, PAVING,

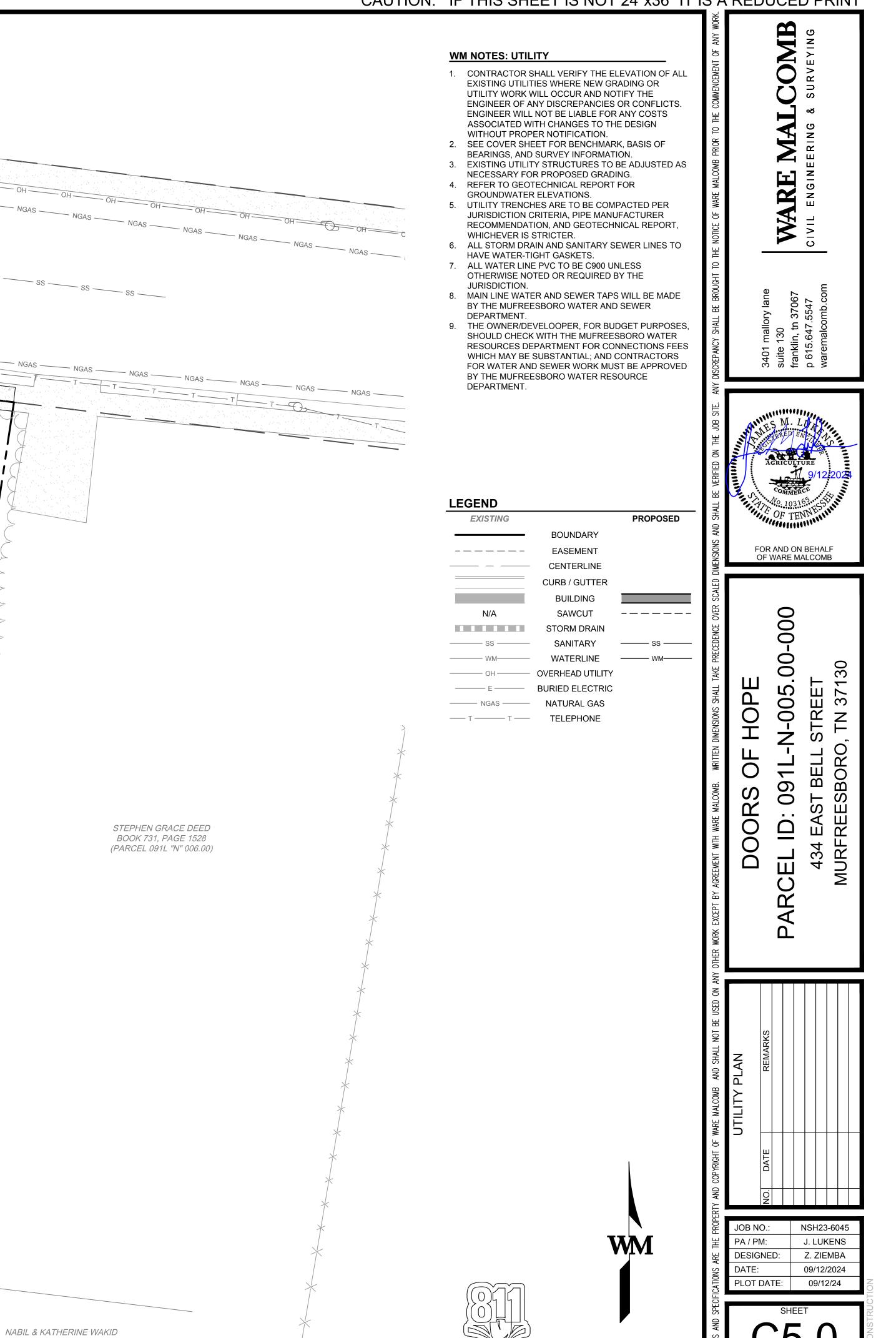
- 4,500 S.F. 2,275 S.F.
- 3 SPACE/BR OR 3 16 BEDS X 1 SPACE/3 BR=5
 - 3 PLUS 1 ADA 2 SPACES AVAILABLE OFFSITE

ZONING DISTRICT: OG-R

ITEM	PERMITTED / REQUIRED
MIN. LOT AREA	5000 SF
MIN. LOT WIDTH	50 FT
MIN. LOT FRONTAGE	30 FT
MIN. SIDE YARD	10 FT
MIN. REAR YARD	20 FT
MAX. HEIGHT	35 FT
MAX. GROSS DENSITY	NONE
MAX. LOT COVERAGE	NONE
	•

PROPOSED

ICC/A117.1 ACCESSIBLE ROUTE ========



Call before you dig.

