

# **CITY OF MURFREESBORO PLANNING COMMISSION AGENDA**

**City Hall, 111 W. Vine Street, Council Chambers**

**JANUARY 8, 2024  
6:00 PM**

**Kathy Jones  
Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the December 18, 2024 Planning Commission meeting.**
- 5. Public Hearings and Recommendations to Council:**
  - a. Zoning application [2024-420] to amend the PRD (Greystone PRD) zoning on approximately 205.21 acres located along Veals Road and Double Springs Road, Meritage Homes applicant. (Project Planner: Richard Donovan)
  - b. Zoning application [2024-419] for approximately 4.0 acres located along North Rutherford Boulevard and Old Lascassas Road to be rezoned from CF to PCD (Lascassas Crossings PCD), HEMG, LLC applicant. (Project Planner: Holly Smyth)
  - c. Zoning application [2024-421] to amend the PCD zoning (East Side Village PCD) on approximately 1.94 acres located along North Rutherford Boulevard, CSC Properties, LLC applicant. (Project Planner: Holly Smyth)
  - d. Zoning application [2024-422] for approximately 3.88 acres located along South Bilbro Avenue and East Castle Street to be rezoned from RS-8 & CCO to PND (First Baptist Church Murfreesboro PND) & CCO, First Baptist Church Murfreesboro applicant. (Project Planner: Holly Smyth)
- 6. Staff Reports and Other Business:**
  - a. Mandatory Referral [2024-728] to consider the dedication of an electric easement on City-owned property along Hemlock Drive, Middle Tennessee Electric applicant. (Project Planner: Sloane Lewis)
- 7. Adjourn.**



# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2024**

**1:00 PM**

**CITY HALL**

## **MEMBERS PRESENT**

Ken Halliburton, Vice-Chairman  
Jami Averwater  
Reggie Harris  
Bryan Prince  
Shawn Wright

## **STAFF PRESENT**

Ben Newman, Dir. of Land Mngt. & Planning  
Matthew Blomeley, Assistant Planning Director  
Holly Smyth, Principal Planner  
Richard Donovan, Principal Planner  
Brad Barbee, Principal Planner  
Sloane Lewis, Planner  
Katie Noel, Project Engineer  
Gabriel Moore, Project Engineer  
Carolyn Jaco, Recording Assistant  
Roman Hankins, Deputy City Attorney  
John Tully, Assistant City Attorney

### **1. Call to order.**

Vice-Chairman Ken Halliburton called the meeting to order at 1:00 p.m.

### **2. Determination of a quorum.**

Vice-Chairman Ken Halliburton determined that a quorum was present.

### **3. Public Comments.**

Vice-Chairman Ken Halliburton announced that no one signed up to speak during the Public Comments portion of the agenda.

### **4. Approve minutes of the November 20, 2024 and December 4, 2024 Planning Commission meetings.**

Ms. Jami Averwater made a motion to approve the minutes of the November 20, 2024 and December 4, 2024 Planning Commission meetings; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2024

Aye: Jami Averwater  
Ken Halliburton  
Reggie Harris  
Bryan Prince

Nay: None

Not present: Shawn Wright

## 5. Consent Agenda:

**Rucker Lane Subdivision [2024-2090]** final plat for 3 lots on 16.04 acres zoned PRD in the City (Marymont Springs PRD) and RM in the unincorporated County located along Rucker Lane and Smith Jarratt Road, Kevin Waldron developer.

**Kroger [2024-2086]** final plat for 3 lots on 19.2 acres zoned CH and CF located along Memorial Boulevard, Kroger Limited Partnership I developer.

**Redstone Federal Credit Union [2024-3161]** site plan for two multi-tenant commercial buildings totaling 23,0422 ft<sup>2</sup> on 3.88 acres zoned CL located along Memorial Boulevard, Redstone Federal Credit Union developer.

**Thompson Springs, 3rd Resubdivision of Lots 1 & 2 [2024-2087]** final plat for 2 lots on 1.78 acres zoned RS-15 located along North Thompson Lane and Sulphur Springs Road, Lisa G. Sims developer.

**Cherry Blossom Downs, Resubdivision of Lots 1-7 [2024-2088]** final plat for 14 lots on 1.83 acres zoned PRD located along John Richards Drive, BNA Homes, LLC developer.

**Center Pointe West, Lots 15, 16, & 17 [2024-2089]** horizontal property regime plat for 12 units on 3 lots on 0.94 acres zoned RM-12 located along Center Pointe Drive, Richard Wilhelm developer.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2024

**A & A Home Solutions, Resubdivision of Lot 1 [2024-2091]** final plat for 2 lots on 0.18 acres zoned RD & CCO located along East State Street, Alin Coviltir Living Trust developer.

**Evergreen Farms, Resubdivision of Common Areas of Section 38, Phases 1A & 1B [2024-2092]** final plat for 2 lots and 2 common areas on 24.5 acres zoned PRD located along Perlino Drive and Charismatic Place, Evergreen Farms Development, Inc. developer.

**Hembree Estates, Resubdivision of Lots 1 & 2 of Block F [2024-1023]** preliminary plat for 3 lots on 0.41 acres zoned RD & CCO located along Hembree Street and North Academy Street, Just Right Construction, LLC developer.

**Hembree Estates, Resubdivision of Lots 1 & 2 of Block F [2024-2060]** final plat for 3 lots on 0.41 acres zoned RD & CCO located along Hembree Street and North Academy Street, Just Right Construction, LLC developer.

**Crossings at Greenland Bifurcation [2024-3157]** site plan for renovations at an existing apartment complex to create 42 net new units from within the existing buildings on 5.16 acres zoned PRD (Crossings at Greenland PRD #2024-412) located at 920 Greenland Drive, SW Capital Group developer.

There being no further discussion, Ms. Jami Averwater made a motion to approve the Consent Agenda subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried in favor by the following vote:

Aye: Jami Averwater  
Ken Halliburton  
Reggie Harris  
Bryan Prince

Nay: None

Not present: Shawn Wright

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2024

## 6. GDO:

### On Motion

**Clari Park, Lot 18 Townhomes [2024-3108 & 2024-6006] final design review & site plan review for 80 townhomes on 8.06 acres zoned PUD and GDO-1 located along Roby Corlew Lane and Robert Rose Drive, Hines Clari Park Land Holdings, LLC developer.** Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Ms. Jami Averwater made a motion to approve the final design review & site plan review subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried in favor by the following vote:

Aye: Jami Averwater  
Ken Halliburton  
Reggie Harris  
Bryan Prince  
Shawn Wright

Nay: None

**Hawaiian Bros [2024-3149 & 2024-6007] final design review & stie plan review for a 2,734 ft2 restaurant on 1.77 acres located along Medical Center Parkway and Willowoak Trail, Sequoya Hospitality, LLC developer.** Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Brad Barbee addressed the concerns the Planning Commissioners expressed at initial design review regarding queuing spaces and the drive-thru area.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2024

Mr. Alex Muhl (design engineer) was in attendance representing the application. He addressed the site circulation for the drive-thru and the mobile order pick up area.

There being no further discussion, Mr. Shawn Wright made a motion to approve the final design review & site plan review subject to all staff comments; the motion was seconded by Ms. Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater  
Ken Halliburton  
Reggie Harris  
Bryan Prince  
Shawn Wright

Nay: None

**Fairfield by Marriott [2024-3158 & 2024-6008] initial design review for a 65,000 ft<sup>2</sup> 4-story hotel on 2.69 acres zoned MU and GDO-1 located along Robert Rose Drive, Pradeep Agnihotri developer.** Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Ms. Lidija Lazendic (architect) was in attendance representing the application. She explained the proposed architectural design.

There being no further discussion, Ms. Jami Averwater made a motion to approve the initial design review subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried in favor by the following vote:

Aye: Jami Averwater  
Ken Halliburton  
Reggie Harris

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2024

Bryan Prince

Shawn Wright

Nay: None

## 7. Plats and Plans:

### On Motion

**Kroger [2024-3152] site plan for a 122,910 ft<sup>2</sup> grocery store and a fueling station on 16.4 acres zoned CH and CF located along Memorial Boulevard, Kroger Limited Partnership I developer.** Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Brad Barbee explained the applicant would need to continue working with staff on their formal open space design before the issuance of permits.

The Planning Commission wanted to know what would happen to the existing Kroger store located a mile from this location. Ms. Amber Long (Kroger construction manager) stated they would sell the current Kroger store once this location is open.

There being no further discussion, Mr. Shawn Wright made a motion to approve the site plan subject to all staff comments, including final approval by staff of the formal open space design; the motion was seconded by Ms. Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater

Ken Halliburton

Reggie Harris

Bryan Prince

Shawn Wright

Nay: None

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2024

## 8. New Business:

**Zoning application [2024-420] to amend the PRD (Greystone PRD) zoning on approximately 205.21 acres located along Veals Road and Double Springs Road, Meritage Homes applicant.** Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference. Mr. Richard Donovan recommended a public hearing date of January 8, 2025.

Mr. Matt Taylor was in attendance representing the application. He explained that they are requesting overhead power on Lyons Farm Parkway due to recently learning about MTE's requirement for heavy gauge underground wire, which will be costly.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on January 8, 2025; the motion was seconded by Ms. Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater  
Ken Halliburton  
Reggie Harris  
Bryan Prince  
Shawn Wright

Nay: None

**Zoning application [2024-419] for approximately 4.0 acres located along North Rutherford Boulevard and Old Lascassas Road to be rezoned from CF to PCD (Lascassas Crossings PCD), HEMG, LLC applicant.** Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference. Ms. Holly Smyth recommended a public hearing date of January 8, 2025.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2024

There being no further discussion, Mr. Bryan Prince made a motion to schedule a public hearing on January 8, 2025; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Jami Averwater  
Ken Halliburton  
Reggie Harris  
Bryan Prince  
Shawn Wright

Nay: None

**Zoning application [2024-421] to amend the PCD zoning (East Side Village PCD) on approximately 1.94 acres located along North Rutherford Boulevard, CSC Properties, LLC applicant.** Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference. Ms. Holly Smyth recommended a public hearing date of January 8, 2025.

Mr. Matt Taylor was in attendance representing the application.

There being no further discussion, Ms. Jami Averwater made a motion to schedule a public hearing on January 8, 2025; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Jami Averwater  
Ken Halliburton  
Reggie Harris  
Bryan Prince  
Shawn Wright

Nay: None



# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2024

**Zoning application [2024-422] for approximately 3.88 acres located along South Bilbro Avenue and East Castle Street to be rezoned from RS-8 & CCO to PND (First Baptist Church Murfreesboro PND) & CCO, First Baptist Church Murfreesboro applicant.** Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference. She made known a neighborhood meeting was conducted on December 9th; she recommended a public hearing date of January 8, 2025.

Mr. Matth Taylor (design engineer) was in attendance representing the applicant. He explained he is currently working with the City Public Infrastructure division on a design to construct sidewalks with this proposal.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on January 8, 2025; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater  
Ken Halliburton  
Reggie Harris  
Bryan Prince  
Shawn Wright

Nay: None

**Annexation petition or request for outside the City sewer service [2024-508] for approximately 170.4 acres located along Manchester Pike, Hamilton Development and John F. Whorley, Jr. applicants.** Ms. Sloane Lewis presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2024

Mr. Rob Harts with Kimley Horn explained they were working with the Rutherford County Planning Department to change the Residential Medium (RM) zone to a Planned Unit Development (PUD).

There being no further discussion, Mr. Shawn Wright made a motion to approve serving this property as an outside the City sewer customer subject to a City equivalent zoning classification of L-I being assigned to the subject property. The motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater  
Ken Halliburton  
Reggie Harris  
Bryan Prince  
Shawn Wright

Nay: None

## 9. Staff Reports and Other Business.

**Mandatory Referral [2024-730] for the abandonment of a portion of a drainage easement on property located at 316 Robert Rose Drive, ELI, LLC on behalf of the Murfreesboro Water Resources Department applicant.** Mr. Matthew Blomeley presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to approve the mandatory referral subject to all staff comments, including the recommended conditions of approval listed in the staff report; the motion was seconded by Mr. Bryan Prince and carried in favor by the following vote:

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2024

Aye: Jami Averwater  
Ken Halliburton  
Reggie Harris  
Bryan Prince  
Shawn Wright

Nay: None

**Mandatory referral [2024-729] for the City's acquisition of property located at 910  
Ridgely Road, City of Murfreesboro Administration Department applicant.** Mr.

Matthew Blomeley presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Bryan Prince made a motion to approve the mandatory referral subject to all staff comments; the motion was seconded by Ms. Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater  
Ken Halliburton  
Reggie Harris  
Bryan Prince  
Shawn Wright

Nay: None

**MINUTES OF THE MURFREESBORO  
PLANNING COMMISSION  
DECEMBER 18, 2024**

**10. Adjourn.**

There being no further business the meeting adjourned at 2:07 p.m.

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Chair

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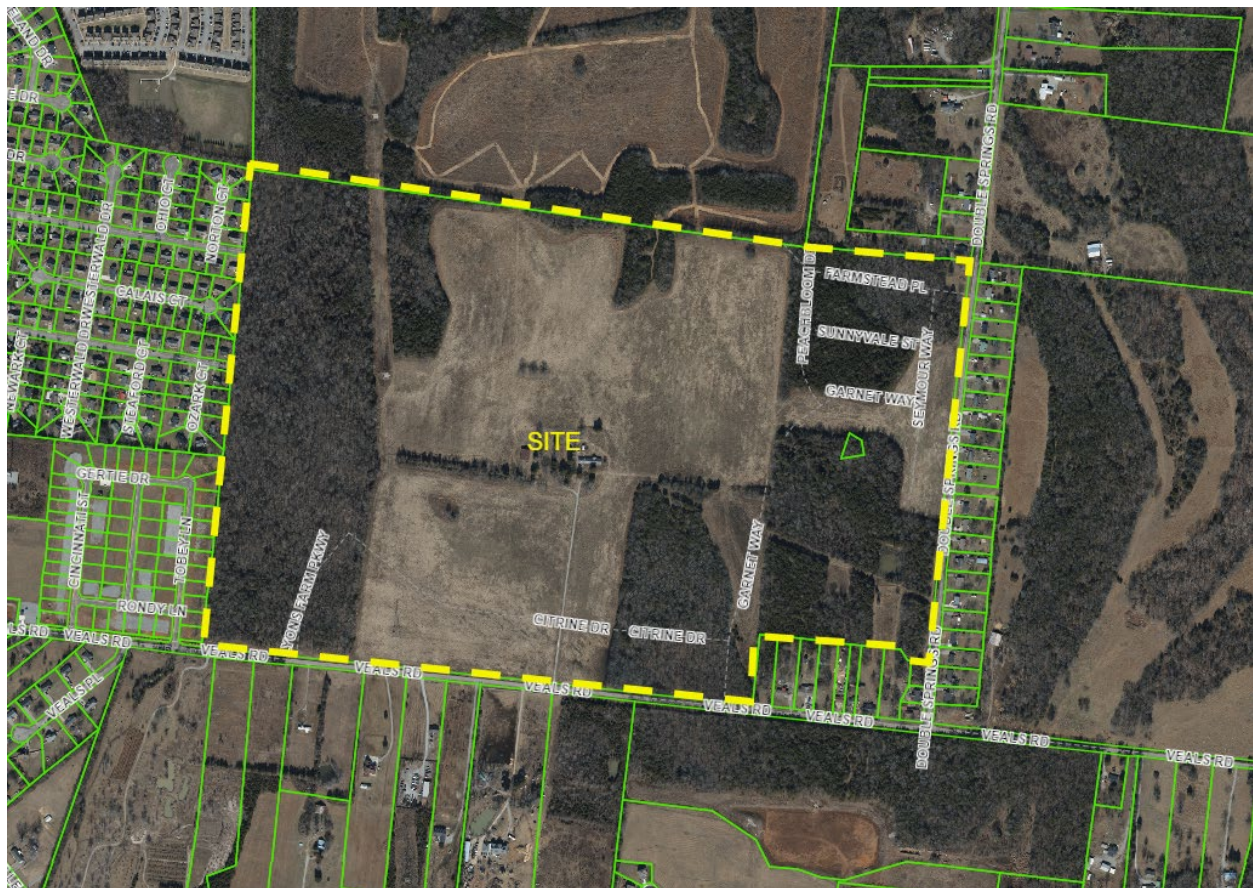
Secretary

BN: cj

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JANUARY 8, 2025  
PROJECT PLANNER: RICHARD DONOVAN**

**5.a. Zoning application [2024-420] to amend the PRD (Greystone PRD) zoning on approximately 205.21 acres located along Veals Road and Double Springs Road, Meritage Homes applicant.**

Meritage Homes, the applicant, is requesting an amendment to the PRD (Graystone PRD) zoning for a property located on the north side of Veals Road and the west side of Double Springs Road. The property encompasses approximately 205.5 acres and is currently under development. An amended master plan was approved in May 2023, with preliminary plats for Sections 1, 2, 3, and 4 receiving approval between March 2021 and July 2024. Additionally, site plans for the HPR portions and townhomes within the development have been approved during this time. The subject property is identified as Tax Map 112, Parcel 016.00.



### **Adjacent Land Use and Zoning**

The adjacent properties are residential and zoned accordingly. To the north is vacant land which is zoned single-family residential (RS-6 and RS-10) and which is under development with the Farmhouse Downs single-family residential subdivision; to the east is zoned medium-density residential (RM) in unincorporated Rutherford County and developed with low-density single-family residential uses on septic tank; to the south is zoned PRD (Carter's Retreat PRD – single-family residential) and RM in unincorporated Rutherford County (large lot single-family residential); and to the west are Travelers Trace and Crestview single-family residential subdivisions which are both zoned RS-10.

### **Graystone PRD Existing**

The existing PRD (Graystone PRD) includes a total of 375 single-family residential units: 134 single-family detached houses, 154 HPR single-family detached homes, and 87 single-family attached townhomes equating to 1.83 units per acre. Most elements within the PRD are remaining consistent with prior approvals and are highlighted as follows:

- **Housing Details:**
  - **Single-family Detached Homes (non HPR):**
    - Lot size: Minimum 6,500 ft<sup>2</sup>, typical dimensions 55' x 120'.
    - One to two story 40' wide homes.
    - Homes range from 1,400–2,500+ ft<sup>2</sup> with minimum 2-3 bedrooms.
    - Front and side-entry garages with decorative doors.
    - Brick and cement board siding facades.
  - **Single-family Detached Homes (HPR):**
    - One to two story 30' wide homes.
    - Homes range from 1,400–2,500+ ft<sup>2</sup> with minimum 2-3 bedrooms.
    - 2 car side-entry garages with decorative doors.
    - Brick and cement board siding facades.
  - **Townhomes:**
    - Units range from 1,200–1,600+ ft<sup>2</sup> with minimum 2 bedrooms.
    - Horizontal Property Regime (HPR) sales.
    - Private roads and garages restricted to vehicular use.
    - Brick and cement board siding facades.
- **Open Space and Amenities:**
  - 102 acres (49.7%) allocated as open space, including wetlands and stormwater detention areas.
  - Centralized amenity center with a pool, splash pad, playground, dog park, and clubhouse.

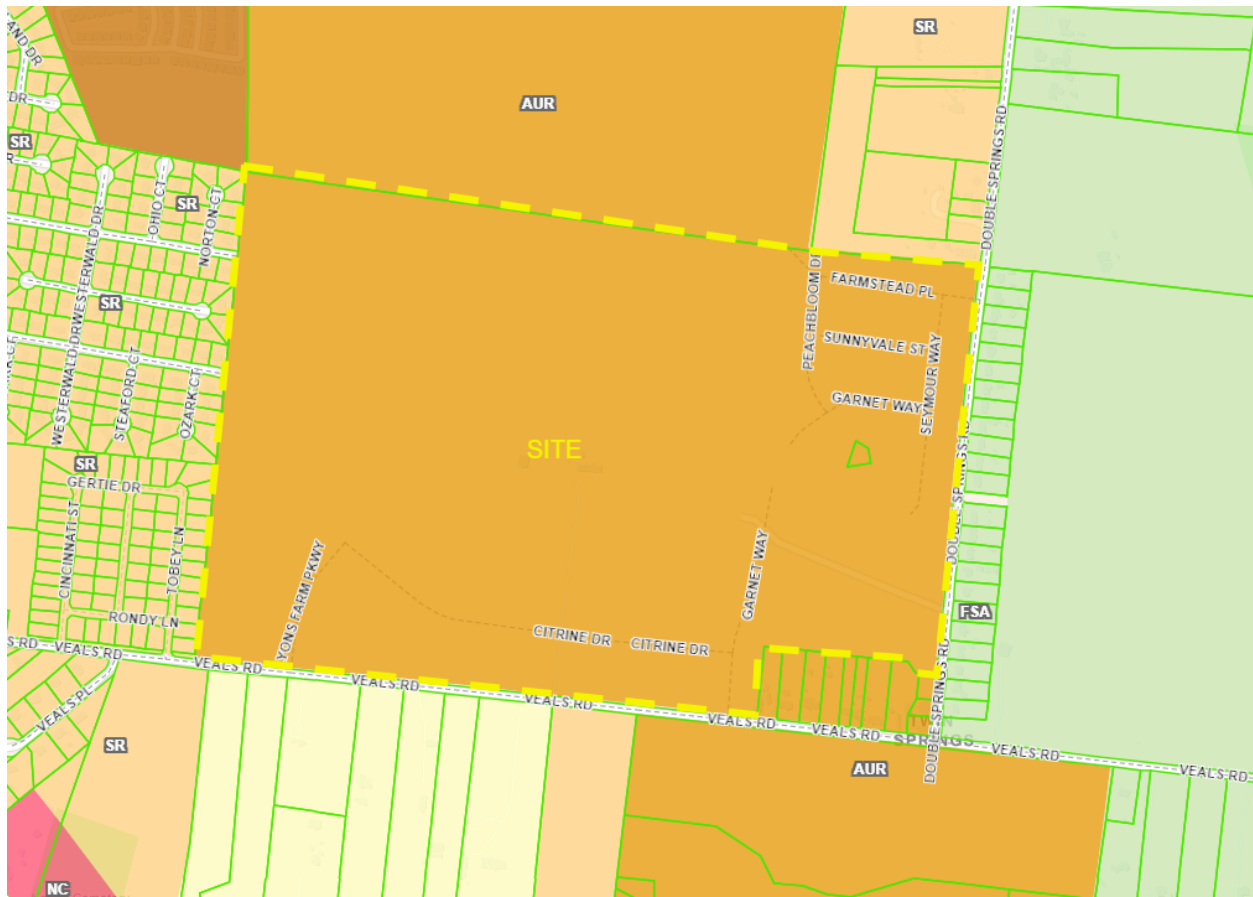
- Multiple pedestrian-friendly sidewalks and formal open spaces across phases.
- Landscaping includes Type A, B, and C buffers and decorative plantings.
- **Infrastructure and Traffic Improvements:**
  - Construction of a 3-lane collector road per City requirements.
  - Enhancements to Veals Road and Bradyville Pike (e.g., turn lanes and striping).
  - Public streets for detached homes; private roads for townhomes.
  - Utilities (electric, water, sewer) managed by local providers.
- **Phased Development:**
  - Four construction phases based on market absorption:
    - Phase 1A: Initial 70 building permits with STEP fields and first roadway entrance.
    - Phases 1B-4: Timing based on sales milestones; additional infrastructure tied to later phases.
    - Amenities to be constructed after 50% of homes in each phase are built.
- **Environmental Considerations:**
  - Existing wetlands (48.11 acres) preserved, with mitigation for select areas.
  - Topography designed to manage stormwater and avoid flood risks.
- **Homeowner Association (HOA):**
  - HOA managed by a third-party company, responsible for common areas and amenities.
  - Restrictive covenants and membership dues for residents.

### **Future Land Use Map:**

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan designates the project area as 'Auto-Urban Residential' (AUR), which is considered the most appropriate land use character, as indicated on the map below. The AUR designation typically supports a density range of 4.0 to 12.0 dwelling units per acre. The Comprehensive Plan recommends RS-10, RS-8, RS-6, RS-A1, RS-A2, RS-A3 and PRD zoning. The AUR land use category aims to promote both single-family attached and single-family detached residential development. The PRD zoning aligns with the Auto-Urban Residential land use designation by offering a mix of detached and attached single-family housing options while preserving a significant on-site natural feature: the wetlands.



## **Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)**



### **Graystone PRD Proposed Amendment**

The applicant is proposing to amend the existing PRD's requirement to provide underground electric service along the proposed collector road, known as Lyons Farm Parkway. Electricity will remain underground in the remainder of the subdivision but is proposed to be overhead along Lyons Farm Parkway. The applicant has indicated in the attached letter that they believe the proposal aligns with the City's standard utility practices and integrates with the existing infrastructure, which includes recently installed overhead lines by MTE along the frontage of the subject property and a TVA transmission line running through the site. According to the applicant, extending overhead lines along the collector road complements the established utility framework in the area. Lyons Farm Parkway is proposed to run north through the neighboring Farmhouse Down Subdivision. Lyons Farm Parkway is a proposed community collector which will function similarly to Saint Andrews Drive, Cason Lane, and River Rock Boulevard. Screenshots from Google Street View are provided of these streets below and show area with and without overhead electric service. An approximately one-mile section of Lyons Farm Parkway is already approved and under construction within



the Farmhouse Down Subdivision and features underground electric.

Below are excerpts from the Subdivision Regulations and Design Guidelines regarding how utilities, including electrical, are to be handled within the City of Murfreesboro. The Subdivision Regulations state that the City Engineer or Planning Commission have the ability to vary the utility installation requirements. The applicant has requested the City Engineer, Michelle Emerson, to waive the underground installation requirement. Ms. Emerson declined to waive underground installation requirement to vary from the Subdivision Regulation and Design Guidelines and deferred the matter to the Planning Commission.

#### Subdivision Regulations Excerpt

##### 5.12. Underground Utility Lines

A Developer shall be required to install underground electric, telephone, cable television, or other utilities except as approved by the Murfreesboro Planning Commission or City Engineer.

#### Design Guidelines Excerpt

##### E. Public Streetscape Treatment – Utilities

All utility lines within new streets shall be underground, unless otherwise approved by Planning Commission. Subdivision Regulations require underground utilities within public R.O.W. on all new streets.

#### Landscaping Changes

The proposed overhead power lines will also impact the landscaping planned along Lyons Farm Parkway. Below are excerpts from the existing and proposed landscaping guidelines for this area. With the introduction of overhead power, the possibility of incorporating substantial “decorative plantings,” including trees, will be eliminated. The proposed guidelines now limit landscaping to low-growing shrubs and groundcover, as MTE requires a 30-foot clearance around overhead electrical lines.

#### Existing Landscaping Language

*Landscape Planting areas shall be installed between the single-family lots directly adjacent to the proposed community collector. These landscape areas shall consist of decorative plantings on intermittent berms.*

#### Proposed Landscaping Language

*Landscape Planting areas shall be installed between the single-family lots directly adjacent to the proposed community collector. These landscape areas shall consist of decorative plantings on intermittent berms. Landscape areas under the proposed overhead electric shall propose a mixture of low growing shrubs and intermittent groundcovers.*

### Benefits of underground electric

- Eliminates the visual clutter of overhead lines and poles, enhancing the overall appearance of neighborhoods and urban areas.
- Underground lines allow for more flexible land development and use, as poles and overhead wires do not obstruct properties or roads.
- Underground lines are less exposed to weather-related disruptions like wind, lightning, ice storms, and falling trees.
- They are also less prone to accidents such as vehicular collisions with poles.

The proposal to allow overhead power lines along Lyons Farm Parkway deviates from the Subdivision Regulations and Design Guidelines, which prioritize underground utilities for new streets to enhance aesthetics, reliability, and safety. Overhead power would alter the planned landscaping along the Parkway, restricting the use of trees and decorative plantings, originally included in the plan to enhance the corridor's visual appeal.

During their deliberations, the Planning Commission may wish to consider the following factors, among others:

1. The cohesive development of Lyons Farm Parkway through Graystone and Farmhouse Downs.
2. The impact of overhead electric service on landscaping options and aesthetics.
3. The role of wetlands in shaping the overall development of Graystone, which incorporates approximately 48.11 acres of preserved wetlands.
4. The potential precedent this request may set for future overhead electric service requests along similarly classified streets.
5. The context and character established by existing electric service infrastructure in the area.

### **Staff recommendation:**

Staff is supportive of this rezoning request for the following reasons:

1. The PRD zoning is consistent with the FLUM of the Comprehensive Plan which supports cluster development when overall density is met, and the remainder is preserved as common areas and open space.
2. Allowing overhead lines supports the efficient continuation of Lyons Farm Parkway's development while addressing the unique site constraints, as Lyons Farm Parkway is an important link depicted on the Major Transportation Plan.
3. The amendment balances cost-effectiveness with minimal impact on the overall subdivision design, as underground utilities will still be maintained throughout the rest of the development.

**Action Needed:**

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

**Attachments:**

Ortho Map

Non-ortho maps

Pattern Book

Applicant Letter



*Figure 1: 2230 St. Andrews Drive*





Figure 2: 1726 St. Andrews Drive



Figure 3: 1486 Cason Lane





Figure 4: 1139 Cason Lane



Figure 5: 1507 River Rock Blvd.



*Figure 6: 1115 River Rock Blvd.*

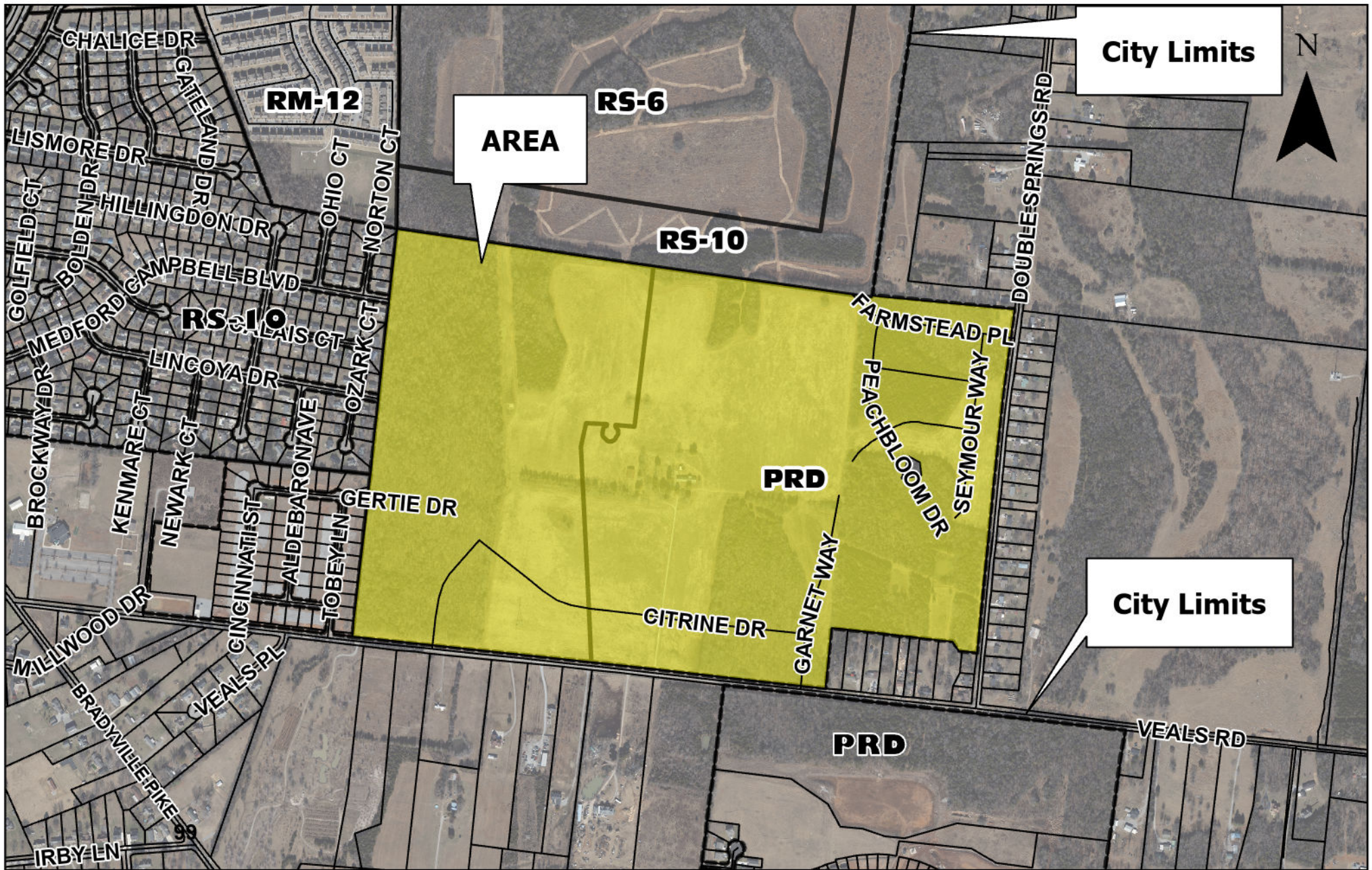




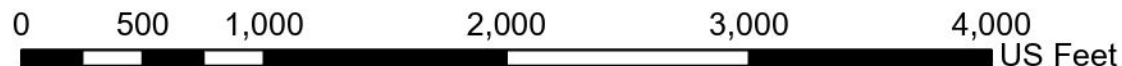
A horizontal scale bar with major tick marks at 0, 500, 1,000, 2,000, 3,000, and 4,000 US Feet. The bar is divided into alternating black and white segments.

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)





## Zoning Request for property along Veals Road PRD Amendment (Graystone PRD)



Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)





Site Engineering Consultants  
850 Middle Tennessee Blvd  
Murfreesboro, TN 37129  
(615)890-7901  
[www.sec-civil.com](http://www.sec-civil.com)

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December 12, 2024

Richard Donovan  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, TN 37130

RE: 21294 Graystone PRD Amendment  
Letter of Intent  
SEC Project No. 21294

Dear Richard,

We are submitting this letter of intent to request an amendment to the approved Greystone PRD pattern book. Specifically, this amendment pertains to the utility installation requirements outlined in the pattern book, which currently stipulates that all utilities shall be underground. We propose to allow overhead utility lines along the north-south collector road traversing the site while maintaining underground utilities throughout the remainder of the development.

This proposed adjustment aligns with the City's standard approach to utility installations for similar sized electrical lines. As part of the existing infrastructure in the area, MTE has already installed new overhead electric lines along the frontage of the property and is requiring a transmission main be extended to the northern property line of the Graystone project. Additionally, a significant overhead TVA transmission line runs through the site, contributing to a landscape where overhead utility infrastructure is already an established element. Incorporating overhead lines along the collector road would integrate with the area's existing utility framework.

While we recognize the aesthetic and functional benefits of underground utilities, the unique considerations of this site make overhead lines a practical and context-sensitive solution for the collector road. The integration of overhead lines in this specific corridor will not detract from the overall visual character of the development, as the overhead lines will be limited to the collector road and will harmonize with the existing utility infrastructure.

We believe this amendment maintains the integrity and vision of the development while also addressing the practicalities of utility installation. This adjustment allows for an efficient and consistent approach to utility design that respects the established patterns in the area.

Sincerely,

Matt Taylor, P.E.  
SEC, Inc



# GRAYSTONE - NORTHSIDE OF VEALS ROAD

A REQUEST FOR AN AMENDMENT TO THE PREVIOUSLY APPROVED PLANNED RESIDENTIAL DISTRICT (PRD#2021-411)

Murfreesboro, Tennessee

## **PRD#2021-424 (Ordinance 21-OZ-39)**

City Council Approved on January 27th, 2022

Effective Date of February 10th, 2022

## **Initial Submittal**

September 16th, 2021

## **Resubmitted**

Minor Deviation Changing Pages; 13,14,36,37,38 -

Due to Wetlands

July 14th, 2022

## **Resubmitted**

Minor Deviation Changing Pages; 13,14,36,37,38 -

Due to Wetlands

August 10th, 2022

## **Resubmitted**

Minor Deviation Changing Pages;

4,12,13,14,36,37,38,40 - Due to Wetlands

March 23rd, 2023

## **Initial Amendment Submittal**

Amendment Changing Pages; 8, 9, 12, 37, 39, 41

November 14, 2024

## **Resubmitted**

December 9th, 2024 for the

December 18th, 2024

Planning Commission Meeting

## **Resubmitted**

December 31st, 2024 for the

January 8th, 2025

Planning Commission Public Hearing

# SEC, Inc.

SEC Project #21294

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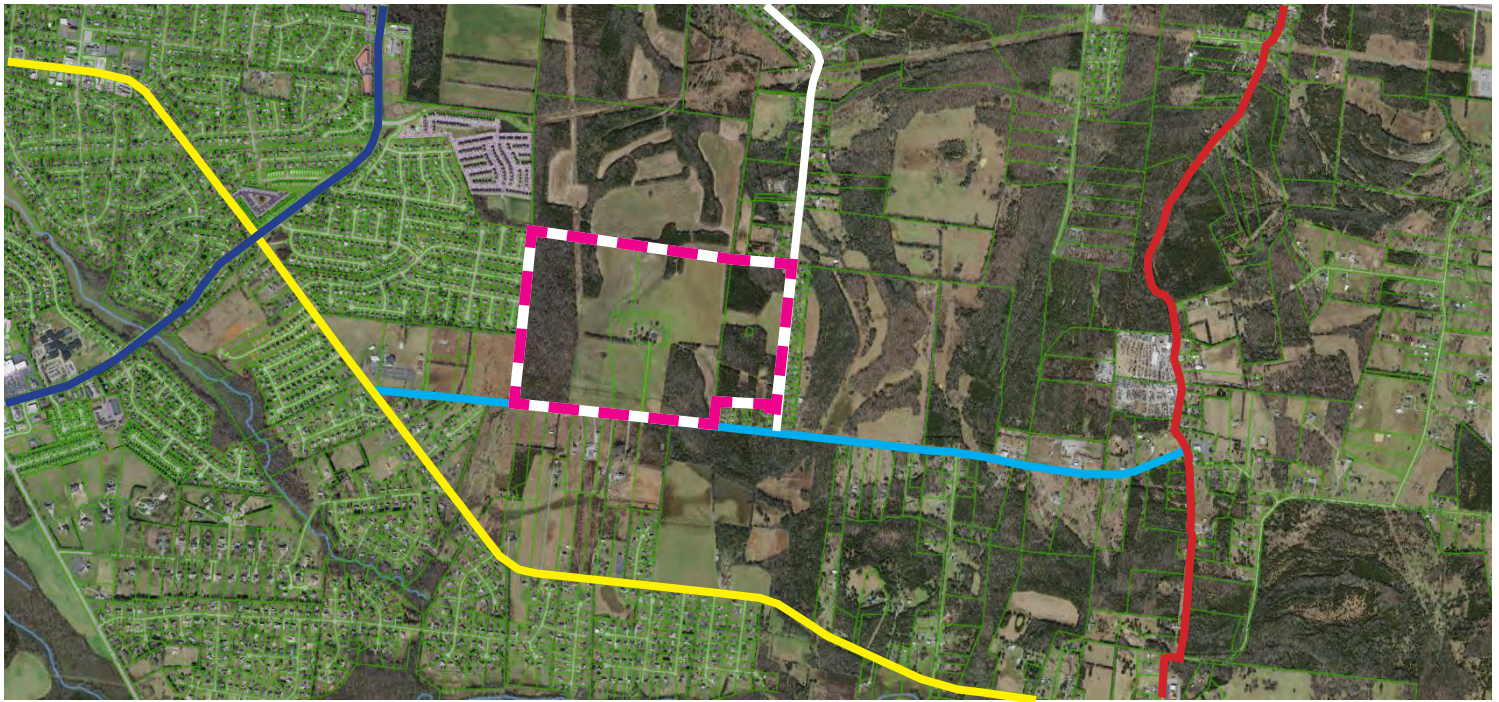
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AERIAL PHOTOGRAPH

Not To Scale 

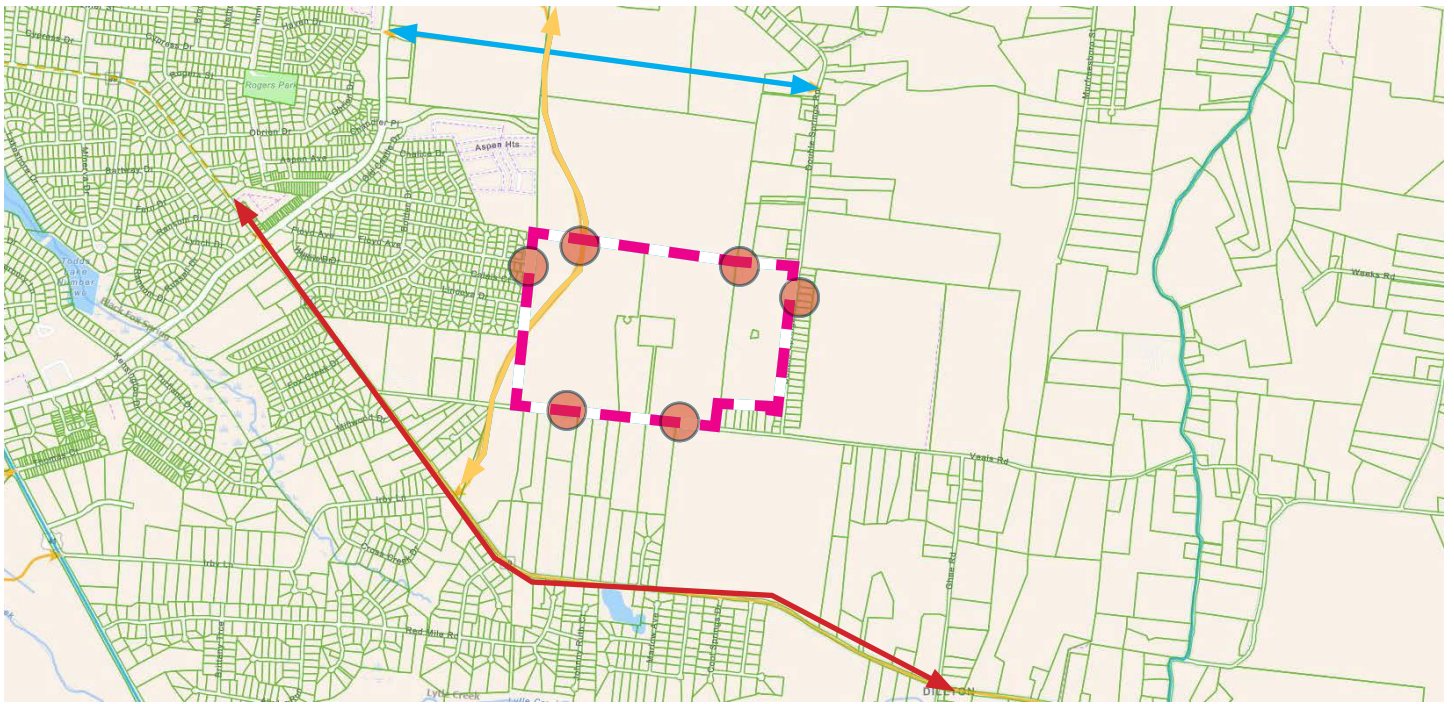
- |  |                         |   |                            |
|--|-------------------------|---|----------------------------|
|   | Veals Road              |  | South Rutherford Boulevard |
|   | Bradyville Pike- Hwy 99 |  | Double Springs Road        |
|  | Mount Herman Road       |   |                            |



Meritage Homes respectfully requests rezoning of the Halls Family properties containing 5 parcels along Veals Road from Medium Density Residential - RM (Rutherford County), RS-6, RS-10, and RS-12 (City of Murfreesboro) to Planned Residential Development (PRD) City of Murfreesboro to create Graystone. The property is located along the northern side of Veals Road and west of Double Springs Road. The site is identified as Parcels 16.00, 16.02, 16.03, 16.04, and 16.05 of Tax Map 112, and is approximately 205.21 acres.





The development will consist of 288 single-family detached homes and 87 single-family attached townhomes for a total of 375 homes for a density of 1.83 units per acre. All homes shall be for purchase and townhomes will be sold via HPR. Minimum single-family detached lot size shall be 6,500 sf, with a typical lot size of 6,600 sf. The proposed single-family detached homes shall range in size from 1,400 sf. to 2,500+ sf. Single-Family detached homes shall have 2-3 bedrooms, and a mix of two car front-entry and side loaded garages with decorative garage doors. Townhomes shall range in size from 1,200 sf. to 1,600+ sf in size. Townhomes shall have a minimum of 2 bedrooms and shall include a one/two car front entry garage with a decorative garage door. Home elevations shall be constructed of masonry materials to add quality and character to the community. This development shall continue the extension of the proposed collector street in Farmhouse Downs, through the site to Veals Road, per the City of Murfreesboro Major Thoroughfare Plan. Several open space areas are proposed throughout the development. These areas are programmed to include elements such as playgrounds, dog-parks, open play fields, and an amenity center. The centralized amenity center shall provide residents with a pool, splash pad, playground, and clubhouse. All members of the development shall be part of an HOA managed by a third party. The HOA shall be responsible for maintaining all common areas and amenities. Monument signage shall be incorporated at the Veals Road and Double Springs Road Entrances. Signs shall be constructed of masonry material and anchored with Landscaping.





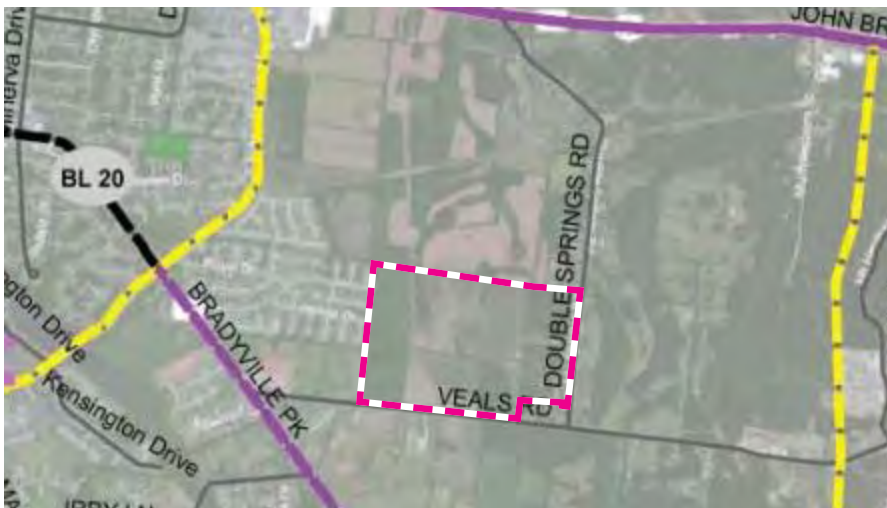
## MAJOR THOROUGHFARE PLAN

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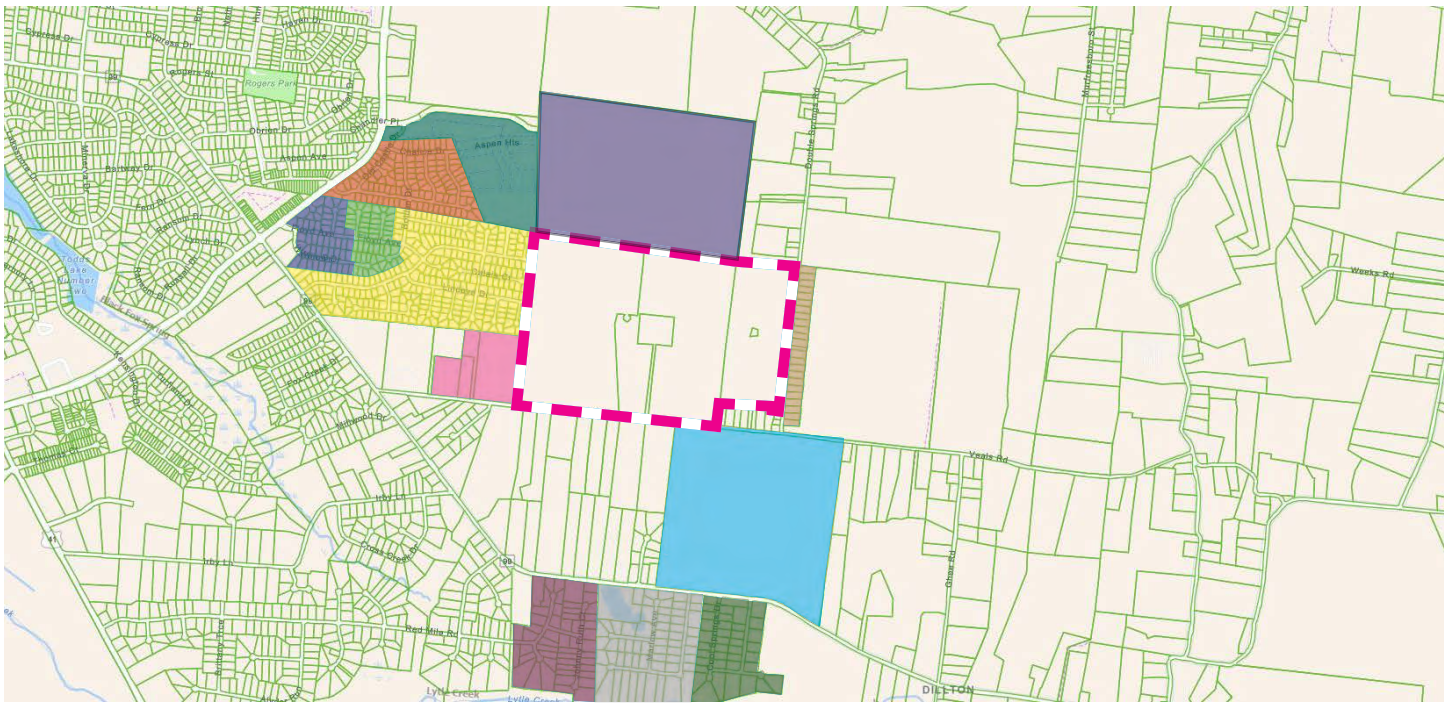
-  MTI#19 3 Lane Roadway
-  MTI#18 3 Lane Roadway
-  MTI#20 3 Lane Roadway
-  Proposed Connection Points



The property's primary means of access shall be to the existing R.O.W.s of Veals Road and Double Springs Road. Additional access shall be provided via two connections to Farmhouse Down to the north and a connection to Medford Campbell Boulevard to the west. The City of Murfreesboro Major Thoroughfare Plan proposes a 3-Lane Collector Road within this development to ultimately connect East Main Street to Bradyville Pike.



Per the City of Murfreesboro: Greenways, Blueways, and Bikeways Master plan, no improvements exist or are proposed for roadways around this site.



SUBDIVISION MAP

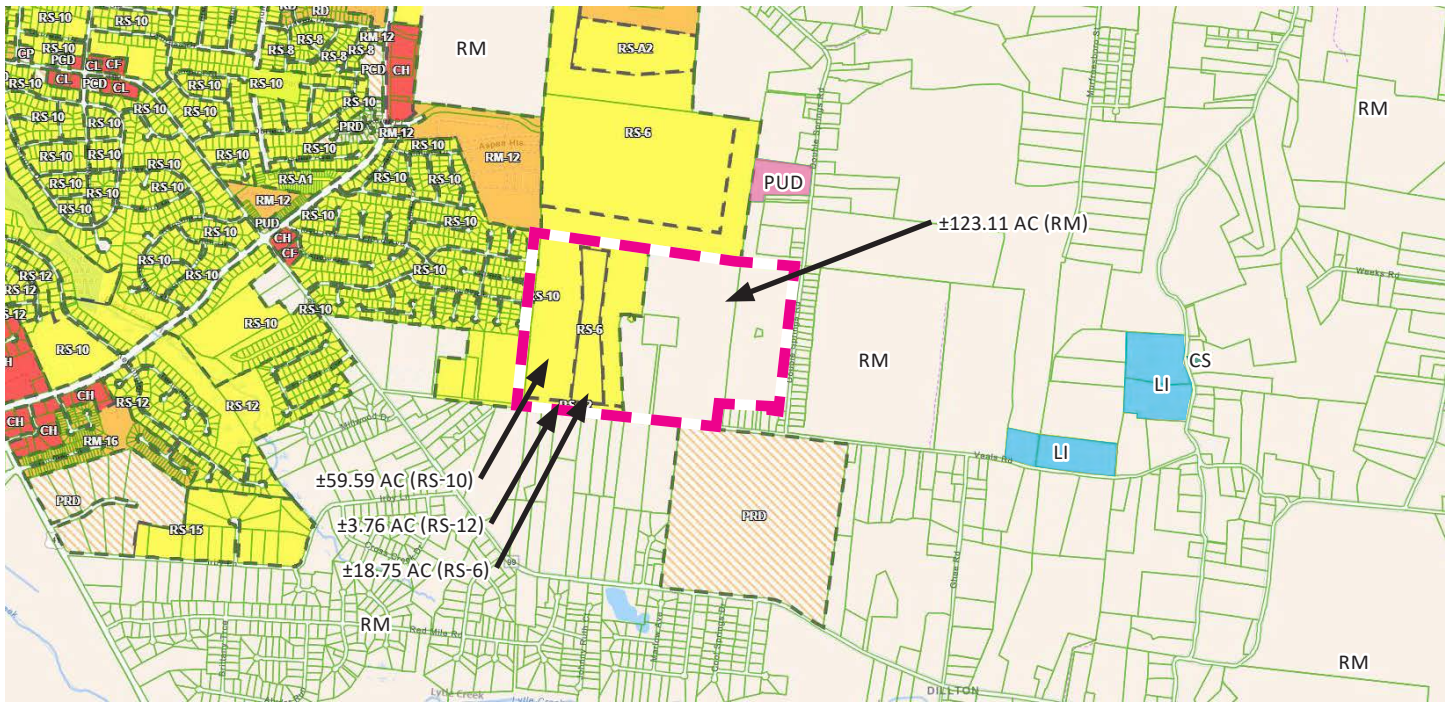
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 Carters Retreat	 Stonegate	 Aspen Heights	 Briston
 Travelers Trace	 Willow Drive Estates	 Twin Springs	 Bradyton
 Crestview	 Wilson Estates	 Farmhouse Downs	

  
Site Boundary

Graystone is surrounded by a mixture of residential subdivisions, and agricultural properties. Crestview is a residential development immediately adjacent to the west of Graystone consisting of one and two-story single-family detached homes without garages on 10,000 SF lots. The exterior elevations consist of primarily vinyl siding with brick along the front elevation on the first floor for most units. Twin Springs is a small residential subdivision immediately to the east of Graystone across Double Springs Road in the county with minimum 15,000 SF lots. This development consists of single-story detached homes without garages. The exterior elevations consist of primarily brick with vinyl & hardy board accents. North of the development is the approved City of Murfreesboro subdivision of Farmhouse Downs, consisting of commercial, apartment units, and single family detached homes. This subdivision will directly connect to the proposed development via two north-south connections. Carter’s Retreat to the south east of the proposed development is an approved PRD in the City of Murfreesboro consisting of single-family detached homes utilizing a STEP system.





## ZONING MAP

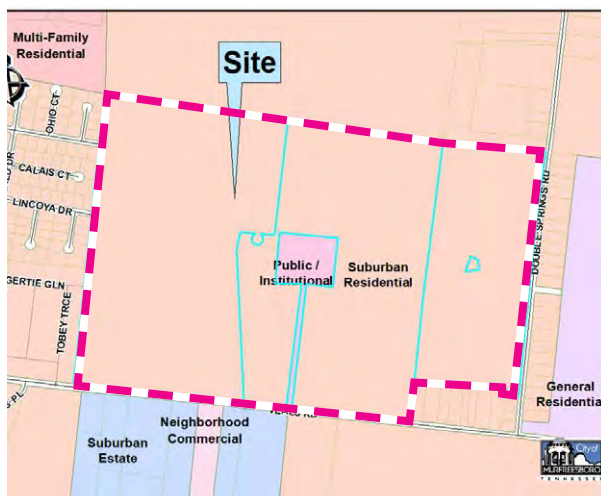
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RS-6	Residential Single-Family (RS-6)	CH	Residential Single-Family (RS-12)
RS-8	Residential Single-Family (RS-8)	CF	Residential Single-Family (RS-15)
RS-10	Residential Single-Family (RS-10)	PCD	Planned Commercial Development (PCD)
RS-12	Residential Single-Family (RS-12)	PRD	Planned Residential Development (PRD)
RS-15	Residential Single-Family (RS-15)	RM	Medium Density Residential (RM) (Rutherford County)
RM-12	Residential Multi-Family (RM-12)	PUD	Planned Unit Development (PUD) (Rutherford County)
RM-16	Residential Multi-Family (RM-16)	LI	Light Industrial (LI) (Rutherford County)
RS-A2	Residential Single-Family (RS-10)	CS	Commercial Services (CS) (Rutherford County)



Site Boundary

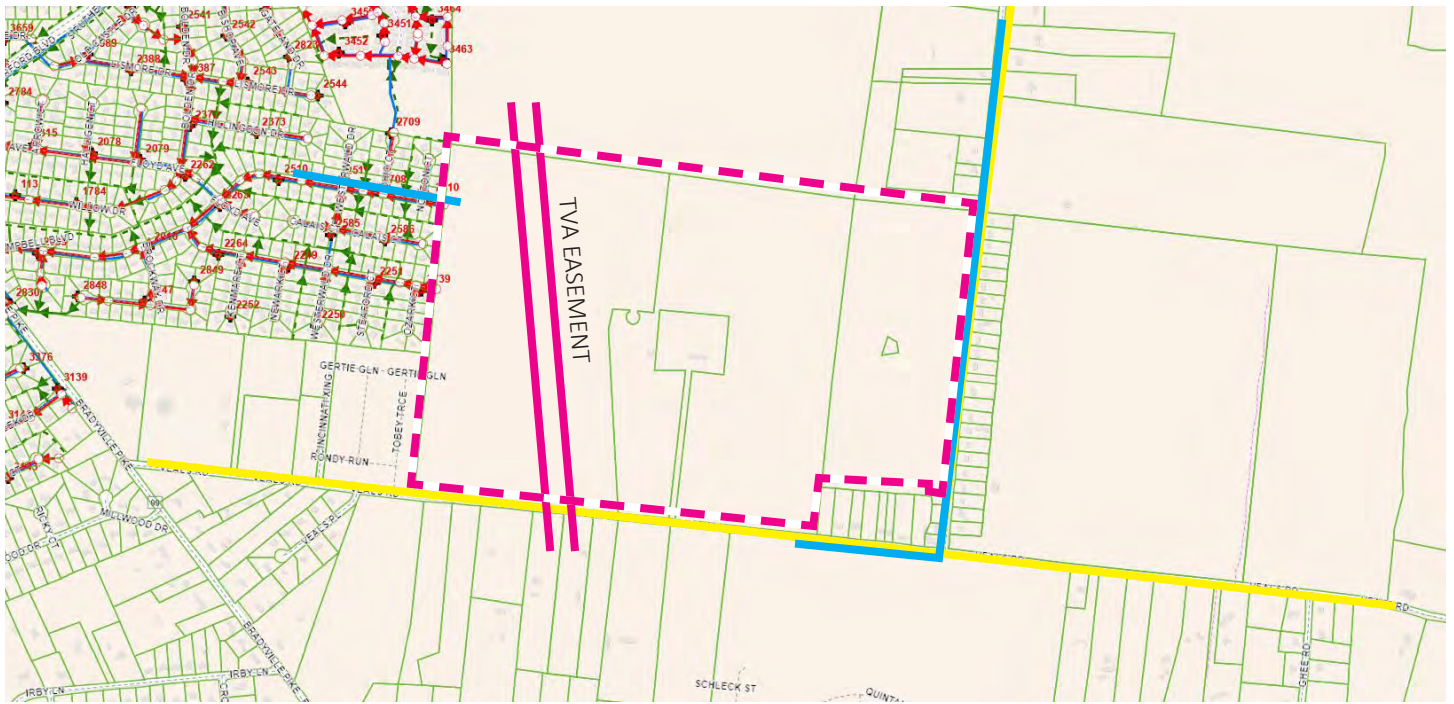
The surrounding area consists of a mixture of zoning types and uses. All parcels directly adjacent to the property are zoned for residential land use. Further to the east along Veals Road are a couple of properties zoned Light Industrial (LI) in Rutherford County.



The Murfreesboro Future Land Use Plan proposes this area as suburban residential (SR). The character of this land use includes detached residential dwellings, and attached residential with the notion of increased open space. Development options can be established, which allow for smaller lot sizes in exchange for greater open space, with the open space devoted to maintaining the suburban character and buffering adjacent properties and roads. Density for this character ranges from 2.0 to 3.54 dwelling units per acre. Generally compatible zoning districts include RS-15, RS-12, and RS-10

The proposed development aligns with the described character of the area and provides an overall density of 1.83 dwelling units per acre (within the 205 acres) along with ample open space.





UTILITY MAP

Not To Scale



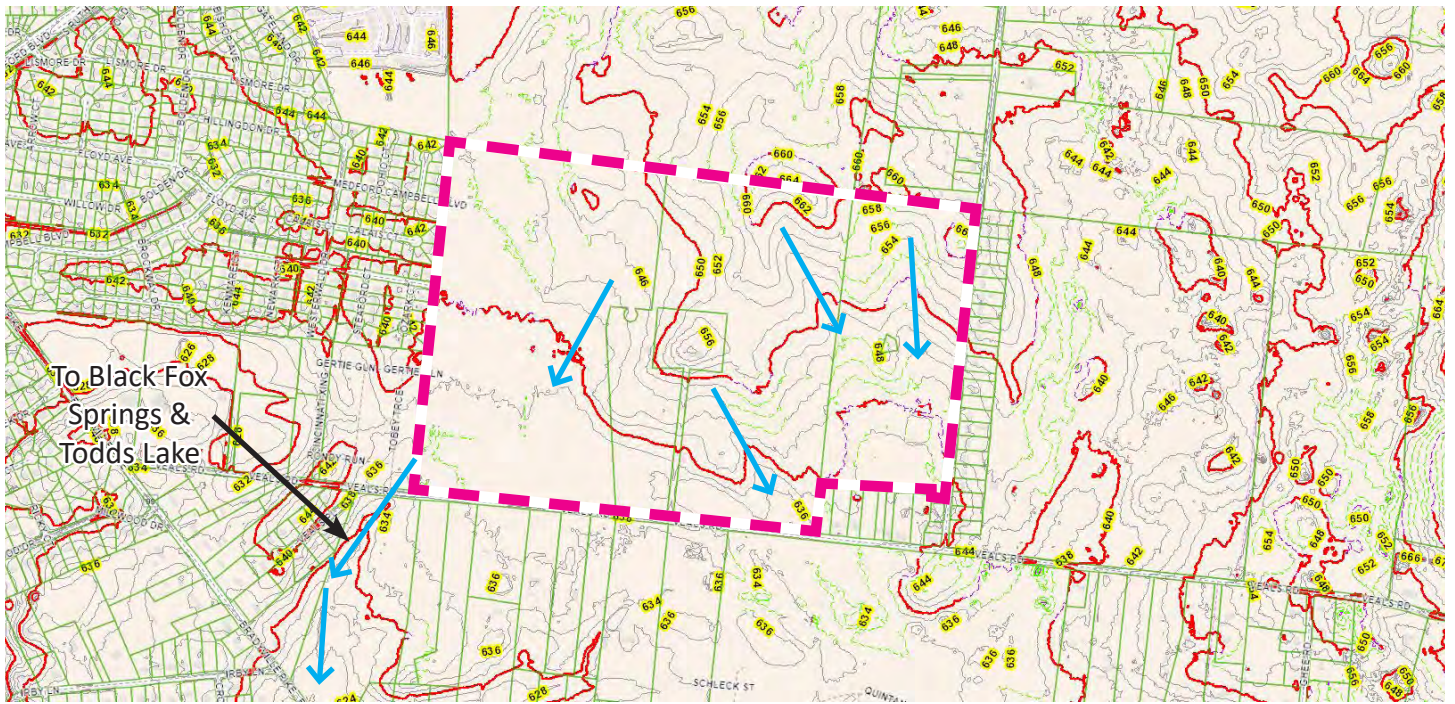
Water service will be provided by Consolidated Utility District. There is an existing 6-inch and 12-inch ductile iron water line along the West and East portions of Veals Road respectively. There is also an existing 20 inch ductile iron water line along Double Springs Road. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water Resources Department via an on-site STEP system. The developer is responsible for the installation, and MWRD shall own and maintain the facility.



Electric service will be provided by Middle Tennessee Electric. Service will be extended from Veals Road, Double Springs Road, and Medford Campbell Boulevard. The developer will be responsible for extending the electric lines into the site. Electric services along the proposed collector road shall be above ground, and all other on-site electric will be underground. Any off-site improvements will be coordinated with MTE.



## HYDROLOGY AND TOPOGRAPHY

Not To Scale 

 WATER FLOW DIRECTION

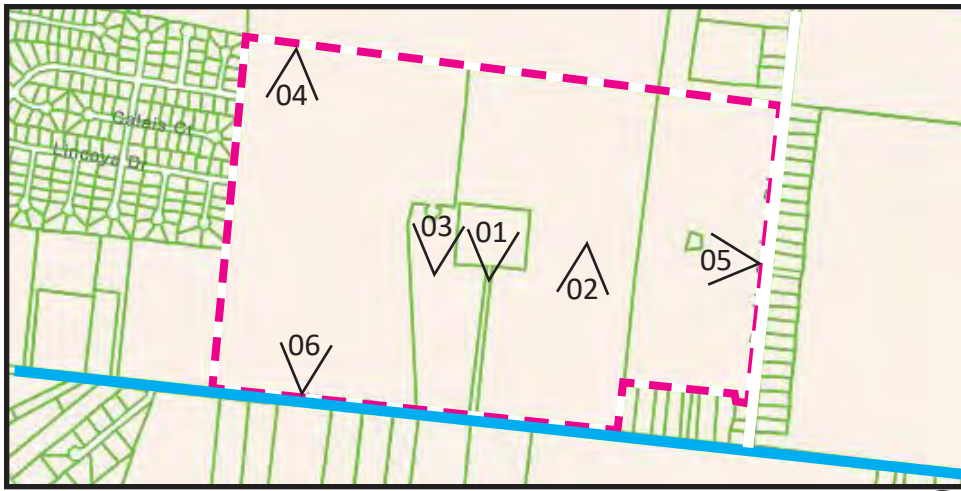
 INTERMEDIATE CONTOURS

 INDEX CONTOURS

  
Site Boundary

The topographic map above shows the site's topographic high point generally at the northeastern corner of the property. From this high point, the property drains towards the southeast and southwest. All stormwater on the site drains towards Veals Road and eventually ends up in Black Fox Springs before heading towards Todds Lake. No portions of this site lie with a floodway or floodplain per FEMA Map Panel 47149C0280H eff. 5/9/2023, and FEMA Map Panel 47149C0290H eff. 5/9/2023.







-  Veals Road
-  Double Springs Road



PHOTO DIRECTION MAP

Not To Scale 







PHOTO DIRECTION MAP

Not To Scale

- Veals Road
- Double Springs Road



### **Development Standards: All**

- Entrances off of Veals Road and Double Springs Road shall include entrance signage. Signs shall be constructed of masonry materials and anchored with landscaping
- A berm and decorative Type 'A' buffer will be provided along Veals Road, except where affected by existing wetlands.
- Builders shall install sod and landscaping in front yards
- Builders shall install a front yard tree on each lot or one per home on HPR portion.
- All mechanical equipment (i.e. HVAC and transformers) to be screened or located at rear of homes
- All on-site utilities will be underground, except for the electric along the proposed collector road.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed
- All home owners will be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by a 3rd party management company
- HOA will be managed by independent 3rd party management company
- The common areas will be owned and maintained by an H.O.A.
- All streets have been designed to comply with Murfreesboro Streets Standards
- Public sidewalks will be provided on both sides of all streets throughout the development to create a pedestrian friendly community
- Mail service will be provided via cluster box units (CBU).

### **Development Standards: Single-family Detached Homes**

- 288 single-family detached homes with 2-3 bedrooms.
- Single-family homes shall be a minimum of 1,400 SF of living area.
- 40' homes shall be on its own lot of record, and sold fee simple.
- 30' homes shall be recorded and sold as a part of a horizontal property regime.
- Parking for the single-family detached homes shall comply with the City of Murfreesboro requirements.
- Each single family lot will provide at least 4 parking spaces per lot (outside of the garage).
- Each lot will have concrete driveways wide enough for 2 vehicles , and have a minimum width of 16 feet.
- Solid waste shall be handled via the Murfreesboro Solid Waste Department.
- All streets will be public rights-of-way.
- All streets have been designed to comply with Murfreesboro Streets Standards.
- HVAC units will be located at the rear or side of each residence.

### **Development Standards: Single-family Attached Townhomes**

- 87 single-family attached townhomes with 2-3 bedrooms each.
- Townhomes shall be a minimum of 1,200 SF of living area.
- Townhomes shall be recorded and sold as part of a horizontal property regime.
- Parking for the attached townhomes shall comply with the City of Murfreesboro requirements (1.1/BR).
- A Type 'C' Landscape Buffer shall be constructed along the length of boundaries of the townhome areas adjacent to single-family detached homes.
- Solid waste will be handled via individual carts picked up by a private trash service.
- Any solid waste enclosures will be constructed of masonry materials consistent with building architecture and be at least 8 feet tall with opaque gates and enhanced with landscaping.
- All Townhome driveways and parking areas will be private and maintained by the H.O.A.
- Each Townhome shall have concrete driveways wide enough for 1 vehicles , and have a minimum width of 12 feet & 35 feet deep.
- Garages within townhome portions of the development shall be restricted to vehicular use only.
- All townhome roadways shall be private.
- HVAC units will be located at the rear of each residence
- Visitor parking shall be provided within townhome areas.
- Townhome trash carts shall be stored inside garages.
- Townhome formal open space shall be provided within common areas throughout the development. Total formal open space shall be at a minimum of (5% of the developable townhome area).





Total Land Area:	±205.21 Acres
Net Reduction of Developable Land:	± 48.11 Acres
Developable Acreage:	± 157.10 Acres
Total Number of Units:	375 Units
Single Family Detached:	288 Homes
Townhomes:	87 Units
Density: 375 Units/ 205.21 Acres =	±1.83 Units/Acre
(All units will be min. 2 bedrooms)	
Total Open Space:	±102 Acres 49.7%
Active Open Space (Min 3%)	±3.06 Acres (3.0%)
Stormwater (Detention)	±7.87 Acres (3.83%)
Wetlands to Remain:	±48.11 Acres (23.4%)
Remaining Open Space:	±42.96 Acres
STEP System: (Part of above remaining O.S.)	±40.74 Acres
Minimum Lot Size:	6,500 Square Feet
Typical Lot Dimensions:	55' x 120'
Total Length of New Roadways:	±16,924 Linear Feet
Proposed Collector Roadway:	±2,960 Linear Feet
Proposed Local Streets:	±11,349 Linear Feet
Proposed Private Streets:	±2,615 Linear Feet

- STEP Fields
- Open Space
- Usable Open Space Areas
- Wetlands
- Detention Areas
- Proposed Lots 40' Wide Homes (134 homes)  
Of which 18 shall have enhanced side elevations
- Proposed HPR 30' Wide Homes (154 homes)  
Of which 25 shall have enhanced side elevations
- Proposed Townhomes (87 Homes)  
Of which 12 shall have enhanced side elevations
- Existing Cemetery
- Formal Open Space ( 0.75 AC)
- Enhanced Side Elevations As Indicated on Plan

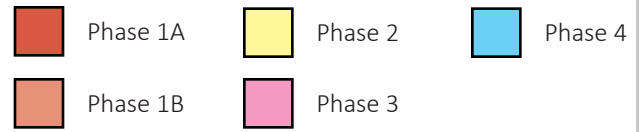
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Murfreesboro, Tennessee SEC Project #21294

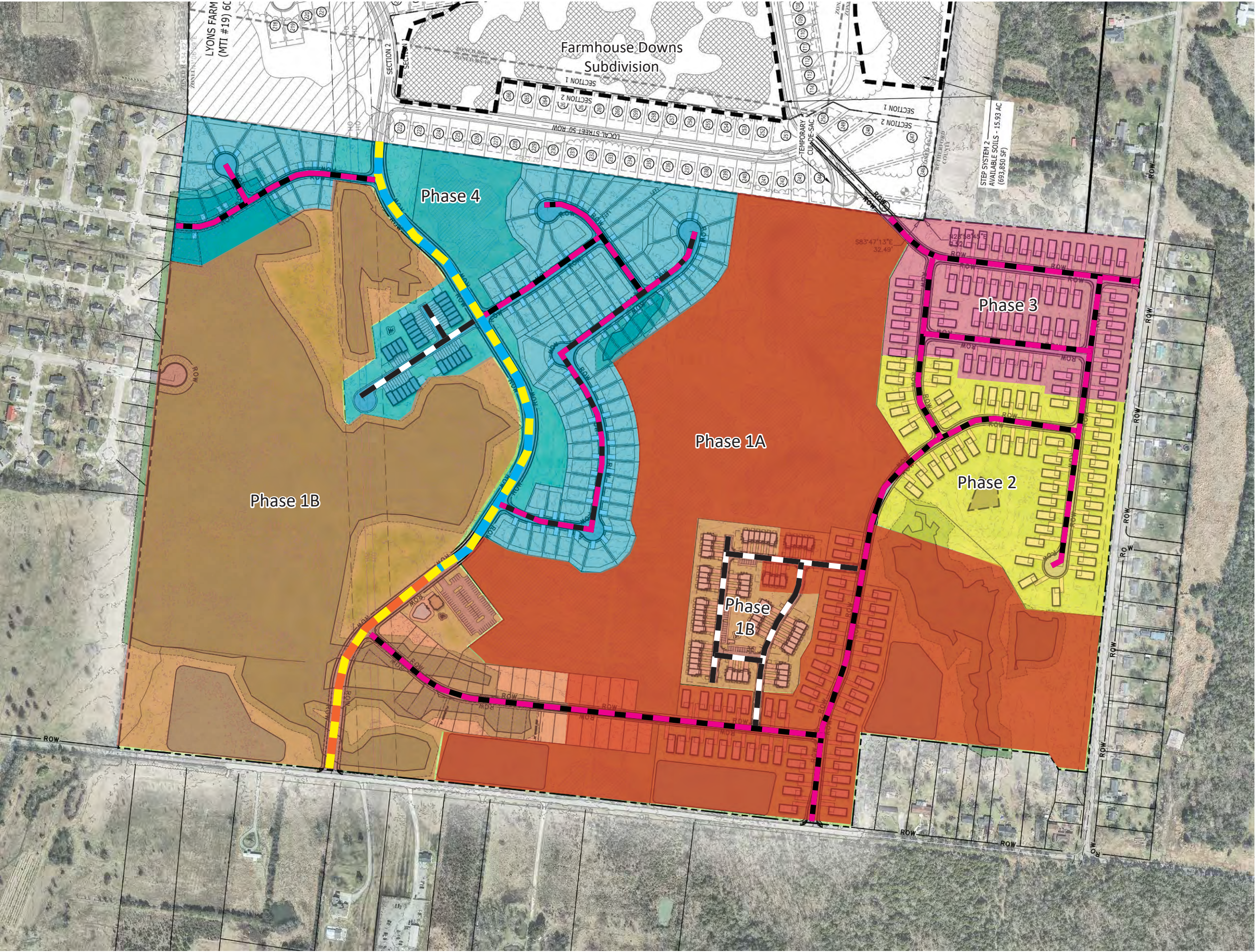




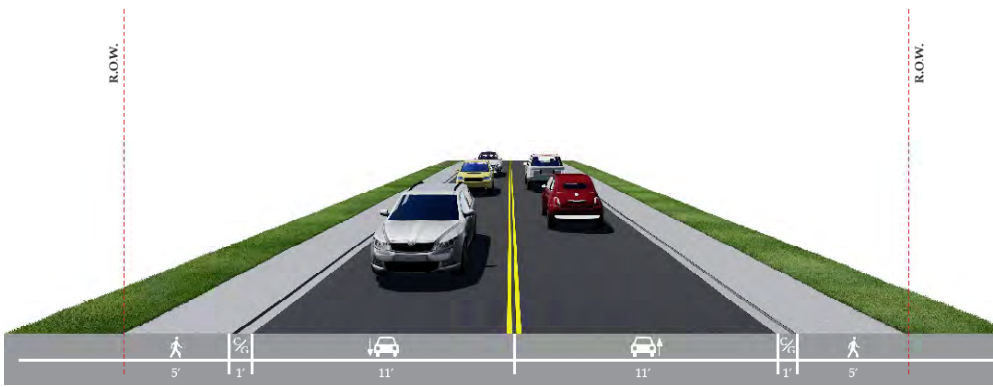
PHASE	TOWN HOMES	30' HOMES	40' HOMES	AC
1A	9	49	11	68.47
1B	50	0	25	68.33
2	0	49	0	16.55
3	0	56	0	13.23
4	28	0	98	38.63
TOTAL	87	154	134	205.21



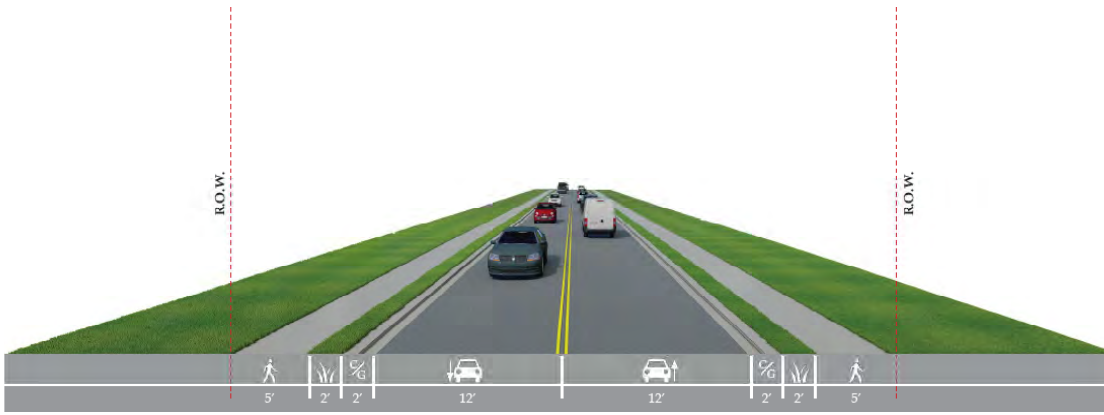
- The project is anticipated to be built in 4 phases
- Construction of Phase 1A is planned to begin within 90-120 days after the completion of the rezoning process
- Phase 1A shall include the construction of the STEP fields for Phase 1A. The rest will be installed as project progresses.
- No more than 70 building permits shall be issued in phase 1A before a 2nd roadway entrance is open.
- The timing of the remaining phases of construction will be market driven and dependent upon the absorption of the units in the previous phase
- In general, the following section of construction will begin after the previous phase is 80%-85% sold
- Amenities are to begin construction when 50% of the units are built within their respective phases.
- Bradyville Pike at Veals Road shall be improved to include a southbound left turn lane with 100' of storage prior to issuance of CO for phase 1 homes.
- Construction of full Collector Road will be with Phase 4 or to match timing with Farmhouse Downs to the north, whichever comes first.
- Veals Road, at the two access streets, shall be improved to include east bound left turn lanes, turning left with 50 feet of storage and striped median for outbound traffic with Phase 1 roadways.
- Lincoya Drive shall be constructed if allowed by TDEC and the CORPS in Phase 1B



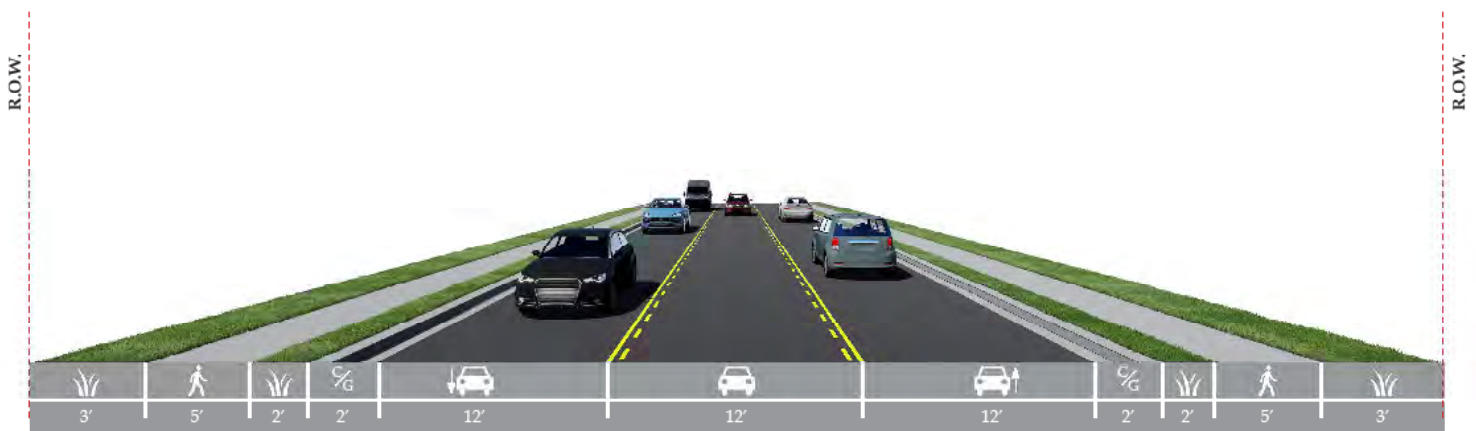




Typical Private Road Cross Section (Townhomes)



Typical 42' ROW Cross Section



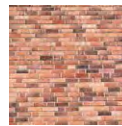
Typical 60' Collector ROW Cross Section



# Townhome Sample Architecture

## Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- All buildings will be 2 story
- All units will have at least 2 bedrooms
- All the units will have eaves per design elevations
- All units will have a patio area at the rear of the unit
- All attached homes will recorded and sold via Horizontal Property Regime
- All homes shall have a one-car or two-car front entry garage with either two-car or four-car surface parking in front of units.
- Front entry garages will have decorative carriage-style doors with windows
- Garage door color will match trim of the unit
- Townhome buildings will be comprised of alternating unit style and unit colors
- Developer shall control elevations on each building to prevent monotonous facades and provide variety instead.
- Parking will be minimum of 1.1 spaces per bedroom for each unit
- End units to have enhanced side facades facing streets
- Garages will be for vehicular use only



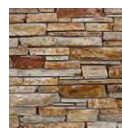
Example of Brick  
(different colors will be allowed)



Example of Fiber Cement Board  
(different colors will be allowed)



Example of Board and Batton  
(different colors, cuts, patterns will be allowed)



Example of Stone Veneer  
(different colors, cuts, patterns will be allowed)

## Building Materials:

Front Elevations:

All Masonry (Brick, Stone, Cement Board Siding)

Cement Board Siding in the Dormers/Gables

Side Elevations (Internal to the Site):

Cement Board Siding

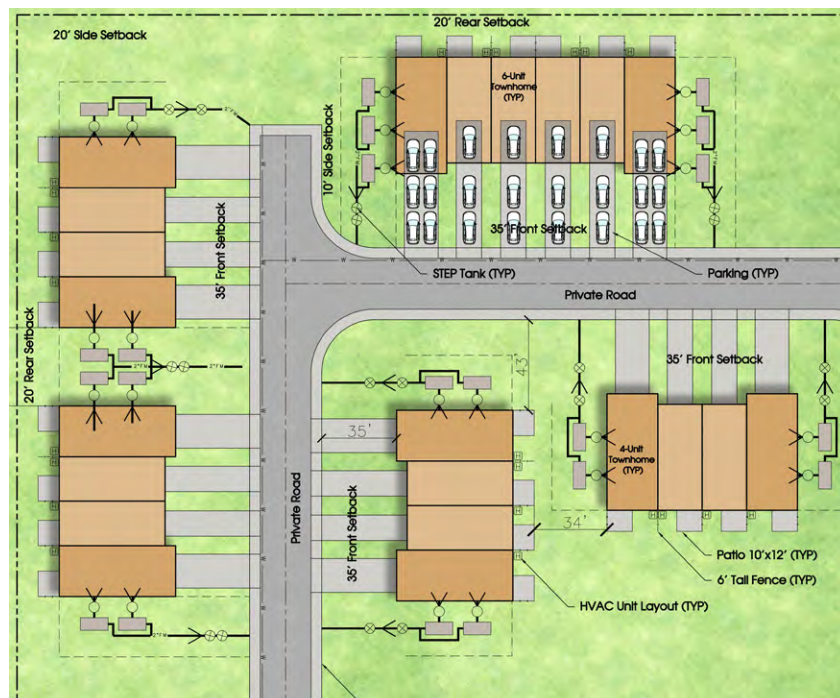
\*Where side elevations face onto a street, the side elevation shall be of enhanced variety.

Rear Elevations:

Cement Board Siding

All Elevations:

Vinyl Only Permitted in Trim & Soffit Areas



## Townhome Setbacks Internal to the Site

Front to back of sidewalk:	35-feet
Side Facing Roadway:	10-feet
Side Facing Buildings:	10-feet
Rear to Property Line:	20-feet
Rear Between Buildings:	20-feet





4-Unit Townhome Elevation



\*The elevations of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.



4-Unit Townhome Elevation





6-Unit Townhome Elevation









## 6-Unit Townhome Elevation





30' Wide Single-Family Homes Sample Architecture

Architectural Characteristics: Single-family Detached 30' Wide Homes

- Building heights shall not exceed 35 feet in height
- All buildings shall be a maximum of two stories
- All units will have at least two bedrooms and square footage ranging from 1,400 sf to 2,500 sf
- All the units will have eaves
- All homes shall have a 2 car side-entry garages
- Garages will have decorative garage doors with windows
- Garage door color will match trim of the unit and will be either white or a neutral color
- Corner homes to have enhanced side facades facing streets
- Rears facing Double Springs Road will be screened by a berm & buffer in common space to be maintained by HOA.
- 30' wide homes shall be sold as part of a Horizontal Property Regime as per page 12.

Building Materials:

Front Elevations: All Masonry (Brick, Stone, Cement Board Siding)  
Cement Board Siding in the Dormers/Gables

Side Elevations: Cement Board Siding

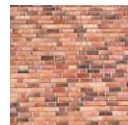
Rear Elevations: Cement Board Siding

All Elevations: Vinyl Only Permitted in Trim & Soffit Areas

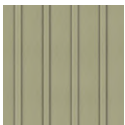


Single Family Setbacks External to the Site


Front: 35-feet  
Secondary Front: 20-feet  
Side: 5-feet  
Rear: 20-feet




Example of Brick  
(different colors will be allowed)



Example of Board and Batton  
(different colors, cuts, patterns will be allowed)



Example of Fiber Cement Board  
(different colors will be allowed)



Example of Stone Veneer  
(different colors, cuts, patterns will be allowed)

Autumn: 1,420 SQFT | 28' X 70' (80 W/ PARTIO) | RANCH 3 BEDROOM/2 BATH



\*The elevations of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.







**FINLEY:** 1,528 SQFT | 28' X 40' (50' W/PATIO) | 2 STORY PRIMARY UP | 3 BED/2.5 BATH



**ELEVATION "B"**



**ELEVATION "C"**

\*The elevations of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.

**FINLEY:** 1,528 SQFT | 28' X 40' (50' W/PATIO) | 2 STORY PRIMARY UP | 3 BED/2.5 BATH



**ELEVATION "F"**



**ELEVATION "T"**



**DALLAS:** 1,749FT | 28' X 49' (59' W/PATIO) | 2 STORY PRIMARY UP | 3 BED/2.5 BATH







**ELEVATION "A"**



**ELEVATION "C"**



**ELEVATION "F"**



**ELEVATION "T"**



## REAR ELEVATION EXAMPLES



# 40' Wide Single-Family Homes Sample Architecture

## Architectural Characteristics: Single-family Detached 40' Wide Homes

- Building heights shall not exceed 35 feet in height
- All buildings shall be a maximum of two stories
- All units will have at least two bedrooms and square footage ranging from 1,400 sf to 2,500 sf
- All the units will have eaves
- All homes shall have a 2-car front entry garages with four parking spaces in front of garage.
- Front entry garages will have decorative garage doors with windows
- Garage door color will match trim of the unit and will be either white or a neutral color
- 55 foot wide lot minimum at the front setback.
- Corner lots shall have enhanced side elevations facing streets

## Building Materials:

Front Elevations:

All Masonry (Brick, Stone, Cement Board Siding)

Cement Board Siding in the Dormers/Gables

Side Elevations (Internal to the Site):

Cement Board Siding

Rear Elevations:

Cement Board Siding

All Elevations:

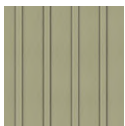
Vinyl Only Permitted in Trim & Soffit Areas



Example of Brick  
(different colors will be allowed)



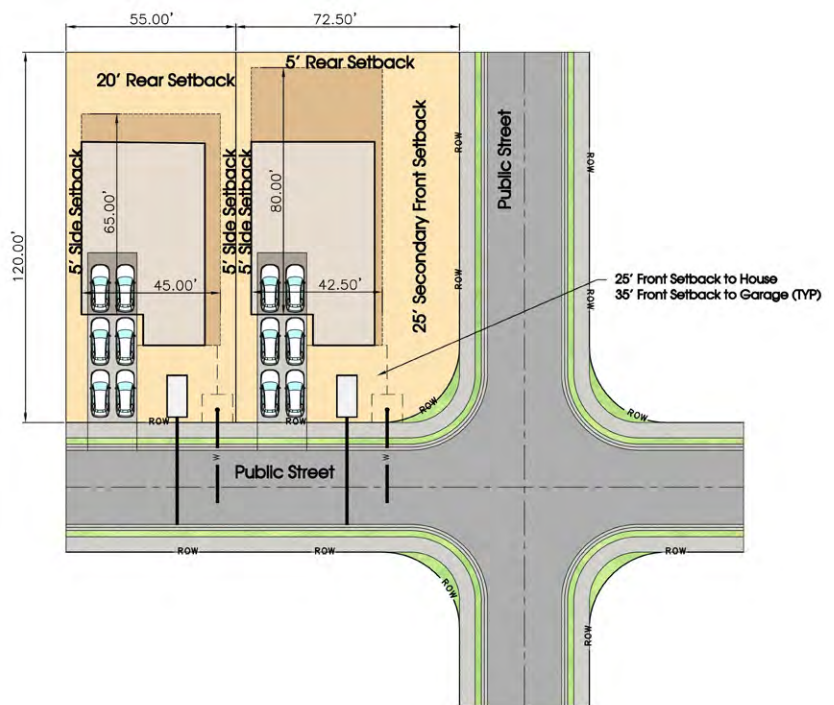
Example of Fiber Cement Board  
(different colors will be allowed)



Example of Board and Batton  
(different colors, cuts, patterns will be allowed)



Example of Stone Veneer  
(different colors, cuts, patterns will be allowed)



## Single Family Setbacks External to the Site

Front: 35-feet to Garage (25' to rest of home)

Side: 5-feet

Rear: 20-feet

**CHANDLER:** 1,648 SQFT | 30' X 60' (60' W/PATIO | RANCH 3 BED/2.5 BATH



**ELEVATION "B"**



**ELEVATION "D"**



**ELEVATION "E"**



**ELEVATION "F"**

\*The elevations of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.



**ROCKWELL:** 2,135 SQFT | 38' X 42' (52' W/PATIO) | 2 STORY PRIMARY UP | 3 BED/2.5 BATH



**ELEVATION "B"**



**ELEVATION "D"**



**ELEVATION "E"**



**ELEVATION "F"**



**BRENTWOOD:** 2,345 SQFT | 38' X 41' (51' W/PATIO | 2 STORY PRIMARY UP | 3 BED/2.5 BATH



**ELEVATION "B"**



**ELEVATION "D"**



**ELEVATION "E"**



**ELEVATION "F"**

**DAKOTA:** 2,479 SQFT | 38' X 44' (54' W/PATIO) | 2 STORY PRIMARY UP | 4 BED/2.5 BATH



**ELEVATION "B"**



**ELEVATION "D"**



**ELEVATION "E"**



**ELEVATION "F"**

\*The elevations of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.



**MANCHESTER:** 2,448 SQFT | 38' X 57' (57' W/PATIO | 2 STORY PRIMARY UP | 4 BED/2.5 BATH



**ELEVATION "B"**



**ELEVATION "D"**



**ELEVATION "E"**



**ELEVATION "F"**

**REAR ELEVATION EXAMPLES**





Pursuant to the City of Murfreesboro’s Major Thoroughfare Plan, a collector road is proposed and included in this development (MTI#19). The majority of the traffic generated from this development shall primarily impact the existing ROWs of Veal Road and Double Springs Road.

Entrances shall incorporate three travel lanes for proper circulation into and out of the development onto Veals road and Double Springs Road. There shall be dedicated left and right turning lanes out of the neighborhood, as well as single lane for traffic entering the development. The intersection of the proposed community collector and Veals Road shall also include a dedicated lane for southbound traffic as well. Dedicated north bound left-turn lanes shall be constructed at the Veals Road entrances.

Figure 22.1 illustrates the collector road and it’s north/south connections to Farmhouse Downs and Veals road respectively. It also illustrates the connection to Crestview via Medford Campbell Boulevard. Figure 22.2 illustrates the Double Springs Road and Farmhosue Downs connections. Figure 22.3 illustrates the secondary entrance from Veals road. All secondary roads in the development shall be the typical 42’ ROW per the City of Murfreesboro Street Design Standards. The collector road shall be built as a 60’ ROW with a 33 foot wide pavement cross section and widen to 4-lanes for the Southern most 300 feet of the collector road with 45 degree cords at the intersection with Veals Road.

Developer shall be responsible for improving Bradyville Pike to include a southbound left turn lane onto Veals Road along with a traffic signal for the intersection. This project shall dedicate ROW along Veals Road and Double Springs Road.

Developer shall construct a cul-de-sac at the end of Lincoya Drive. If not permitted by TDEC and/or the CORPS, documentation shall be presented to the engineering staff for verification. Currently the cul-de-sac for Lincoya Drive slated for Phase 1B per the phasing plan.

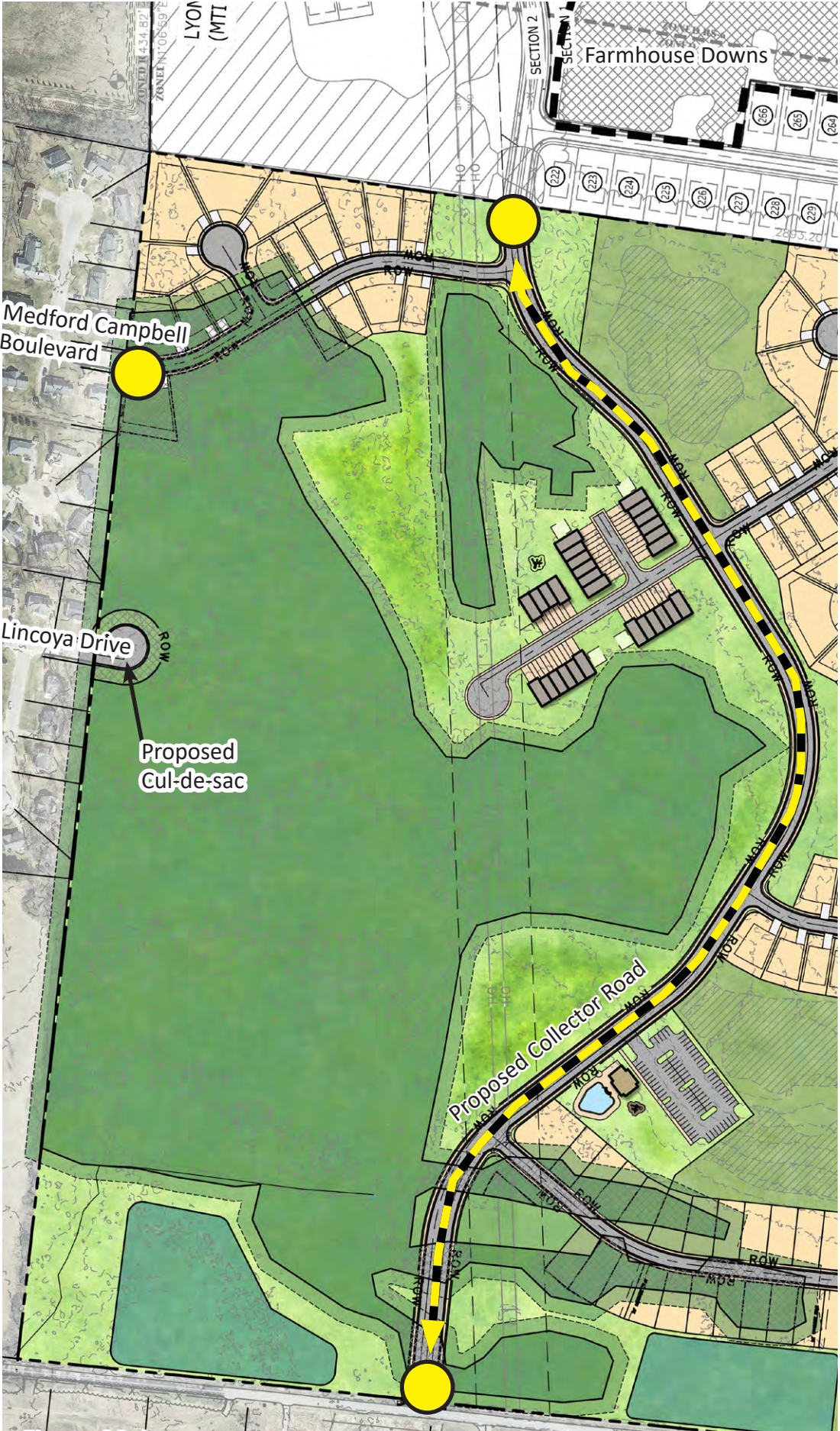
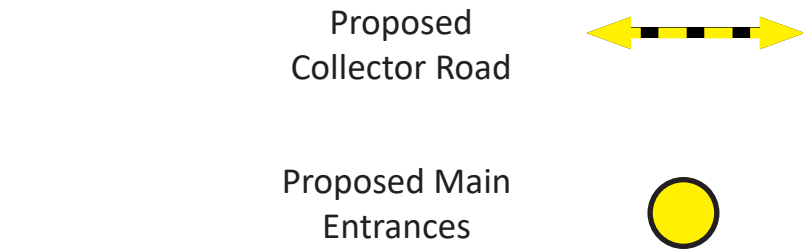


Figure 22.1

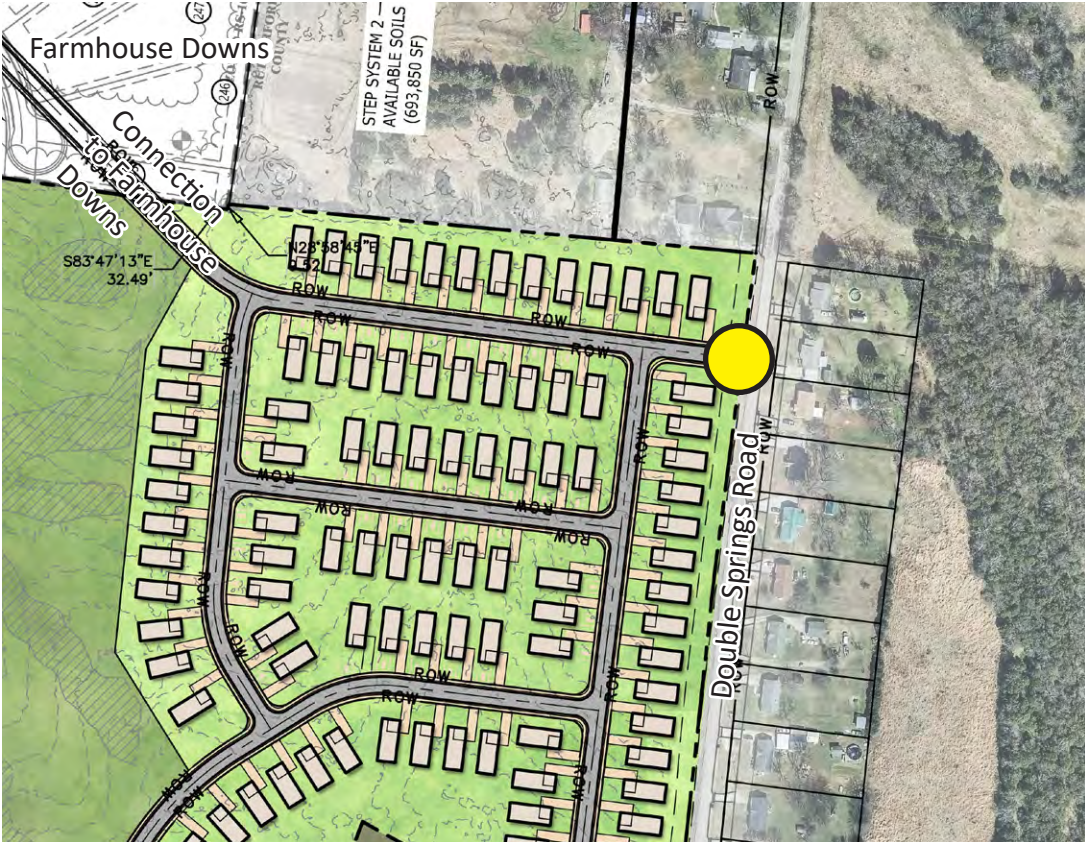
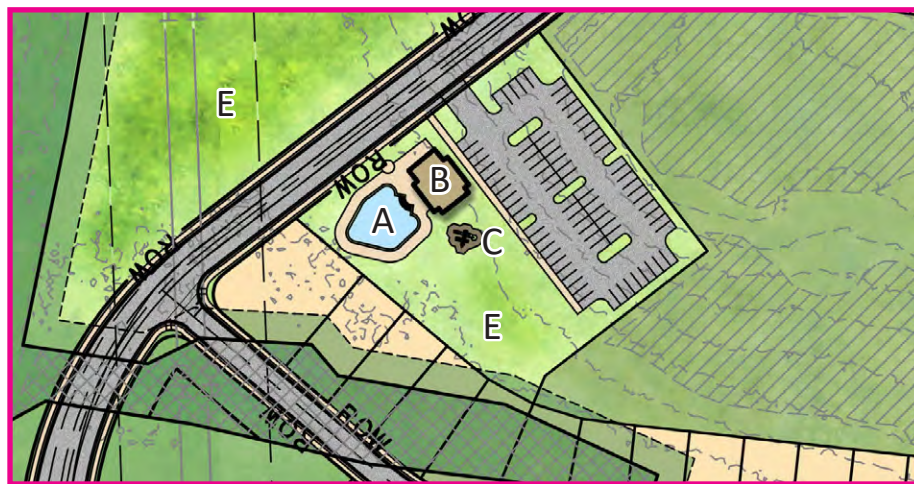


Figure 22.2



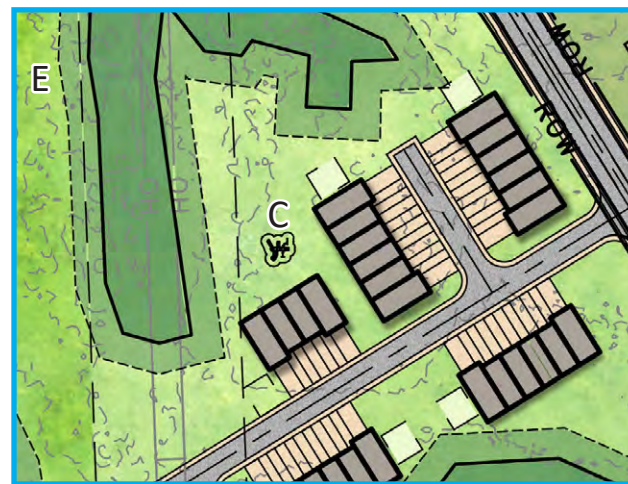
Figure 22.3





LOCATION MAP - CLUBHOUSE AMENITIES

Not To Scale



LOCATION MAP - WESTERN TOWNHOMES



LOCATION MAP - OPEN PLAY FIELDS

Not To Scale

- A Pool
- B Clubhouse and Patio
- C Playground
- D Dog Park
- E Open Play Field

With this request, Graystone will be providing over 102 acres (approximately 49.7% of the site) to open space. The open space areas will be comprised of usable open space, detention areas, the area around the existing wetlands, and the STEP fields. The approximate 5.0 acres of active open space around the development will offer such formal space amenities as a pool & clubhouse, dog park, playground, and open play fields. Final design of formal open space areas shall be submitted upon site plan review. Sidewalks shall line both sides of all public streets to provide pedestrian friendly circulation throughout the development. Amenities shall be built within their respective phases once 50% of the residential units have been built. The clubhouse area will offer resident a place to gather while providing outdoor seating areas and a playground for children. All amenities and open space shall be maintained by the HOA.