SCALE: 1" = 10'

-EXISTING

1" WATER METER -

1" WATER SERVICE

TO NEW STRUCTURE

10 LF @ 1.00% -

6" PRIVATE SEWER SERVICE

40 LF @ 1.00% -

FIELD LOCATE EX. BLDG WATER SERVICE +

FROM NEW SERVICE TO THE BUILDING

REPLACE EX SERVICE WITH NEW SERVICE LINE

6" PRIVATE SEWER SERVICE

6" SEWER CLEANOUT -

50 LF @ 1.00% -

6" PRIVATE SEWER SERVICE

6" SEWER CLEANOUT -

COORDINATE SERVICE / LOCATION WITH UTILITY OWNER

RELOCATE PERMANANTLY OR TEMPORARILY AS NEEDED FOR THE CONSTRUCTION

MWRD TO ABANDON EX. METER AND TAP —

MWRD TO INSTALL NEW 1" TAP AND SET METER AT PROPERTY

FIRE HYDRANT

- CONNECT TO EXISTING SEWER SERVICE LATERAL

FIND EX. INVERT ELEVATION AND CONFIRM W/

FROM SERVICE AT BLDG TO THE TAP POINT

EXISTING TWO-STORY RESIDENCE

- 11 LF @ 1.00% 6" PRIVATE SEWER SERVICE

_ ELECTRIC METER

- ELECTRIC LINE

LELECTRIC PULL BOX

ESSAM & SAFAA FATHY

DEED BOOK 394, PAGE 091

(PARCEL 091L "N" 018.00)

PROPOSED BUILDING

ENGINEER ADEQUATE ELEVATION IS AVAILABLE

EAST BELL STREET

INSTALL HOSE BIB,

TED PETTY

DEED BOOK 815, PAGE 2494

(PARCEL 091L "N" 017.00)