A/B - Sample Front Elevation of Amenity Center



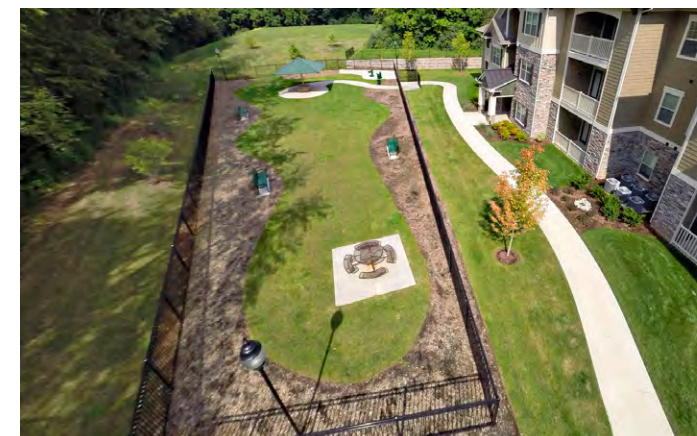
A/B - Sample Side Elevation of Amenity Center



A - Example of Pool



C - Example of Playground

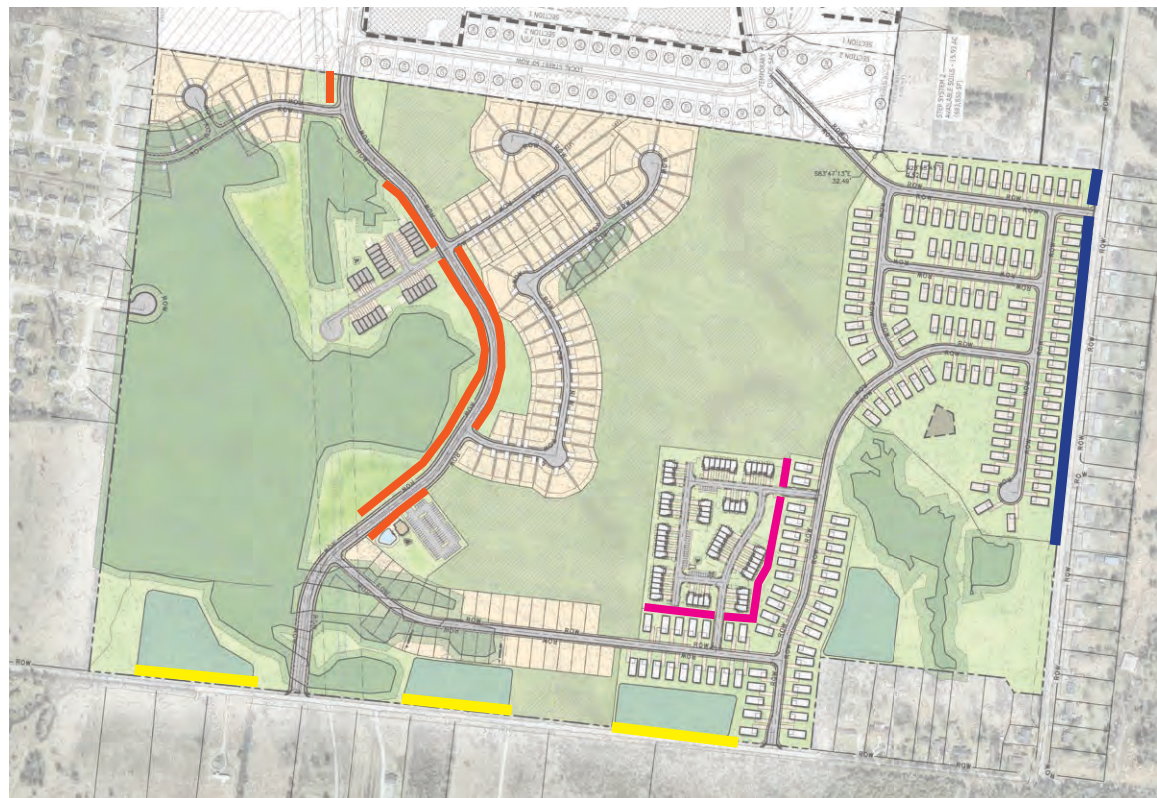


D - Example of Dog Park



E - Example of Open Play Field





LANDSCAPE  
PLANTINGS

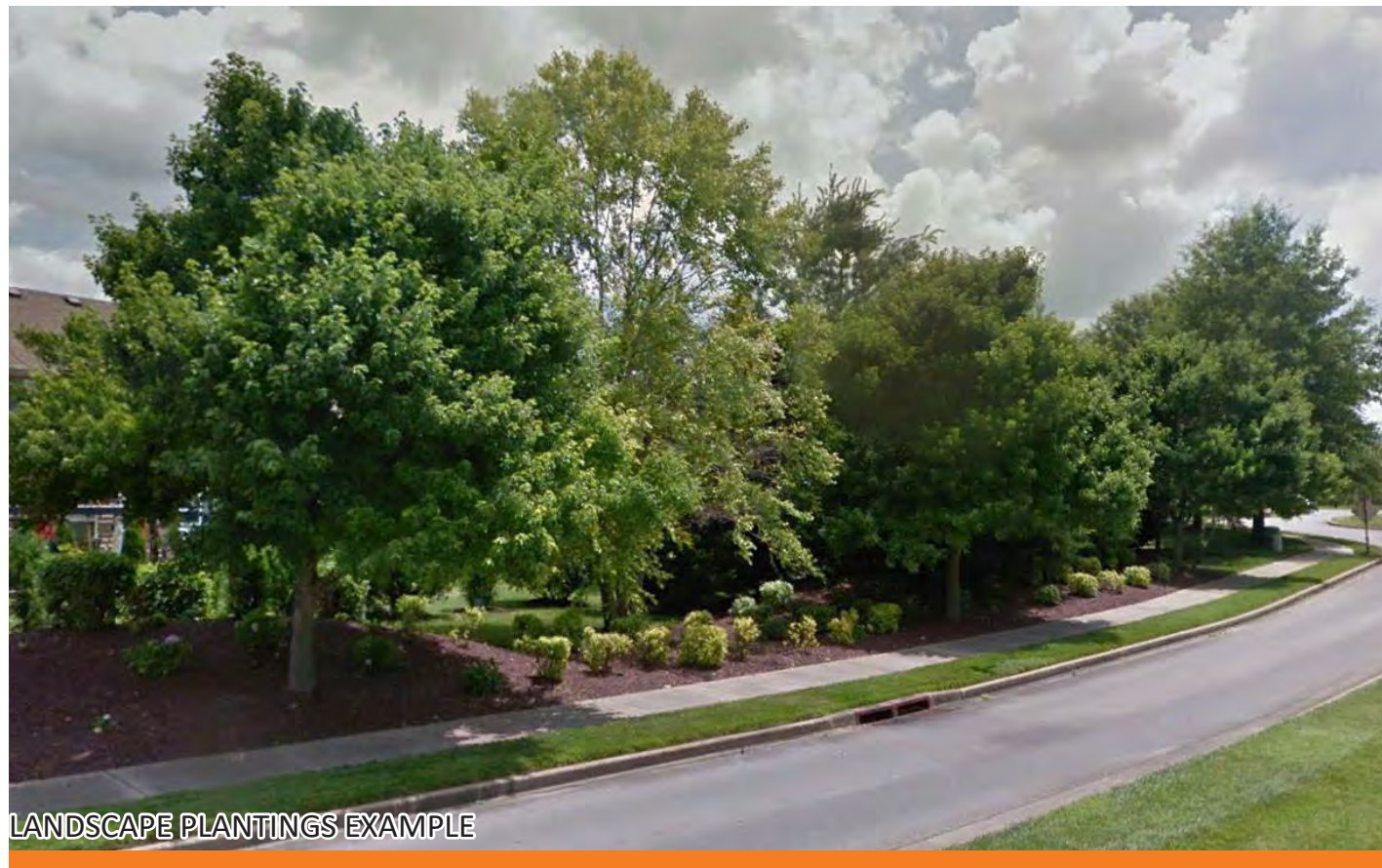
BERM & DECORATIVE  
LANDSCAPE BUFFERS  
(TYPE A)

BERM & LANDSCAPE  
BUFFERS (TYPE B)

LANDSCAPE BUFFERS  
(TYPE C)



DECORATIVE TYPE 'A' LANDSCAPE BUFFER EXAMPLE



LANDSCAPE PLANTINGS EXAMPLE



TYPE 'B' LANDSCAPE BUFFER EXAMPLE





**TYPE 'C' LANDSCAPE BUFFER EXAMPLE**

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

#### **Landscaping Characteristics:**

- A minimum 10 feet of landscape area between parking and all property lines.
- Public rights-of-way shall be screened from parking by use of landscaping and/or berming.
- Veals Road shall be screened with a berm and decorative Type 'A' buffer along detention areas.
- Double Springs Road shall be screened with a berm and Type 'B' buffer.
- Townhome areas adjacent to single family lots shall have a Type 'C' Landscape Buffer installed to help transition between products. This buffer shall consist of a double staggered row of evergreen trees planted 10 feet on center and be supplemented with evergreen shrubs. Evergreen trees shall be a minimum of six feet tall at time of planting and shrubs shall be a minimum of two feet tall at time of planting.
- All landscape buffers to be open space and have dedicated landscape easements.
- Landscape Planting areas shall be installed between the single-family lots directly adjacent to the proposed community collector. These landscape areas shall consist of decorative plantings on intermittent berms. Landscape areas under the proposed overhead electric shall propose a mixture of low growing shrubs and intermittent groundcovers.
- All above ground utilities and mechanical equipment screened with landscaping and/or walls.
- The fronts and sides at the base of all townhome buildings will have at least 3 foot wide landscape strip.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.
- All buffers will be in common open space to be maintained by the HOA.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

**Response:** An exhibit is given on Page 4 and Page 8 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

**Response:** Exhibits are shown on Page 9 that shows the existing contours and drainage patterns along with an aerial photograph of the area on Page 4. A portion of the property is subject to floodplains or floodways, and the site ultimately drains to Black Fox Springs before heading towards Todds Lake.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

**Response:** Exhibits and photographs on Pages 4, 10, and 11 give the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 7 gives the zoning of those same properties.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

**Response:** The concept plan on page 13 and lists of standards on page 12 show the concept plan which shows each of these items.

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

**Response:** Page 13 lists standards and exhibits showing the concept plan which shows each of these items.

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

TOTAL SITE AREA	8,939,162 s.f.
TOTAL MAXIMUM FLOOR AREA	882,400 s.f.
TOTAL LOT AREA	1,201,985 s.f.
TOTAL BUILDING COVERAGE	803,242 s.f.
TOTAL DRIVE/ PARKING AREA	693,790 s.f.
TOTAL RIGHT-OF-WAY	690,259 s.f.
TOTAL LIVABLE SPACE	8,245,372 s.f.
TOTAL OPEN SPACE	4,443,120 s.f.
FLOOR AREA RATIO (F.A.R.)	0.10
LIVABILITY SPACE RATIO (L.S.R.)	0.83
OPEN SPACE RATIO (O.S.R.)	0.91

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

**Response:** The property is currently zoned RS- 6, RS-10, RS-12, and RM (County). The surrounding area has a mixture of residential properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.



8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

**Response:** The project is anticipated to be developed in four phases. Phasing information is described on Page 14.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

**Response:** This requirement has been addressed on Pages 12, 37, and 39.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

**Response:** The applicant is requesting the following exceptions with this PRD.

SETBACKS	RS-6	PRD-S.F.	DIFFERENCE	RS-A TYPE 2	PRD-TOWNHOME	DIFFERENCE
Front Setback	35.0'	35.0'	0.0'	35.0'	35.0'	0.0'
Side Setback	5.0'	5.0'	0.0'	5.0'	5.0'	0.0'
Rear Setback	20.0'	20.0'	0.0'	20.0'	20.0'	0.0'
Minimum Lot Size	6,000 SF	6,500 SF	+500 SF	2,000 SF	H.P.R.	N/A
Minimum Lot Width	50'	55'	+5.0'	20.0'	20.0'	0.0'

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

**Response:** This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0280H Eff. Date 05/09/2023 and FEMA Map Panel 47149C0290H Eff. Date 05/09/2023.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

**Response:** Pages 5 & 36 discusses the Major Thoroughfare Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

**Response:** The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Meritage Homes, Inc. contact info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

**Response:** Page 16-35 show the architectural character of the proposed buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

**Response:** Entrance signage description is on Page 4.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JANUARY 8, 2025  
PROJECT PLANNER: HOLLY SMYTH**

**5.b. Zoning application [2024-419] for approximately 4.0 acres located along North Rutherford Boulevard and Old Lascassas Road to be rezoned from CF to PCD (Lascassas Crossings PCD), HEMG, LLC applicant.**

The involved property is currently one parcel known as Tax Map 081, Parcel 055.02 containing 9.51 acres that has an approved master plan and preliminary plat #2024-1009 from April 17, 2024. The master plan focused on six (6) new access points to City streets and two (2) internal cross accesses within the site. Page 12 of the program book shades out the development sections that are retaining their existing CF (Commercial Fringe District) zoning and have separate site plan reviews. This PCD (Planned Commercial District) zone change only involves approximately 4.0 acres of the existing parent tract that is anticipated to be split into 4 lots along Old Lascassas Road south of North Rutherford Boulevard.

**Adjacent Zoning and Land Uses**

The surrounding area consists of a mixture of zoning types and land uses. The surrounding land uses include two gas stations/convenience stores, two car washes, two churches, three fast food drive-thru restaurants, and an anticipated Aldi's and Murphy Oil gas station/convenience store on the portion of the subject parcel that is to remain zoned CF. No residential uses are directly adjacent to the subject property.

Zoning of the adjacent properties include RM-12 (Multi-Family Residential District) and CF to east across Old Lascassas Road, RM-16 and CL (Commercial Local District) to the south, RM-16, CL and CF to the west, and CH (Commercial Highway District) to the north.

**Proposed PCD**

The conceptual Site Plan on page 12 of the program book anticipates four (4) commercial lots. The first specific business is anticipated to be a 1,700 square-foot Valvoline oil change facility at the corner of North Rutherford Boulevard and Old Lascassas Road. No other specific users have been identified for the remainder of the subject site. However, in order to determine potential traffic circulation and cross access opportunities for the entirety of the site, placeholder building footprints, parking, landscaping, and drainage have been incorporated for a drive-thru restaurant use, and two office type buildings but this could change with future site plan review submittals, as long as the proposed uses and design comply with the standards in the pattern book. Given the high visibility of the Valvoline site, staff has asked for a higher grade of architecture and architectural materials as well as heavier landscape screening. The primary materials for the Valvoline building and future buildings would be brick, cast stone, and/or natural or synthetic stone along the bases and body which is reflected on page 16 of the Program Book). Berm streetscape landscaping is being incorporated along the entire frontage of the project, however the width needs to be widened to be 15-20' in order to properly accommodate.



Page 19 of the program book specifies various prohibited and allowable land uses for the project area. Prohibited uses include vape shop, liquor store, gasoline station (which is already anticipated on an adjacent lot on the parent parcel), and convenience store (which is also anticipated on an adjacent lot on the parent parcel). Allowable uses would include most CF allowed uses plus the Automotive/Motor Vehicle Service use of the Valvoline at the corner.

**Exceptions** are shown in the Program Book page 19 based on the comparative zone of CF, development standards of setbacks, building height, and the proposed PCD zone. The proposed PCD zoning uses lists one exception to allow “Automotive/Motor Vehicle Service” use for the Valvoline oil changing which is normally not allowed in the CF zone.

### Future Land Use Map



The future land use map (FLUM) contained in the Murfreesboro 2035 Comprehensive Plan, designates the entire subject site as GC – General Commercial. This designation pertains to commercial development as well as outparcels located on arterial and collector transportation routes. The primary difference in Urban and Auto-Urban character categories is the role of the automobile in its site design. Rather than buildings oriented to the street, as in an urban setting, such as what is found in downtown, auto-urban environments are characterized by large parking lots surrounding the buildings. Auto-Urban commercial uses include high intensity commercial businesses that have a trade area outside of Murfreesboro and/or require a large amount of land for their operations. GC development types include regional shopping centers,

grocery, hotels, gas stations, restaurants, and “big box” retailers. Due to the potential for these uses to generate high traffic volumes, their location should be on or with adequate access to arterial roadways. Compatible zoning districts include CH, PCD, PUD, PND, CF, and other zoning districts evaluated on a case-by case basis. Staff believes the proposed PCD zoning is consistent with the Future Land Use Map designations described above.

### **Department Recommendation**

Staff is supportive of this rezoning request, as revised, for the following reasons:

- 1) It is consistent with the future land use map and comprehensive plan.
- 2) The circulation layout provides for interconnectivity that helps distribute the flow of adjacent street network traffic (so long as the existing right-turn lanes are incorporated into the northerly 2 drives with notation that a potential 3<sup>rd</sup> right turn lane may be required as well).
- 3) The “Automotive/Motor Vehicle Service” use of the anticipated Valvoline is a needed use in this side of town and does not have any adjacent residential uses making it a compatible use to the surrounding properties.
- 4) The berm and buffer landscape along Old Lascassas Road will help appropriately screen the bay doors of the Valvoline use and the 3 northly lots with a 15’ wide berm landscaping and regular 8’ wide landscaping along Lot 6 at the south.
- 5) The higher grade of architecture and materials will provide a more aesthetically pleasing building than a standard Valvoline oil change facility with the future buildings also following the higher quality.

### **Action Needed**

The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should conduct a public hearing and then formulate a recommendation to City Council.

### **Attachments:**

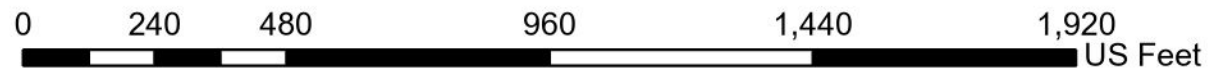
- NoOrtho Map
- Ortho Map
- Updated Program Book





## Rezoning request for property along Lascassas Pike CF to PCD (Lascassas Crossings PCD)

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

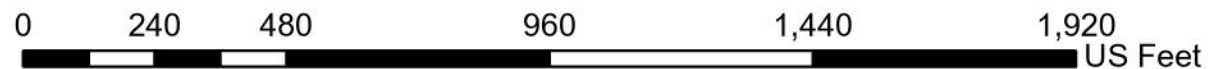






## Rezoning request for property along Lascassas Pike CF to PCD (Lascassas Crossings PCD)

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)





# LASCASSAS CROSSINGS

Request for Rezoning to  
PCD

SUBMITTED FOR THE JANUARY 8, 2025  
PUBLIC HEARING PLANNING  
COMMISSION MEETING. INITIAL  
DISCUSSION DECEMBER 18<sup>TH</sup>, 2024.

Plans Prepared By:



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PROJECT SUMMARY

Lascassas Crossings is a new 9.44 +/- Acre commercial development located in the rapidly growing area of northeastern Murfreesboro. A new Aldi grocery store on the southern portion of the development will anchor the development. The northwestern section is anticipated as a proposed Murphy Oil gas station with an adjoined convenience store. The City of Murfreesboro has directed the remaining 3.95 +/- Acre portion of the tract to be rezoned Planned Commercial District (PCD). This rezoning request pertains to the remaining 3.95 +/- Acre tract. The developer is proposing a Valvoline oil change center be constructed on a 1.29 +/- Acre lot located on the northeast corner of the property. The remaining 2.64 +/- Acres of the track currently have no specific user designated. However, the developer has provided a conceptual master plan for this area, including a restaurant and two office buildings. These structures have been designed to be consistent with Murfreesboro Design Guidelines. The master plan concept represents the building's square footage and the required parking that can be developed however, these do not represent the final design of the development.

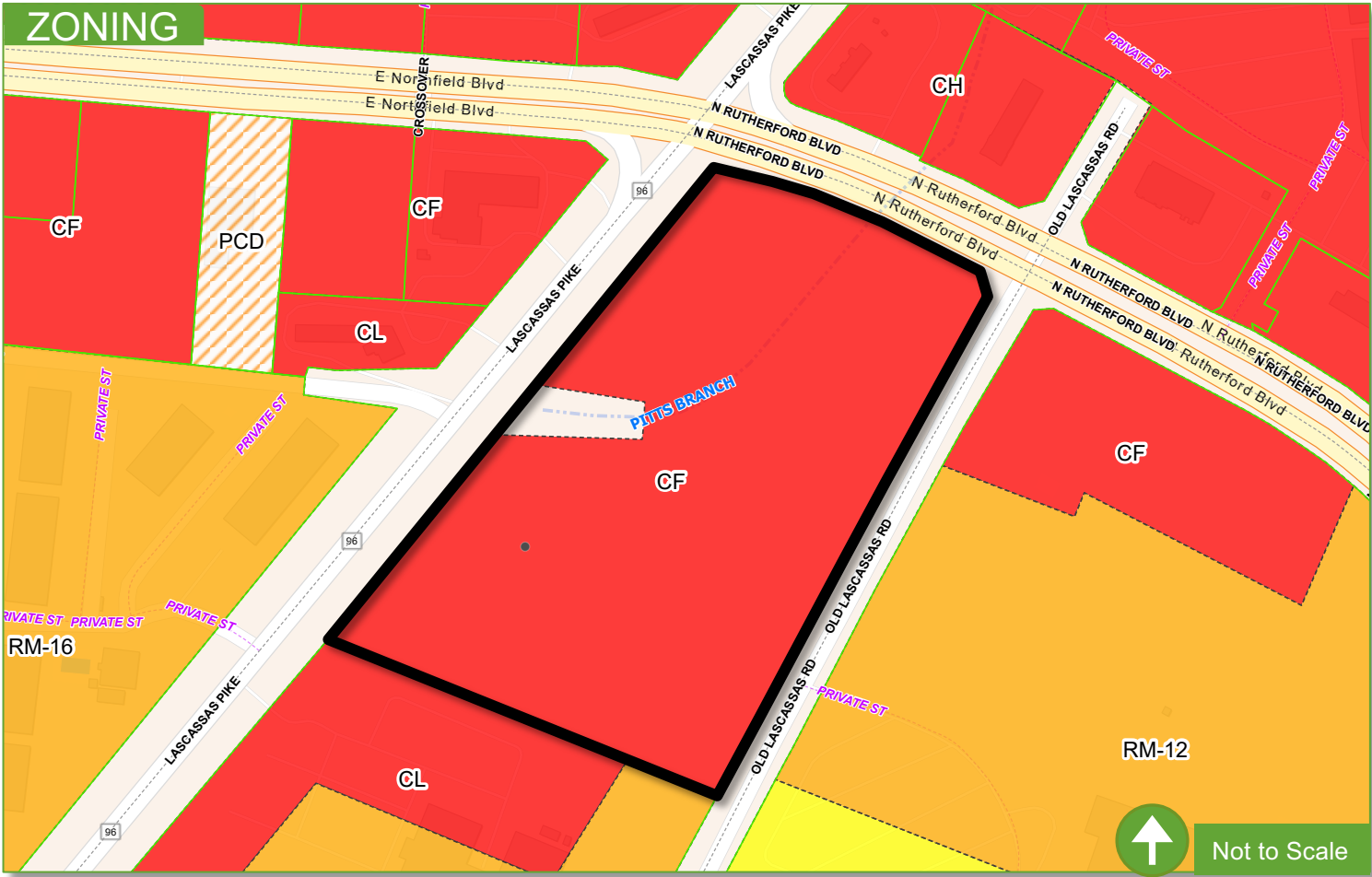
Address	1840 Lascassas Pike, Murfreesboro, TN, 37130				
Tax Map	81	Group		Parcel	055.02
R. Book	451		Page	228	

OWNER/ DEVELOPER			
Company	HEMG LLC	Attn	Hiren Patel
Address	3115 Saint Johns DR, Murfreesboro, TN, 37129	Phone	615.479.6279
		Email	

PLANNING			
Company	Huddleston – Steele Engineering Inc.	Attn	Clyde Rountree, RLA
Address	2115 N.W. Broad Street, Murfreesboro, TN, 37129	Phone	615.509.5930
		Email	

ENGINEERING			
Company	Huddleston – Steele Engineering Inc.	Attn	Bill Huddleston
Address	2115 N.W. Broad Street, Murfreesboro, TN, 37129	Phone	615.893.4084
		Email	





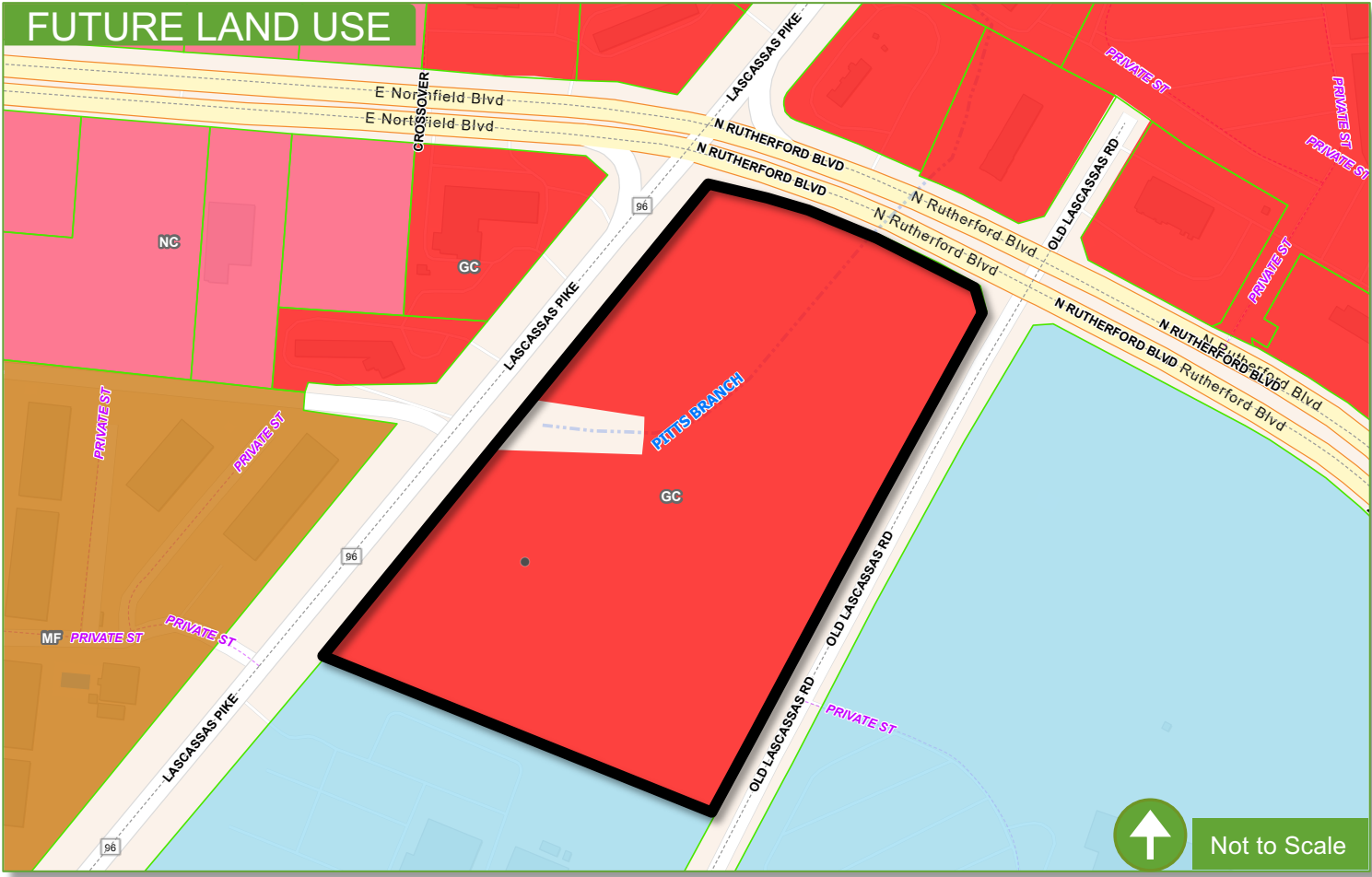
### Legend

Commercial Fringe (CF)	CF	Planned Commercial Development	PCD
Residential Multi Family (MS)	RM	Commercial Local (CL)	CL

Site Boundary

### Map Summary

Currently, the entire subject property is zoned Commercial Fringe (CF) and bordered to the north, east, and west by N. Rutherford Blvd, Old Lascassas Rd, and Lascassas Pike, respectively. Properties to the south of subject property are zoned CL and RM.



### Legend

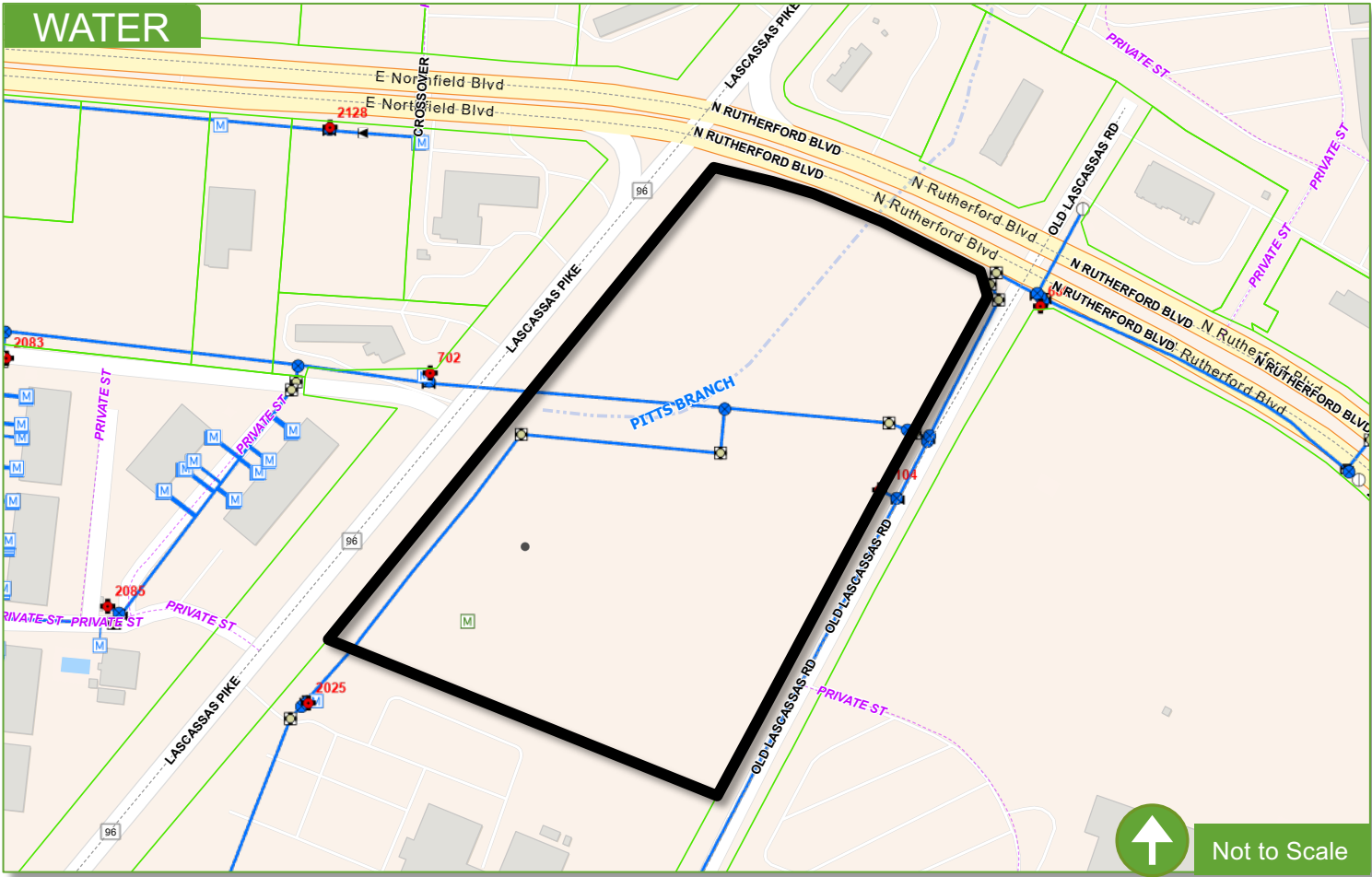
(General) Commercial	GC	Suburban (Neighborhood) Commercial	NC
Multi Family Residential	MF	Public/Private/Institutional	PI

Site Boundary

### Map Summary

The city of Murfreesboro's future land use map classifies this property as (General) Commercial (GC). This land use character recommends an Auto-Urban setting, which is characterized by large parking lots surrounding the buildings. The development types include Commercial centers along major roadways, with a range of uses, including those on high-profile "pad" sites along the roadway frontage; in addition to out parcel development. Characteristics of this land use type include significant portions of development sites devoted to vehicular access drives, circulation routes, surface parking, and loading/delivery areas. May include Formal Open Space; Pedestrian connections to public roadway required; Joint/shared parking and access between parcels is required; Shared plazas and/or seating area located between principal use and out parcels. Some recommended business types in this type of development include Automobile service-related enterprises (e.g., gas/service stations, auto parts, car washes), Restaurant chains (e.g., fast food, other), "Big-box" commercial stores (e.g., grocery, appliances, department/discount stores, clothing, etc.) and Hotels.





### Legend

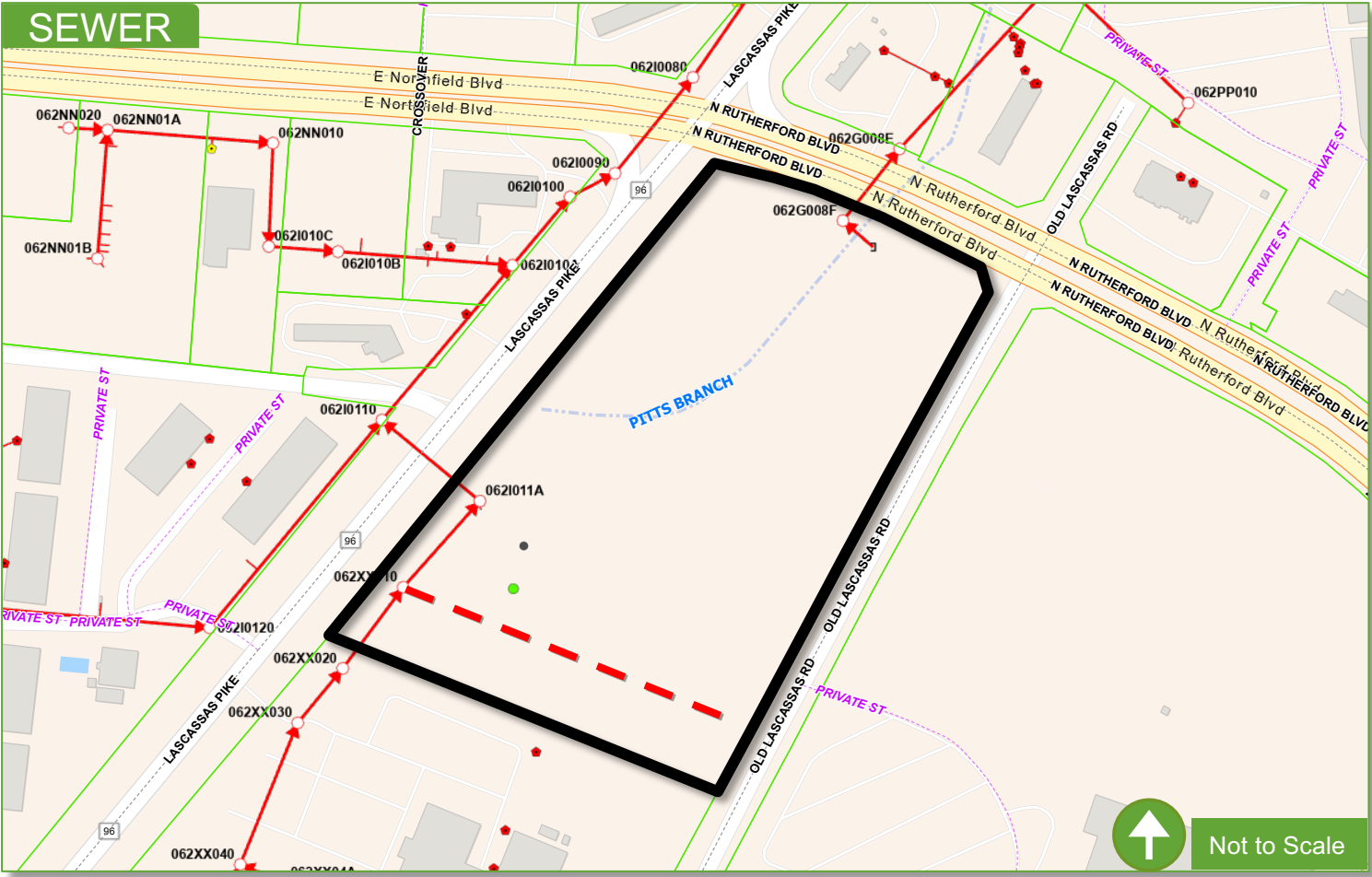
Water Line

Fire Hydrant

Site Boundary

### Map Summary

- Water services will continue to be provided by the Murfreesboro Water Resources Department.



### Legend

Existing Sewer Gravity Main

Existing Sewer Manhole

Proposed Sewer Extension

Site Boundary

### Map Summary

- Sanitary sewer service will continue to be provided by the Murfreesboro Water Resources Department.
- The Aldi project will construct a mainline sanitary sewer with a 30' easement from Lascassas Pike to Lots 2 & 6, shown on page 22 of this program book.



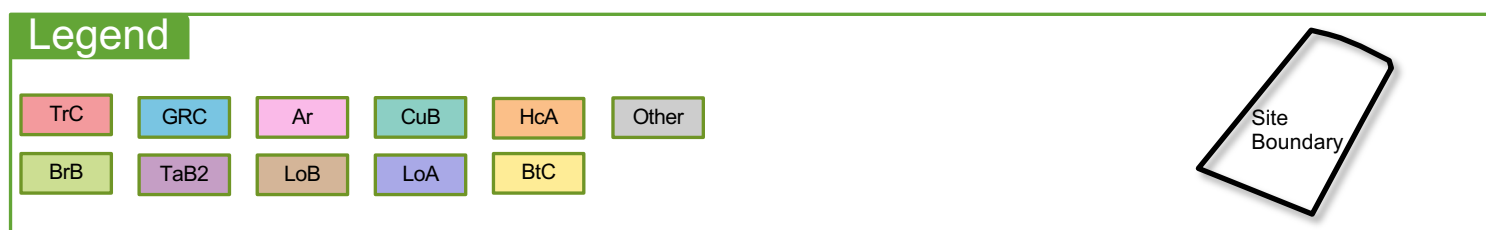
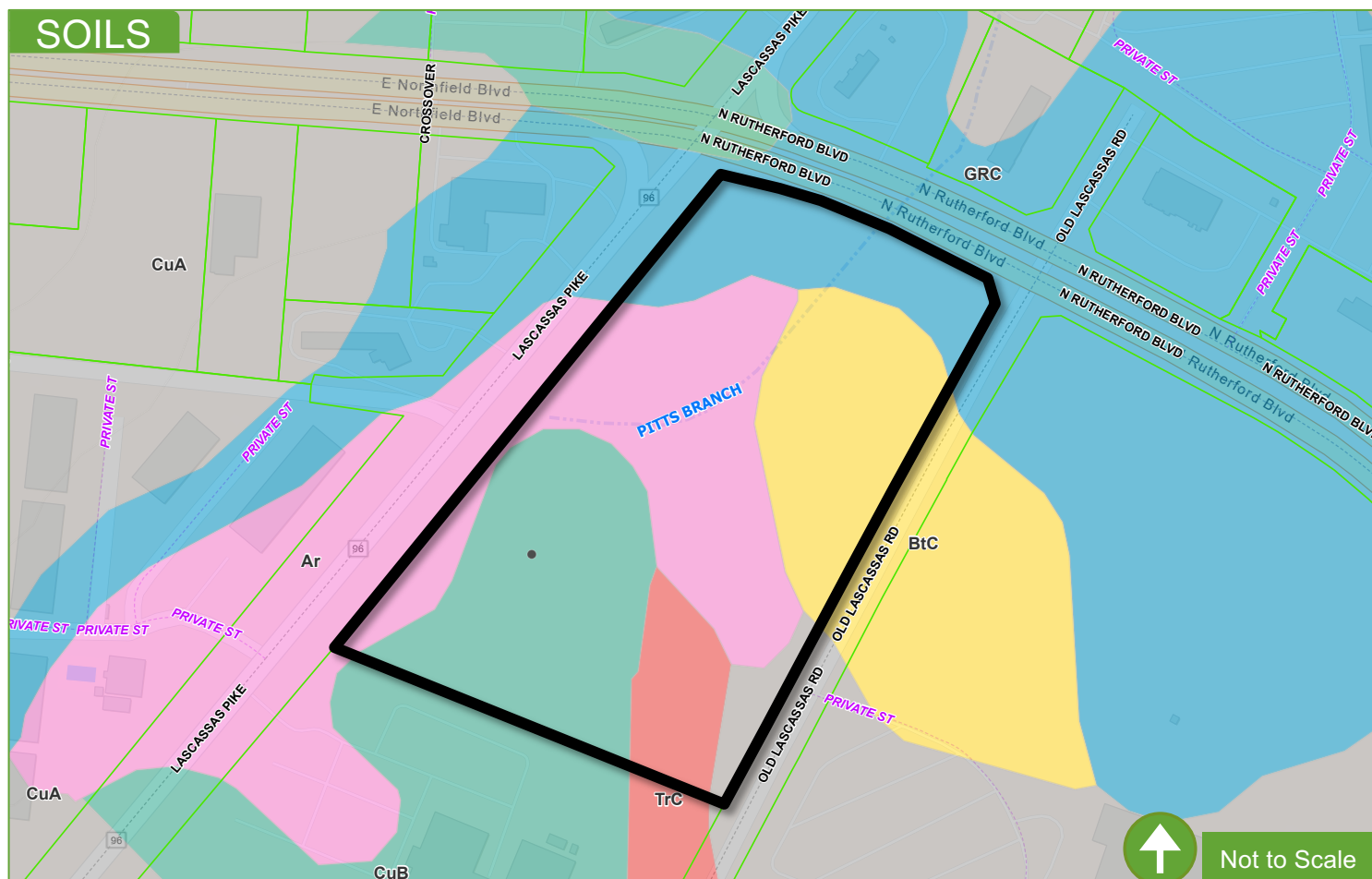
### Map Summary

- The site will be accessed from Lascassas Pike, Old Lascassas Road, and N. Rutherford Blvd.
- The 2040 Major Transportation Plan recommends an increase in the number of lanes from two to five lanes on Lascassas Pike/Highway 96.
- Anticipated Future Median from Lascassas Pike past the Old Lascassas Road intersection.
- Masterplan shows interior connectivity between many of the lots.

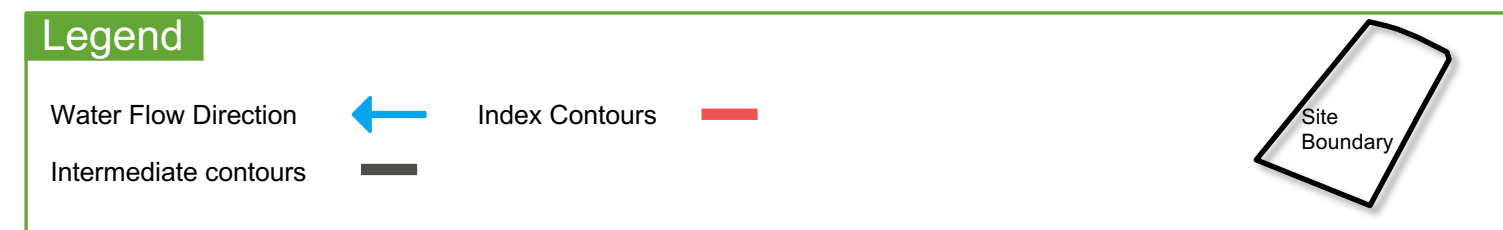
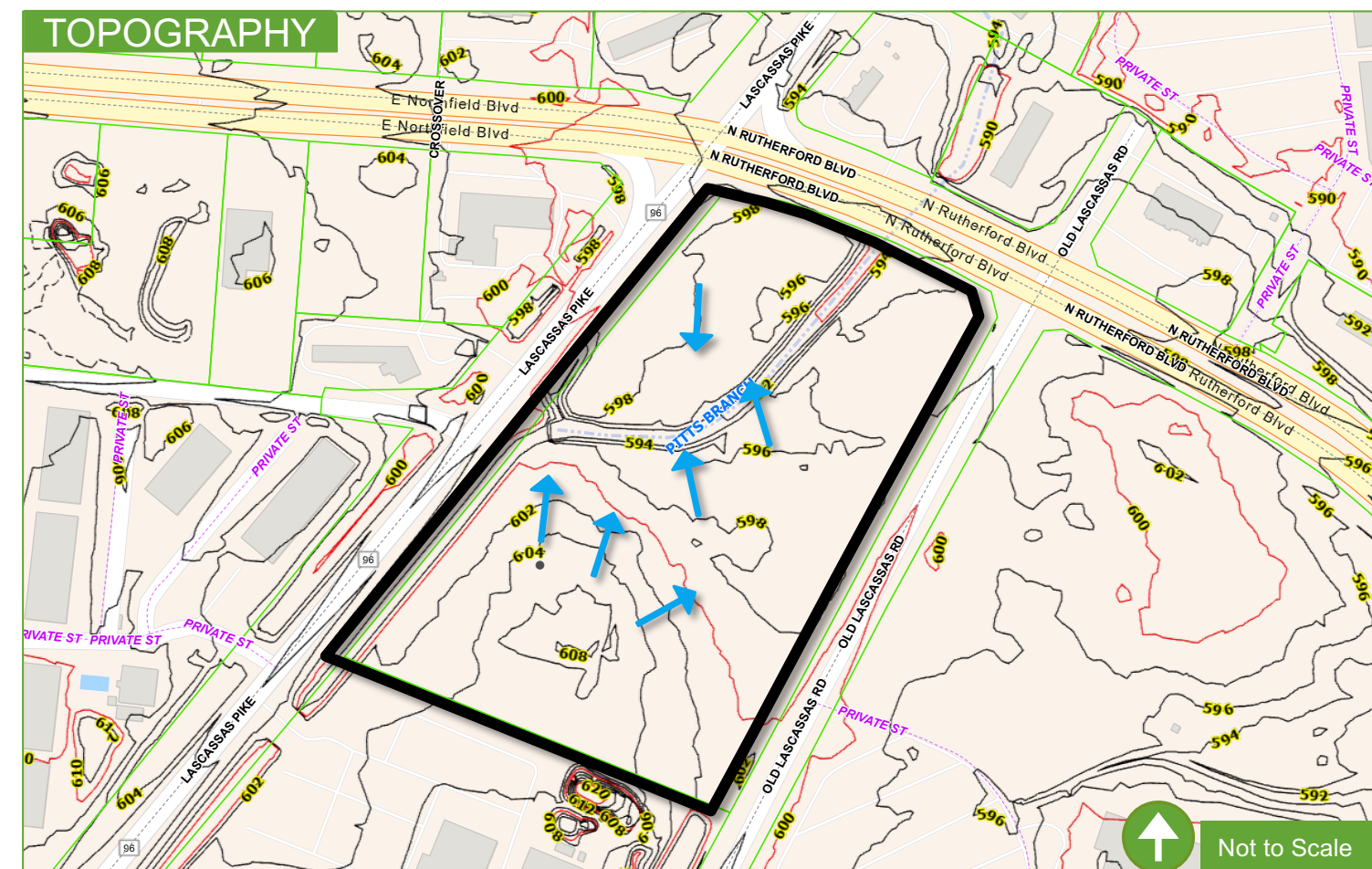
### Legend

Community Collector		Residential Collector		 Access Point
Major Arterial		Residential Sub Collector		
Commercial Collector				
				 Site boundary

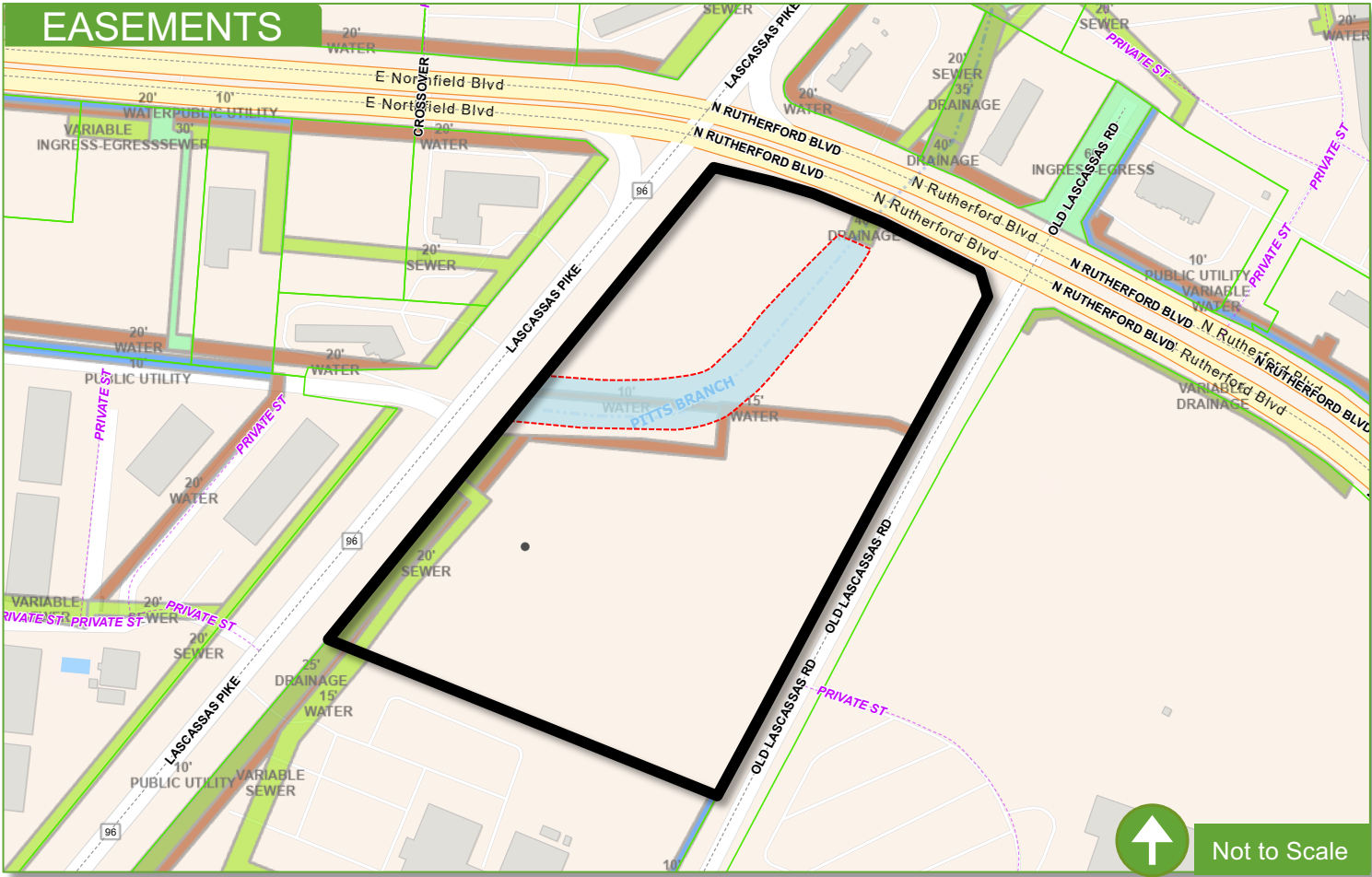




- ### Map Summary
- Ar:** Arrington silt loam.
  - CuB:** Cumberland silt loam, 2 to 5 percent slopes.
  - CuA:** Cumberland silt loam, 0 to 2 percent slopes.
  - GRC:** Gladeville-Rock outcrop-Talbott association, rolling.
  - TrC:** Talbott-Barfield-Rock outcrop complex, 2 to 12 percent slopes.
  - BtC:** Bradyville - Rock Outcrop complex, 2 to 12 percent slopes.



- ### Map Summary
- The site will be mass-graded. The high point of the site is on the southern portion of the site and will flow into the drainage ditch to the north.



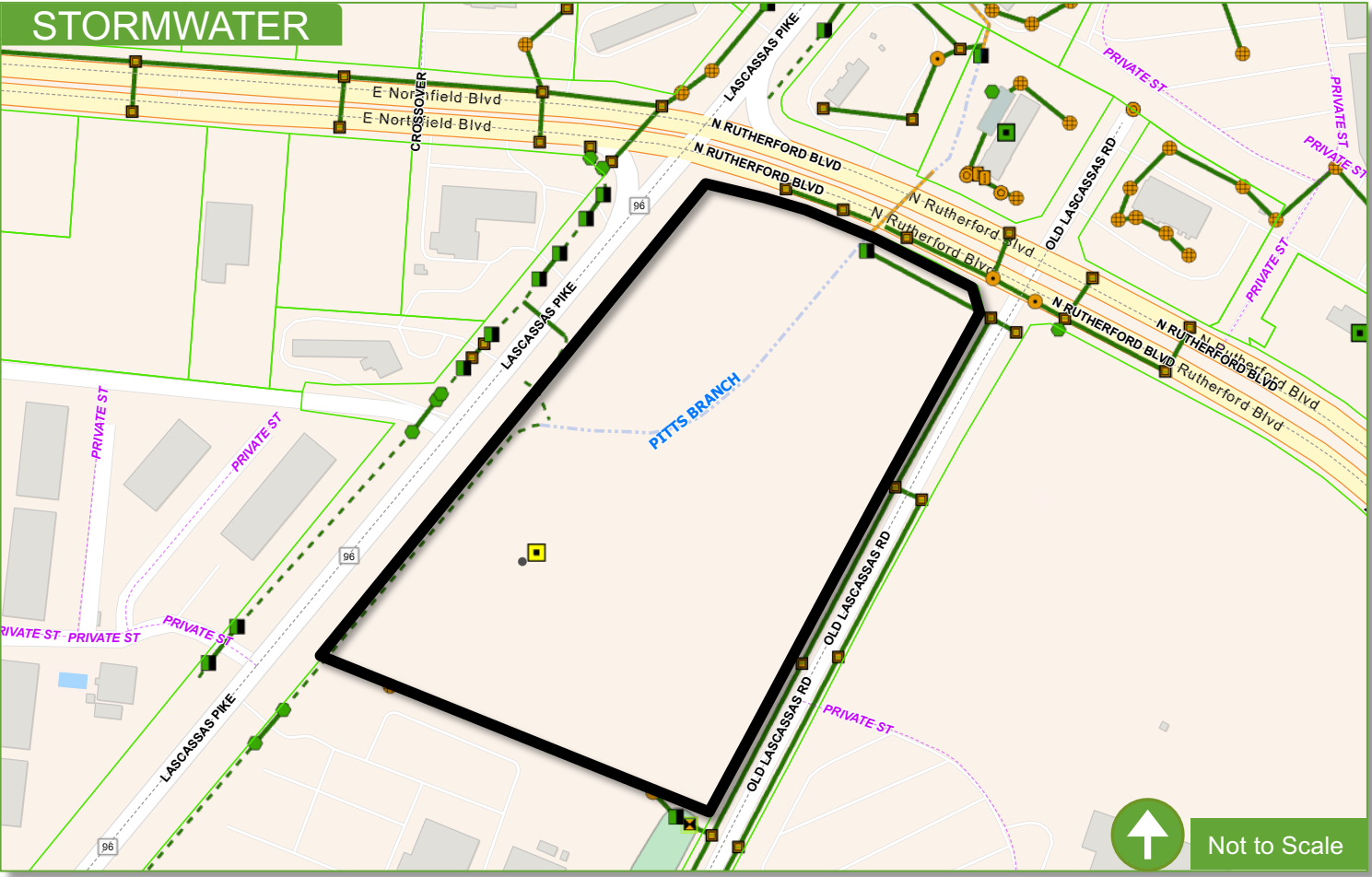
**Legend**

Water Easement		Sidewalk Easement	
Drainage Easement		Sewer Easement	
Proposed Water Quality Protection Area (WQPA)			

Site Boundary

**Map Summary**

- A large water easement moves through the center of the site and will be maintained in the new development.
- A WQPA easement shall be recorded and jointly maintained over the miscellaneous tributary of Bushman Creek (aka Pitts Branch).



**Legend**

Curb Inlet		Open Channel	
Collection		Wingwall	

Site Boundary

**Map Summary**

- Stormwater will be handled using the existing drainage easements and several proposed stormwater ponds.
- Appropriate maintenance documents will be required for any stormwater facilities.
- The City may require of the developer that permanent signs be placed to mark clearly the WQPA.





## Map Summary

The subject property is located in a well-established commercial area to the north. The properties to the west are commercial and residential. To the south are two existing churches.





**HS HUDDLESTON-STEEL**  
ENGINEERING, INC.  
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SITE PLAN



SITE DATA			
Total SF	172,022 +/- SF		
Total Acreage	3.95 +/- Acres		
Density	N/A		
Parking Required	N/A		
Parking Provided	123 Spaces		
LOT 4		LOT 5	
Square Footage	55,986SF	Square Footage	70,000 SF
Acreage	1.29 Acres	Acreage	1.61 Acres
Building SF	1,471 SF	Building SF	6,000 SF
Parking	7	Parking	77
Parking Ratio	1 per 200 SF	Parking Ratio	1 per 78 SF
LOT 6		LOT 2	
Square Footage	21,941 SF	Square Footage	23,195 SF
Acreage	0.50 Acres	Acreage	0.53 Acres
Building SF	5,420 SF	Building SF	4,550 SF
Parking	23	Parking	16
Parking Ratio	1 per 240 SF	Parking Ratio	1 per 284 SF
SETBACKS			
Front	42 ft.		
Side	10 ft.		
Rear	20 ft.		
Height (Max.)	45 ft.		

**Map Summary**

3.95± acres of the property will comprise four lots, with Lot 4 proposed as the site for the Valvoline development. The remaining lot layouts are conceptual and intended to inform future development and show encompassing cross-connectivity.

**Water Quality Protection Area**

There shall be no clearing, grading, construction, or disturbance of soil and/or native vegetation within the WQPA except with prior permission in writing by the City of Murfreesboro.

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# EXTERIOR ELEVATIONS

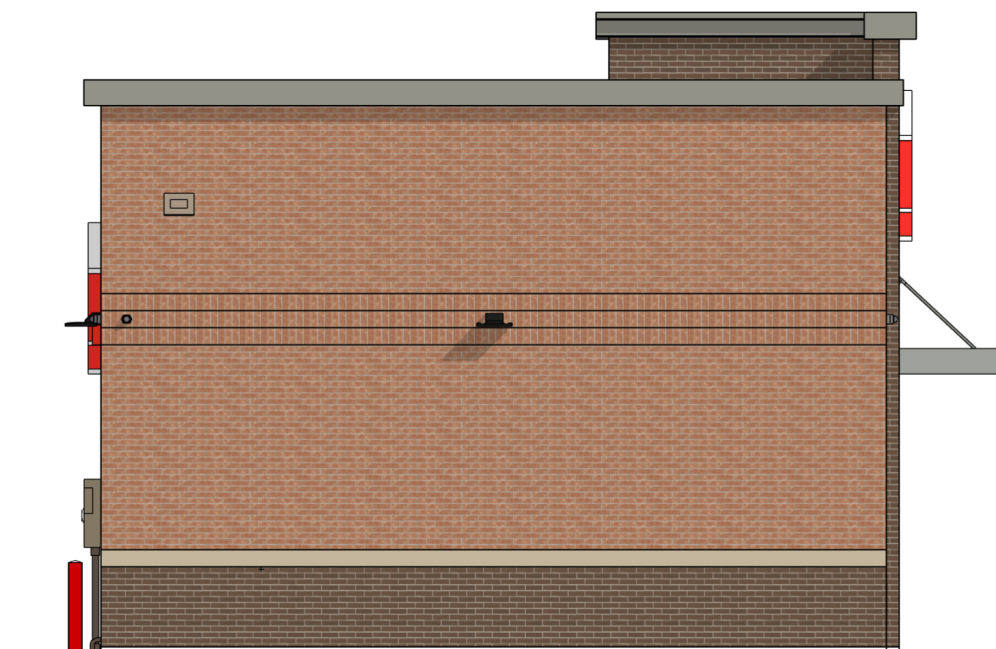


2 EXTERIOR ELEVATION (NORTH FACING - N. RUTHENFORD BLVD)  
Scale: 1/8" = 1'-0"

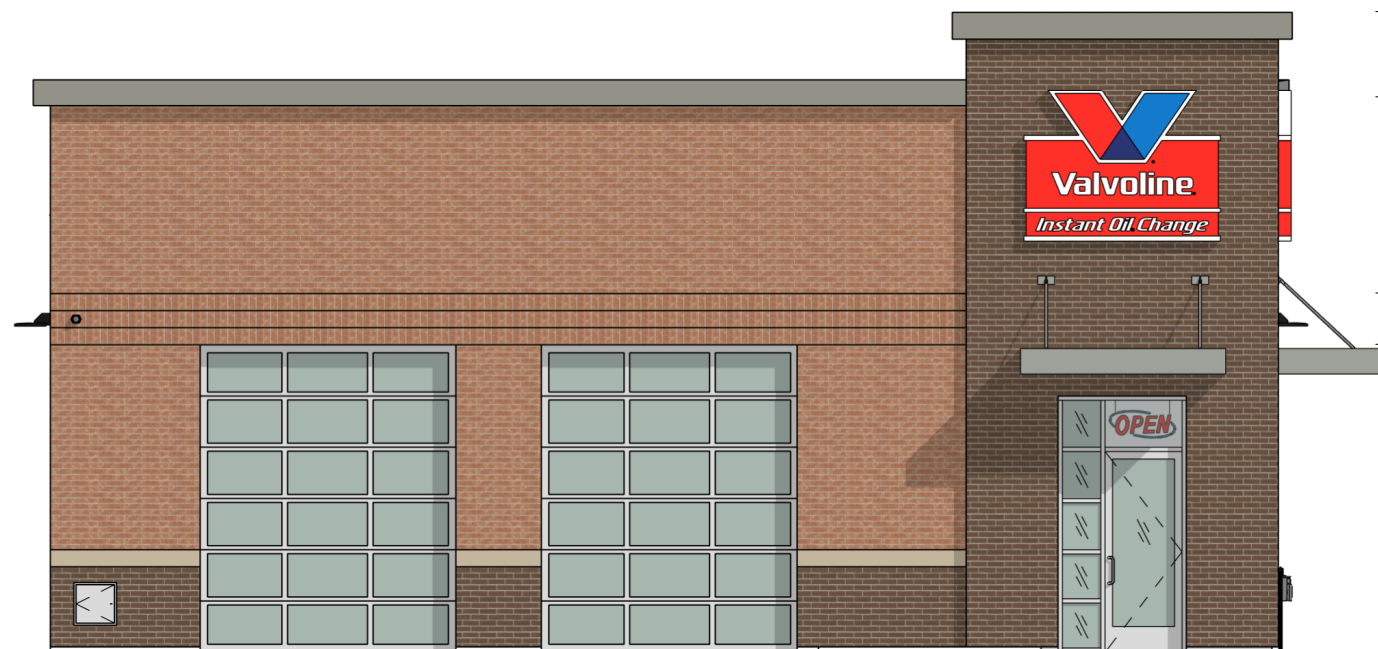


1 EXTERIOR ELEVATION (WEST)  
Scale: 1/8" = 1'-0"

- T.O. TOWER ± 25' - 0"
- T.O. PARAPET ± 21' - 8"
- T.O. ACCENT BAND 14' - 0"
- B.O. ACCENT BAND 12' - 0"
- T.O. WAINSCOT 4' - 0"
- UPPER LEVEL 0' - 0"



4 EXTERIOR ELEVATION (SOUTH)  
Scale: 1/8" = 1'-0"



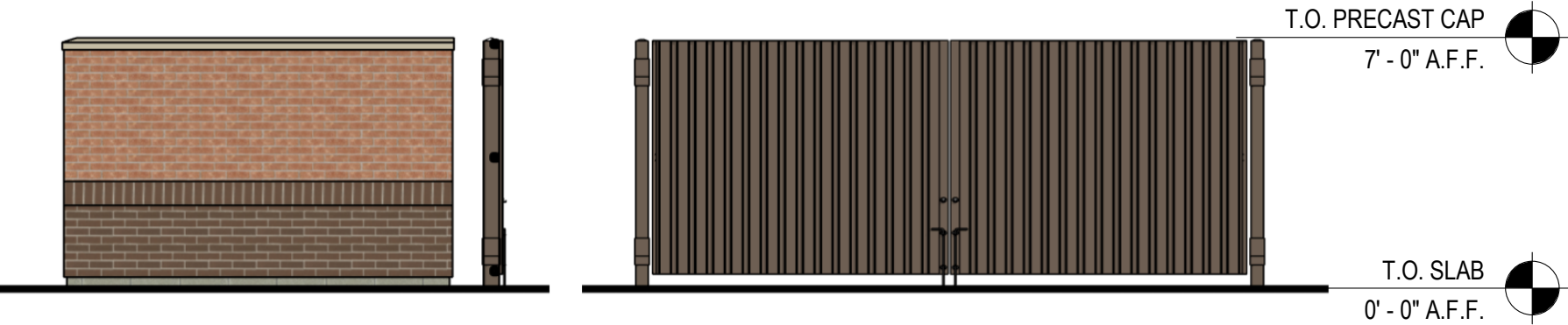
3 EXTERIOR ELEVATION (SOUTH FACING - OLD LASCASSAS)  
Scale: 1/8" = 1'-0"

- T.O. TOWER ± 25' - 0"
- T.O. PARAPET ± 21' - 8"
- T.O. ACCENT BAND 14' - 0"
- B.O. ACCENT BAND 12' - 0"
- T.O. WAINSCOT 4' - 0"
- UPPER LEVEL 0' - 0"

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EXTERIOR ELEVATIONS CONT



5

TRASH ENCLOSURE ELEVATIONS

Scale: 1/8" = 1'-0"

Architecture Summary

- The proposed building will be all masonry with dryvit and metal accents.
- The main building will have an undulating roof line, a defined base, and an accentuated entrance.
- The service doors will not face North Rutherford Blvd.
- Trash enclosures are designed in compliance with Murfreesboro design standards.

EXTERIOR FINISHES - BRICK / BRICK

THIN BRICK #1 (WAINSCOT AND TOWER):	GLEN-GERY "MODULAR BAXTER BROWN WIRECUT"	MASONRY SEALER:	ALL MASONRY SURFACES SHALL BE TREATED w/ SEALER.	STOREFRONT SYSTEM:	2x4 1/2" KAWNEER TRIFAB VG 451T SERIES CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM W/ 1" INSULATED GLAZING.
THIN BRICK #2 (ABOVE WAINSCOT):	GLEN-GERY "MODULAR MT RUSHMORE"	PREFABRICATED METAL CANOPY:	AWNEX INC. "SEATTLE" DESIGN PREFINISHED TO MATCH PAC-CLAD "SILVER"	TRASH ENCLOSURE GATE SYSTEM:	FIELD PAINT SHERWIN-WILLIAMS SW-7515 "HOMESTEAD BROWN". PROVIDE MOCK-UP AND VERIFY COLOR W/ OWNER
THIN STONE (WAINSCOT):	ARRISCRAFT "ARRIS-CLIP RENAISSANCE UNITS" COLOR: TAN	PARAPET CAP FLASHING:	ALUMINUM BREAK METAL PREFINISHED TO MATCH PAC-CLAD "SILVER"	O.H. DOOR FINISH:	CLEAR ANODIZED ALUMINUM
PRECAST CAP TRASH ENCLOSURE:	CUSTOM CAST STONE - "LIGHT BUFF"	TOWER SOFFIT AND FASCIA:	PAC-CLAD SNAP EDGE EXTENDED FASCIA (12-12") PREFINISHED TO MATCH PAC-CLAD "SILVER"	ACCESS PANEL:	STAINLESS STEEL
MORTAR:	LEHIGH STANDARD KIT - "BEIGE"	THRU-WALL SCUPPER:	ALUMINUM BREAK METAL - PREFINISHED TO MATCH DIMENSIONAL METALS, INC. - "BEIGE"		

### Architectural Design - General Character

- **Guideline:** Attention should be given to the size, massing, spatial relationships, architectural style, details, color, and materials of the building. It is also important to ensure compatibility with neighboring structures and maintain a cohesive exterior appearance across sites with multiple buildings.
- Standards:
  - Design exterior elevations to consider the appropriate level of interest, the relationship of building features, the emphasis on architectural detailing, and the identification of the function and use of the building.
  - Architectural plans for buildings over 5,000 square feet must be created by a licensed architect in Tennessee.

### Architectural Design - Height and Setbacks

- **Guideline:** Use variations in building heights and front planes to create interest and establish scale by avoiding long, unbroken rooflines and walls.
- Standards:
  - All heights and setbacks will adhere to the Murfreesboro Zoning Ordinance.
  - Adjoining buildings shall not have more than a two-story differentiation in height.

### Architectural Design - Building Mass Scale

- **Guideline:** Establish a building scale suitable for the site, considering views from roadways and pedestrian areas, as well as its relation to nearby structures.
- Standards:
  - Ensure appropriate massing for the intended use by stepping back building heights, varying visual heights, altering the front plane, and incorporating breaks for pedestrian connections.
  - Divide the facade into sections no wider than forty (40) feet, each taller than wide, and avoid large blank walls.
  - Use windows, columns, and other elements to enhance the vertical appearance of the facade.

### Architectural Design - Building Composition and Rythm

- **Guideline:** The building facade should feature design elements that are interesting and balanced with an established pattern of repeated elements. balanced appearance. While symmetry isn't required, avoid extreme variations. Repeated elements can establish a rhythmic pattern.
- Standards:
  - Incorporate design features such as cornices, pediments, varied roof lines, windows, entrances, and projecting canopies.
  - Use common design elements from adjoining developments when a unified design concept or style is present. Be mindful of the scale, massing, and materials of adjacent buildings.
  - Ensure that the building entrance is prominent and easily visible.
  - For sites with multiple front lot lines, the primary entrance should face the street with a higher functional classification.

### Respecting character between buildings



### Façade divided into distinct sections



### Repeating design elements



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## Architectural Design - Transparency Articulation and Expression

- **Guideline:** Utilizing windows and other voids to offer an inviting presence and utilizing columns and windows to express building structure. The façade should appear authentic, with visible materials reflecting their structural properties. Effective lighting can highlight key areas, especially the entrance, using fixtures on the building or the ground. The building address should be clearly visible, positioned above vehicles and landscaping, and can be integrated into the design. All buildings shall establish a “base, body and cap”.
- **Standards:**
  - Ground-level retail facades must have at least 50% window or void area; ground-level office and commercial uses require a minimum of 35%.
  - Upper levels of all commercial uses should have at least 20% window or void area.
  - All buildings must feature a “base, body, and cap.” The base can be different materials or colors, at least 24” high for single-level buildings or an entire level for multi-level ones. Large glass areas may have an 8” raised mullion as the base. The body should cover at least 50% of the facade area, while the cap can include cornices or moldings and may also be an entire level for a multi-level building.
  - Visible security grills or bars are prohibited on window or wall exteriors.
  - Street numbers (except for specific buildings) must be a minimum of 8 inches high with a stroke width of at least 1.5 inches.

The storefront is expressed with an 8” raised mullion.



## Architectural Design - Materials

- **Guideline:** All publicly visible sides of a building must use consistent materials. Material choices should consider those of nearby structures. Establish a defined palette of materials for all projects. Developments with multiple buildings can use different palettes, but some materials should be shared. Selected materials must be durable and of sufficient quality for a consistent appearance.
- **Standards:**
  - Primary materials: Brick (full thickness or thin-set), Cast stone, Natural or synthetic stone on building base and body.
  - Secondary materials: Exterior Insulation Finish System (EIFS), Split-face or ground-face, or polished-face concrete masonry (integrally colored), Architectural metal panels with durable finish and defined profile, Composite panels, Cementitious siding or panels, Wood siding may be used on small scale buildings, Fabric Awnings.
  - Tertiary materials: Metal copings, flashings, and trim, as well as wood or cementitious trim.
  - Prohibited materials: Smooth-face concrete masonry, Corrugated metal “R” panels.
  - All dumpster / refuse collection areas shall be enclosed with a masonry wall that is a minimum of one foot in height taller than the top of the refuse container used for collection, as well as match the color and materials of the building with a base and cap.

Use of variety of brick colors and cementitious panels on residential/commercial building



The building base is expressed with a different masonry material. The base at the storefront is expressed with an 8” raised bottom mullion.



Mix of brick and architectural metal panels on commercial building



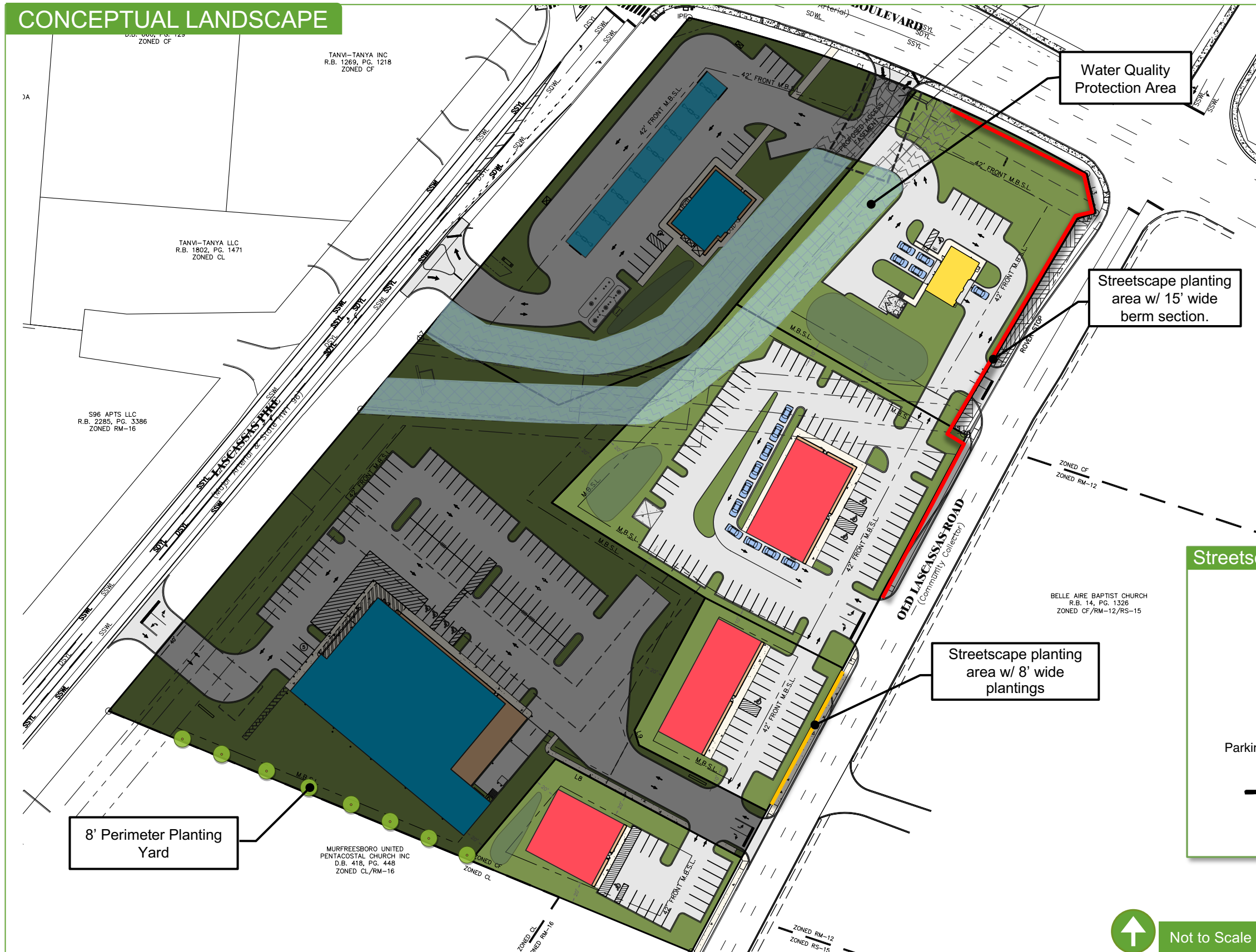
Mix of tilt-up concrete and architectural metal panels on industrial buildings.



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## CONCEPTUAL LANDSCAPE



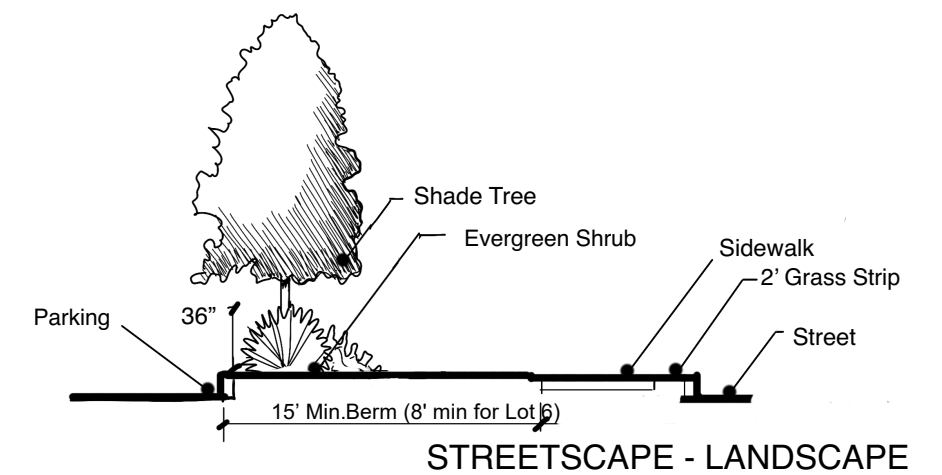
### Map Summary

- The development will have streetscape planting along all the right-of-ways. The streetscape will have a low berm planted with a layer of evergreen shrubs designed to screen cars and a second layer of shrubs consisting of both evergreen and deciduous plants.
- Shade trees will be planted as per the Murfreesboro design guidelines.
- Interior lot line perimeter Plantings will be per city standards.

### WQPA Guidelines

The vegetative target for a WQPA is a variety of mature, native vegetation, allowed to grow undisturbed: predominately trees in the waterside half of the buffer and trees, shrubs, and herbaceous vegetation (grasses) in the upland half. Native species are preferred in the WQPA. Native species are required and invasive species are prohibited for any new plantings. City Code 27.5-19 (C), (1-2) "Target vegetation"

### Streetscape



Not to Scale

**H SHUDDLESTON-STEELE**  
ENGINEERING, INC.  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE: 615-893-4084 FAX: 615-893-0080



## PHASING PLAN



## Map Summary

The Lascassas Crossings Master plan consists of two approved projects (Aldi and Murphy Oil) on the western edge of the property along Lascassas Pike. The area encompassing the PCD will be developed in two phases as highlighted on the phasing plan map.

LAND USE PARAMETERS AND BUILDING SETBACKS			
ZONING (COMPARABLE VS PROPOSED)	COMPARABLE (CF)	PROPOSED	DIFFERENCE
MINIMUM EXTERNAL SETBACK REQUIREMENTS			
MINIMUM FRONT SETBACK (FT.)	42	42	-
MINIMUM SIDE SETBACK (FT.)	10	10	-
MINIMUM REAR SETBACK (FT.)	20	20	-
MAX HEIGHT (FT.)	45	45	-

Exception Request Summary

- Requesting that “Automotive/ Motor Vehicle Service” use be allowed on the southwest corner of North Rutherford Blvd and Old Lascassas Road.

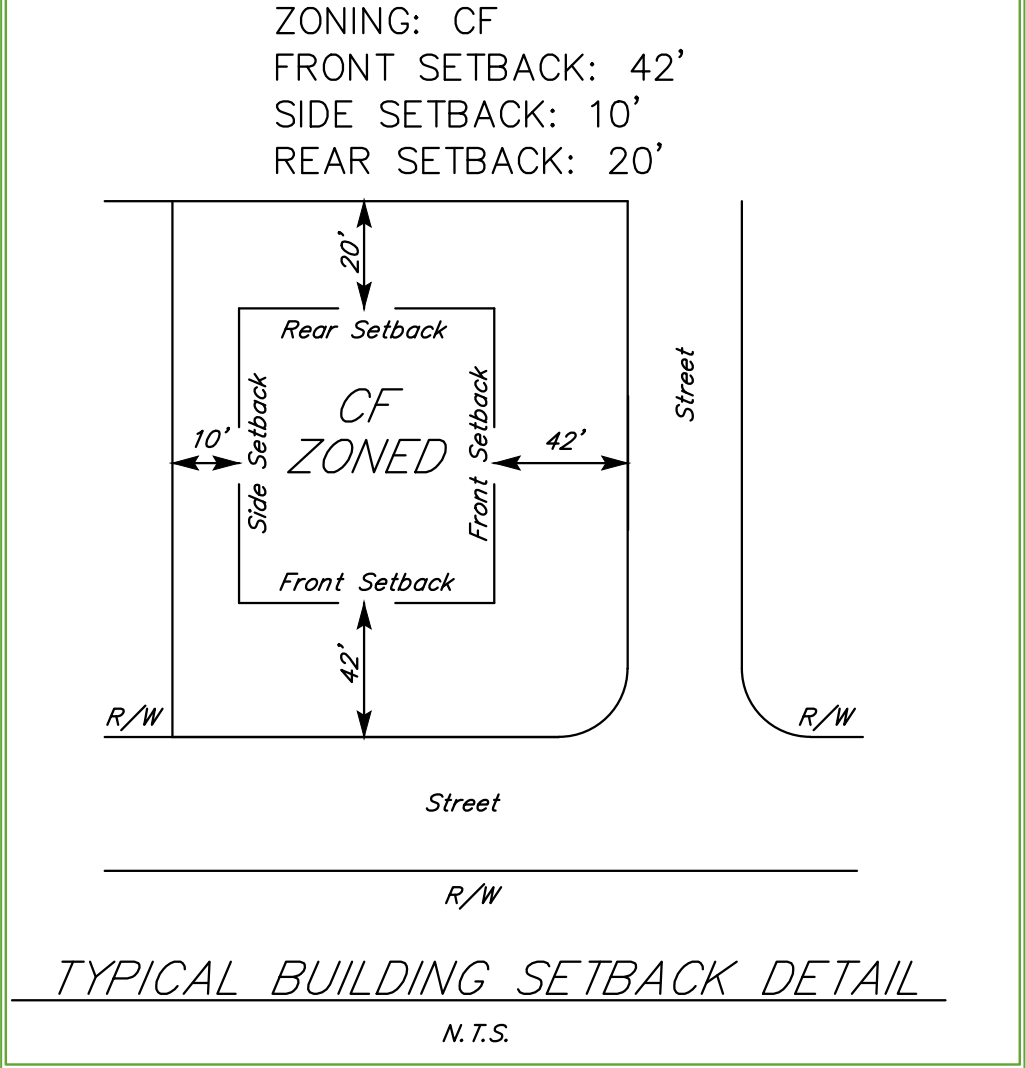
Allowable Uses

- Automotive/ Motor Vehicle Service (including Oil Change Service) in area stated above.
- Drive Through Restaurant.

Prohibited Uses

- Vape Shop
- Gasoline Station
- Liquor Store
- Convenience Store

Setback Information




PROPOSED ALLOWABLE USES
INSTITUTIONS
Adult Day Care Center
Day Care Center
COMMERCIAL
Amusements, Commercial Indoor
Animal Grooming Facility
Antique Mall
Art or Photo Studio or Gallery
Bakery, Retail
Bank or Credit Union, Branch Office
Bank, Drive-Up Electronic Teller
Barber or Beauty Shop
Book or Card Shop
Businesses and Communication Service
Business School
Catering Establishment
Clothing Store
Coffee, Food or beverage Kiosk
Commercial Center < 25,000 SF
Department or Discount Store
Dry-Cleaner < 3,000 SF
Financial Service
Fitness Health Club
Fitness Studio
Flower or Plant Store
Glass - Stained and Leaded
Interior Decorator
Janitorial Service
Keys, Locksmith
Kiosk, Automated
Laboratories, Medical
Laboratories, Testing
Laundries, Self-Service
Music or Dancing Academy
Music or Dancing Academy
Offices
Optical Dispensaries
Personal Service Establishment
Pet Shops


PROPOSED ALLOWABLE USES
COMMERCIAL(CONT'D)
Pharmacies, Apothecaries
Restaurant and Carry-Out Restaurant
Restaurant, Drive-In
Restaurant, Specialty
Restaurant, Specialty-Limited
Specialty Shop
Veterinary Clinic
Veterinary Hospital
Veterinary Office
TRANSPORTATION AND PUBLIC UTILITIES
Telephone or Communication Services
Post Office or Postal Facility
Telephone Switching Center, Electric Transmission, Gas Piping, Water Pumping Station



## City of Murfreesboro General Applicability Section 13b for Planned Development

1. Identification of existing utilities, easements, roadways, rail lines, and public right-of-way crossings adjacent to the subject property: [See pages 3-7.](#)
2. A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property: [See pages 8.](#)
3. A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties, including the location of structure on-site and within two hundred feet of the subject property and the identification of the use thereof: [See pages 9-11.](#)
4. A drawing defining the general location and maximum number of lots, parcels, or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking: [See pages 12.](#)
5. A tabulation of the maximum number of dwelling units proposed, including the number of units with two or fewer bedrooms and the number of units with more than two bedrooms: [Not Applicable.](#)
6. A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (floor area ratio), the L.S.R. (livability space ratio), and the O.S.R. (open space ratio); [Not Applicable.](#)
7. A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the City and how the proposed planned development is to be designed, arranged, and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article; [See pages 13-17 & 20.](#)
8. If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating (aa) the approximate date when construction of the project can be expected to begin, (bb) the order in which the phases of the project will be built; (cc) the minimum area and the approximate location of common space and public improvements that will be required at each stage; and, (dd) a breakdown by phase for subsections [5] and [6] above; [Project to be completed in two phases.](#)
9. Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted: [Not Applicable.](#)
10. A statement setting forth in detail either (1) the exceptions which are required from the zoning and Subdivision Regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed;
  - **EXCEPTION 1: Requesting that “Automotive/ Motor Vehicle Service” use be allowed on the southwest corner of North Rutherford Blvd and Old Lascassas Road.**
11. The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article; [Not Applicable.](#)
12. The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time; [See pages 5.](#)
13. The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated; [See pages 2.](#)
14. Architectural renderings, architectural plans, or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. [See pages 13-17](#)
15. If a development entrance sign is proposed, the application shall include a description of the proposed entrance sign: [Not Applicable.](#)

 WATER QUALITY PROTECTION AREA  
ZONE 1 = 35 FT. WIDE

 WATER QUALITY PROTECTION AREA  
ZONE 2 15 FT. WIDE

1. IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST BE AWARE OF KNOWN UTILITY LOCATIONS. THERE ARE NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE, A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY ENGINEER OF DEEDS. ANYONE WHO WISHES TO PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
2. UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE DEEDS ENGINEER HAS NO KNOWLEDGE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES. SHOULD A UTILITY BE DAMAGED BY THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.

◇	Power Pole
◇	Existing Fire Hydrant
●	Proposed Fire Hydrant
●	Gate Valve & Box
△	Reducer
△	Wall Mounted Light
□	Light Pole
▲	Concrete Thrust Block
⊞	Existing Water Meter
—W—	Existing Water Line
—P—	Proposed Water Line
—S—	Existing Sanitary Sewer Line
—SP—	Proposed Sanitary Sewer Line
—X—	Existing Manhole
●	Proposed Manhole
—CD—	Sewer Line Check Dam
—	Existing Overhead Electrical Line
—UG—	Existing Underground Electrical Line
—UGT—	Existing Underground Telephone Line
—C—	Existing Underground Cable Line
OMP	Corrugated Metal Pipe
—	Reinforced Concrete Pipe
—C—	Existing Gas Line
—O—	Existing Contours
—	Proposed Contours
00.0	Existing Spot Elevations
00.0	Proposed Spot Elevations
—SF—	Siltation Fence
	(To be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
⊞	Rip Rap (6" min. diam., 1' thick)
⊞	TDOT specifications
	Item No. 709-05

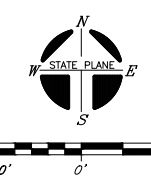
The diagram illustrates a lot layout for a CF Zoned area. A central rectangle is labeled "CF ZONED". It is surrounded by setbacks: "Rear Setback" (20'), "Front Setback" (42'), "Side Setback" (10' on both sides), and "Stripback" (10'). The lot is situated between two "R/W" (Right of Way) lines, with a "Street" at the bottom. The lot width is indicated as "R/W".

LINE TABLE		
LINE	BEARING	LENGTH
L1	S39°55'10"W	8.07'
L2	N16°57'33"W	14.85'
L3	S61°55'45"E	52.67'
L4	N12°55'07"W	37.61'
L5	N72°09'54"E	17.80'
L6	N60°14'08"W	11.76'
L7	N83°35'46"W	3.45'
L9	N12°55'07"W	37.61'
L10	N83°35'46"W	3.45'

CURVE TABLE					
CURVE	DELTA	RADIUS	ARC	CHORD	BEARING
C1	9°18'29"	1382.39'	224.58'	224.33'	N72°13'57"W
C2	7°21'53"	1382.39'	177.69'	177.57'	N63°53'46"W
C3	16°40'22"	1382.39'	402.27'	400.85'	N68°33'01"W

LEGEND FOR MONUMENTS  
 IPS ○ IRON PIN SET  
       (1/2" rebar with HSENGR cap)  
 IPF ○ IRON PIN FND.  
 ○ RAILROAD SPIKE  
 ✕ FENCE  
 ● SURVEY POINT  
 ▲ NAIL  
 ▴ CONC. MARKER FND.

6 Lots - 9.51 Ac.±



OWNER: HEMG LLC  
3115 SAINT JOHN'S DR  
MURFREESBORO, TN 37129  
PROPERTY ADDRESS: 1840 LASCASSAS PIKE  
MURFREESBORO, TN 37130  
TAX MAP: 81 PARCEL: 055.02  
RECORD BOOK: 451, PAGE: 228  
THIS PROPERTY IS NOT INCLUDED IN AREAS  
DESIGNATED AS "SPECIAL FLOOD HAZARD" ON  
THE NATIONAL FLOOD INSURANCE PROGRAM  
FLOOD MAP NUMBER: 47149C0280J  
FLOOD MAP DATE: MAY 9, 2023      ZONE: X  
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN  
ON THE RECORD MAPS AND RESTRICTIONS EITHER RECORDED OR  
PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR  
INFORMATION ONLY AND IS NOT A GENERAL  
PROPERTY SURVEY AS DEFINED UNDER RULE  
0820-3-.07.

**FOR  
REVIEW ONLY**

**HS HUDDLESTON-STEEL**  
ENGINEERING INC.  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE : 893 - 4084. FAX: 893 - 0080

#	DATE	REVISIONS
1	02/07/24	ADDED RESTAURANT & OFFICE
2	04/10/24	ADDRESSED CITY COMMENTS
3	05/02/24	ADDRESSED CITY COMMENTS
4	05/14/24	ADDRESSED CITY COMMENTS
5	07/23/24	ADDRESSED ALDI ENGINEER COMMENTS

*MASTER PLAN*  
**ALDI, INC. - LASCASSAS PIKE  
& LASCASSAS CROSSING**

*21st Civil District of Rutherford County, Tennessee*

DATE: September, 2023 Scale: 1" = 50' Sh. 1 of 12

NOTE: ALL DRIVEWAYS TO BE CITY  
STANDARD CONCRETE RAMPS.

LOT	ACREAGE
1	3.64
2	0.53
3	1.87
4	1.29
5	1.61
6	0.50

LOCATION MAP  
N.T.S.

# SITE





**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JANUARY 8, 2025  
PROJECT PLANNER: HOLLY SMYTH**

**5.c. Zoning application [2024-421] to amend the PCD zoning (East Side Village PCD) on approximately 1.94 acres located along North Rutherford Boulevard, CSC Properties, LLC applicant.**

There are 2 existing parcels involved in this PCD (Planned Commercial District) zoning amendment known as 232 North Rutherford Boulevard/219 Yearwood Avenue and 213 Yearwood Avenue (aka Parcels 4.00 and 5.00 of Tax Map 103C, Group A, containing approximately 1.5 and 0.4 acres, respectively).

**Adjacent Zoning and Land Uses**

The surrounding area consists of a mixture of zoning types and land uses. The existing land uses are single-family residential to the south, east, and north and commercial uses to the west across North Rutherford Boulevard, including a gas station and a multi-tenant retail building.

Zoning of the adjacent properties to east includes RM- Medium Density Residential in unincorporated Rutherford County. The land to the south is zoned RS-15 in the City of Murfreesboro and RM in Rutherford County. The land to the west across North Rutherford is zoned PCD in the City of Murfreesboro. The land to the north is zoned RM in Rutherford County and RS-15 (Single-Family Residential District) in the City of Murfreesboro.

**Proposed PCD Amendment**

The original PCD approved in 2020 involved one large 11,100 square foot multi-tenant commercial building on one consolidated lot with one drive-thru use. The original site plan layout had identified one central access point from North Rutherford Boulevard and an access easement for a potential future access drive to Yearwood Avenue should Rutherford County permit it. The circulation layout is essentially the same with this amendment with a center turn-lane being added to the median.

The new proposal now involves reconfiguring the existing 2 lots to accommodate two (2) drive-thru restaurants that would be for mobile order pick-up only, with no ordering speakers and only menu boards. **Page 8** of the program book shows the conceptual site and landscape plan layout. The northern building is anticipated to be a 950 square foot coffee kiosk for Dutch Brothers with 15 regular parking spaces and 1 handicapped space (whereas only 10 parking spaces are required), and a 13-car queuing lane for the drive-thru (whereas only 10 queuing spaces are required). The southern building is anticipated to be a 2,295 square foot Chipotle restaurant with 24 regular parking spaces and 1 handicapped space (whereas only 23 parking spaces are required), and a 10-car queuing lane for the drive-thru (with 10 queuing spaces required). It should be noted that, while Dutch Bros and Chipotle have been identified as the potential occupants, this rezoning would not preclude other businesses from occupying the



buildings, as long as their operations were consistent with the commitments made in the pattern book.

On November 30, 2023 the City Council approved a sewer variance for these 2 properties plus an adjacent 3<sup>rd</sup> property to the north with 1.83 acres known as parcel 3.00 of Tax Map 103C, Group A to develop at 19.57 sfu's (single-family unit equivalents) total on 3.66 acres. The third parcel did not move forward with this amendment, and therefore it was determined that these two parcels have a total of 10.37 sfu's approved for the two uses. This development proposal falls within the granted variance.

Landscaping along the eastern side of both proposed lots includes a 15' Type D buffer option 1, with a row of trees followed by a 6' opaque fence and another row of trees. On the northern and southern boundaries of the overall site, a 15' Type D buffer option 1, with a 6' black chain link fence to better accommodate the future land use of Neighborhood Commercial directly north and south of the subject properties.

**Exceptions** are shown in the Program Book page 18 based on the comparative zone of CF, development standards of setbacks, lot size, lot width, building height, open space, formal open space, and lot coverage and the proposed PCD zone. The proposed PCD zoning currently calls out for exceptions to the following comparative standards:

- Requesting an exception to the required 15-ft wide Type 'D' landscape buffer along small segments of the northwest and southwest corners of the property to allow for future driveway connections to adjacent properties.
- Requesting an exception to allow outdoor dining spaces for commercial properties to be counted towards formal open space requirements.
- Requesting an exception to the (4) North Rutherford Boulevard to utilize shrubs in lieu of trees at the driveway entrance and sidewalk in lieu of trees at the pedestrian entries as shown on page 18 of the program book.
- Requesting an exception from the stormwater beautification requirements for those portions of the stormwater facilities adjacent to required buffers.
- Requesting an exception that the internal side setback for accessory structures be reduced from 5' to 0'.