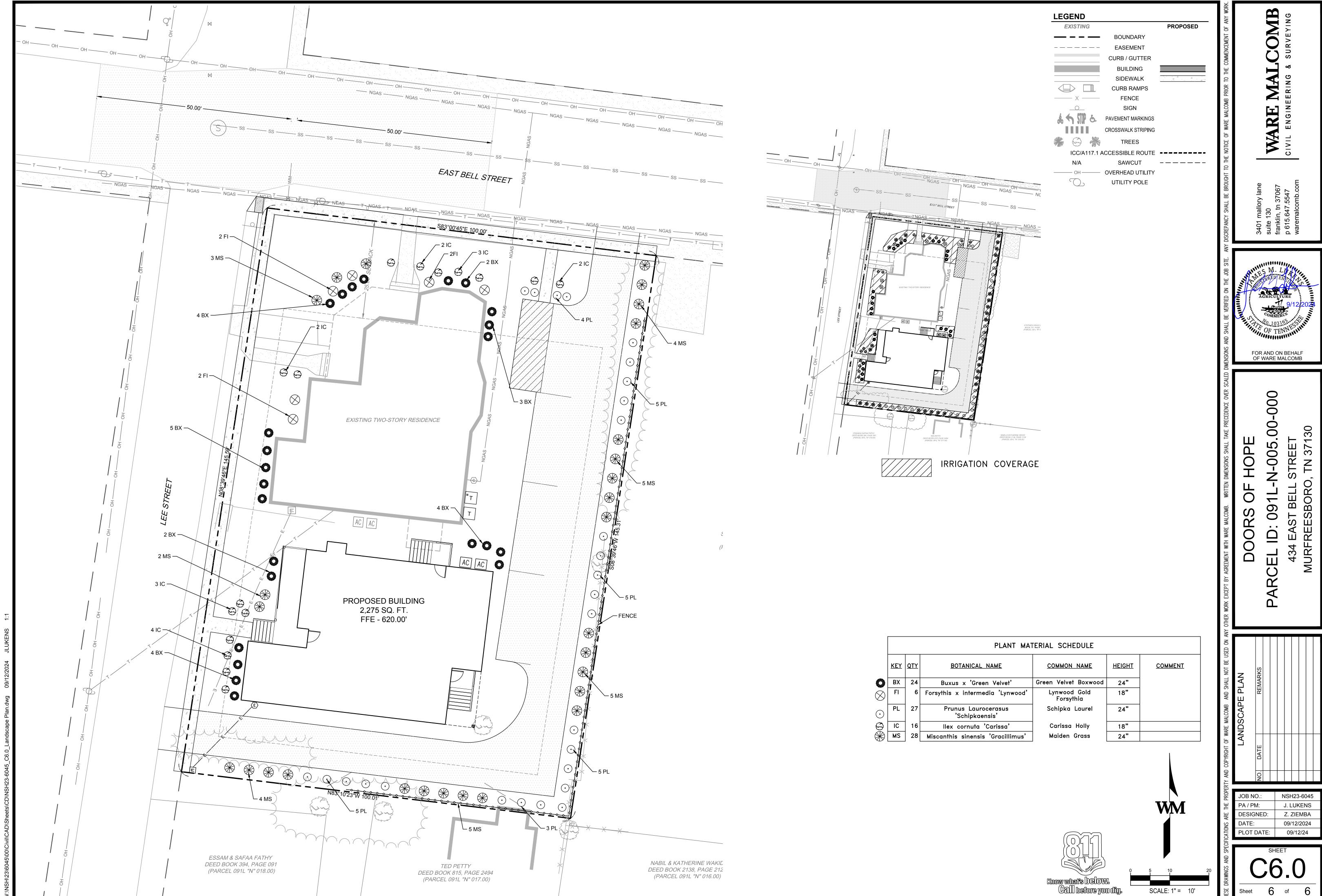
LOCATION PROVIDES 300' HOSE LAY LENGTH TO

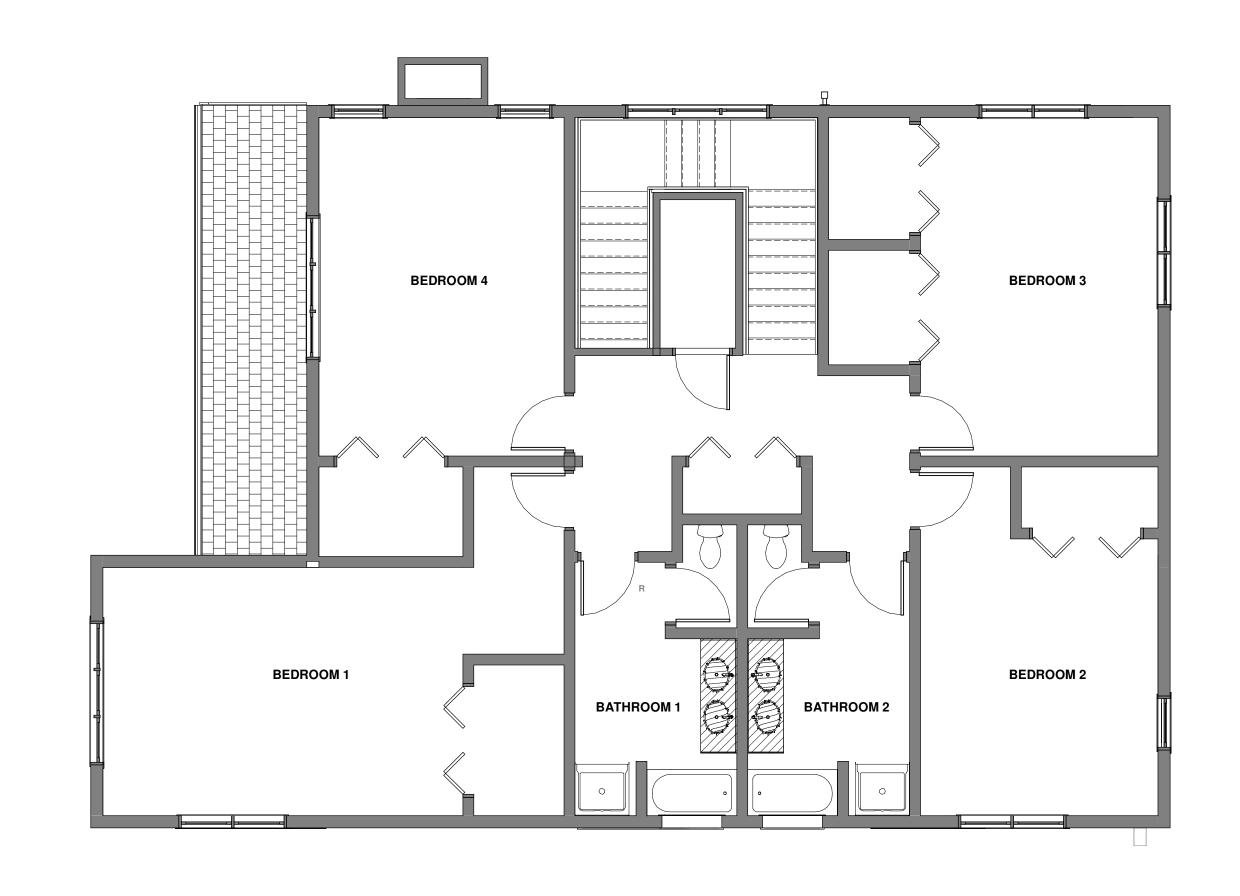
IRRIGATE ALL PROPOSED

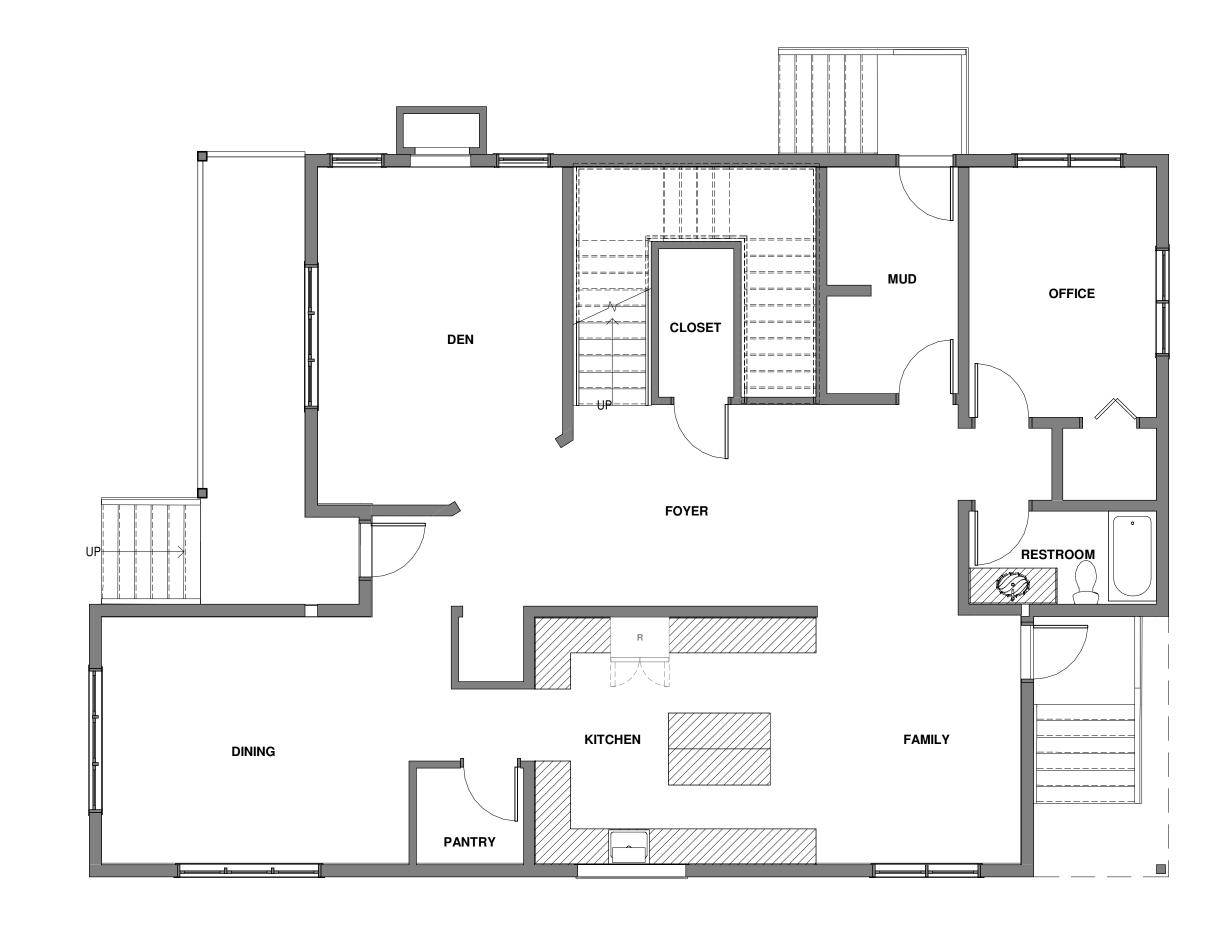
LANDSCAPING MATERIALS

DEED BOOK 2138, PAGE 2129

(PARCEL 091L "N" 016.00)







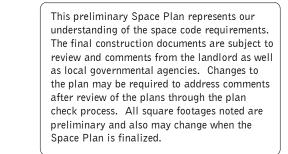
SECOND FLOOR PLAN

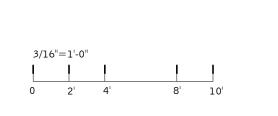
SCALE: 3/16" = 1'-0"

(2)

FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"