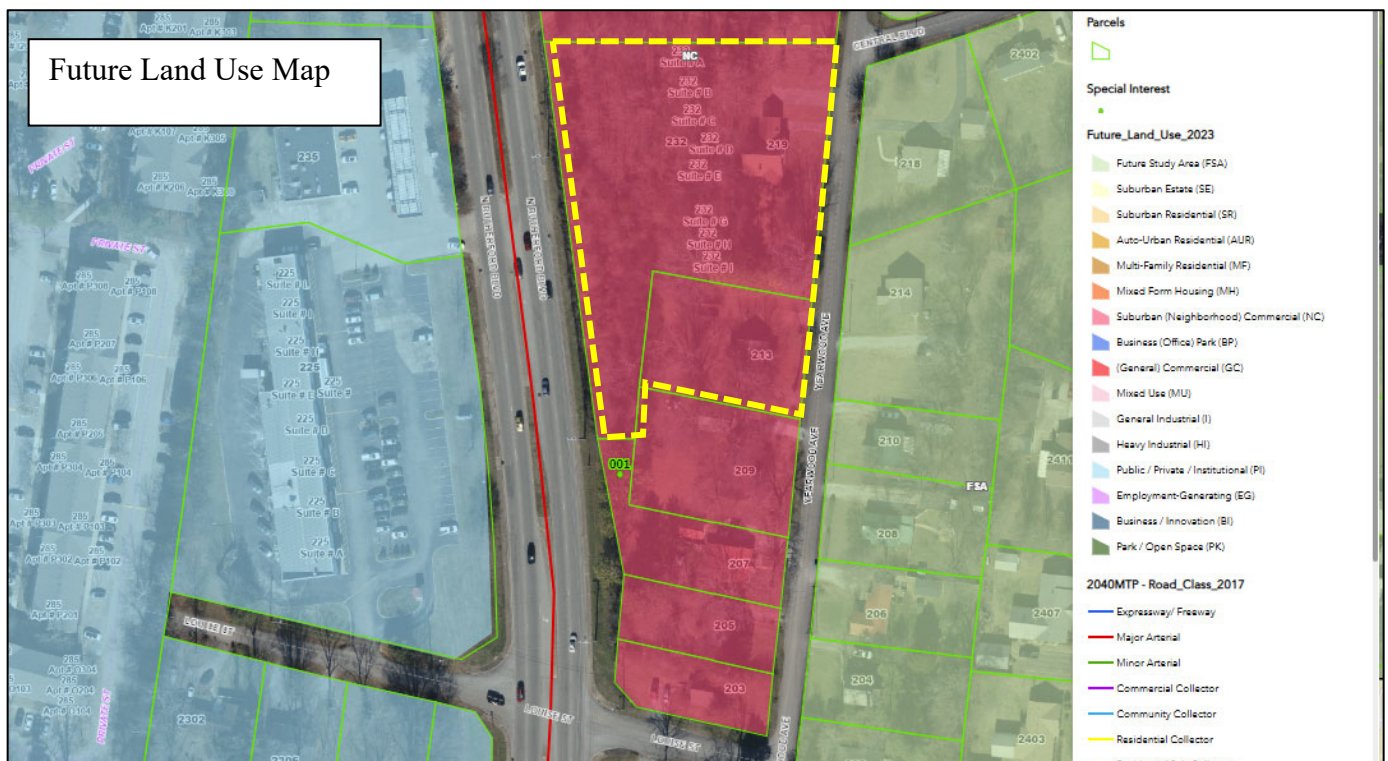
### **Future Land Use Map**

The future land use map (FLUM) contained in the Murfreesboro 2035 Comprehensive Plan, designates the two properties of the project as NC-Neighborhood Commercial. The NC – Neighborhood Commercial character areas are generally outside the downtown and “are commercial and office nodes that are automobile oriented but designed at a neighborhood scale and cater to pedestrians in Neighborhood Commercial configurations. Rather than designing linear strips, these neighborhood commercial centers occupy much smaller building footprints than typical businesses found at significant transportation intersections and provide neighborhood conveniences such as coffee shops, drug stores, professional services, and boutique retail uses. Small food markets are often accompanied by convenience stores and personal service establishments such as banks, dry cleaners, and small-scale drug stores.

Characteristics of this designation state that “development should be small-scale, low-intensity land uses, generally about the same scale and intensity level (building size, shape, and footprint) as residential development within the suburban estate or suburban residential character. Parking is often not the dominant view and may be screened by garden walls and ornamental hedges. Signage is significantly reduced in size and additional buffers and transitions will be important. Drive-thrus are discouraged, however, they may be allowed if they are integrated into the design to not be prominent.” The existing approved PCD only had one freestanding monument sign approved as part of the development originally. Based on this policy direction, staff asked that the height of the potential 2 monument signs flanking the main entrance at North Rutherford Boulevard be limited to 6’ maximum height for pedestrian scale.

The Comprehensive Plan states that NC areas have pedestrian and bicycle facilities integrated into the layout. Additionally, the Murfreesboro Greenways, Blueways, and Bikeways Master Plan (GBBP) designates Rutherford Boulevard from Church Street to Northfield Boulevard as a recommended Multi-Use path as part of an effort to “link MTSU to future greenway via trails (via Rutherford Blvd Multi-Use Path)”. Bike racks are being integrated with each site to support these bike facilities. Maximum building heights are proposed to be 35’, however the elevations proposed now are at 21’ and 24’ with 2 very small-scale buildings. The Compatible zoning districts include CF, OG, CM, PCD/PUD, and other zoning districts to be evaluated on a case-by case basis.

Staff believes the proposed amended PCD zoning serves a local need in close proximity to the MTSU campus and is consistent with the Future Land Use Map designation described above.

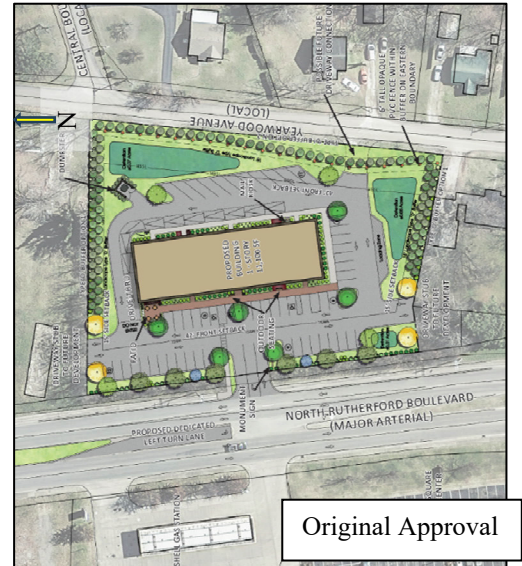




## **Department Recommendation**

Staff is supportive of this revised rezoning request for the following reasons:

- 1) Generally consistent with the type of development allowed in the original East Side Village PCD shown to the right.
- 2) Generally consistent with the commercial development to the west across North Rutherford.
- 3) It is consistent with the future land use map depicted above and comprehensive plan policies.
- 4) The design is small scale in size/ height/ location and neither business will incorporate the use of speaker box systems (even though both buildings are drive-thru uses).
- 5) Heavy landscape buffers are incorporated into the north, east, and southern perimeters of the site to appropriately screen the proposed commercial uses from adjacent residential uses, with solid 6' solid fencing along the easterly boundary and 6' chain link fencing along the northern and southern boundaries with full buffer landscape.
- 6) North and south drive approach extensions will allow future developments to the north and south to more easily share critical access points (with an additional potential future access point being provided to Yearwood Drive to the east if permitted by the County in the future).
- 7) Signage is significantly reduced by limiting the proposed monument signage to 6' maximum height consistent with the Comprehensive Plan policy.
- 8) Bike racks are included at both businesses to provide support facilities for the multi-use path along Rutherford Boulevard as stated in the GBBP (thereby providing transportation alternatives to employees or customers).

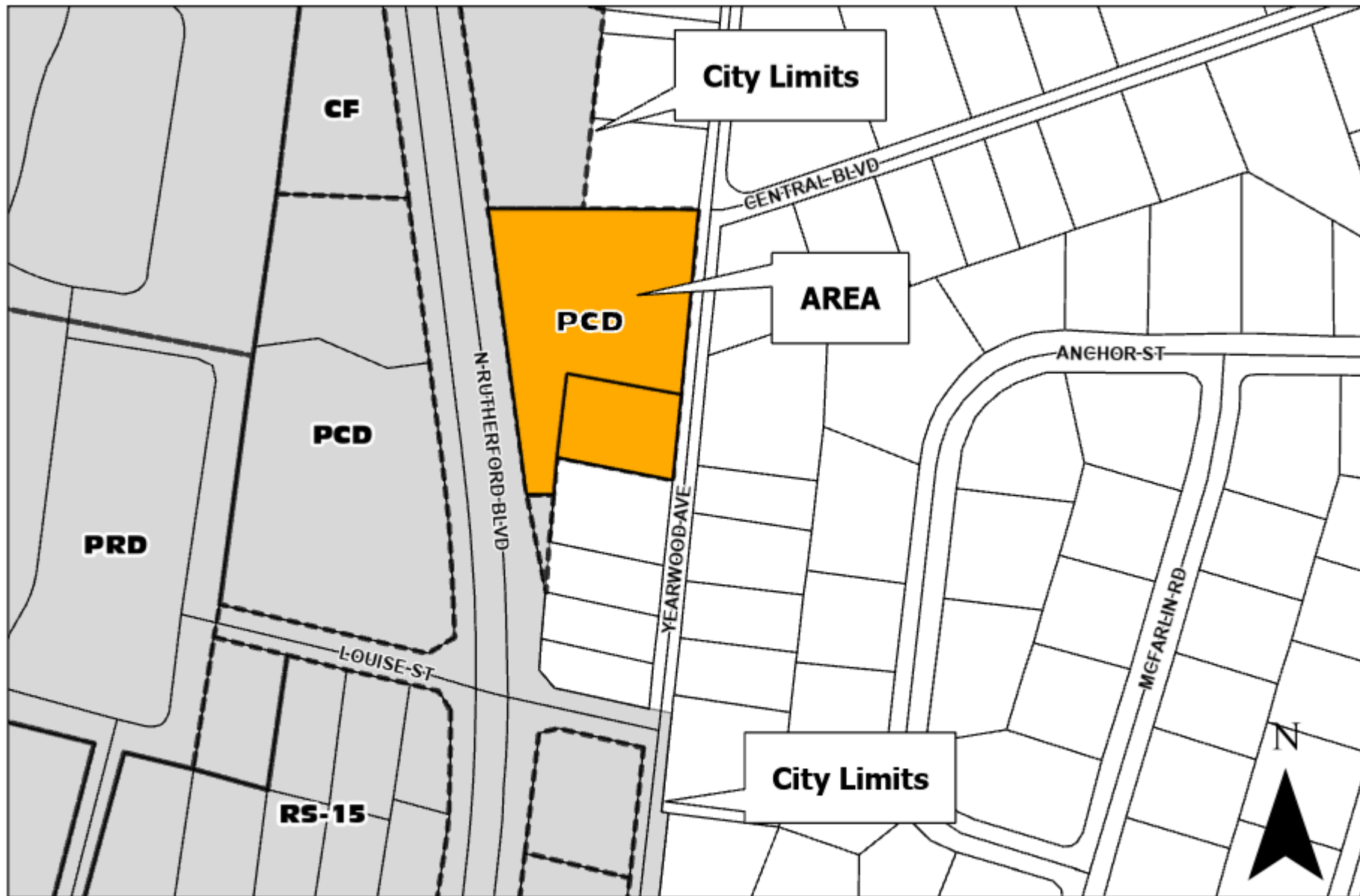


## **Action Needed**

The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should conduct a public hearing and then formulate a recommendation to City Council.

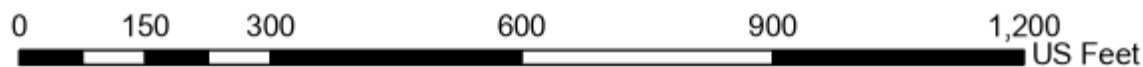
### **Attachments:**

- NoOrtho Map
- Ortho Map
- Updated Program Book



Zoning request for property along North Rutherford Boulevard & Yearwood Avenue  
PCD Amendment (East Side Village PCD)

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

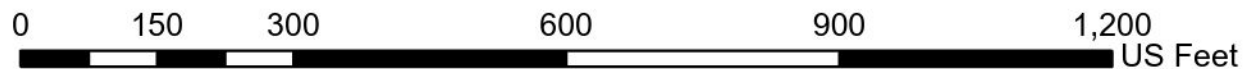






Zoning request for property along North Rutherford Boulevard & Yearwood Avenue  
PCD Amendment (East Side Village PCD)

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)





# EAST SIDE VILLAGE

A REQUEST FOR AN AMENDMENT TO THE PREVIOUSLY APPROVED PLANNED COMMERCIAL DISTRICT (PCD#2019-442)

Murfreesboro, Tennessee



SEC Project #19002



## Initial Submittal

November 14, 2024

## Resubmitted

December 9th, 2024 for the  
December 18th, 2024  
Planning Commission Meeting

## Resubmitted

January 2nd, 2025 for the  
January 8th, 2025  
Planning Commission Public Hearing

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AERIAL PHOTOGRAPH

Not To Scale

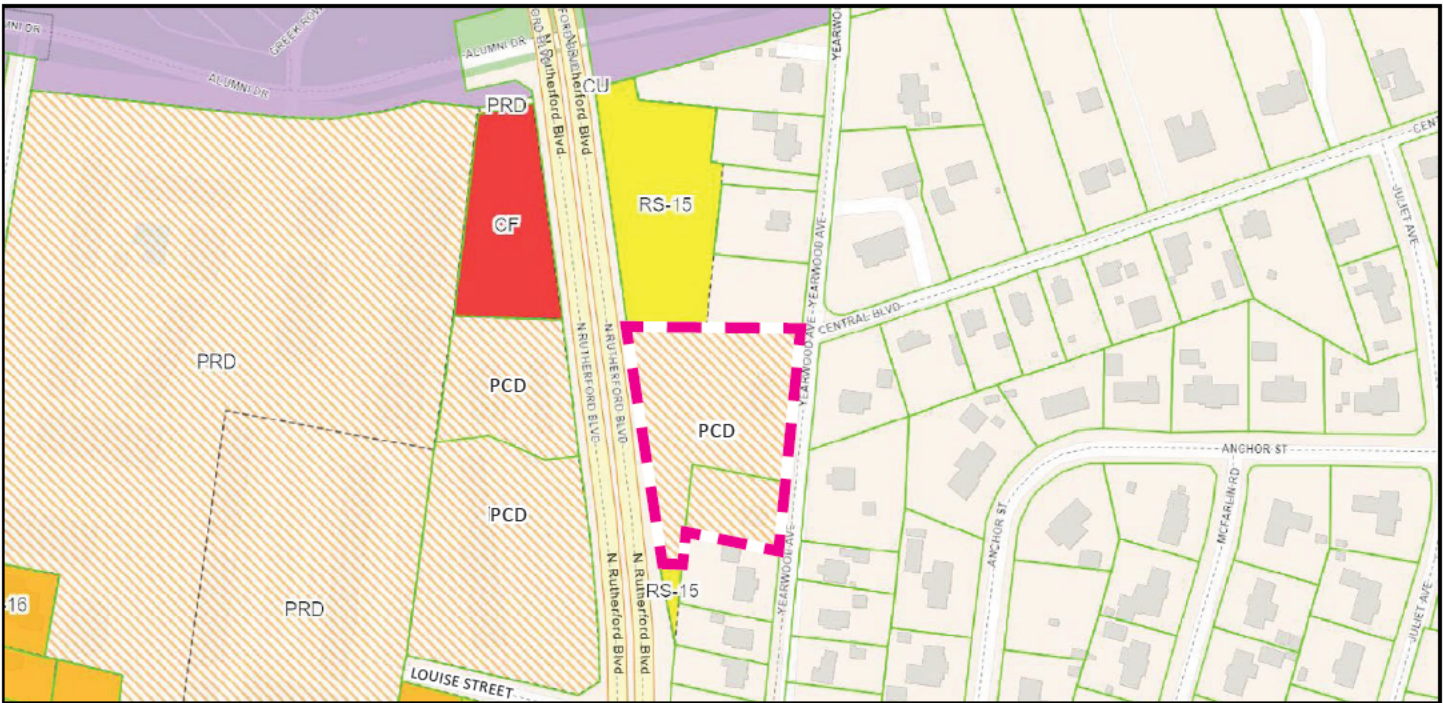
- North Rutherford Boulevard
- Yearwood Avenue
- East Main Street
- Louise Street
- Central Boulevard
- Murfreesboro City Limits



Site Boundary

CSC Properties, LLC respectfully requests an amendment to the East Side Village PCD at 232 North Rutherford Boulevard and 213 Yearwood Avenue. The property is located along the eastern side of North Rutherford Boulevard, north of Louise Street. The site is identified as Parcels 4.00, & 5.00 of Tax Map 103C Group A, and is approximately 1.94 acres.

The request for amending the East Side Village PCD is to revise the previous concept plan to provide two lots of record for two stand alone users. The development is envisioned to provide two commercial drive-thru restaurant buildings to complement the surrounding developments, neighborhoods, and MTSU campus. The development will consist of two single-story buildings with adequate parking to service the patrons and employees. Building elevations will be constructed of masonry materials to add quality and character to the community. Each building shall have foundation landscaping along all elevations, except those which face a drive-thru. The entrance will incorporate signage along North Rutherford Boulevard.



ZONING MAP

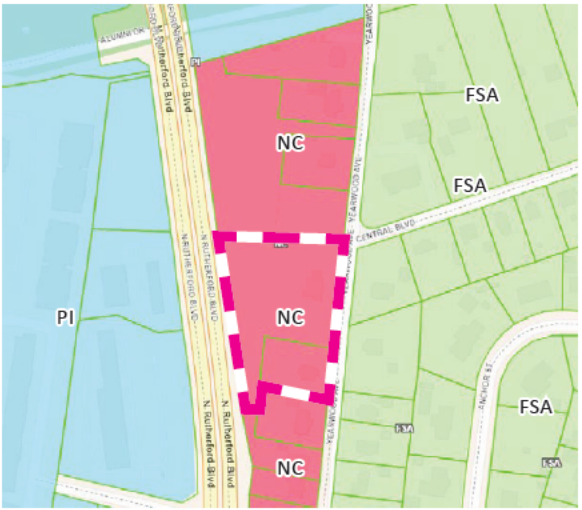
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- RS-15 Single-Family Residential (RS-15)
- RM-16 Multi-Family Residential (RM-16)
- CU College and University (CU)
- PRD Planned Residential District (PRD)
- PCD Planned Commercial District (PCD)
- CF Commercial Fringe (CF)
- RM Medium Density Residential (RM)



Site Boundary

The surrounding area consists of a mixture of zoning types and land uses. The land to east is zoned RM in Rutherford County. The land to the south is zoned RS-15 in the City of Murfreesboro and RM in Rutherford County. The land to the west is zoned PCD, PRD, & CF in the City of Murfreesboro. The land to the north is zoned RM in Rutherford County and RS-15 in the City of Murfreesboro

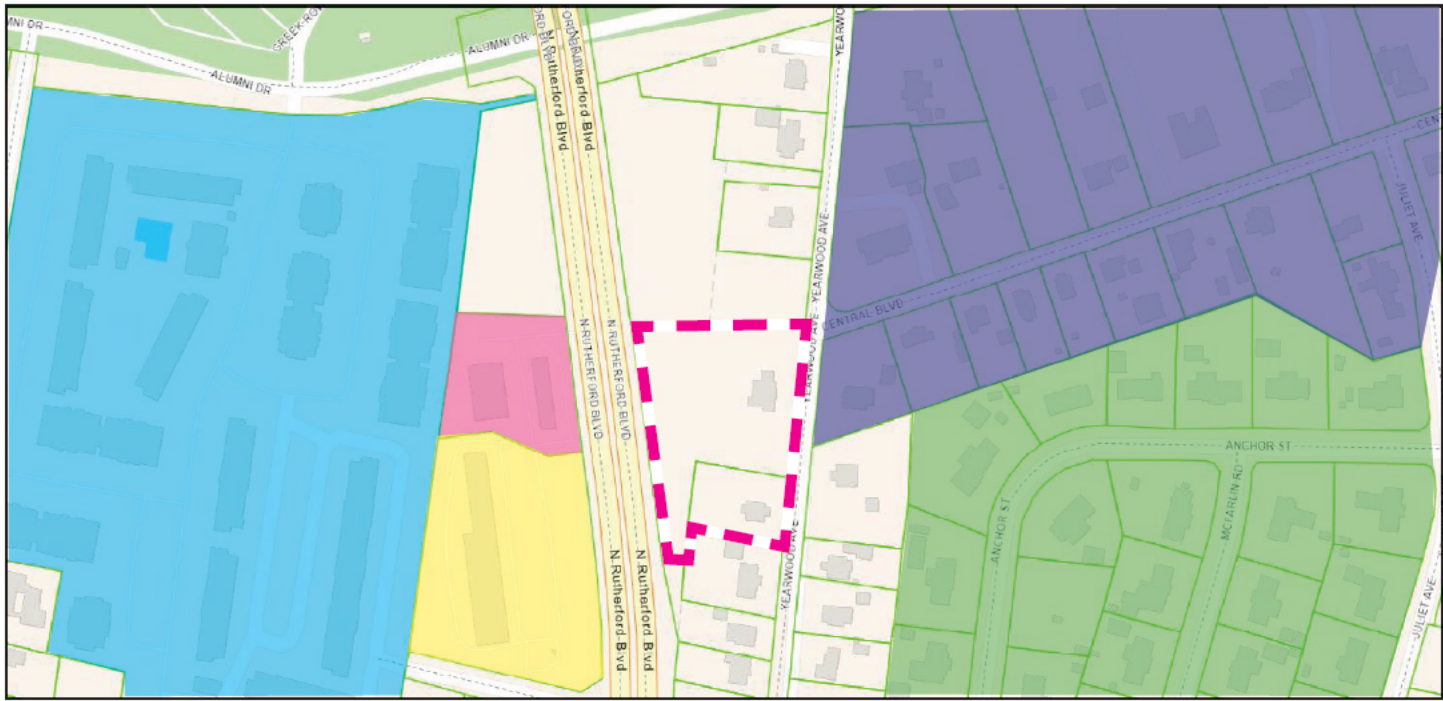


2035 FUTURE LAND USE MAP

The Murfreesboro 2035 Future Land Use Map Amendment proposes this area as Suburban (Neighborhood) Commercial (NC). The character of this land use includes small-scale, low intensity land uses clustered at intersections of community collector thoroughfares. Development types for this land use include offices, convenience stores, coffee shops, banks, etc. Generally compatible zoning districts include CF, OG, CM, PCD, and PUD.

The proposed development aligns closely with the Murfreesboro Future Land Use Map in terms of provided development types, scale, and location.





SUBDIVISION MAP

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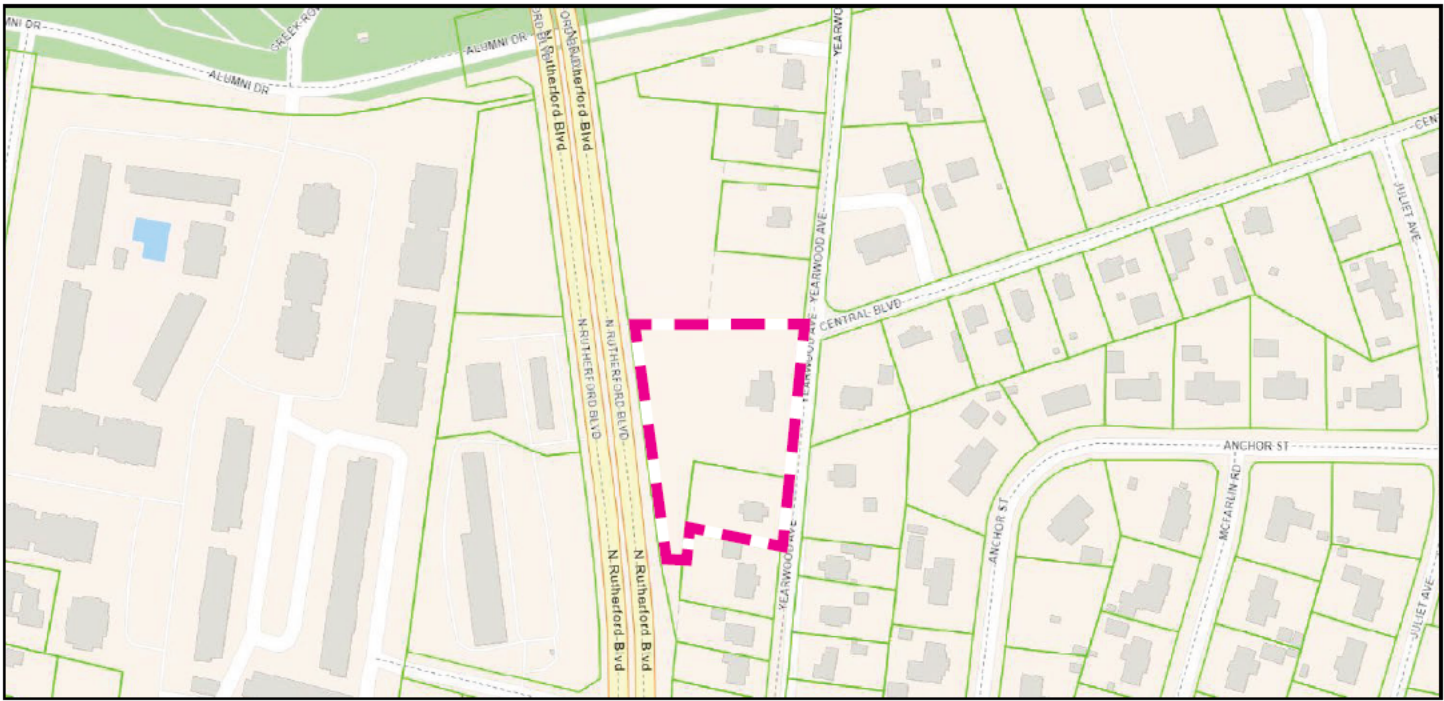
- Albion at Murfreesboro
- Yearwood Commercial Shopping Center
- Shell Gas Station
- Oakwood Heights
- McFarlin



East Side Village is surrounded by a mixture of residential subdivisions and commercial properties. Albion at Murfreesboro is a recently renovated residential apartment complex to the west of this development. Buildings in this development are 3-stories tall with brick along the first floor and vinyl siding on the second and third floors.

Oakwood Heights is a residential subdivision to the east of this development. This subdivision consists of a mixture of single-family detached homes with varying styles, materials, and colors. Most homes have either a single-car side-entry garage, or detached covered structures over driveways.

The Shell Gas Station and the Yearwood Commercial Shopping Center are located to the west across North Rutherford Boulevard. These commercial businesses provide the surrounding neighborhoods variety of services, including dining and shopping. Businesses within the Yearwood Commercial Shopping Center include, but are not limited to, 615 International Market, Kitchen Way, Good Deal Everything, and Thai Spice.



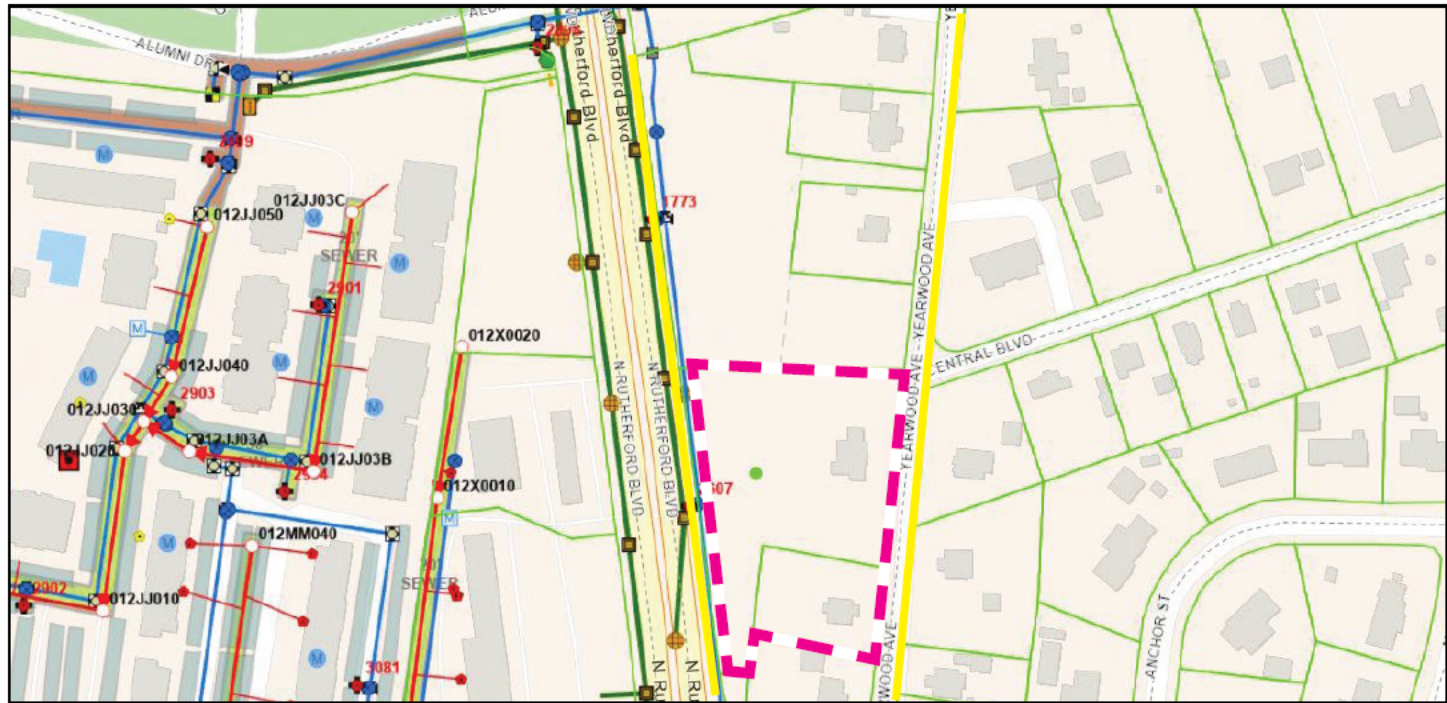
2040 MAJOR TRANSPORTATION PLAN

Not To Scale



The property has/will have access to the existing public rights-of-way of North Rutherford Boulevard through one entrance. No roadways within or surrounding this development are on the Murfreesboro 2040 Major Transportation Plan. North Rutherford boulevard is currently built as a 4-lane roadway with a landscaped central median, and provides sidewalks on both sides of the road. Yearwood Avenue is currently built as a 2-lane roadway without curb & gutter or sidewalks.





UTILITY MAP

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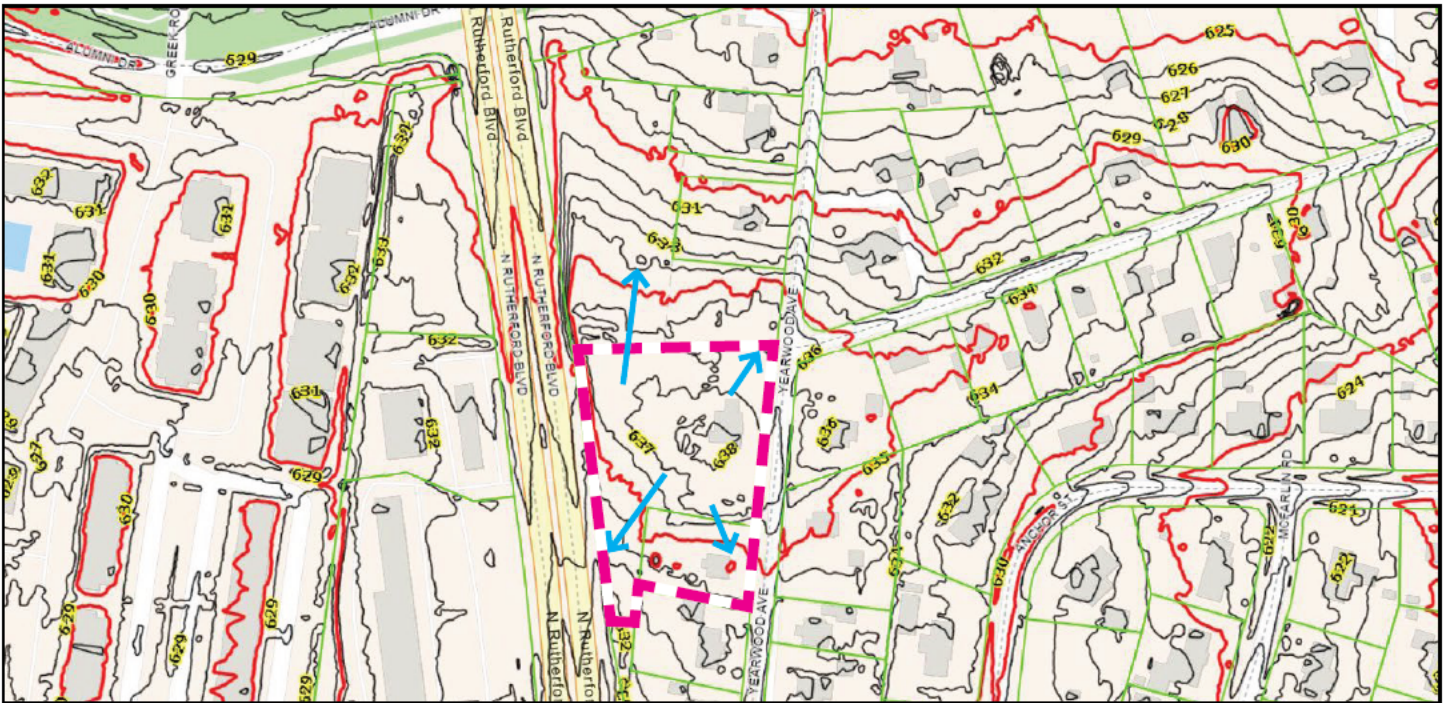


Water service will be provided by the Murfreesboro Water Resources Department. There is an existing 16 inch ductile iron water line along North Rutherford Boulevard for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.

Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 8" ductile iron line within the R.O.W. of Louise Street. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property.



Electric service will be provided by Middle Tennessee Electric. Service will be extended from North Rutherford Boulevard. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY AND TOPOGRAPHY

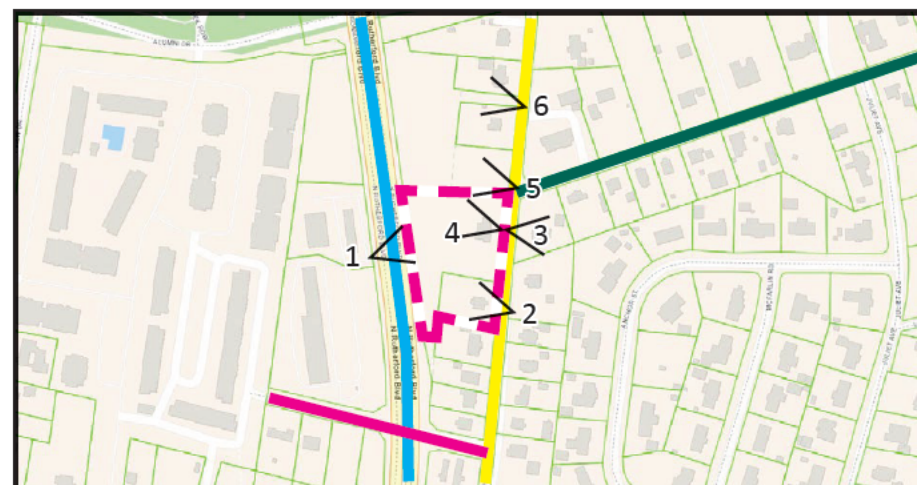
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The topographic map above shows the site's topographic high point generally at the center of the property. From this high point, the property drains towards the north and the south. Stormwater that drains to the north flows along Yearwood Avenue and continues flowing north along an existing drainage channel. Stormwater that drains to the south flows into the existing ditch along North Rutherford Boulevard before turning north. All stormwater that drains from this site flows into existing ditches that lead to Weatherly Lake on MTSU's campus to the north.

No portion of this site lies within a FEMA designated Floodway or Floodplain per FEMA Flood Panel 47149C0280J eff. 05/09/2023.





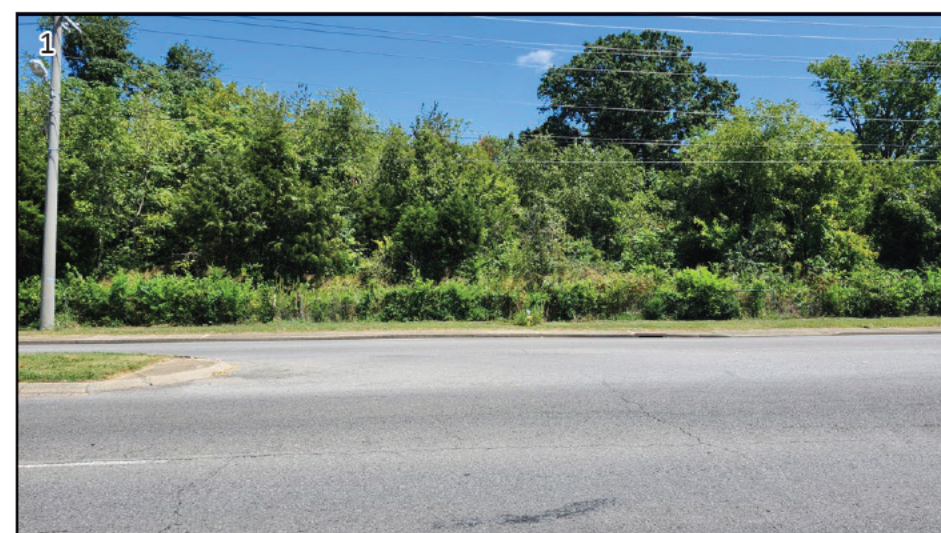
- North Rutherford Boulevard
- Yearwood Avenue
- Louise Street
- Central Boulevard



Site Boundary

PHOTO DIRECTION MAP

Not To Scale



View of Entrance From North Rutherford Boulevard Looking East



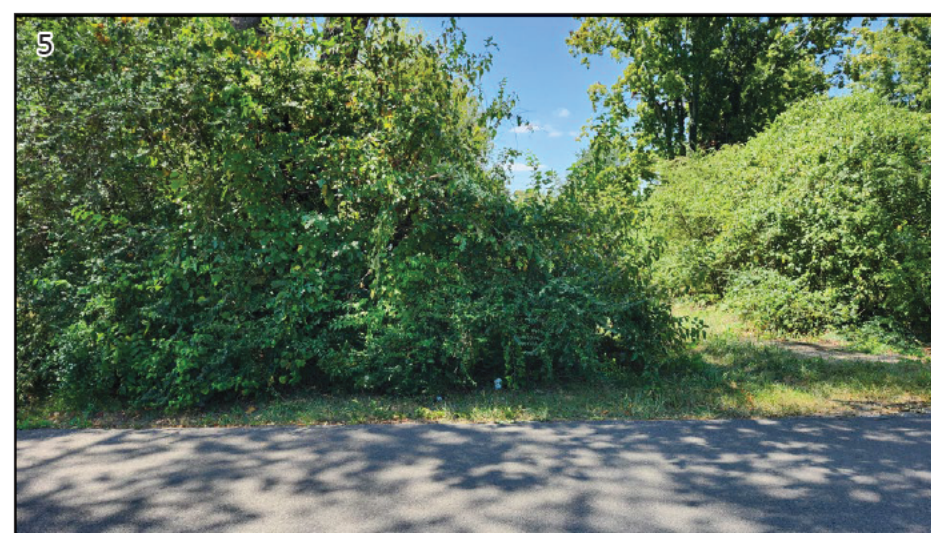
View of Existing House On-Site Looking West



View of Neighboring Residence Looking East



View of Existing House On-Site Looking West

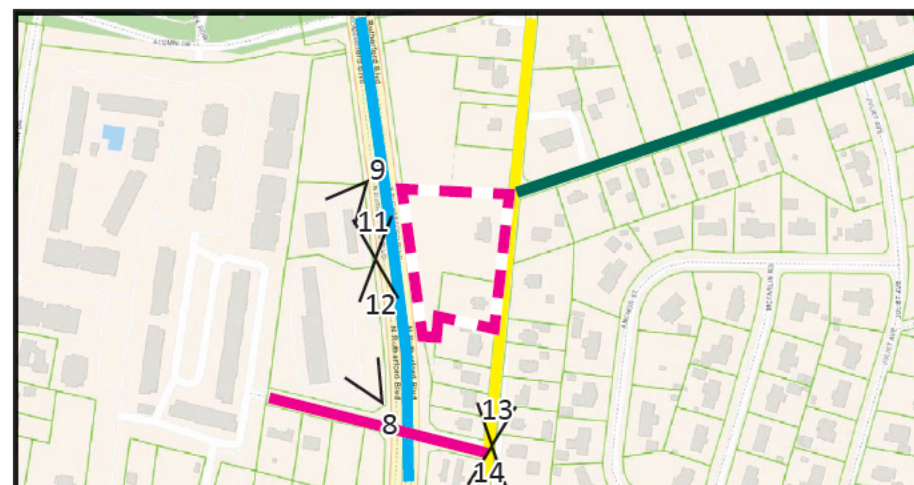


View from Yearwood Avenue and Central Boulevard Intersection Looking West



View of Lot Flag Looking West





- North Rutherford Boulevard
- Yearwood Avenue
- Louise Street
- Central Boulevard

PHOTO DIRECTION MAP

Not To Scale



Site Boundary



View of Yearwood Commercial Shopping Center Looking Northwest



View of Shell Gas Station Looking East



View From Proposed Entrance Looking North



View From Proposed Entrance Looking South



View of Yearwood Avenue and Louise Street Intersection Looking North



View of Yearwood Avenue and Louise Street Intersection Looking South



<b>LAND USE DATA:</b>	
Total Land Area:	±1.94 Acres
Lot 'A' Land Area:	±0.91 Acres
Lot 'B' Land Area:	±1.03 Acres
Stormwater Provided:	±0.16 Acres (8%)

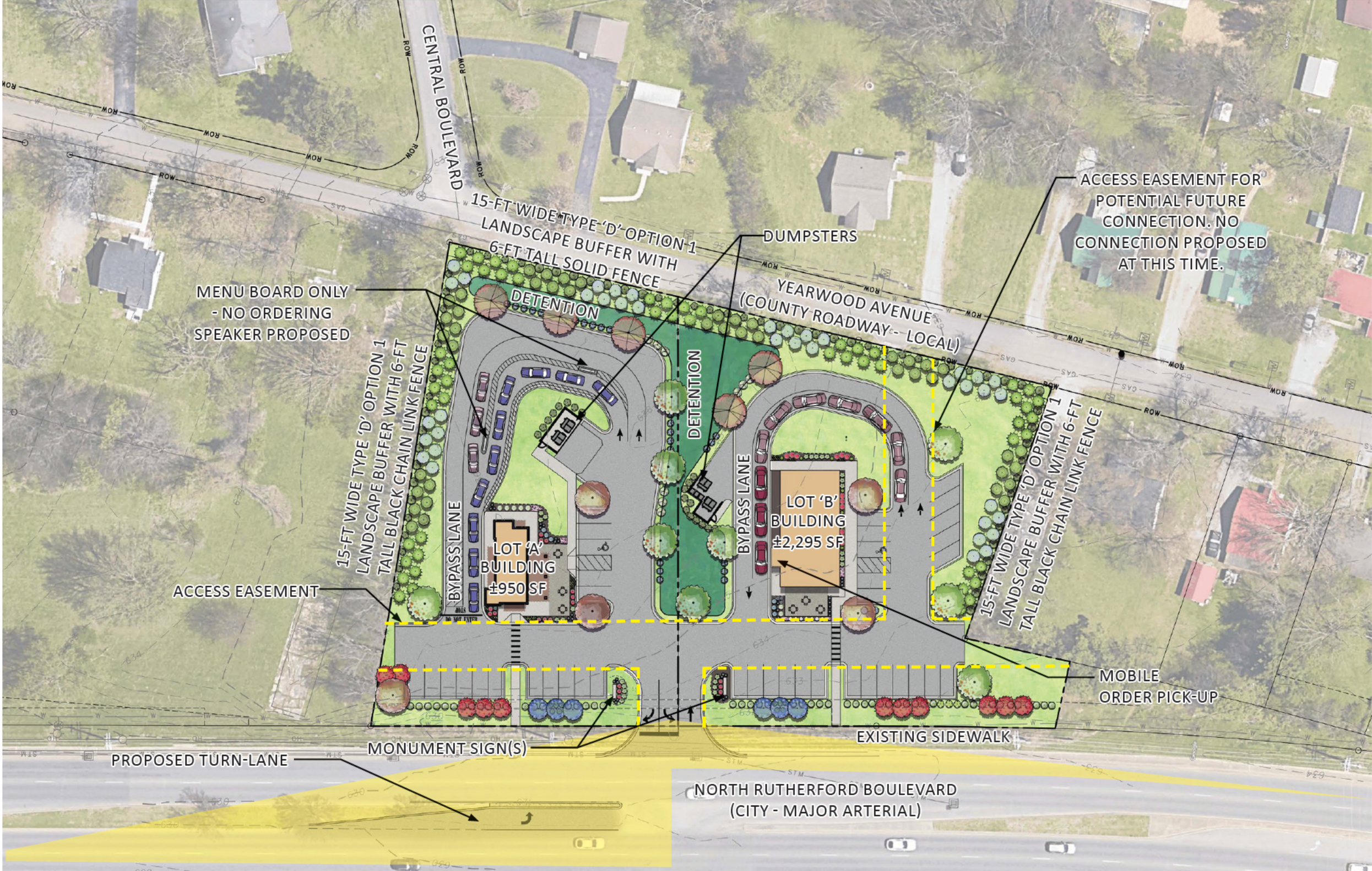
<b>LOT 'A' LAND USE DATA:</b>	
Lot 'A' Land Area:	±0.91 Acres
Required Open Space:	±0.18 Acres (20%)
Min. Provided Open Space:	±0.18 Acres (20%)
Required Formal Open Space:	±0.03 Acres (3%)
Min. Provided Formal Open Space:	±0.03 Acres (3%)

Provided Building Area:	±950 SF
Required Parking (1 Space/100 SF)=	10 Spaces
Parking Provided:	15 Spaces +1 HC

<b>LOT 'B' LAND USE DATA:</b>	
Lot 'B' Land Area:	±1.03 Acres
Required Open Space:	±0.21 Acres (20%)
Min. Provided Open Space:	±0.21 Acres (20%)
Required Formal Open Space:	±0.03 Acres (3%)
Min. Provided Formal Open Space:	±0.03 Acres (3%)

Provided Building Area:	±2,295 SF
Required Parking (1 Space/100 SF)=	23 Spaces
Parking Provided:	24 Spaces +1 HC

-  Proposed Buildings
-  Open Space
-  Detention Pond
-  Roadway
-  Sidewalk
-  Site Triangle Clearance





Development Standards:

- All parking will be located at least 10-feet from public rights-of-way and adjacent property lines.
- All parking areas shall be screened from public rights-of-way via landscaping.
- Any solid waste enclosure shall be constructed of materials consistent with building architecture, be at least 8-feet tall, with opaque gates, and shall be enhanced with landscaping.
- All service areas shall be screened to help mitigate the view from public rights-of-way and adjacent properties.
- The development shall provide pedestrian connections to North Rutherford Boulevard.
- Monument signage shall be placed along North Rutherford Boulevard. Example locations are provided on the concept plan, but actual location may vary. Monument signage along North Rutherford Boulevard shall be limited to a maximum 6-ft height.
- Development signage shall comply with the City of Murfreesboro Sign Ordinance.
- All mechanical equipment located on the ground (i.e. HVAC and transformers) shall be screened with landscaping or fencing. If mechanical equipment is located on the roof, then they shall be screened from view via a parapet wall.
- All on-site utilities will be underground.
- On-site lighting will comply with the City of Murfreesboro standards to prevent light pollution and provide safety for patrons and employees.
- Requesting the maximum light levels at the shared boundary between Lots A and B to be increased from 0.5 foot-candles to 1.0 foot-candles
- Parking will comply with the City of Murfreesboro Zoning Ordinance.
- All parking will have curbing.
- All common open space and landscape areas on the site shall be owned and maintained by the owners of each lot, or via a common commercial owners association for the development.
- Open space furniture and improvements shall be tenant driven.
- Since North Rutherford Boulevard is on the City of Murfreesboro Bikeway Master Plan, each lot shall provide at least one bike rack to accommodate pedestrian circulation into the site.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- Mail service will be provided via CBU’s on each lot.
- Outdoor Storage is prohibited, including garden and lawn supplies.
- Outdoor speakers for patio are permitted, they just can’t be amplified and shall only be for background ambiance.
- No exterior speaker box(es) will be included with the drive-thrus.



EXAMPLE OF DEVELOPMENT SIGNAGE



EXAMPLE OF TRASH ENCLOSURE



EXAMPLE OF PEDESTRIAN SCALE LIGHTING

PERMITTED USES	
INSTITUTIONS	
Adult Day-Care Center	X
Adult Day-Care Home	X
Church <sup>13</sup>	X
College, University	X
Day-Care Center	X
Family Day-Care Home	X
Group Day-Care Home	X
Museum	X
Nursing School	X
Philanthropic Institution	X
Public Building	X
Senior Citizens Center	X
School, Public or Private, Grades K - 12	X
AGRICULTURAL	
Farm Labor and Management Services	X
COMMERCIAL	
Amusements, Commercial Indoor	X
Animal Grooming Facility	X
Antique Shop <3,000 sq.ft.	X
Apothecaries (pharmaceuticals only)	X
Art or Photo Studio or Gallery	X
Bakery, Retail	X
Bank, Branch Office	X
Bank, Drive-Up Electronic Teller	X
Bank, Main Office	X
Barber or Beauty Shop	X
Book or Card Shop	X
Business School	X
Business and Communication Service	X
Catering Establishment	X
Clothing Store	X
Coffee, Food, or Beverage Kiosk	X
Commercial Center	X
Delicatessen	X
Dry Cleaning	X
Dry Cleaning Pick-Up Station	X
Financial Services (No Check Advance Businesses)	X
Flower or Plant Store	X
Glass-Stained and Leaded	X
Group Assembly, <250 persons	X
Health Club	X
Ice Retail	X
Interior Decorator	X
Janitorial Service	X
Karate, Instruction	X
Keys, Locksmith	X
Laboratories, Medical	X
Laboratories, Testing	X
Music or Dancing Academy	X
Offices	X
Optical Dispensaries	X
Personal Service Establishment	X
Pet Shops	X
Pharmacies	X
Photo Finishing	X
Photo Finishing Pick-Up Station	X
Reducing and Weight Control Services	X
Restaurant and Carry-Out Restaurant	X
Restaurant, Specialty	X
Restaurant, Specialty - Limited	X
Retail Shop, other than enumerated elsewhere	X
Specialty Shop	X
Veterinary Office	X
Veterinary Clinic	X
Video Rental	X
TRANSPORTATION AND PUBLIC UTILITIES	
Post Office or Postal Facility	X
Telephone or Communication Services	X

Allowable Uses:

The immediate end users for all of East Side Village are, at this time, Dutch Bros and Chipotle. The allowable uses outlined on this page are reflected within the Commercial Fringe (CF) and the General Office (OG) districts, should future tenants be modified.

X - Permitted Uses

Prohibited Uses:

- Bar/Tavern
- Tobacco Sales as Primary Use
- Vape Sales as Primary Use
- No automobile sales and/or service
- Pawn Shop
- Gas Station
- Liquor Store

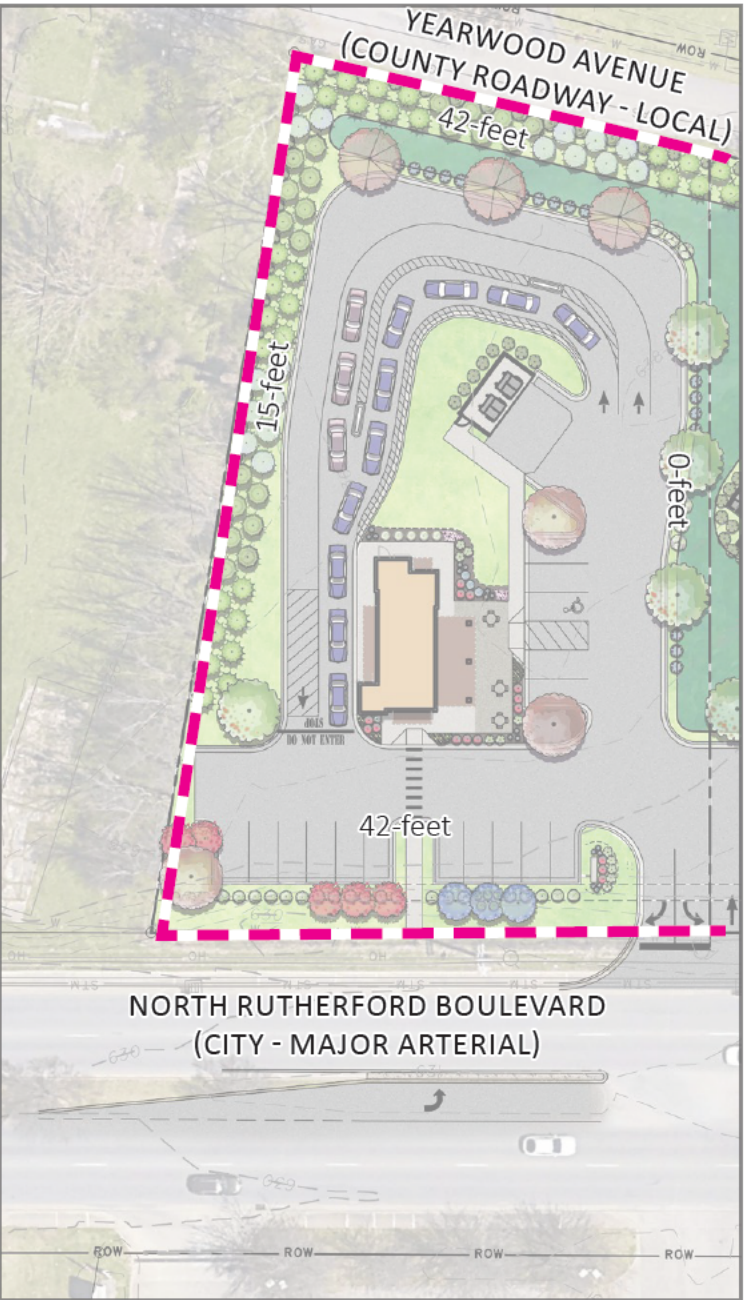
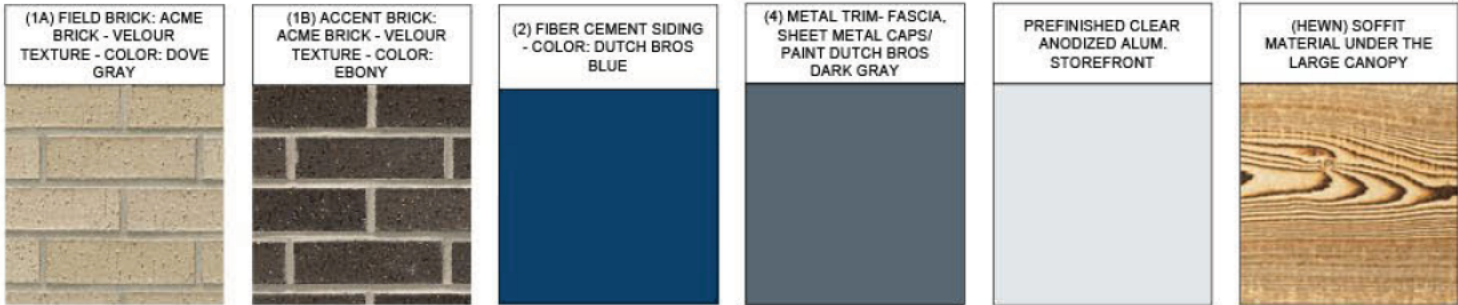


**Lot 'A' Architectural Characteristics:**

- Building heights shall not exceed 35 feet in height
- All buildings will be 1-story
- Buildings shall have a well-defined architectural base via different materials, colors, changes in pattern, or a combination of these techniques.
- Building foundations shall be accented with a 3-ft wide landscaping bed except where drive-through windows are provided.
- Main entrances are to be well defined and easily recognizable by the use of; raised roof lines, canopies, glazing, change in materials, change in color, and/or change in building planes.
- Masonry materials (brick, stone, cast stone, synthetic stone) will be the primary building materials.
- All buildings shall comply with the Murfreesboro Design Guideline standards.

**Building Materials:**

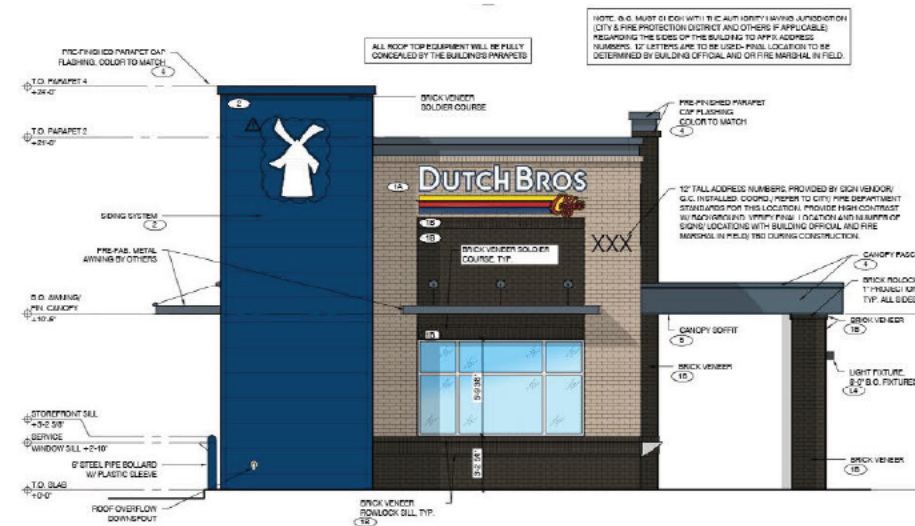
Front Elevations:	Masonry Materials (i.e. Brick, Stone, Cast Stone, Synthetic Stone)
Side Elevations:	Masonry Materials (i.e. Brick, Stone, Cast Stone, Synthetic Stone)
Rear Elevations:	Masonry Materials (i.e. Brick, Stone, Cast Stone, Synthetic Stone)



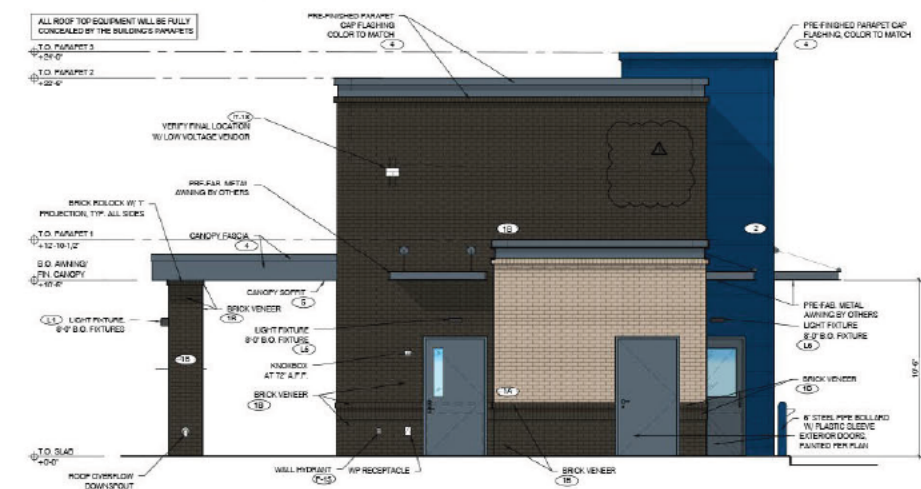
**LOT A**

<b>Building Setbacks</b>	
North Rutherford Boulevard:	42-feet
Yearwood Avenue:	42-feet
Internal Side Accessory Setbacks:	0-feet
External Side Setbacks:	15-feet

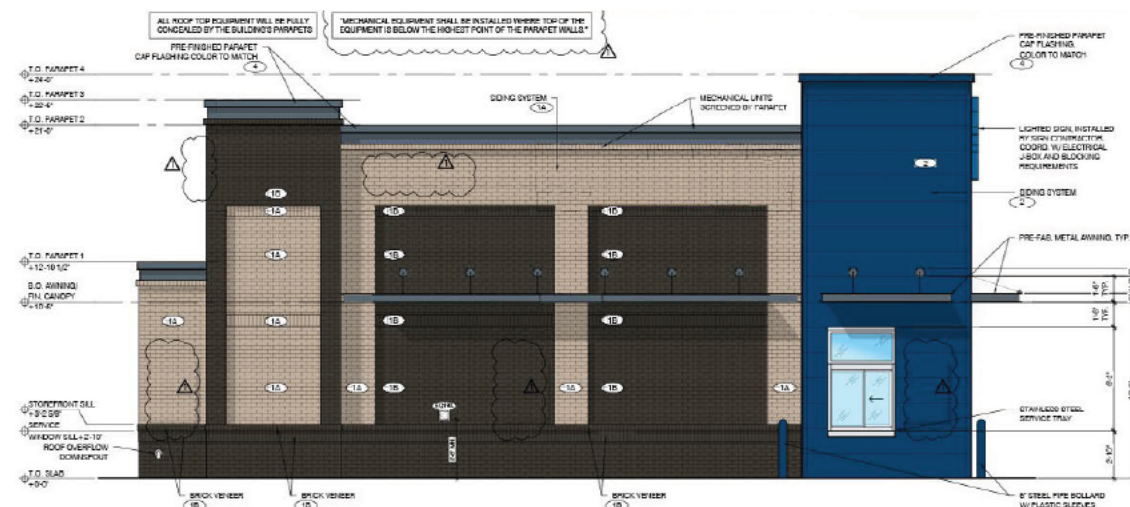




Building A - Western Elevation (Facing North Rutherford Boulevard)



Building A - Eastern Elevation (Facing Yearwood Avenue)



Building A - Northern Elevation (Facing Landscape Buffer)



Building A - Southern Elevation (Facing Lot 'B')



Elevation Key



Note: Signage placement and number of signs shown on these elevations to be determined with site plans and signage package approval with Codes Department.

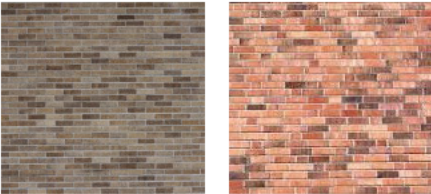


**Lot 'B' Architectural Characteristics:**

- Building heights shall not exceed 35 feet in height
- All buildings will be 1-story
- Buildings shall have a well-defined architectural base via different materials, colors, changes in pattern, or a combination of these techniques.
- Building foundations shall be accented with a 3-ft wide landscaping bed except where drive-through windows are provided.
- Main entrances are to be well defined and easily recognizable by the use of; raised roof lines, canopies, glazing, change in materials, change in color, and/or change in building planes.
- Masonry materials (brick, stone, cast stone, synthetic stone) will be the primary building materials.
- All buildings shall comply with the Murfreesboro Design Guideline standards.

**Building Materials:**

Front Elevations:	Masonry Materials (i.e. Brick, Stone, Cast Stone, Synthetic Stone)
Side Elevations:	Masonry Materials (i.e. Brick, Stone, Cast Stone, Synthetic Stone)
Rear Elevations:	Masonry Materials (i.e. Brick, Stone, Cast Stone, Synthetic Stone)



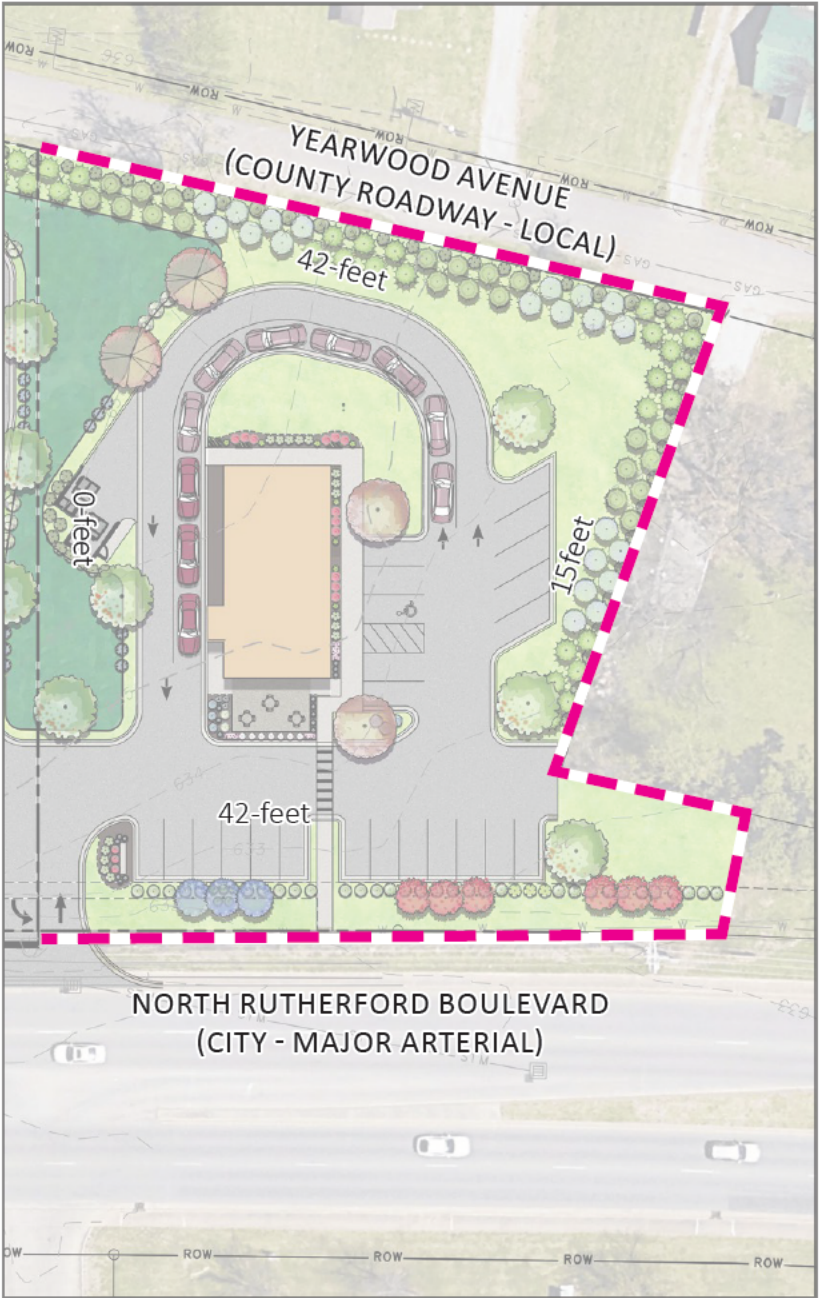
Examples of Brick  
(different colors will be allowed)



Examples of Stone Veneer  
(different colors, cuts, patterns will be allowed)



Examples of Hardy Board  
(different colors, cuts, patterns will be allowed)



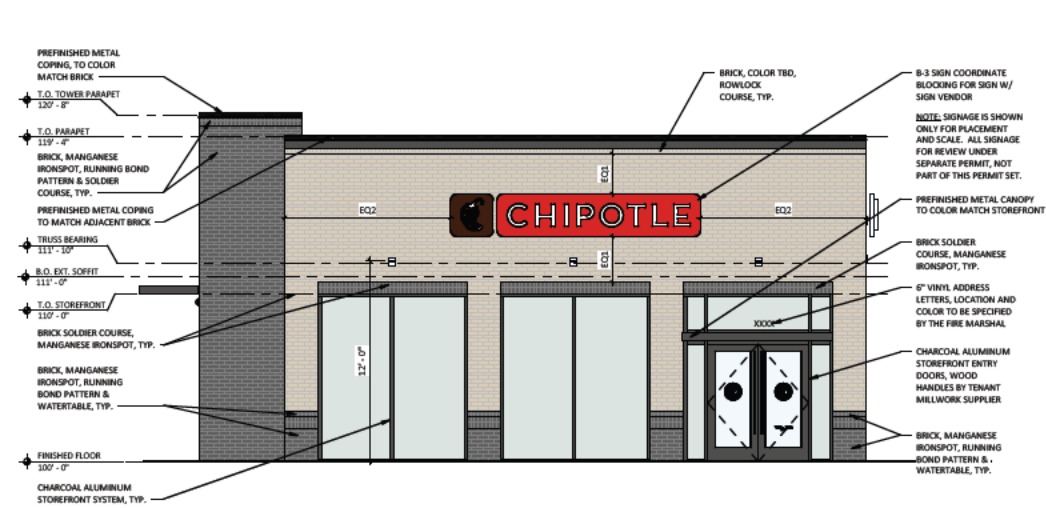
**LOT B**

<b>Building Setbacks</b>	
North Rutherford Boulevard:	42-feet
Yearwood Avenue:	42-feet
Internal Side Accessory Setbacks:	0-feet
External Side Setbacks:	15-feet

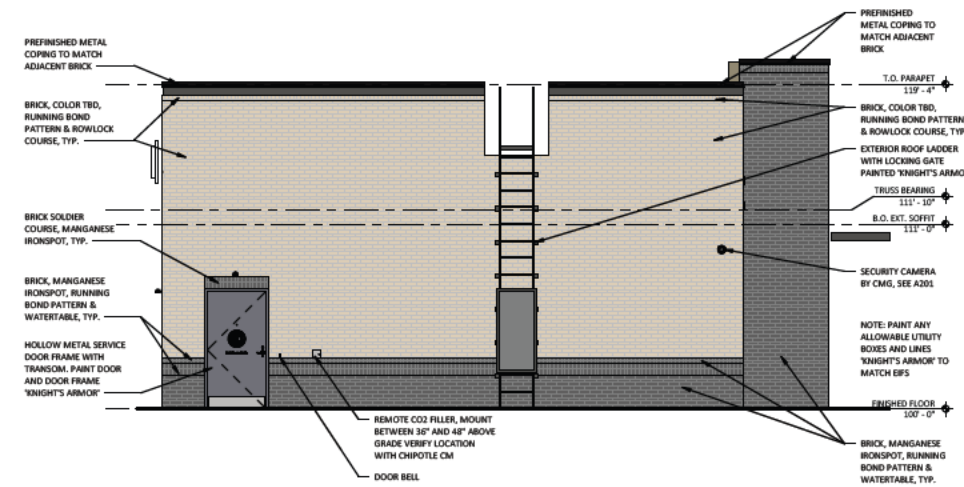


\*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

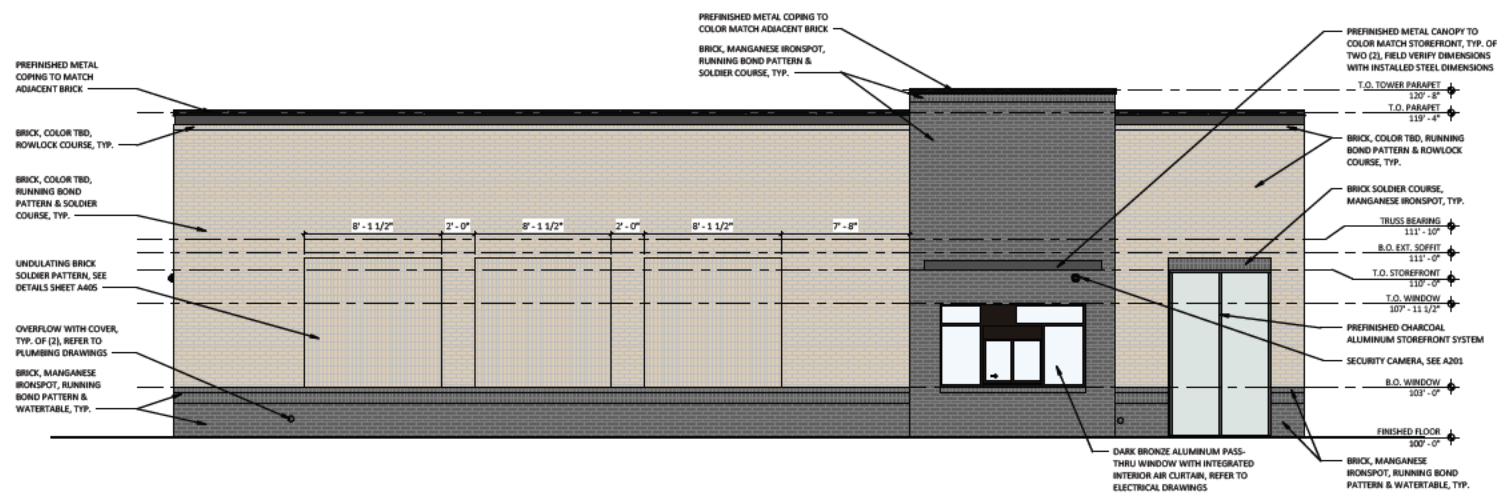




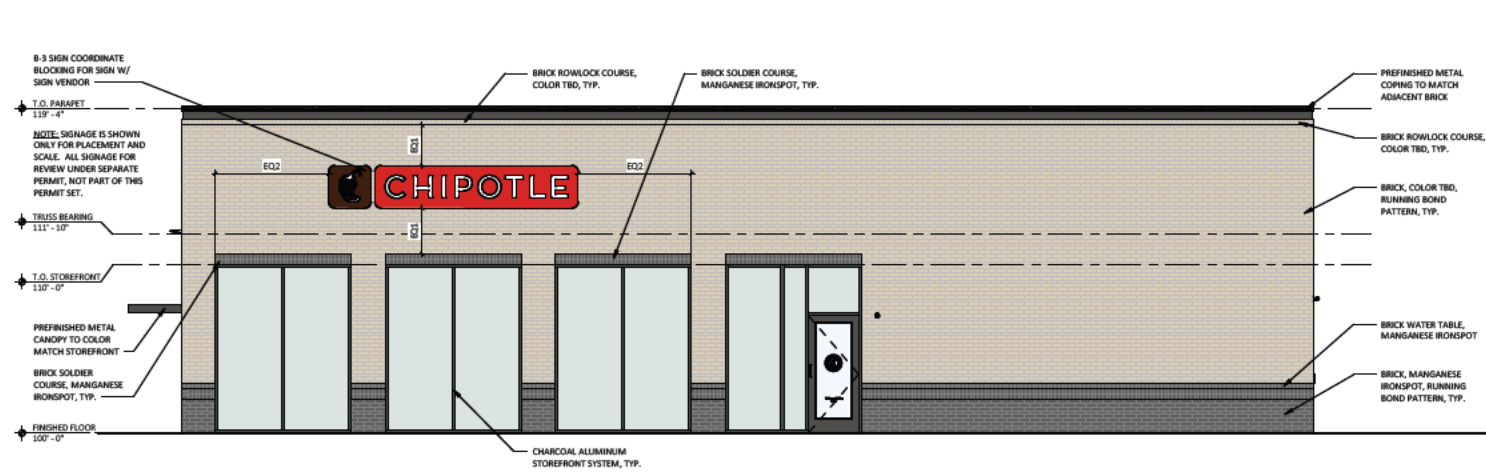
Building B - Western Elevation (Facing North Rutherford Boulevard)



Building B - Eastern Elevation (Facing Yearwood Avenue)



Building B - Northern Elevation (Facing Lot 'A')



Building B - Southern Elevation (Facing Landscape Buffer)

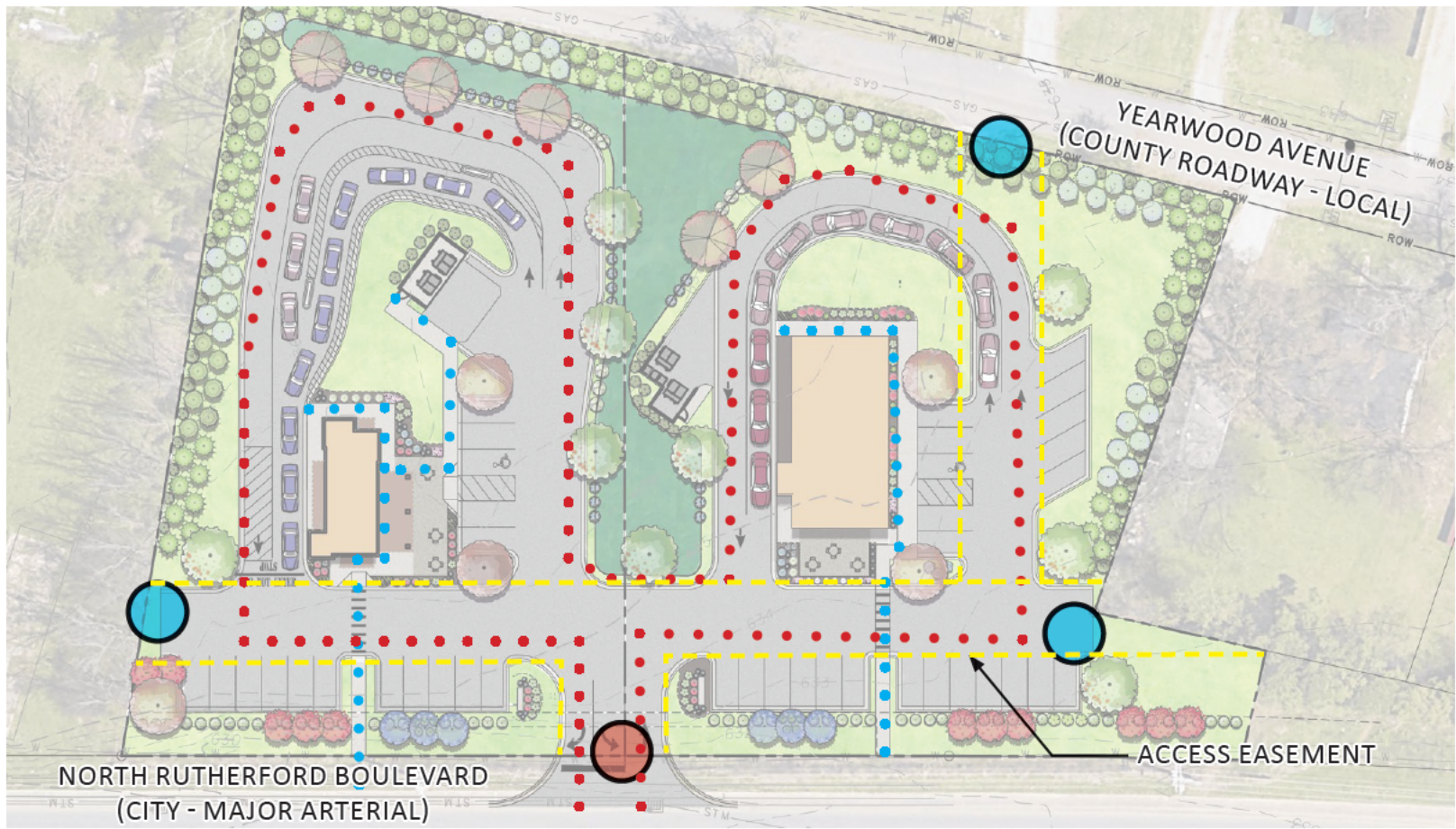


Elevation Key



Note: Signage placement and number of signs shown on these elevations to be determined with site plans and signage package approval with Codes Department.

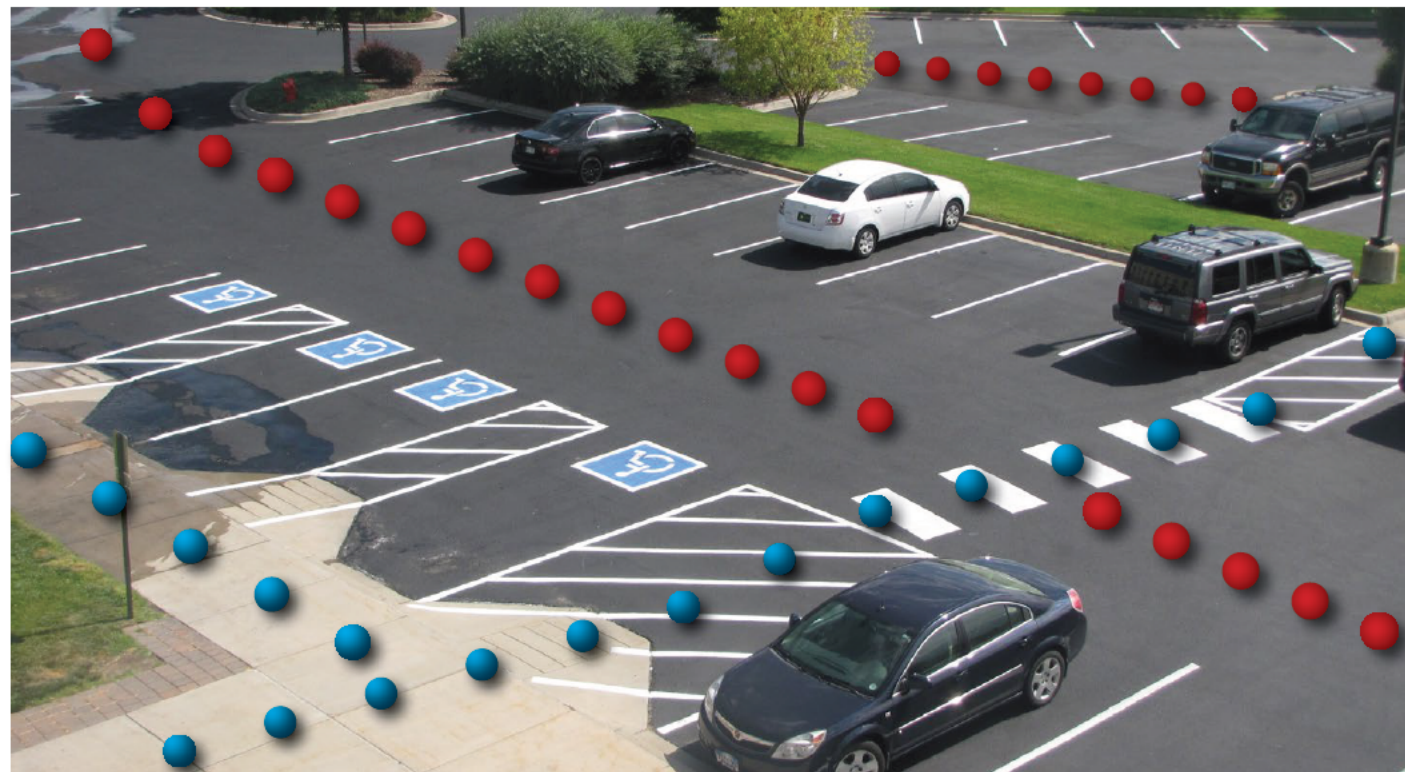




- Proposed Entrances
- Stubs for Future Cross Connections
- Pedestrian Circulation
- Vehicular Circulation
- Access Easement

Pursuant to the City of Murfreesboro’s 2040 Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for improvements. North Rutherford Boulevard is the thoroughfare where the majority of vehicular trips generated by this development will impact. It is currently built as a 4-lane roadway with a planted central median, and has sidewalks along both sides of the road

The primary means of ingress/egress from this site will be onto North Rutherford Boulevard. The proposed entrance will incorporate three travel lanes for proper circulation into and out of the development. The concept plan provides stubs for cross connectivity to potential future developments to the north, south and east. The illustration above shows the proposed entrance, proposed future cross connections, and vehicular/pedestrian circulation.



In areas where pedestrian and vehicular traffic conflict, cross-walks shall be provided as seen above. The pedestrian circulation within the site will be connected to the existing sidewalk along North Rutherford Boulevard.





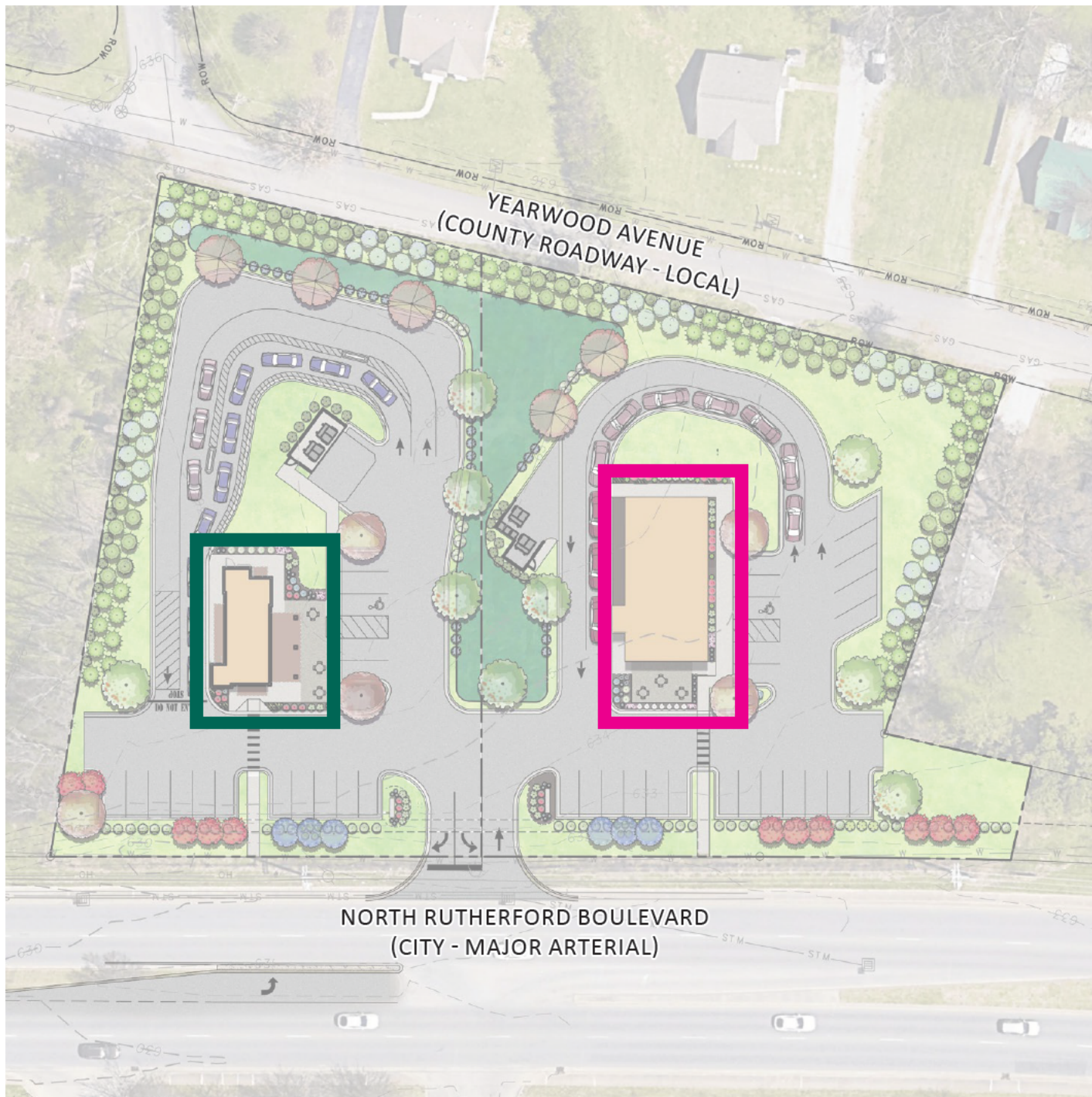
**Building A:**  
Mobile order pick-up only. No drive-thru ordering system proposed/allowed. Menu boards provided in drive-thru lanes shall not include ordering system.

**Building B:**  
Mobile order pick-up only. No drive-thru ordering system proposed/allowed.



N.T.S.





LOCATION MAP - AMENITIES

Not To Scale

With this request, East Side Village will be dedicating a minimum of 0.37 acres (approximately 20% of the site) to open space. The open space areas will be comprised of formal open spaces, detention areas, and landscape buffer yards. Formal open space areas around the development will offer such amenities as; public seating nodes, dining patios, and enhanced building entrances. Since North Rutherford Boulevard is on the City of Murfreesboro Bikeway Master Plan, each lot shall provide at least one bike rack to accommodate pedestrian circulation into the site. Sidewalks will be provided throughout the development and connect back to North Rutherford Boulevard to provide additional pedestrian circulation. Furniture for dining patios shall be tenant driven.



Example of Paver



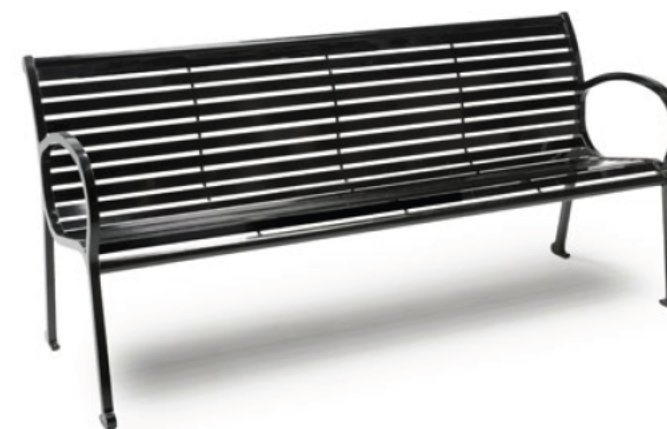
Example of Decorative Scored Concrete



Example of Bike Rack



Example of Dining Table

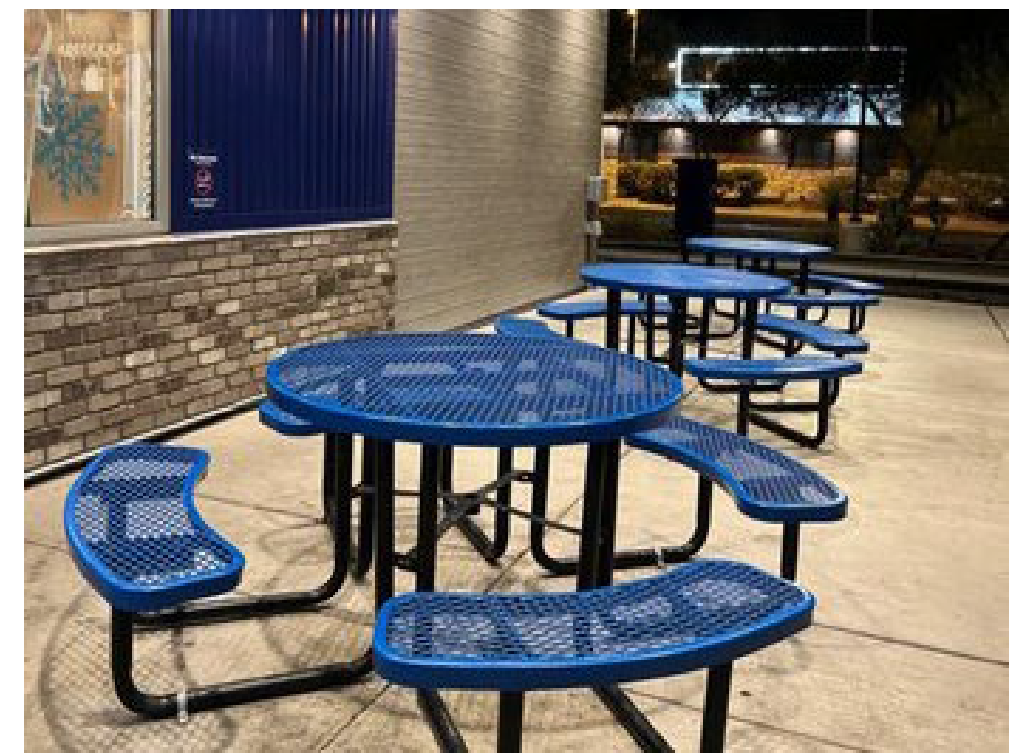
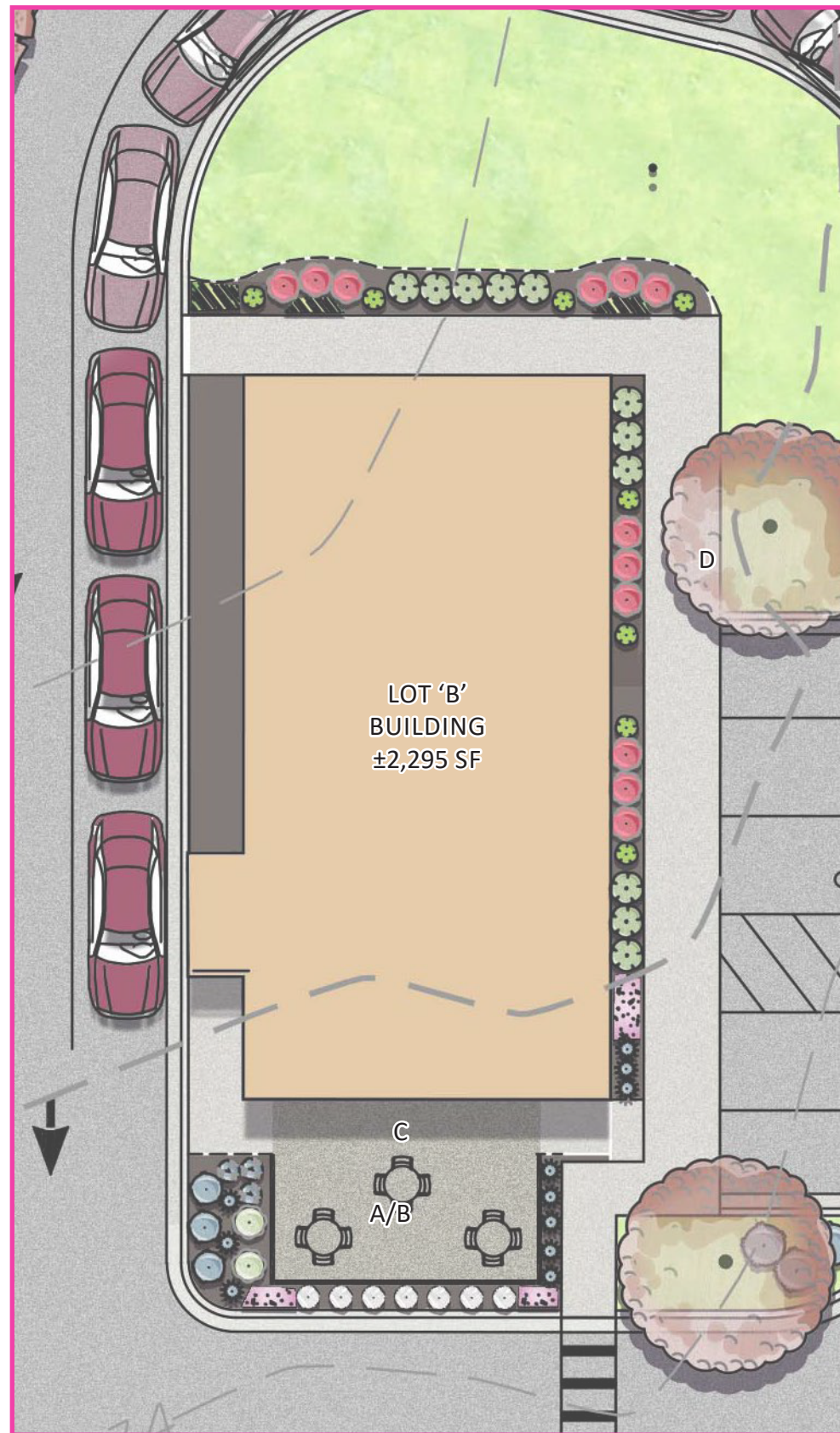
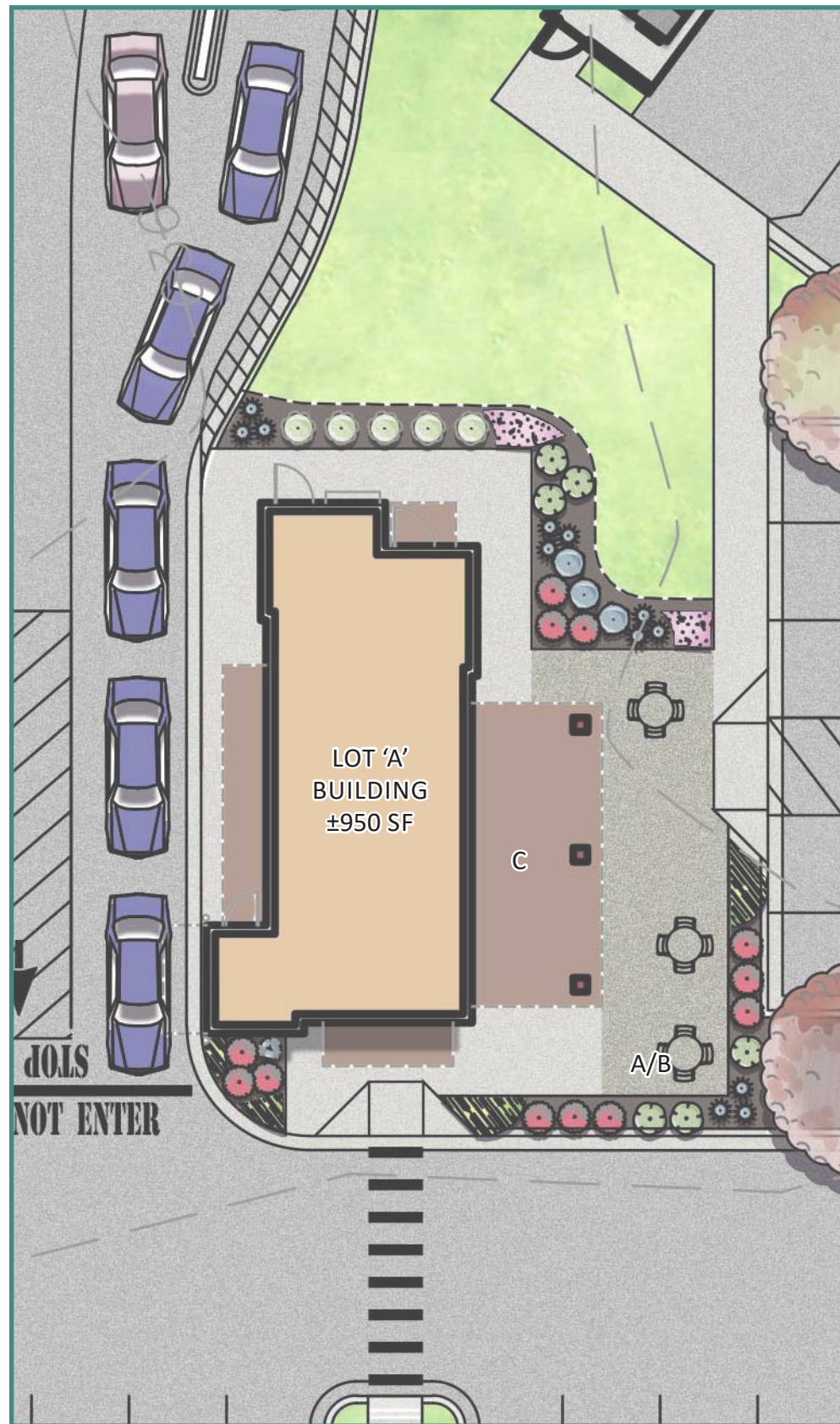


Example of Seating Bench



Example of Trash Can





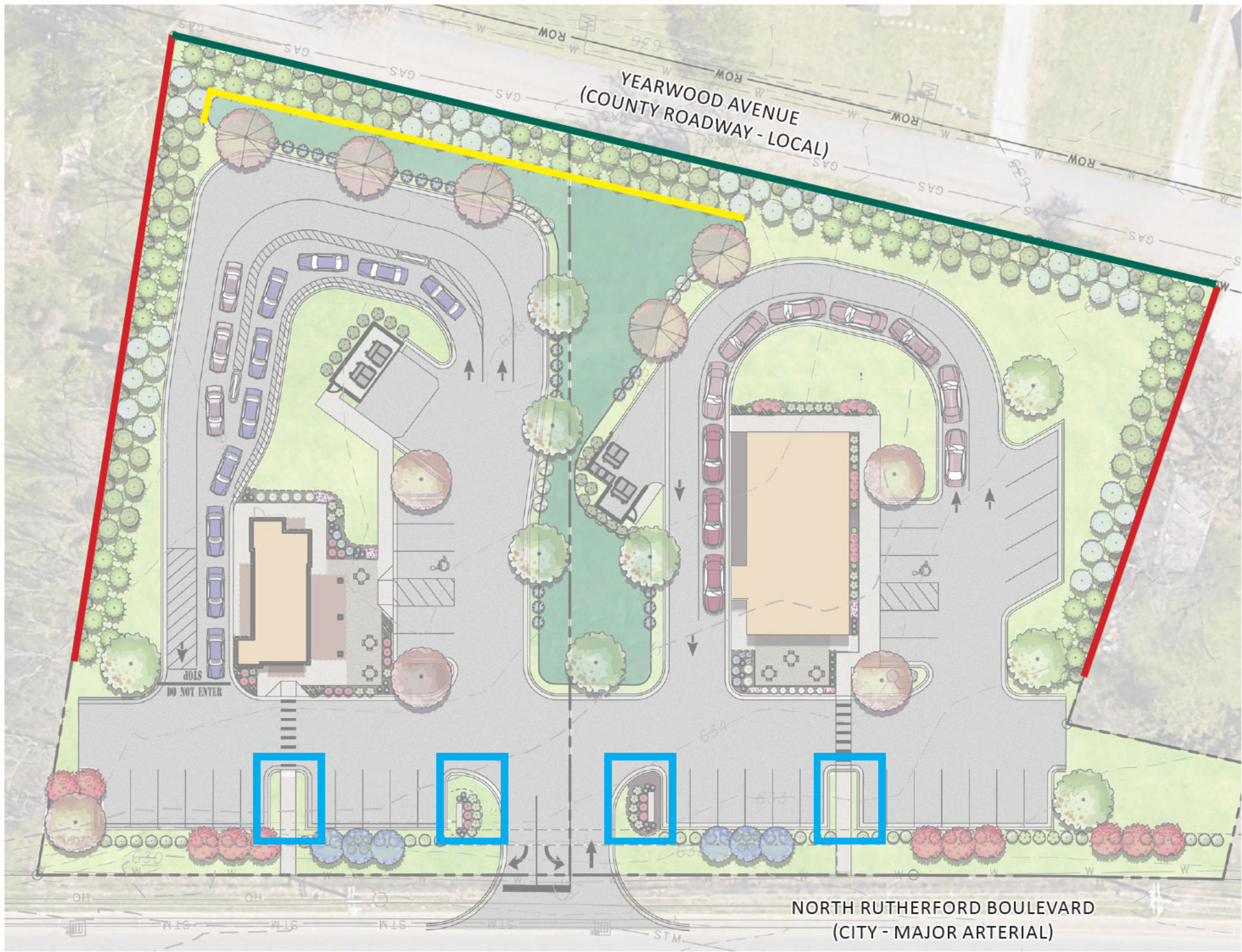
EXAMPLE OF LOT 'A' OUTDOOR SEATING AREA



EXAMPLE OF LOT 'B' OUTDOOR SEATING AREA

- A Outdoor Seating
- B Outdoor Dining
- C Improved Hardscape





- 15-ft Wide Type 'D' Option 1 Landscape Buffer with 6-ft tall solid fence & all plantings
- 15-ft Wide Type 'D' Option 1 Landscape Buffer with 6-ft tall black chain link fence & all plantings
- Tree Island Exception Request
- Stormwater Beautification Exception Request

- Requesting an exception to the (4) North Rutherford Boulevard entrance tree islands to utilize shrubs in lieu of trees.
- Requesting an exception that any portion of the stormwater facilities that are adjacent to buffers are removed from the stormwater beautification requirements.