FLOOR PLANS

DOORS OF HOPE

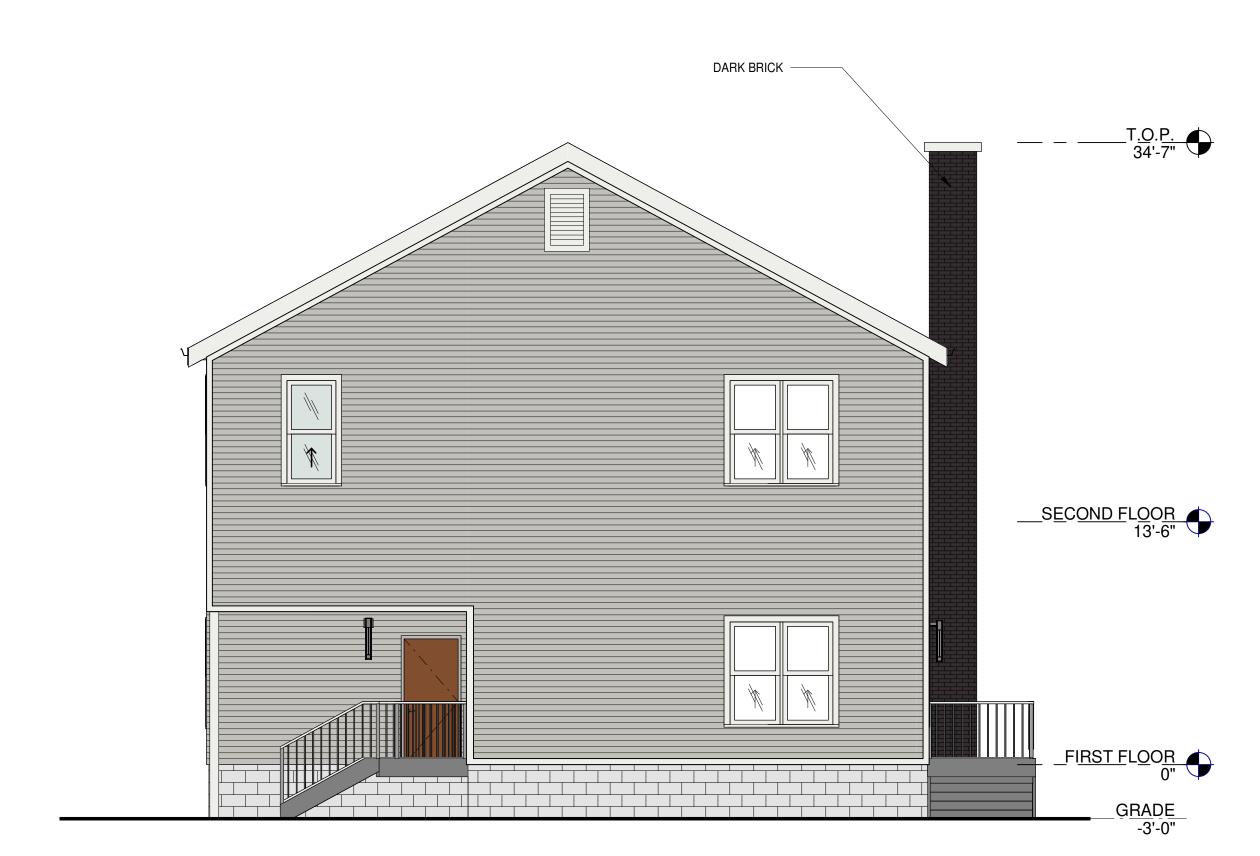
WARE MALCOMB

SHEET **A01**



WEST EXTERIOR ELEVATION





EAST EXTERIOR ELEVATION

SCALE: 3/16" = 1'-0"





SOUTH EXTERIOR ELEVATION

SCALE: 3/16" = 1'-0"





EXTERIOR ELEVATIONS

DOORS OF HOPE

WARE MALCOMB

SHEET **A02**

Doors of Hope was founded and began operating in Murfreesboro, TN in 2011. Between 2011-2017, clients and staff resided in the main office located at 428 E. Bell Street. In 2017, Doors of Hope purchased 434 E. Bell Street, the property that is the location of the CDBG grant and object of the remodel and current application for special use with the City of Murfreesboro. This property is located directly across the street (Lee Street) from the main office, and houses offices for the mental health team. After remodeling to this home, it became the primary residence for clients of Doors of Hope and can accommodate nine women. Until January 2024, clients began their journey at Doors of Hope at 434 E. Bell Street (the "Blue House") and remained there through the beginning phases of the reentry program, where clients are provided weekly appointments with a Certified Peer Recovery Specialist, Mental Health Counselor, Case Manager, and more recently an LPN and a Licensed Alcohol and Drug Abuse Counselor. The program works with women on the core reasons for addiction, mental health disorders, and criminogenic behavior. Clients who live at 434 E. Bell Street cannot quality for an apartment lease or come to the program from jail and/or homeless. Doors of Hope does not charge rental fees to clients, though a small program fee is collected after clients secure full-time employment. Charging minimal fees allows participants to remain stably housed, focus on recovery, and budget for future expenses. Grant funding covers the rent, utilities, and minor maintenance.

Rapid growth in population and housing needs in Rutherford County has caused an enormous gap in housing for individuals that have low to middle incomes. Barriers to housing resulting from bad credit and justice involvement have increased exponentially in the past few years, but especially after the pandemic. For instance, housing costs have increased over 60% in the last five years, but wages have remained relatively consistent and/or the rise in inflation has mitigated the impact of increases in wages. All of these elements have led to challenges in creating and developing recovery housing. That is why the Blue House, and its expansion, is critical to the Rutherford County community. To keep clients safely housed, and the neighborhood adversely affected by a transitional living facility, the staff at Doors of Hope strive to keep communication lines open with all their neighbors. Case managers and security staff perform inspections weekly to make sure properties are maintained and clients adhere to housing policies. 434 E. Bell Street (as well as all homes utilized for client residences) nominates a client as a house mayor, whose responsibility is to ensure that the home and yard are clean and clutterfree. To date, there have been no known issues with neighbors, and they have been supportive of the inclusion of Doors of Hope and the surrounding client residences (4 of which reside on E. Bell Street within a two-block radius).