The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the staff and visitors of the site, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

**Commercial Landscaping Characteristics:**

- A minimum 10-feet of landscape area between parking and all property lines.
- Public rights-of-way screened from parking by use of landscaping.
- The northern and southern perimeters of the property shall provide a 15-ft wide Type 'D' Option 1 Landscape Buffer to screen the property from adjacent residential homes, with 6-ft black chain link fence.
- The eastern property line along Yearwood Avenue shall provide a 15-ft wide Type 'D' Option 1 Landscape Buffer with 6-ft solid fence.
- The base of buildings will have a minimum 3-ft wide landscape bed with foundation plantings.
- Monument signage located at the entrance along roadways are to be constructed with materials consistent with building architecture and accented with landscaping.
- All mechanical equipment (i.e. HVAC and transformers) located on the ground to be screened with landscaping and/or fences. If mounted on the roof, they shall be screened by a parapet wall or architectural screening.
- Landscaping will be in conformance with the City of Murfreesboro's Landscape Ordinance.



EXAMPLE OF 6-FT SOLID FENCE



EXAMPLE OF 6-FT BLACK CHAIN-LINK FENCE



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- 1.)** A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.
- Response:** The exhibits given on Pages 3-6 meet this requirement.
- 2.)** A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wet-lands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.
- Response:** The exhibits given on Pages 3-6 meet this requirement.
- 3.)** A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.
- Response:** The exhibits given on Pages 3-6 meet this requirement.
- 4.)** A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.
- Response:** Pages 7-8 provide exhibits and standards that provides the required materials.
- 5.)** A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.
- Response:** Pages 7 &13 provide exhibits and standards that provides the required materials.
- 6.)** If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:
- (AA): The approximate date when construction of the project can be expected to begin.  
(BB): The order in which the phases of the project will be built.  
(CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage  
(DD): A breakdown by phase for subsections (5) and (6) above.
- Response:** The project is anticipated to be developed in one phase. Development is anticipated to begin within 180 days of rezoning approval, and will include all public infrastructure.
- 7.)** A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.
- Response:** The property is currently zoned PCD. The surrounding area has a mixture of residential and commercial properties. The concept plan and development standards combined with the architectural requirements of the buildings shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complement existing and future development in this area.
- 8.)** A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property

**Response:** See Page 19 for requested exceptions and setbacks.

- 9.)** A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio) and the O.S.R. (Open Space Ratio). These tabulations are for the PCD.
- Response:** This requirement has been addressed in the charts on Page 19.
- 10.)** The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article
- Response:** This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). This property lies in Zone X, and is not within the 100-year floodplain, according to the current FEMA Map Panel 47149C0280J eff. 5/9/2023.
- 11.)** The location and proposed improvements of any street depicted on the Murfreesboro 2040 Major Transportation Plan as adopted and as it may be amended from time to time.
- Response:** Pages 3 & 13 discusses the 2040 Major Transportation Plan.
- 12.)** The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.
- Response:** The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is CSC Properties, LLC. contact info for both is provided on cover.
- 13.)** Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.
- Response:** Page 10-12 show the architectural character of the proposed building and building materials listed.
- 14.)** If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.
- Response:** Examples of entrance signage are located on Page 10.



OVERALL SITE

TOTAL SITE AREA	84,638 s.f.	1.94 AC	100.00%
TOTAL MAXIMUM FLOOR AREA	3,245 s.f.	0.07 AC	3.61%
TOTAL LOT AREA	84,638 s.f.	1.94 AC	100.00%
TOTAL BUILDING COVERAGE	3,245 s.f.	0.07 AC	3.61%
TOTAL DRIVE/ PARKING AREA	39,893 s.f.	0.92 AC	47.42%
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC	0.00%
TOTAL LIVABLE SPACE	44,745 s.f.	1.03 AC	53.09%
TOTAL OPEN SPACE	16,927 s.f.	0.39 AC	20.00%
FLOOR AREA RATIO (F.A.R.)	0.04		
LIVABILITY SPACE RATIO (L.S.R.)	0.46		
OPEN SPACE RATIO (O.S.R.)	0.96		

LOT 'A'

TOTAL SITE AREA	39,771 s.f.	0.91 AC	100.00%
TOTAL MAXIMUM FLOOR AREA	950 s.f.	0.02 AC	0.02%
TOTAL LOT AREA	39,771 s.f.	0.91 AC	100.00%
TOTAL BUILDING COVERAGE	950 s.f.	0.02 AC	0.02%
TOTAL DRIVE/ PARKING AREA	21,473 s.f.	0.49 AC	53.85%
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC	0.00%
TOTAL LIVABLE SPACE	18,298 s.f.	0.42 AC	46.15%
TOTAL OPEN SPACE	7,954 s.f.	0. 18 AC	20.00%
FLOOR AREA RATIO (F.A.R.)	0.02		
LIVABILITY SPACE RATIO (L.S.R.)	0.44		
OPEN SPACE RATIO (O.S.R.)	0.98		

LOT 'B'

TOTAL SITE AREA	44,867 s.f.	1.03 AC	100.00%
TOTAL MAXIMUM FLOOR AREA	2,295 s.f.	0.05 AC	4.85%
TOTAL LOT AREA	44867 s.f.	1.03 AC	100.00%
TOTAL BUILDING COVERAGE	2,295 s.f.	0.05 AC	4.85%
TOTAL DRIVE/ PARKING AREA	18,420 s.f.	0.42 AC	40.78%
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC	0.00%
TOTAL LIVABLE SPACE	26,447 s.f.	0.60 AC	58.25%
TOTAL OPEN SPACE	8,973 s.f.	0.21 AC	20.00%
FLOOR AREA RATIO (F.A.R.)	0.06		
LIVABILITY SPACE RATIO (L.S.R.)	0.49		
OPEN SPACE RATIO (O.S.R.)	0.94		

Land Use Parameters and Building Setbacks				
Zoning (Existing vs Proposed)	CF (Most Relevant)	PCD (Existing)	Proposed PCD	Difference
Residential Density				
Maximum Dwelling Units Multi-Family	N/A	N/A	N/A	N/A
Minimum Lot Area	N/A	N/A	N/A	N/A
Minimum Lot Width	N/A	N/A	N/A	N/A
Minimum Setback Requirements				
Minimum Front Setback	42'	42'	42'	0'
Minimum Side Setback	10'	15'	15'	0'
Minimum Internal Side Accessory Setback	5'	N/A	0'	-5'
Minimum Rear Setback	20'	N/A	NA	N/A
Minimum Ordering System Setback	200'	N/A	No Ordering Speaker System Proposed	N/A
Land Use Intensity Ratios				
MAX F.A.R.	None	None	None	N/A
Minimum Livable Space Ratio	None	None	None	N/A
Minimum Open Space Requirement	20%	40%	20%	0%
Minimum Formal Open Space Requirement	3%	3%	3%	0%
Max Height	45'	35'	35'	-10'
Buffer Zone Requirements				
Required Landscape Buffers	15-ft Wide Type 'D' Buffer Along Northern and Southern Perimeters	15-ft Wide Type 'D' Option 1 Along Northern and Southern Perimeters, and a 15-ft Wide Type 'D' Option 2 Along Eastern Perimeter with 6-ft Tall Opaque PVC Fence and 50% Plantings.	15-ft Wide Type 'D' Option 1 with 6-ft Tall Chain Link Fence Along Northern and Southern Perimeters, and a 15-ft Wide Type 'D' Option 1 with Vinyl Fence Along Eastern Perimeter; All 3 Perimeter Buffers shall Provide Full Plantings.	Addition of 6-ft Chain Link Fence Along Northern and Southern Perimeters, and Changed Eastern Perimeter to a Type 'D' Option 1 Without Reduced Plantings.

REQUESTED EXCEPTIONS:

- Requesting an exception to the required 15-ft wide Type ‘D’ landscape buffer along the northwest and southwest corners of the property to allow for future connections to adjacent properties.
- Requesting an exception to allow outdoor dining spaces for commercial properties to be counted towards formal open space requirements.
- Requesting an exception to the (4) North Rutherford Boulevard entrance tree islands to utilize shrubs in lieu of trees.
- Requesting an exception that any portion of the stormwater facilities that are adjacent to buffers are removed from the stormwater beautification requirements.
- Requesting an exception that the internal side setback for accessory structures be reduced from 5' to 0'.



**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JANUARY 8, 2025  
PROJECT PLANNER: HOLLY SMYTH**

**5.d. Zoning application [2024-422] for approximately 3.88 acres located along South Bilbro Avenue along East Castle Street to be rezoned from RS-8 & CCO to PND (First Baptist Church Murfreesboro PND) & CCO, First Baptist Church Murfreesboro applicant.**

The study area includes 9 existing parcels totaling approximately 3.88 acres that are located along both sides of East Castle Street and the west side of South Bilbro Avenue and includes the main campus of First Baptist Church at 738 East Castle Street. The applicant, First Baptist Church, is requesting to rezone all subject parcels to Planned Institutional District (First Baptist Church Murfreesboro PND). The church has been growing over the years and is in need of additional parking for its main campus and has acquired adjacent properties for such purpose. The PND is being requested as parking lots are prohibited as a principal use of a property City-wide.

Both South Bilbro Avenue and East Castle Street are designated as local streets. All 9 parcels are currently zoned RS-8 (Single-Family Residential District) & CCO and are within the City limits. The below table provides more specific information on each of the parcels to be included in the rezoning request to Planned Institutional District (PND).

<u>Use</u>	<u>Tax Map &amp; Parcel and potential address</u>	<u>Acreage</u>	<u>Notes</u>
Main Church campus (1953 & 2004 circa)	Tax Map 102D, Group G, Parcel 008.00 738 East Castle Street	1.57 acres	To remain
Single family home (1932 circa)	Tax Map 102D, Group F, Parcel 008.00 312 South Bilbro Avenue	0.27 acres	To demolish
Single family home (1951 circa)	Tax Map 102D, Group F, Parcel 009.00 316 South Bilbro Avenue	0.52 acres	To demolish
Single family home (1927 circa)	Tax Map 102D, Group F, Parcel 010.00 318 South Bilbro Avenue	0.27 acres	To demolish
Single family home (1927 circa)	Tax Map 102D, Group F, Parcel 011.00 320 South Bilbro Avenue	0.27 acres	To demolish
Single family home (1927 circa, with columns from the 1800's)	Tax Map 102D, Group F, Parcel 012.00 324 South Bilbro Avenue	0.29 acres	To demolish
Single family home (1900 circa)	Tax Map 102D, Group F, Parcel 013.00 326 South Bilbro Avenue	0.21 acres	To demolish
Surface parking	Tax Map 102D, Group F, Parcel 014.00 731 East Castle Street	0.26 acres	To remove & replace
Legal non-conforming barber shop business (1950 circa)	Tax Map 102D, Group F, Parcel 016.00 725 East Castle Street	0.21 acres	To demolish





None of the 7 structures anticipated to be demolished appear to be on the National register of historic places or historic districts nor are they in any of the City's historic districts, including this one at 324 S. Bilbro pictured here from the program book.

### **Neighborhood Meeting**

A neighborhood meeting took place on the project on December 9, 2024 at the First Baptist Church sanctuary at 738 East Castle Street. Notification was provided to a 500' radius from the project boundaries by the applicant. Approximately 22 persons attended and were generally supportive of the project. However, one neighbor asked if the church could look into the existing light fixtures on the main church parcel to address the glare towards the neighborhood and the street. Additionally, another neighbor asked if the sidewalks could be extended along the west side of South Bilbro Avenue, north of the project site, to connect to East State Street. Along this same line, staff noticed a gap between the 2 parking lots on East Castle that should also have connecting sidewalks. The City's Public Infrastructure Division has indicated that if the applicant designs both sections of sidewalks in front of these areas, then the City can build that portion of the sidewalk as funds become available.

### **Adjacent Zoning and Land Uses**

Surrounding zoning is RS-8 to the north and portions of the west and east, RS-4 on portions of the west and east, RD (Residential Duplex) to a portion of the east and south, and the Mercury-Parkside PUD (Planned Unit District) to the south as shown on page 3 of the program book. The immediately adjacent surrounding land uses are predominantly single-family detached homes, some duplexes, and one small apartment. The various single-family residential subdivision names surrounding the project site are shown on page 4 of the program book.

### **Proposed PND**

The main church campus has had multiple Board of Zoning Appeals (BZA) approvals since 1997 to include special use permits for expansions to the original building and parking in the existing RS-8 zone as well as a height variance. Prior approvals that currently remain in full force and effect are as follows:

<b>File Number</b>	<b>Pertinent Address</b>	<b>BZA request</b>
BZA 1997-048	738 E Castle Street	Expand church facility
BZA 2000-027	738 E Castle Street	To conduct church revival
BZA 2001-021	738 E Castle Street	Expand church facility
BZA 2001-035	738 E Castle Street	Height variance
BZA 2003-022	731 E Castle Street	Additional parking lot



This request for rezoning to Planned Institutional District (PND) will entitle the development of permanent parking lots tied to the church use to accommodate its growing congregation. This new zoning would become the development document for the property versus receiving multiple new approvals from the BZA. Page 8 of the program book shows the conceptual site and landscape plan anticipated for the overall church facility.

The existing church building with its additions contains approximately 18,718 square feet of area. Of this area, 4,680 square feet are within the ground floor of the main sanctuary and another 2,047 square feet are in the balcony area (for a total of 6,727 square feet), which contains 550 seats (but the original BZA approval was for 611 capacity). The required parking is 1 space for each 8 fixed or mobile seats in the auditorium or sanctuary or largest place of assembly within the facility, requiring 69 parking spaces now (or 76 spaces at the approved capacity). Currently, 46 regular and 6 handicapped spaces are located on-site with the church building and 27 regular plus 1 handicapped spaces are located across the street at the 731 East Castle Street location. After the project is constructed a total of 205 spaces will exist for the church, representing 125 net new spaces which is a total of 136 surplus parking spaces.

***Landscape, streetscape, and lighting:*** Page 8 of the program book shows a proposed layout of the new parking areas north of and across East Castle Street from the main church campus with anticipated landscape, streetscape, and lighting. Page 9 has more specific details as it relates to landscape and circulation. A Type B 10' landscape buffer is required and proposed along most property lines of the parking lots adjacent to RS-8 zoning with a 6'-tall privacy fence, which allows a 50% reduction to the required tree planting plus required shrubs to screen parking when new development occurs. There are 3 property lines that staff recommends 4' fence to better address safety and security of CEPTED policies, on the northside and westside of parking Lot A closest to South Bilbro Avenue and the eastside of the smaller parking Lot B. Given its small size, the eastern side of Lot B is also proposed to just have parking lot screening shrubs with the 4' fence rather, without trees for better visibility while maintaining adequate buffering to neighboring property. These deviations to a 4' fence with 50% landscaping and just parking screening shrubs would be an exception request to the Type B buffer in these areas. If the church is able to acquire the property in between Lot A and Lot B in the future, they would like to incorporate into the parking area, but would need to come back for an amendment to the PND zoning.

Sidewalks are also proposed along the west side of South Bilbro Avenue and the north side of East Castle Street within the street right-of-way along the parcels owned by the Church. Sidewalk is also proposed along the interior of the largest parking lot to serve as a walking area for the church and the neighborhood. As mentioned above, the City's Public Infrastructure Division has indicated that if the applicant designs gap sidewalks sections, then the City can build those portions of the sidewalk as funds become available.

It is anticipated that 8 parking lot light poles would be added to Lot A which could not exceed 20' in height. Should the main church site have buildings that exceed 35' in height, pole lights can be up to 30' in height. The PND proposes 16' pole heights along the perimeter but does not state the height for those at the center of the largest parking lot.



The Zoning Ordinance provides the following provisions about lighting:

- 1) "Lighting should satisfy the objectives of security while creating a pleasing visual environment. "
- 2) "Selective site and building accent lighting is encouraged for public protection and security, walkways and parking areas, as well as non-defensible public space (i.e., hidden nooks, exterior stairwells, dead end spaces) should be adequately lighted."
- 3) "All lighting fixtures shall be shielded to prevent glare and light shall not be distributed beyond an angle of thirty-five (35°) degrees from a vertical plane onto surrounding properties."
- 4) "Lighting shall be designed so that illumination does not exceed one-half (1/2) foot candle beyond the property line."
- 5) On-site lighting fixtures in residential developments shall not exceed 16' in height. For nonresidential developments with structures 35' or less in height, fixtures shall not exceed 20' in height .
- 6) "Multi-family and single-family attached developments, exterior lighting levels for parking and walkways shall be a minimum of 0.5 foot-candles."

Based on this information, new lighting should be installed to maintain a minimum 0.5 candle watts in the parking lot and along the pedestrian sidewalks, not exceed 0.5 candle watts at the property lines, have proper shielding, and limit all new pole lighting to 16' maximum heights given the sensitive residential surroundings. This sentence should be incorporated into the development standard on page 09 of the program book prior to the City Council hearing on the zone change to clarify on lighting requirements.

***The hours of operation*** proposed for the church office and Monday through Thursday 8am to 5pm. Sunday services are held between 8am – 2 pm with services currently at 8am, 9:45am, and 11:45am. Other church activity occurs Monday through Friday 6pm – 8pm. Special events are generally held on Saturdays between 8am – 9 pm on an as needed basis. No building expansions are anticipated at this time. Should new buildings, building additions or further parking lot expansion be proposed, an amendment to the PND zoning would be required.

***Exceptions*** are shown in the Program Book page 11 based on the comparative zones of OG, RS-8, and CCO development standards of setbacks, lot size, lot width, building height, open space, formal open space, and lot coverage between each of these districts and the proposed PND zone. The revised PND program book calls out four exceptions as follows:

- Allow parking lot as the sole use of lots 'A' and 'B' accessory to the church building and use, which are located off-site (excepting Sections 25(B)(7) and 25(C)(6) of the Zoning Ordinance).
- Exclude formal open space requirement within the CCO district for non-residential uses.
- Allow an exception to Type 'B' Buffer along the southwestern portion of Lot 'A' and the northern portion of Lot 'A' to utilize a 4' high fence (instead of 6' high), with 50% tree plantings and parking lot screening shrubs shown on page 10 of the program book.



- Allow an exception to Type 'B' Buffer along the east property lines of Lot 'B' to only include a 4' tall fence and parking lot screening shrubs shown on page 10 of the program book.

## **Future Land Use Map**

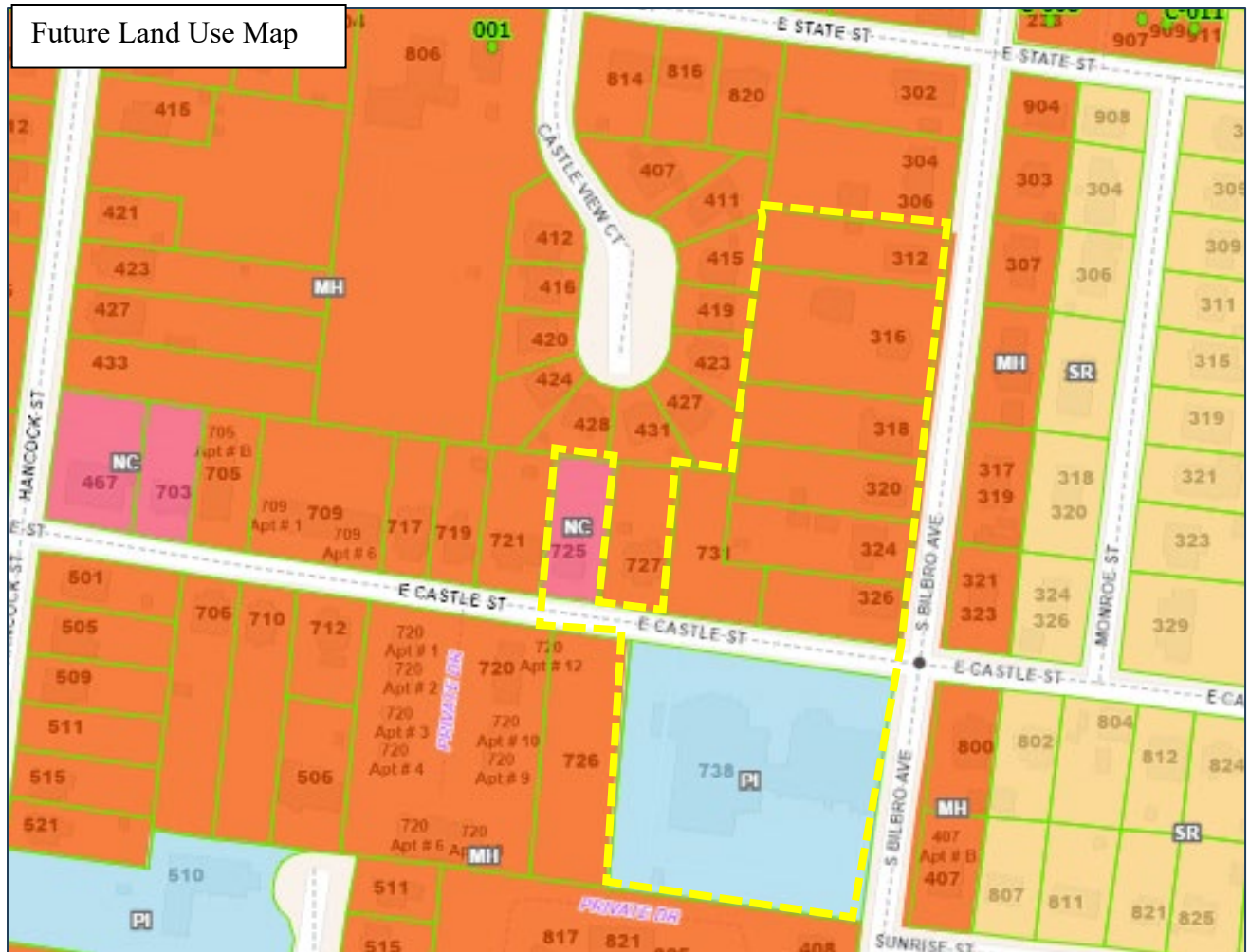
The future land use map (FLUM) contained in the Murfreesboro 2035 Comprehensive Plan, designates most of the area proposed to be devoted to parking as MH-Mixed Form Housing, with 725 East Castle being designated NC-Neighborhood Commercial, and the church site as PI-Public/Private Institution.

The MH-Mixed Form Housing character “provides the greatest variety of housing options. The Mixed Form Housing areas are residential in character with a mixture of single-family detached and single-family attached two-, three- and four-unit residential buildings that keep in character with the surrounding neighborhood. Commercial, Office, Live/Work, or Institutional uses may be appropriate only at a scale that maintains the traditional residential character and reflect the scale and context of the area.” Compatible zoning districts include RS-10, RS-8, RS-6, RS-A1, RS-A2, RS-A3, Duplex Residential District (R-D), Planned Residential Development (PRD), Planned Unit Development (PUD), and other Zoning districts to be evaluated on a case-by case basis.

The NC – Neighborhood Commercial character is generally outside the downtown and “are commercial and office nodes that are automobile oriented but designed at a neighborhood scale and cater to pedestrians in Neighborhood Commercial configurations. Rather than designing linear strips, these neighborhood commercial centers occupy much smaller building footprints than typical businesses found at significant transportation intersections and provide neighborhood conveniences such as drug stores, professional services, and boutique retail uses. Small food markets are often accompanied by convenience stores and personal service establishments such as banks, dry cleaners, and small-scale drug stores. The Neighborhood Commercial category also includes residences that have been converted into professional offices.” Compatible zoning districts include CF, OG, CM, PCD/PUD, with other Zoning districts to be evaluated on a case-by case basis. This future land use character was placed on the one parcel given its current commercial use as a barber shop.

The PI - Public/Private Institution character land uses include improved parcels and facilities that are held in the public interest. This category encompasses major City, County, or State-owned facilities, plus other public and private buildings and sites with an institutional nature. Development types include municipal buildings, police and fire stations, public or private schools, religious facility, wetlands, hospitals, cemeteries, public utility facilities. Characteristics include a high degree of visitation and/or pedestrian activity in some cases, with people coming and going throughout the day. Facilities may also “have special parking and passenger drop-off requirements.” Suggested zoning districts include CU, PND, P, some residential districts with a special use permit, and other Zoning districts to be evaluated on a case-by case basis.





All the properties include various forms of Planned Development districts as a compatible zoning district. In addition, both the MH and the PI characters identify institutional uses as being compatible development types. Staff believes the proposed PND zoning is consistent with the Future Land Use Map designations described above. If the rezoning is adopted, staff recommends the FLUM be revised in the future to reflect Public/Private Institution designation (PI) for all properties included in this request.

### **Department Recommendation**

Staff is supportive of this rezoning request for the following reasons:

- 1) It is consistent with the future land use map and comprehensive plan.
- 2) The existing off-site parking lot will be demolished to incorporate into a new lot that will conform to the City's landscape standards.
- 3) Heavy landscape buffers and various fencing types are included around both offsite parking areas to help mitigate any potential negative impacts on the adjacent residential uses. In addition, if designed with the surrounding neighborhood in mind, institutional uses such as churches are generally seen as being compatible with adjacent residential uses.



- 4) The new parking lot incorporates an internal and external sidewalk system that can serve as a walking track amenity for the church and the neighborhood.
- 5) Expanding the parking will help the church better accommodate its growing congregation so that it can remain at its current location, which has been an important component of this neighborhood for decades.
- 6) Numerous vehicles currently park in the public street during service times. Additional off-street parking for the church will greatly lessen the need and demand for on-street parking associated with church functions.

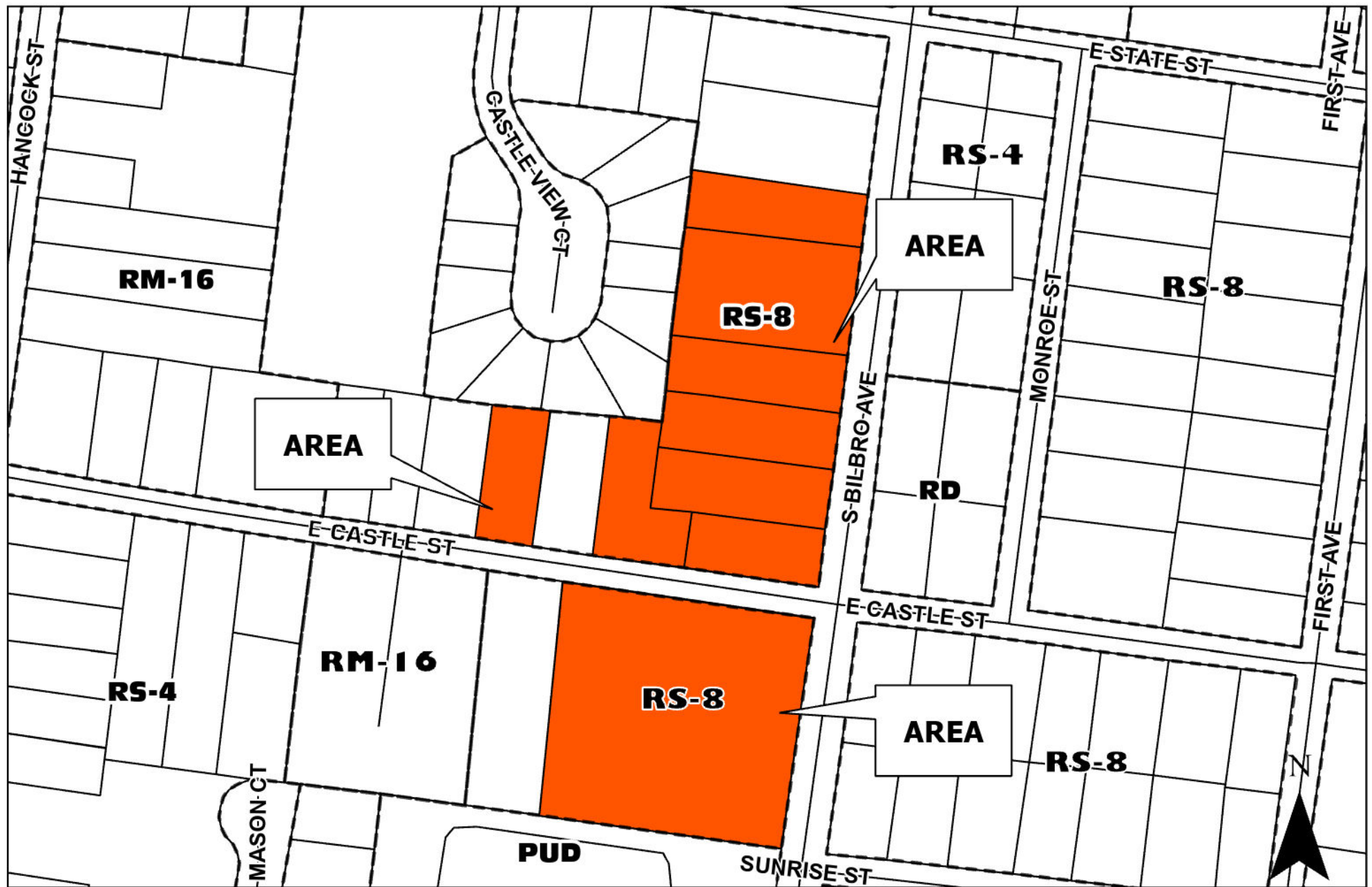
### **Action Needed**

The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should conduct a public hearing and then formulate a recommendation to City Council.

### **Attachments:**

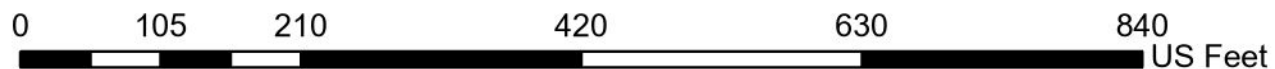
- NoOrtho Map
- Ortho Map
- Updated Program Book



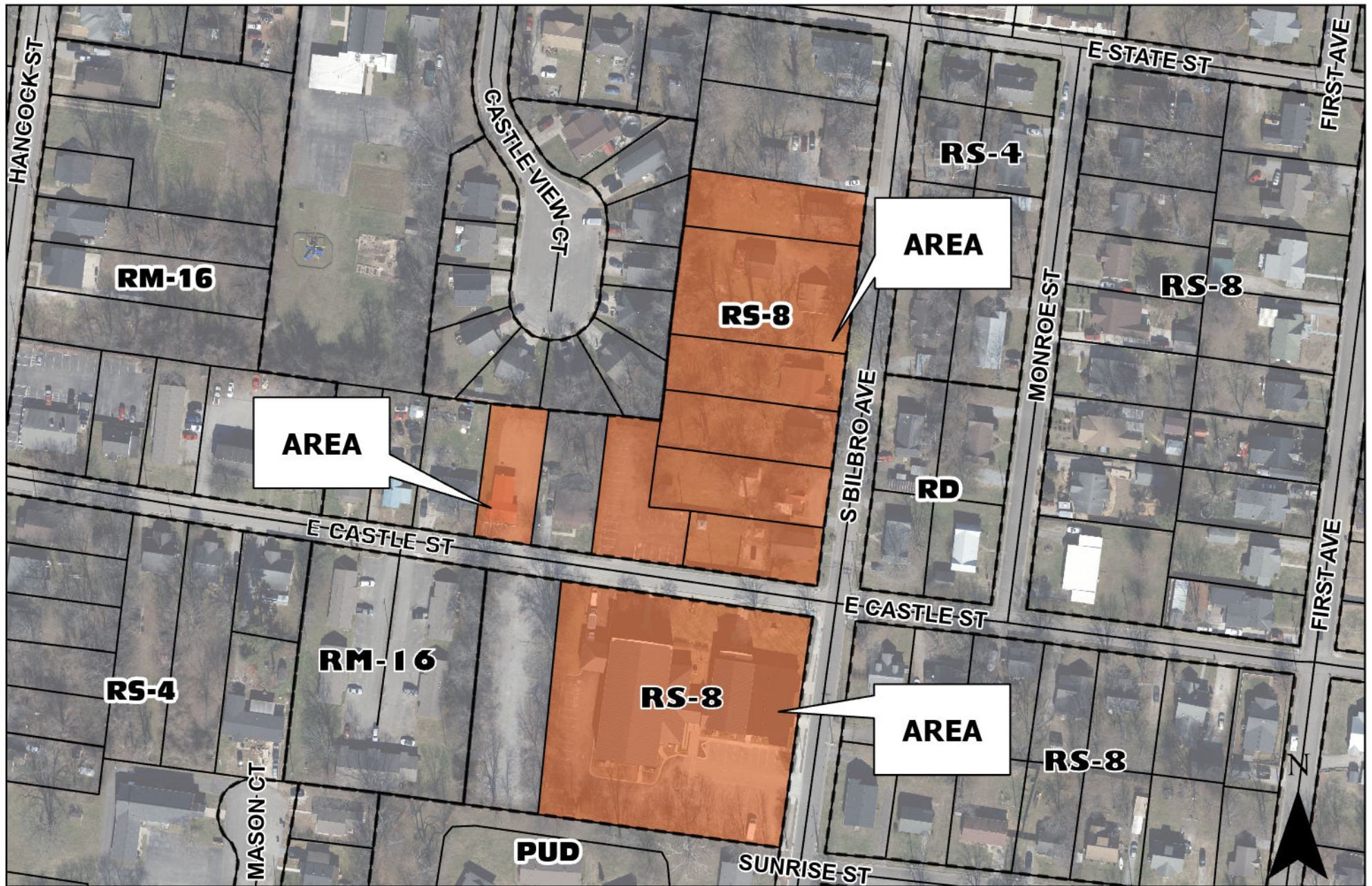


Rezoning request for property located along East Castle Street & South Bilbro Avenue  
RS-8 & CCO to PND (First Baptist Church Murfreesboro PND) & CCO

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

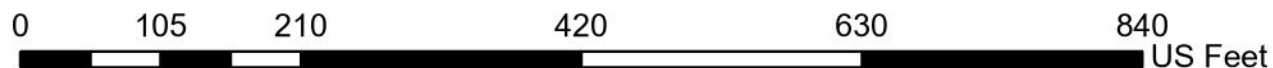






Rezoning request for property located along East Castle Street & South Bilbro Avenue  
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Planning Department  
City of Murfreesboro  
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Murfreesboro, TN 37130  
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# FIRST BAPTIST CHURCH MURFREESBORO PND

A REQUEST FOR REZONING FROM SINGLE-FAMILY RESIDENTIAL (RS-8) & CITY CORE OVERLAY (CCO) TO PLANNED INSTITUTIONAL DISTRICT (PND)/(CCO)

312, 316, 318, 320, 324, & 326 South Bilbro Avenue and 725, 731 & 738 E. Castle Street Murfreesboro, Tennessee



SEC Project #24264



## Initial Submittal

November 14th, 2024

## Resubmitted

December 12th, 2024 for the  
December 18th, 2024  
Planning Commission Meeting

## Resubmitted

December 26th, 2024 for the  
January 8th, 2025  
Planning Commission Public Hearing

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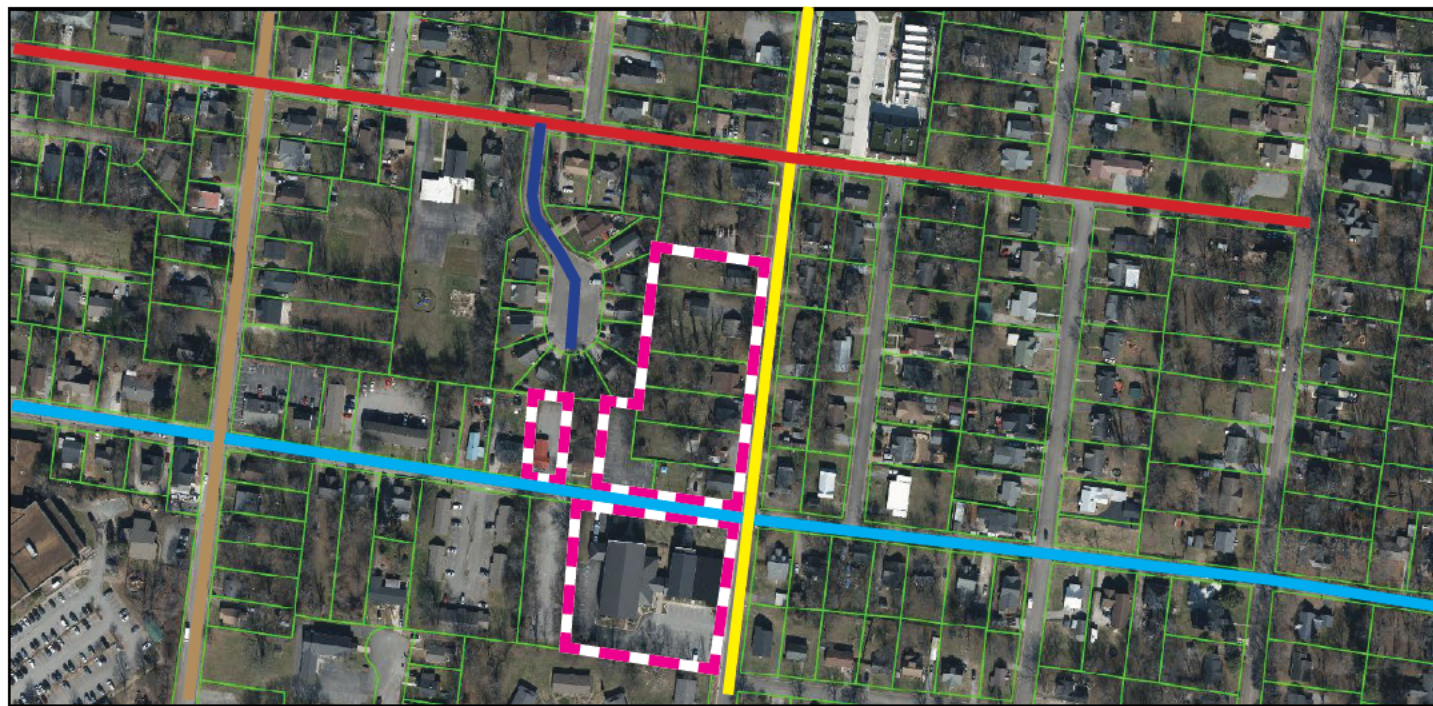
Company Name: First Baptist Church Murfreesboro  
Profession: Owner  
Attn: Warren Russel  
Phone: 615-893-5322  
Email: [REDACTED]  
Web: www.fbcmurfreesboro.org

738 East Castle Street  
Murfreesboro, Tennessee 37130

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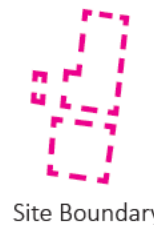




AERIAL PHOTOGRAPH

Not To Scale

- East Castle Street
- South Bilbro Avenue
- East State Street
- Castle View Court
- Hancock Street
- First Baptist Church Murfreesboro Site

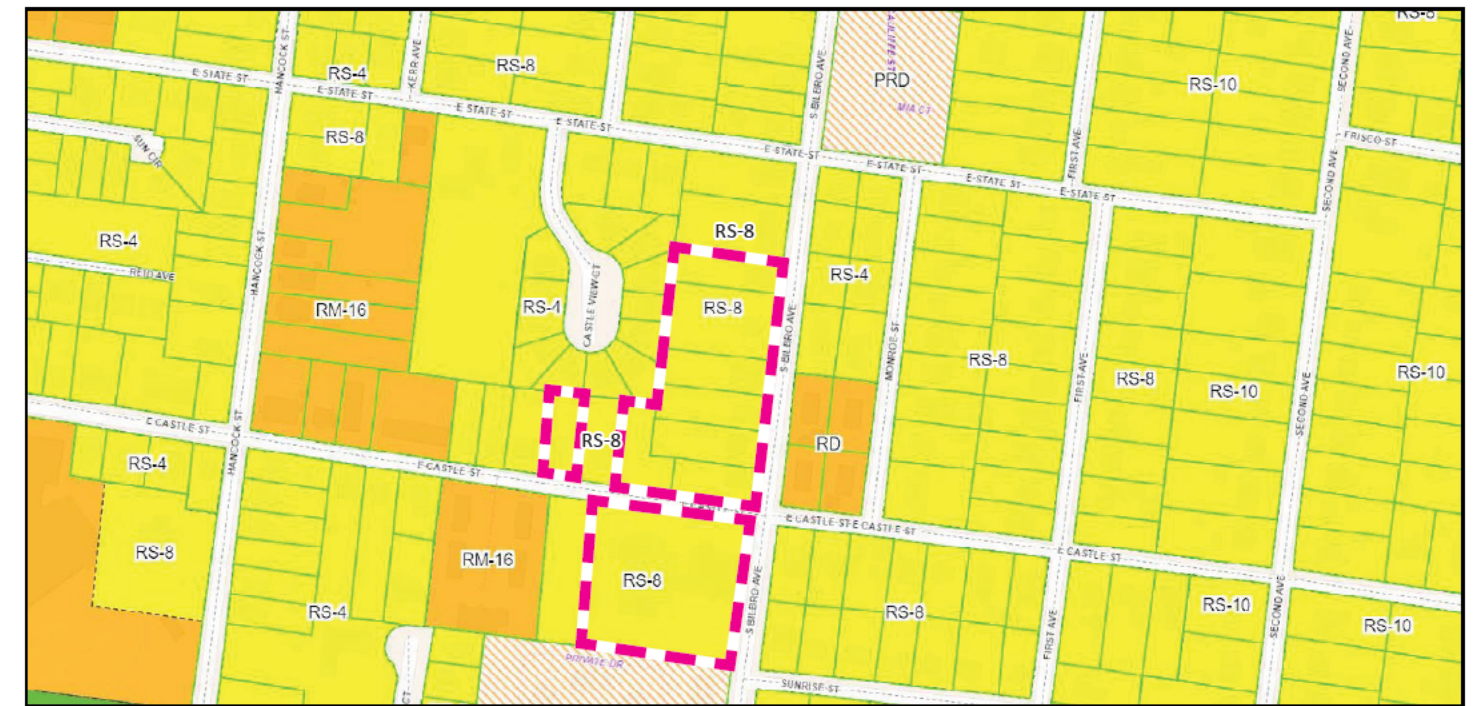


Site Boundary

First Baptist Church Murfreesboro respectfully requests rezoning of the First Baptist Church properties which involves a total of nine (9) lots known as 312, 316, 318, 320, 324, & 326 South Bilbro Avenue and 725, 731, and 738 East Castle Street from Single-Family Residential (RS-8) within the City Core Overlay (CCO) to Planned Institutional District (PND) within the City Core Overlay (CCO). The property is located along the western side of South Bilbro Avenue and along both sides of East Castle Street. The site is identified as Parcels 8.00, 9.00, 10.00, 11.00, 12.00, 13.00, 14.00, and 16.00 of Tax Map 102D Group F and Parcel 8.00 of Tax Map 102D Group G, for a total approximate area of 3.88 acres.

The request to rezone to a Planned Institutional District (PND) aims to create permanent adjacent parking lots for First Baptist Church Murfreesboro, located northwest of the East Castle Street and South Bilbro Avenue intersection. Between 1975 and 2024, Murfreesboro experienced substantial growth, with its population rising from approximately 27,000 to around 165,000—a five-fold increase, or about 511%. This rapid growth, in part, reflects Murfreesboro’s expanding urban and residential appeal as one of Tennessee’s fastest-growing cities, influencing various infrastructure needs, including increased parking for growing congregations, such as First Baptist Church of Murfreesboro.

The development will consist of approximately 205 standard surface parking spaces on 2.31 acres. Parking shall be utilized by the First Baptist Church Murfreesboro for regular congregations, funerals, weddings, and other events held by the church. The existing parking lot being utilized, across East Castle Street, by the church shall be removed and replaced with parking that meets the City of Murfreesboro’s design standards and to provide a more cohesive design with pedestrian connections. Landscaping shall be provided per the CCO standards and sidewalks provided along the East Castle Street and South Bilbro Avenue rights-of-ways.



ZONING MAP

Not To Scale

- RS-4 Residential Single-Family (RS-4)
- RS-8 Residential Single-Family (RS-8)
- RS-10 Residential Single-Family (RS-10)
- RM-16 Residential Multi-Family (RM-16)
- PRD Planned Residential District (PRD)
- RD Residential Duplex (Rd)



Site Boundary

The surrounding area consists of a mixture of zoning types and land uses. The land to the north and part of the west are zoned RS-8, a portion of the land to the west is zoned RS-4 and RS-8. Land to the east is zoned RS-4 and RD, land to the south is zoned PUD. This development is within the CCO.

The Murfreesboro Future Land Use Map Amendment proposes this area as Mixed Form Housing (MH), Suburban (Neighborhood) Commercial (NC), and Public/Private Institutional (PI). The character of the MH land use includes a mixture of single-family detached and attached housing with traditional residential character, and an emphasis

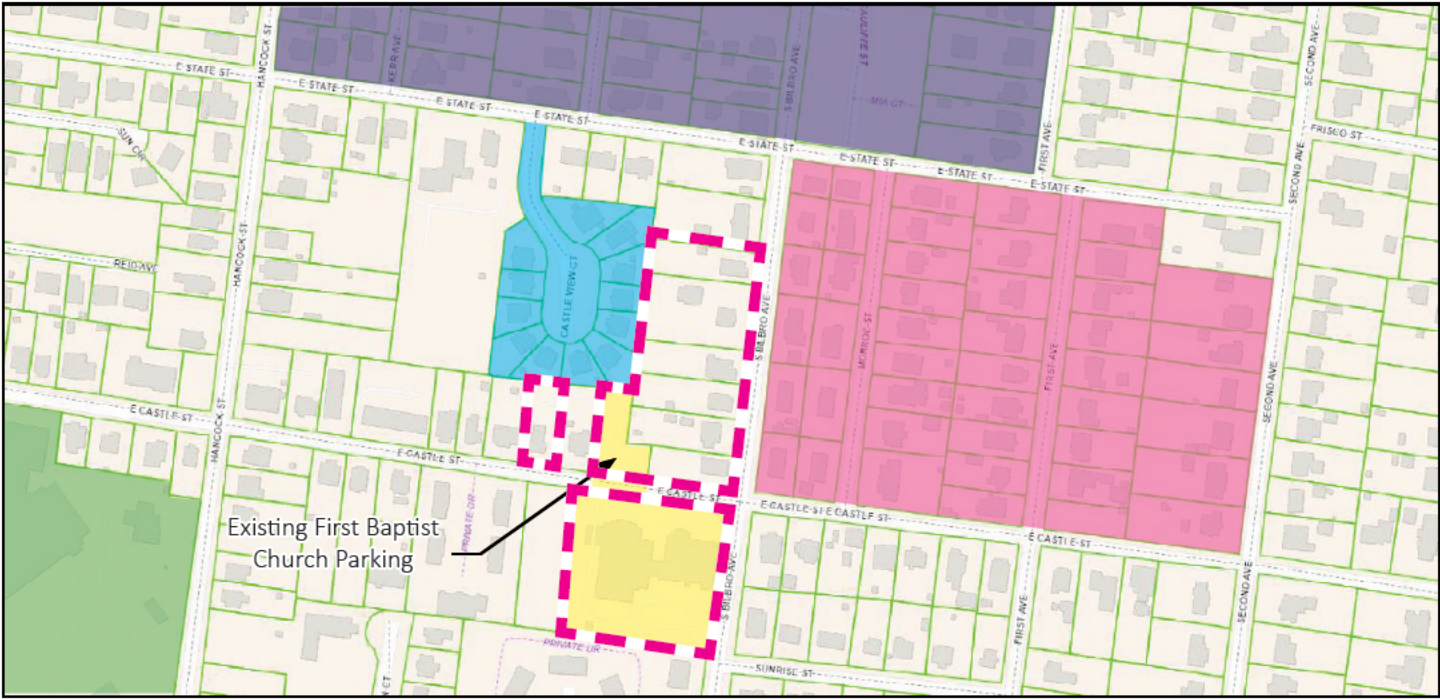


2035 FUTURE LAND USE PLAN

on street facing facades and the pedestrian network. Generally compatible zoning districts for MH include RS-10, RS-8, RS-6, RS-A1, RS-A2, RS-A3, RD, PRD, and PUD, with other district considered on a case by case basis. The Neighborhood Commercial (NC) character area is intended for small commercial or office sites that are to serve the surrounding neighborhoods with everyday conveniences such as the current barbershop business located at 725 East Caste Street. While the PI character area includes improved parcels and facilities that are held in the public interest and is generally compatible with CU and PND development. These PI facilities have special parking and passenger drop-off requirements associated with their specific uses.

The proposed development does not align with the Murfreesboro Future Land Use Plan in terms of provided use proposed zoning. Nor are parking lots allowed as a stand alone use within the CCO district. However, the church’s foundation in the mid-1970s predates the city core overlay district by roughly 25 years, showing that the need for additional parking accommodates both Murfreesboro’s growth and the evolving needs of a longstanding local institution.

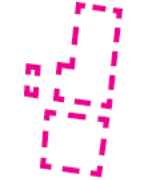




SUBDIVISION MAP

Not To Scale

- Castlevue
- Black & Bragg
- First Baptist Church
- Patterson Park
- Bilbro

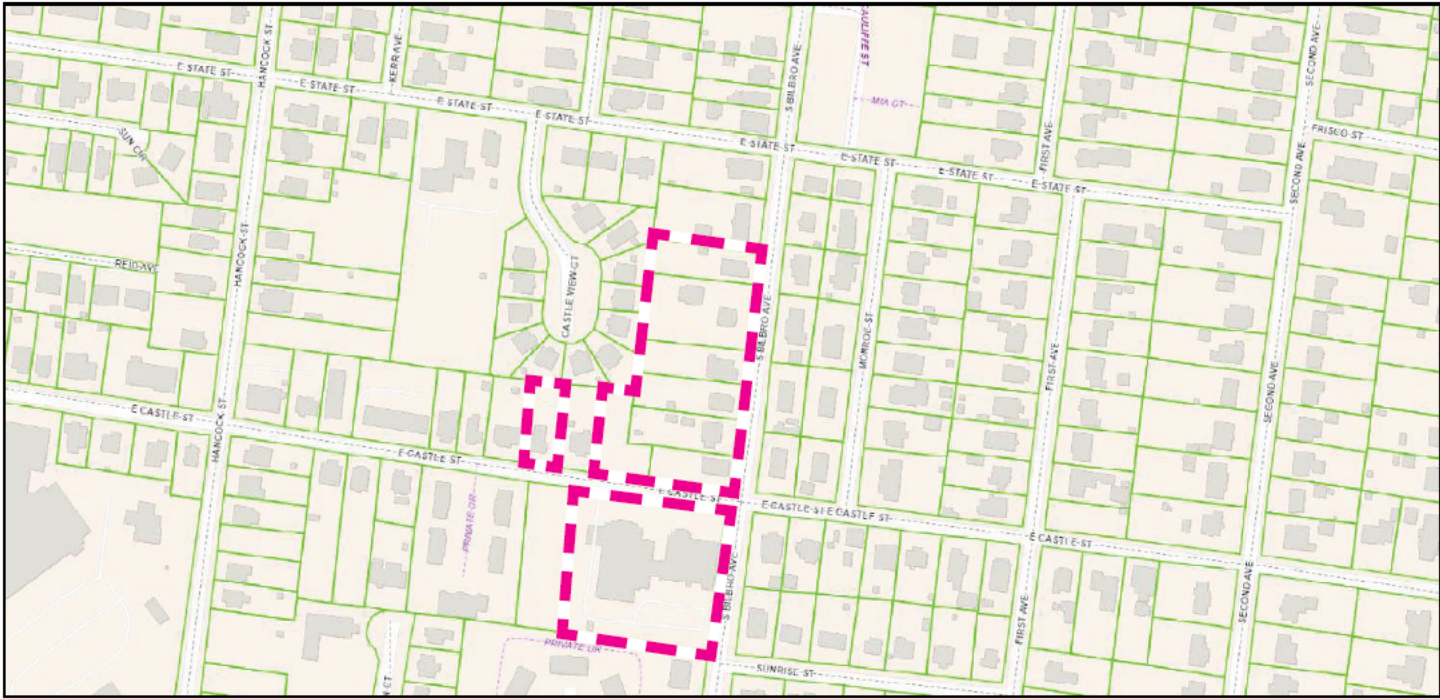


Site Boundary

First Baptist Church PND is surrounded by a mixture of residential dwelling types. Most of the dwellings surrounding this development are one to two-story single-family detached homes. These homes consist of a mixture of masonry materials.

Patterson Park to the west provides multiple amenities including; Wee Care Day Care Center, the Patterson Park Community Center, the Living Water Worship Center, and a number of athletic/sport amenities.

Castlevue is a residential subdivision to the west of this development. This development consist of one-story single-family detached homes. Elevations for the homes consist primarily of vinyl material along all elevations. There is one point of ingress/egress from this development onto East State Street



2040 MAJOR TRANSPORTATION PLAN

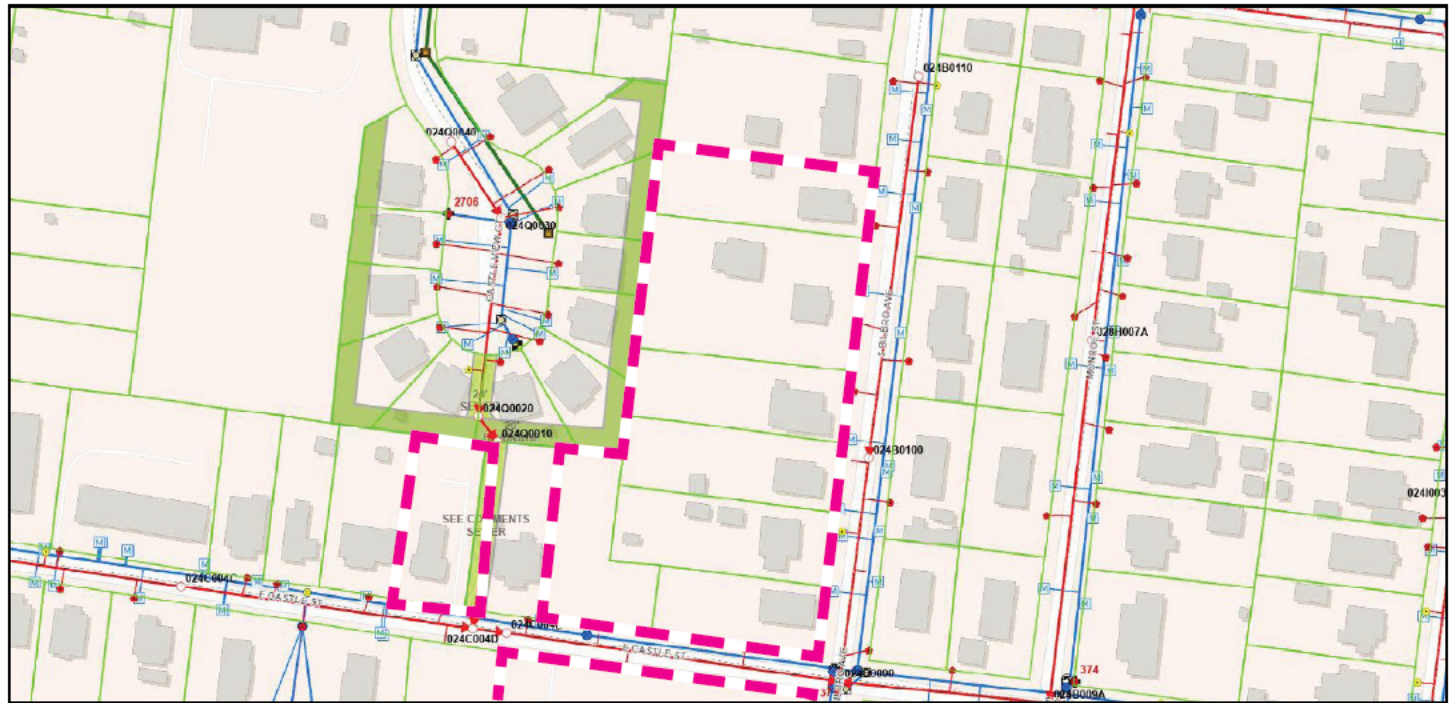
Not To Scale



Site Boundary

The property has/will have access to the existing public rights-of-way of East Castle Street through one entrance, and access to South Bilbro Avenue through two entrances. East Castle Street and South Bilbro Avenue are classified as local streets, and are not designated for any roadway improvements on the City of Murfreesboro's 2040 Major Transportation Plan. East Castle Street is currently built as a two-lane roadway with curb and gutter on both sides of the road, and a sidewalk along the southern side of the road. South Bilbro Avenue is currently built as a two-lane roadway with curb & gutter on both sides of the road.





UTILITY MAP

Not To Scale

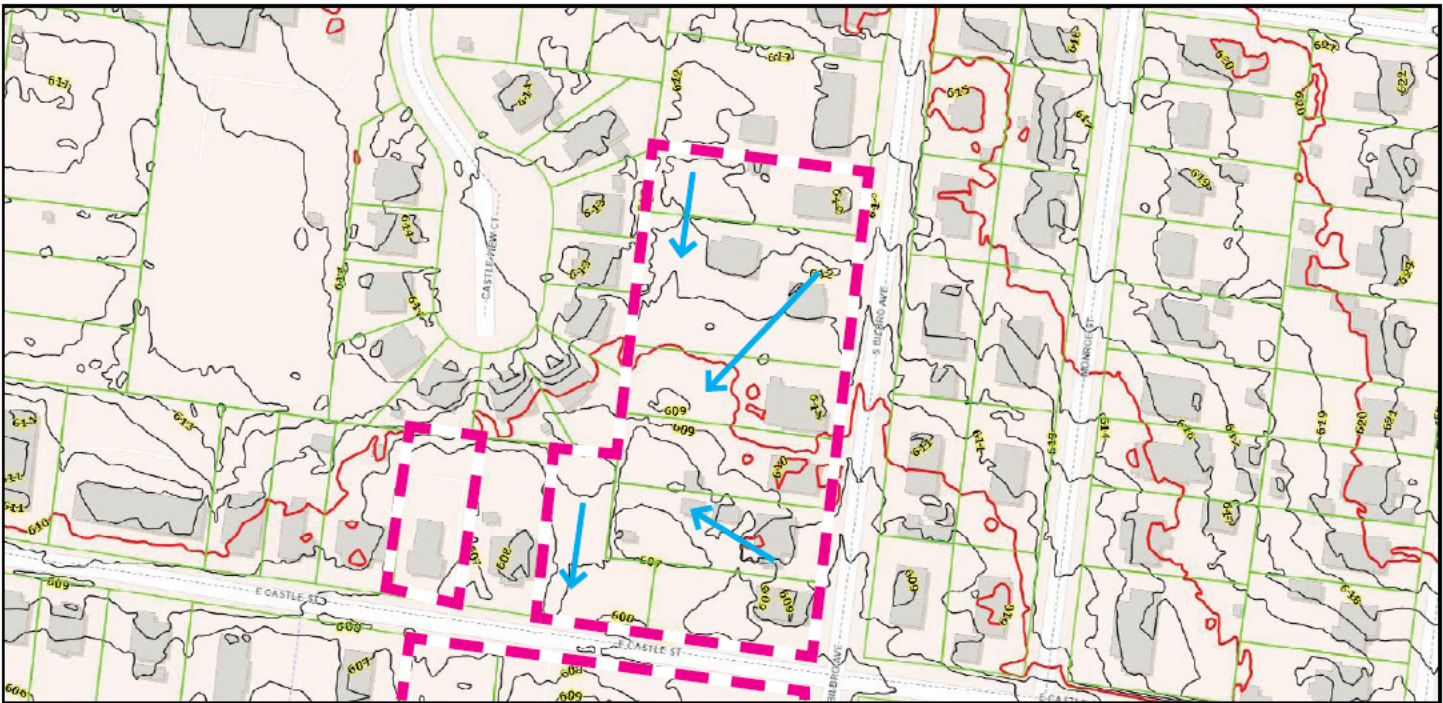


Water service will be provided by the Murfreesboro Water Resources Department. There is an existing 8 inch cast iron water line along East Castle Street, and a 6" water line along South Bilbro Avenue for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service. Existing water service to the lots may be able to provide for irrigation water to the landscaped parking area.

Additional sanitary sewer services will not be provided with this development.



Electric service will be provided by Middle Tennessee Electric. Service will be extended from East Castle Street and South Bilbro Avenue. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY AND TOPOGRAPHY

Not To Scale



The topographic map above shows the site's topographic high point generally along the northern and eastern perimeters of the site. From these high point, the property drains towards the south/southwest. Stormwater that drains off this site flows into the existing stormwater system along East Castle Street. Stormwater from this site ultimately drains into Lytle Creek.

This site does not lie within a 100-year or 500-year floodplain or floodway per FEMA Flood Panel 47149C0260J eff. 5/9/2024.



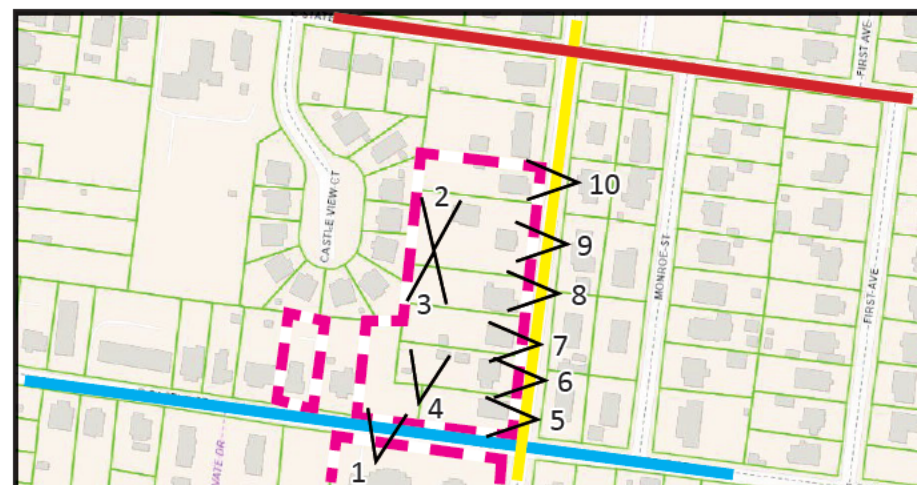


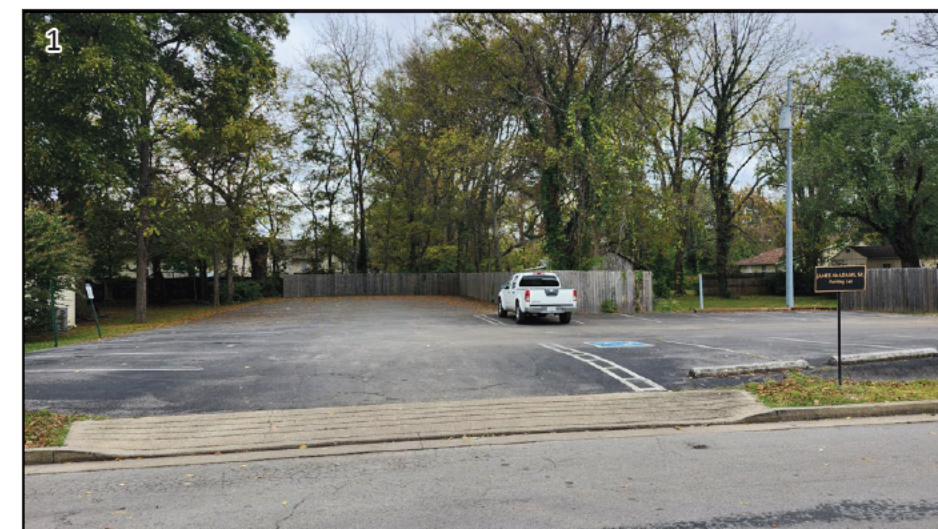
PHOTO DIRECTION MAP

Not To Scale

- East Castle Street
- South Bilbro Avenue
- East State Street
- Castle View Court



Site



View of Existing On-Site Church Parking Lot on north side of E. Castle Street looking north, to be rebuilt.



View from Middle of Site Looking North



View from Middle of Site Looking South



View of Existing On-Site Church Parking Lot on north side of E. Castle Street looking north.



View of Existing Residence at 326 S. Bilbro to be demolished.



View of Existing Residence at 324 S. Bilbro to be demolished.



View of Existing Residence at 320 S. Bilbro to be demolished.



View of Existing Residence at 318 S. Bilbro to be demolished.



View of Existing Residence at 316 S. Bilbro to be demolished.



View of Existing Residence at 312 S. Bilbro to be demolished.





PHOTO DIRECTION MAP

Not To Scale

- █ East Castle Street
- █ South Bilbro Avenue
- █ East State Street
- █ Castle View Court
- █ Hancock Street



Site



View of First Baptist Church Murfreesboro from Existing Church Parking Looking South



View of Existing University Barber Shop at 725 E. Castle Street to be demolished.



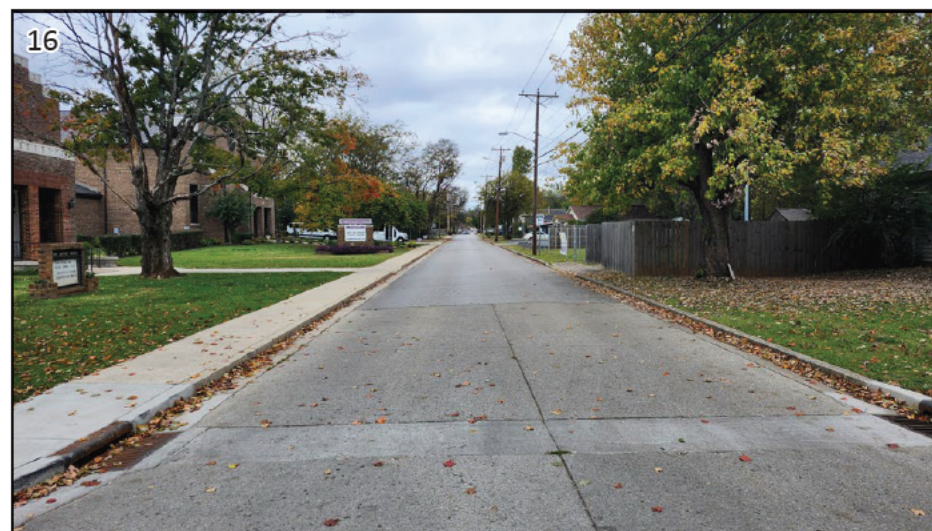
View of Neighboring Residence Looking East from South Bilbro Avenue



View of Neighboring Residence Looking East from South Bilbro Avenue



View of Neighboring Residence Looking Southeast from E. Castle Street



View of East Castle Street From South Bilbro Avenue Looking West



View of South Bilbro Avenue from East Castle Street Looking North







**Lots A and B Development Standards:**

- Approximately 205 proposed standard parking spaces.
- All mechanical or utility boxes to be screened
- All on-site utilities will be underground
- Parking lots shall be maintained by First Baptist Church
- All driveways and parking areas will be private and maintained by the First Baptist Church Murfreesboro
- Public sidewalks will be provided along East Castle Street and South Bilbro Avenue.
- On-site lighting shall comply with the City of Murfreesboro requirements.
- On-site lighting shall have a maximum height of 16’ along the perimeter of the proposed parking lots.
- Lot ‘A’ will be considered part of “Phase 1” and Lot ‘B’ is part of a future “Phase 2”
- Previously approved variance requests shall remain as approved unless otherwise specified in this pattern book.

**Hours of Operations:**

Regular Church/Office:	8am-5pm Monday-Thursday
Other Church Activities:	6pm-8pm Monday-Friday (as requested)
Sunday Services:	8am-2pm (Currently 3 services are held at 8am, 9:45am, and 11:45 am)
Special Events:	8am-9pm Saturday (as requested)

**Allowable Uses Requested for Rezoning**

- Church
- Senior Citizens Center



EXAMPLE OF 4’ PRIVACY FENCE



EXAMPLE OF 6’ PRIVACY FENCE



EXAMPLE OF ON-SITE LIGHTING



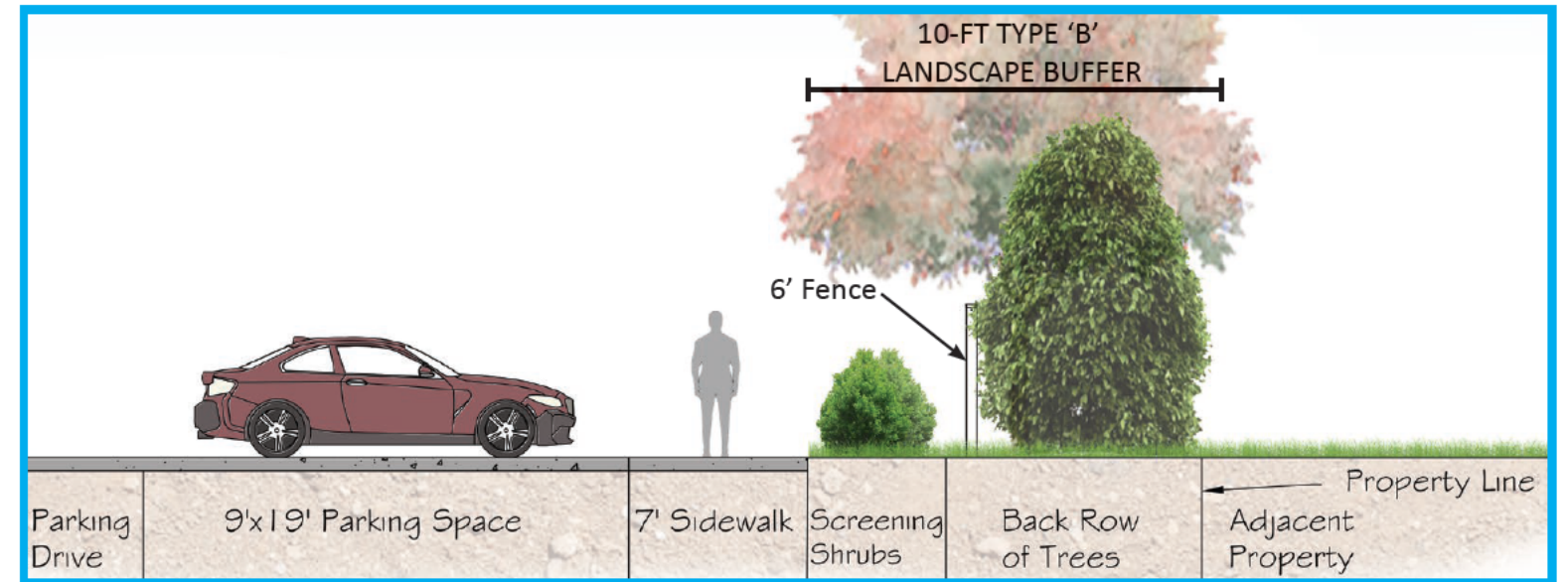


- STREETScape PERIMETER TREES WITH SCREENING SHRUBS
- TYPE B LANDSCAPE BUFFER WITH 6-FT FENCE AND 50% PLANTINGS
- TYPE B LANDSCAPE BUFFER WITH 4-FT FENCE WITH 50% TREE PLANTINGS
- 4-FT FENCE WITH SCREENING SHRUBS

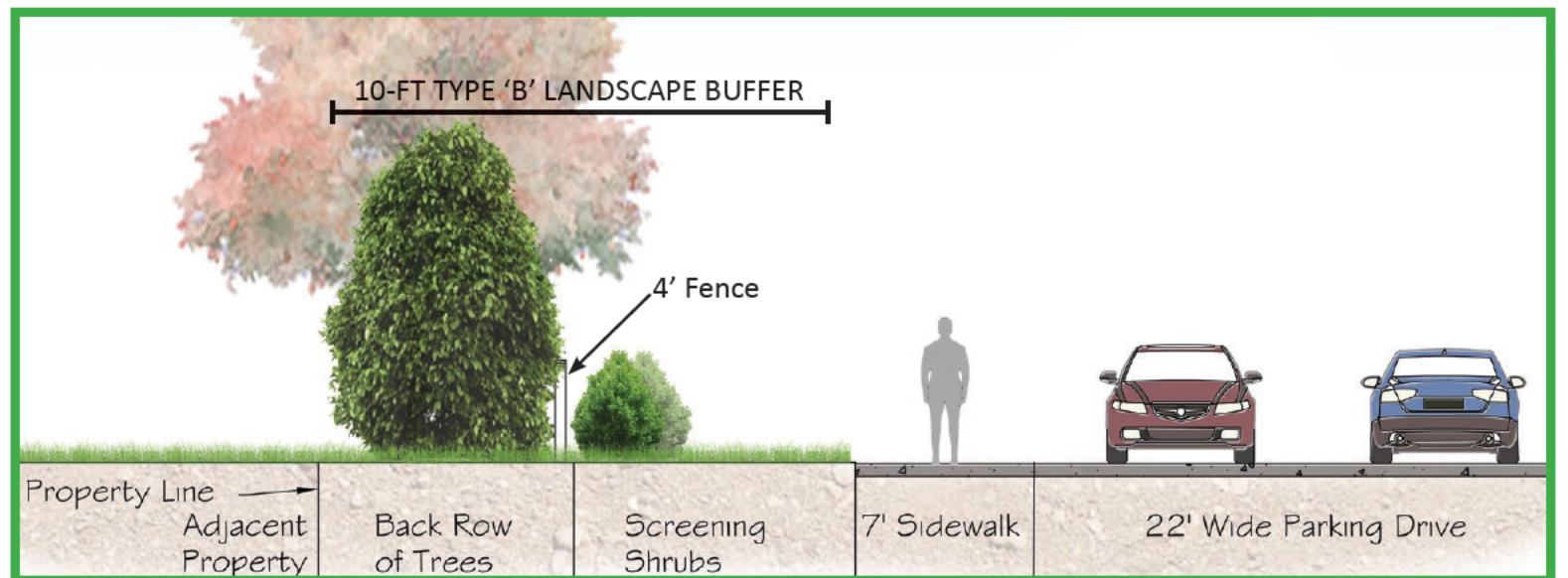
The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

#### Landscaping Characteristics:

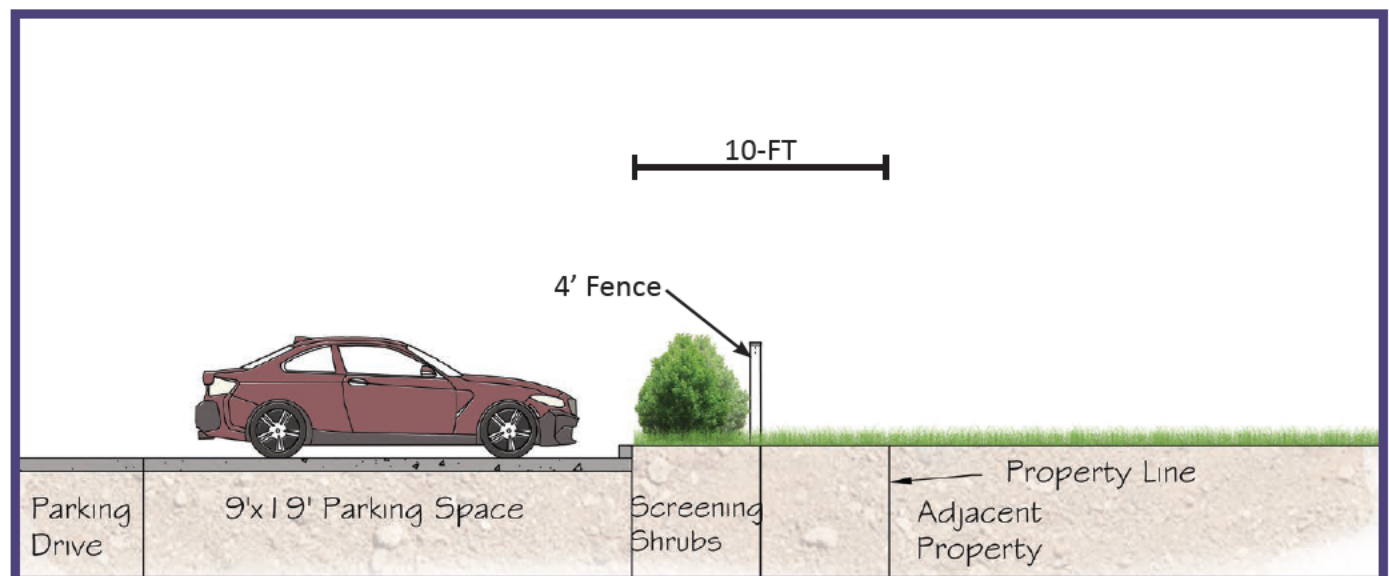
- A minimum 8 feet of landscape perimeter planting area between parking and exterior property lines.
- A minimum 10 foot Type 'B' Landscape Buffer with screening shrubs will be installed with a 6' or 4' tall privacy fence as delineated in the above diagram. (With 50% Tree Plantings)
- All perimeters of the parking lots adjacent to ROWs will incorporate a low shrub row to mitigate vehicular headlights.
- Above ground utilities will be screened with landscaping and/or walls.
- Landscaping shall be installed as per the proposed concept plan in this pattern book. Alternatives or redesigned to of the Landscape shall be permitted



SECTION OF PROPOSED TYPE 'B' BUFFER WITH 6' FENCE (MEETING CITY STANDARD)



SECTION OF PROPOSED TYPE 'B' BUFFER WITH 4' FENCE



SECTION OF PROPOSED SCREENING SHRUBS WITH 4' FENCE





- Proposed Entrances
- Internal Pedestrian Circulation
- External Pedestrian Circulation
- Vehicular Circulation

Pursuant to the City of Murfreesboro’s 2040 Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for any further improvements. East Castle Street and South Bilbro Avenue are classified as local streets and are the only streets impacted by this development. East Castle Street is currently built as a two-lane roadway with curb and gutter on both sides of the road, and a sidewalk along the southern side of the road. South Bilbro Avenue is currently built as a two-lane roadway with curb and gutter on both sides of the road.

As outlined above, the primary ingress and egress for this site will be via East Castle Street and South Bilbro Avenue. Access points will be designed to accommodate two lanes of travel: one lane for traffic entering the development and one lane for traffic exiting. A 5-foot-wide sidewalk, accompanied by a 2-foot grass strip, will be constructed along South Bilbro Avenue, extending from East Castle Street to East State Street along the project’s boundaries.

For sections of the sidewalk in this area that fall outside the scope of this rezoning (in front of 727 Castle Street and 302, 304, & 306 South Bilbro Street), the applicant (FBC) will provide the design during the site plan submittal phase, with construction costs to be covered by the City of Murfreesboro. On the north side of East Castle Street, a 5-foot sidewalk will extend from the southwest corner of Lot ‘B’ to the intersection of South Bilbro Avenue and East Castle Street. The portion of the sidewalk between Lots ‘A’ and ‘B’ will also be designed by the applicant (FBC) during site plan submittal and funded by the City of Murfreesboro.

Additionally, right-of-way dedication may be required to accommodate the sidewalk. No sidewalk installations outside the proposed rezoning area will occur without prior agreement from the current property owner.

The parking lots will be private.



**1.)** A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

**Response:** The exhibits given on Pages 3-7 meet this requirement.

**2.)** A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wet-lands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

**Response:** The exhibits given on Pages 3-7 meet this requirement.

**3.)** A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

**Response:** The exhibits given on Pages 3-7 meet this requirement.

**4.)** A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

**Response:** Pages 8-9 provide exhibits and standards that provides the required materials.

**5.)** A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.

**Response:** Pages 8 & 9 provide exhibits and standards that provides the required materials.

**6.)** If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

- (AA): The approximate date when construction of the project can be expected to begin.
- (BB): The order in which the phases of the project will be built.
- (CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage
- (DD): A breakdown by phase for subsections (5) and (6) above.

**Response:** The project is anticipated to be developed in two phases. Development is anticipated to begin within 180 days of rezoning approval, and will include all public infrastructure.

**7.)** A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

**Response:** The property is currently zoned RS-8. The surrounding area has a mixture of residential properties. The concept plan and development standards shown within this booklet are intended to provide an existing church with additional parking

**8.)** A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property

**Response:** See Page 11 for requested exceptions and setbacks.

**9.)** A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio) and the O.S.R. (Open Space Ratio). These tabulations are for the PND.

**Response:** This requirement has been addressed in the chart below.

TOTAL SITE AREA	171,405 s.f.	3.93 AC	100.00%
TOTAL MAXIMUM FLOOR AREA	0 s.f.	0.00 AC	0.00%
TOTAL LOT AREA	171,405 s.f.	0.00 AC	100.00%
TOTAL BUILDING COVERAGE	0 s.f.	2.15 AC	0.00%
TOTAL DRIVE/ PARKING AREA	79,472 s.f.	1.67 AC	77.44%
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC	0.00%
TOTAL LIVABLE SPACE	0 s.f.	0.0 AC	0%
TOTAL OPEN SPACE	23,544 s.f.	.54 AC	13%
FLOOR AREA RATIO (F.A.R.)	N/A		
LIVABILITY SPACE RATIO (L.S.R.)	0.0		
OPEN SPACE RATIO (O.S.R.)	1.00		

**10.)** The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

**Response:** This property is within with City Core Overlay District (CCO). This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portions of this property lies in X, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0260J eff. 5/9/2024.

**11.)** The location and proposed improvements of any street depicted on the Murfreesboro 2040 Major Transportation Plan as adopted and as it may be amended from time to time.

**Response:** Pages 3 & 10 discusses the 2040 Major Transportation Plan.

**12.)** The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

**Response:** The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is The First Baptist Church Murfreesboro. contact info for both is provided on cover.

**13.)** Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

**Response:** No architecture proposed within this development.

**14.)** If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

**Response:** No entrance signage within this development.



Land Use Parameters and Building Setbacks					
Zoning (Existing vs Proposed)	RS-8 (Existing Zoning)	City Core Overlay District (CCO)	OG (Comparative Base Zoning)	Proposed PND	Comparative, or CCO District Difference
Residential Density					
Minimum Lot Area	8,000 sqft	N/A	5,000 sqft	N/A	N/A
Minimum Lot Width	55'	N/A	50'	N/A	N/A
Minimum Setback Requirements					
Minimum Front Setback to East Castle Street	30'	27' Build to	30'	N/A	N/A
Front Proch Encroachment	5'	N/A	N/A	N/A	0'
Minimum Side Setback	5'	N/A	10'	N/A	0'
Minimum Rear Setback	20'	N/A	20'	N/A	0'
Land Use Intensity Ratios					
MAX F.A.R.	N/A	Not Required	0.30	N/A	N/A
Minimum Livable Space Ratio	N/A	Not Required	0.28	N/A	N/A
Minimum Open Space Ratio	N/A	Not Required	0.60	N/A	N/A
Minimum Open Space Requirement	20%	15%	20%	15%	0%
Minimum Formal Open Space	N/A	5%	N/A	0%	-5%
Max Height	35'	35'	35'	35'	0'
Lot Coverage	35%	Maximum of 75%	None	Maximum of 75%	0

**REQUESTED EXCEPTIONS:**

- Requesting an exception to allow parking as the sole use on lots ‘A’ and ‘B’ tied to the church development.
- Requesting an exception to the required formal open space within the CCO district for non-residential uses to be excluded from this development.
- Requesting an exception to the Type ‘B’ Buffer along the south western portion of Lot ‘A’ and the northern portion of lot ‘A’ to utilize a 4’ high fence (instead of 6’ high), with 50% tree plantings and parking lot screening shrubs shown on page 10.
- Requesting an exception to the Type ‘B’ Buffer along the east property line of Lot ‘B’ to only include a 4’ tall fence and parking lot screening shrub shown on page 10.



**MURFREESBORO PLANNING COMMISSION**

**STAFF COMMENTS, PAGE 1**

**JANUARY 8, 2025**

**PROJECT PLANNER: SLOANE LEWIS**

- 6. a. Mandatory Referral [2024-728] to consider the dedication of an electric easement on City-owned property located along Hemlock Drive, Middle Tennessee Electric applicant.**



In this mandatory referral, the Planning Commission is being asked to consider the dedication of an electric easement for Middle Tennessee Electric (MTE) on property that the City owns on Hemlock Drive. The purpose for this electric easement dedication is to relocate the power line along Hemlock Drive to accommodate Phase 6 of the Davenport Station Subdivision. An exhibit depicting the location of the proposed easement is included in the agenda materials.

Staff recommends that the Planning Commission recommend approval of this request to the City Council subject to the following conditions:



1. If approved by City Council, Middle Tennessee Electric or their designee will be responsible for providing the information necessary (including, but not limited to, any exhibits and legal descriptions) for the Legal Department to prepare legal instruments to formally dedicate the proposed easement in question. The legal instruments will be subject to final review and approval of the Legal Department.
2. Middle Tennessee Electric or their designee will also be responsible for recording these instruments, including payment of the recording fee.





# City of Murfreesboro Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

## Mandatory Referral Fees:

Mandatory Referral, <b>INCLUDING</b> abandonment of right-of-way	\$350.00
Mandatory Referral, <b>NOT INCLUDING</b> abandonment of right-of-way	\$150.00

## Property Information:

Tax Map/Group/Parcel: Map 136 Parcel 70.00 | Address (if applicable): Hemlock Drive  
Street Name (if abandonment of ROW):  
Type of Mandatory Referral: ELECTRIC EASEMENT DEDICATION

## Applicant Information:

Name of Applicant: MIDDLE TENNESSEE ELECTRIC  
Company Name (if applicable): MIDDLE TENNESSEE ELECTRIC  
Street Address or PO Box: 555 NEW SALEM HWY  
City: MURFREESBORO  
State: TN | Zip Code: 37129  
Email Address: [REDACTED]  
Phone Number: 217-415-4666

## Required Attachments:

- ☒ Letter from applicant detailing the request
- ☒ Exhibit of requested area, drawn to scale
- ☒ Legal description (if applicable)

2028-728  
Receipt 310239  
CHK# 01001

Applicant Signature

Date

12/3/2024



# Right-of-Way

## Easement

This instrument prepared by: MTE  
555 New Salem Highway, Murfreesboro, TN 37129  
\_\_\_\_ Employee Initials



Service Location # \_\_\_\_\_ Meter Set SO # \_\_\_\_\_ WO# \_\_\_\_\_

Grantor: City of Murfreesboro And/by \_\_\_\_\_


Select one of the following: ☐unmarried ☐married ☒business entity

FOR GOOD AND VALUABLE CONSIDERATION, the receipt and sufficiency of which are hereby acknowledged, the Grantor, whether one or more, does hereby grant unto Middle Tennessee Electric Membership Corporation, a Tennessee not-for-profit corporation ("Grantee" or "MTE"), its affiliates, successors or assigns, a perpetual easement (the "Easement") that, except as may be otherwise indicated on Exhibit 1, if attached, shall be twenty feet (20') from the centerline (total of 40') for any overhead transmission and/or distribution line or system, including anchoring, and ten feet (10') from the centerline (total of 20') for any underground transmission and/or distribution line or system with the right to:

- install, construct, reconstruct, rephase, operate and maintain an electric transmission and/or distribution line or system;
- inspect and make such repairs, changes, alterations, improvements, removals from, substitutions and additions to its facilities as Grantee may from time to time deem advisable, including, by way of example and not by way of limitation, the right to increase or decrease the number of conduits, wires, cables, poles, guy wire and anchors, hand holes, manholes, connection boxes, transformers and transformer enclosures;
- cut, trim and control the growth by chemical means, machinery or otherwise of trees and shrubbery within the Easement, or any tree that may interfere with or threaten to endanger the operation and maintenance of said line or system;
- prohibit, prevent and restrict the planting and/or maintenance of any trees, shrubbery or vegetation not approved in writing by Grantee (except those trees that appear on MTE's approved standard planting guide) which approval may be withheld by Grantee in its sole discretion if it determines said trees, shrubbery or vegetation may in the future interfere with or threaten to endanger the operation and maintenance of said line or system;
- prohibit the planting of any trees, shrubbery or vegetation within 15' of a pole or pad-mounted equipment;
- keep the Easement clear of all buildings, structures or other obstructions;
- license, permit or otherwise agree to the joint use or occupancy of the lines, system or, if any of said system is placed underground, of the trench and related underground facilities, by any other person, association or corporation for electrification, for other utility or commercial purposes;
- install and maintain guy additions to overhead lines if any portion of the lines or system is placed underground;

over, across; and through the land owned by Grantor as further described below (the "Property");

County Rutherford State of Tennessee Tax Map: 136 Group: \_\_\_\_\_ Parcel: 70.00

Address \_\_\_\_\_ Hemlock Drive Murfreesboro 37128   
House/building# Street/Road Name City Zip

and such Property being of record in Deed Book 1732, Page 1850, Register's Office of the above-named county, and as may be further described according to Exhibit 1 attached hereto and incorporated herein by reference, if attached, together with the right of ingress and egress over adjacent lands of the Grantor, and Grantor's successors and assigns for the purposes of this Easement.

The Grantor agrees that all poles, wires, and other facilities, including any main service entrance equipment, installed in, upon or under the Property at Grantee's expense shall remain the property of the Grantee and removable at the option of the Grantee. The Grantor hereby expressly releases any claims, demands, actions, or causes of action for trespass related to the Grantee's use of this Easement as described herein. The grant and other provisions of this Easement shall run with the land for the benefit of the Grantee, its affiliates, successor and assigns.

IN WITNESS WHEREOF, the Grantor has executed this instrument this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_\_.

City of Murfreesboro

Print Name/Title of Authorized Signatory

Print Name/Title of Authorized Signatory

Legal Signature

Legal Signature

STATE OF \_\_\_\_\_

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

On the \_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_, personally appeared before me, the within named bargainer(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

On the \_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_, personally appeared before me, the within named bargainer(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

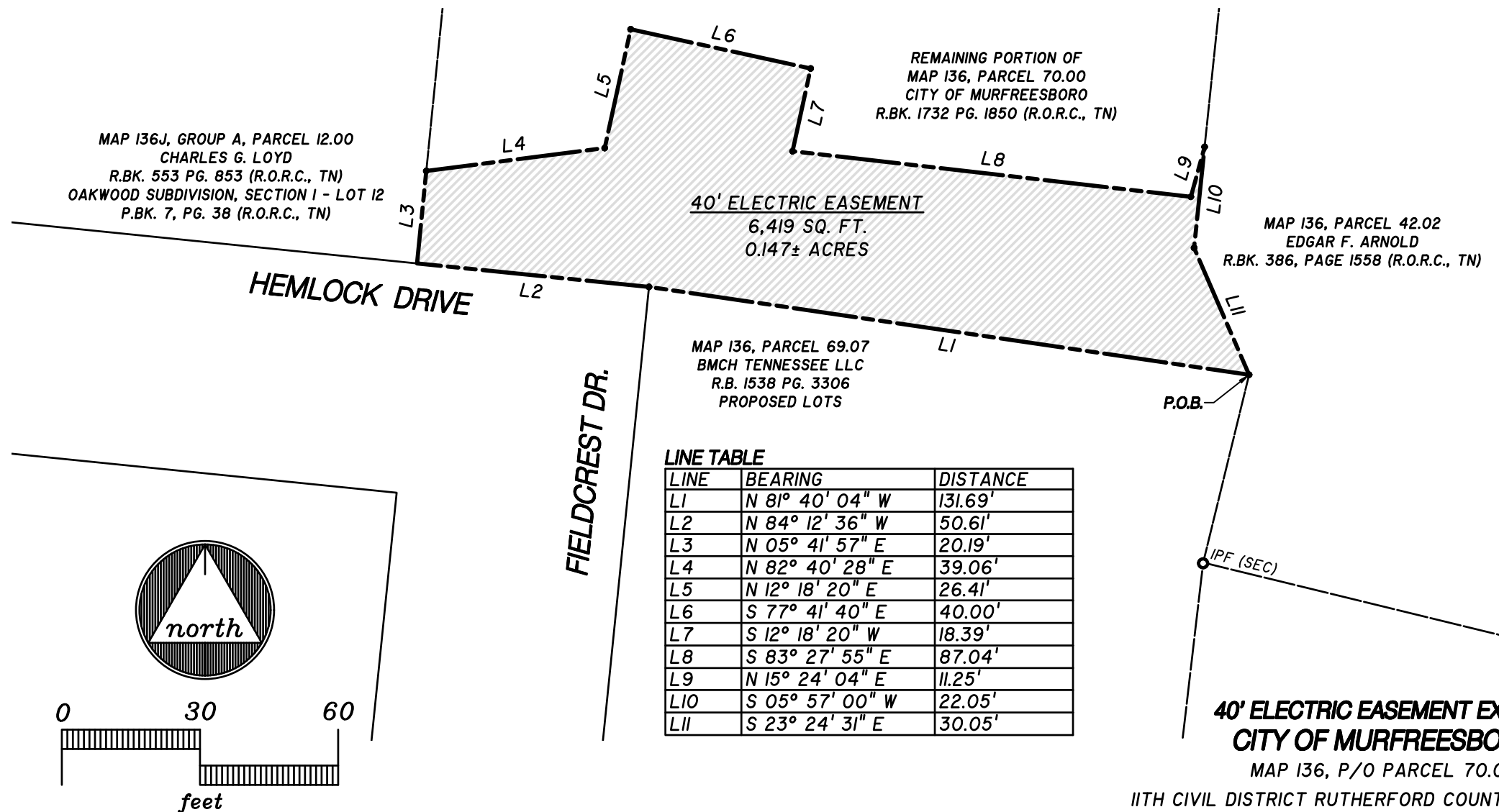
Notary Signature \_\_\_\_\_

My Commission Expires \_\_\_\_\_

Notary Signature \_\_\_\_\_

My Commission Expires \_\_\_\_\_







**MAP 136, P/O PARCEL 70.00****CITY OF MURFREESBORO****RECORD BOOK 1732, PAGE 1850 R.O.R.C., TN****7,293 SQUARE FEET, 0.167± ACRES****40' ELECTRIC EASEMENT**

AN EASEMENT IN THE LANDS OF CITY OF MURFREESBORO, LYING IN THE 11<sup>TH</sup> CIVIL DISTRICT OF RUTHERFORD COUNTY, TENNESSEE AND BOUNDED IN GENERAL BY THE REMAINING PORTION OF THIS PARCEL ON THE NORTH; EDGAR F. ARNOLD – R.BK. 386, PG. 1558 (R.O.R.C., TN) ON THE EAST; BMCH TENNESSEE, LLC - R.BK. 1538, PG. 3306 (R.O.R.C., TN) AND HEMLOCK DRIVE ON THE SOUTH; AND OAKWOOD SUBDIVISION, SECTION 1 – LOT 12 – P.BK. 7, PG. 38 (R.O.R.C., TN) ON THE WEST; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING** AT AN IRON PIN AT THE SOUTHEAST CORNER OF THIS PARCEL, THE NORTHEAST CORNER OF BMCH TENNESSEE, LLC AND IN THE WEST LINE OF ARNOLD;  
THENCE, WITH THE NORTH LINE OF BMCH TENNESSEE, LLC, N 81° 40' 04" W FOR A DISTANCE OF 131.69' TO A POINT LOCATED AT THE NORTHWEST CORNER OF BMCH TENNESSEE, LLC AND IN THE NORTH RIGHT-OF-WAY OF HEMLOCK DRIVE;  
THENCE, WITH SAID RIGHT-OF-WAY, N 84° 12' 36" W FOR A DISTANCE OF 50.61' TO A POINT LOCATED AT THE SOUTHEAST CORNER OF OAKWOOD SUBDIVISION, SECTION 1 – LOT 12;  
THENCE, WITH THE EAST LINE OF OAKWOOD SUBDIVISION, SECTION 1 – LOT 12, N 05° 41' 57" E FOR A DISTANCE OF 20.19' TO A POINT;  
THENCE, WITH NEW LINES THROUGH THIS PARCEL, THE FOLLOWING (6) CALLS:

1. N 82° 40' 28" E FOR A DISTANCE OF 39.06' TO A POINT;
2. N 12° 18' 20" E FOR A DISTANCE OF 26.41' TO A POINT;
3. S 77° 41' 40" E FOR A DISTANCE OF 40.00' TO A POINT;
4. S 12° 18' 20" W FOR A DISTANCE OF 18.39' TO A POINT;
5. S 83° 27' 55" E FOR A DISTANCE OF 87.04' TO A POINT;
6. N 15° 24' 04" E FOR A DISTANCE OF 11.25' TO A POINT LOCATED IN THE WEST LINE OF ARNOLD;

THENCE, WITH THE WEST LINE OF ARNOLD, THE FOLLOWING (2) CALLS:

1. S 05° 57' 00" W FOR A DISTANCE OF 22.05' TO A POINT;
2. S 23° 24' 31" E FOR A DISTANCE OF 30.05' TO THE **POINT OF BEGINNING**.

HAVING AN AREA OF 7,293 SQUARE FEET, 0.167± ACRES.

BEING A PORTION OF THE SAME PROPERTY CONVEYED TO CITY OF MURFREESBORO BY DEED OF RECORD IN BOOK 1732, PAGE 1850 IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

THIS EASEMENT IS SUBJECT TO ANY ADDITIONAL EASEMENTS, RECORDED OR BY PRESCRIPTION, THAT A COMPLETE AND ACCURATE TITLE REPORT MAY REVEAL.