

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**MARCH 5, 2024
6:00 PM**

**Kathy Jones
Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the February 19, 2025 Planning Commission meeting.**
- 5. Public Hearings and Recommendations to Council:**
 - a. Zoning application [2025-401] for approximately 0.24 acres located along East Street and West Street to be rezoned from RM-16 to RS-4, Elijah Montgomery and Nancy Morris applicants. (Project Planner: Brad Barbee)
 - b. Zoning application [2025-402] to amend the existing PCD zoning (Cannonsburg Place PCD) on approximately 23.4 acres located along Joe B Jackson Parkway and Shelbyville Pike, Wal-Mart Real Estate Business Trust applicant. (Project Planner: Richard Donovan)
 - c. Zoning application [2025-403] for approximately 0.82 acres located along Greenland Drive to be rezoned from RS-10 to PUD (Greenland Heights PUD), Rajesh Aggarwal applicant. (Project Planner: Holly Smyth)
 - d. Sign Ordinance amendment [2025-801] to amend Article 1, Section 25.2-2 (Definitions and Interpretation) and Article 2, Section 25.2-26 (On-site permanent sign requirements) regarding “second-floor signs”, City of Murfreesboro Building and Codes Department applicant. (Sign Administrator: Teresa Stevens)
- 6. Staff Reports and Other Business:**
 - a. The Courtyards at Franklin Road [2024-1018] amended preliminary plat for 48 lots on 23.49 acres zoned CF and RS-8 located along Franklin Road, Epcon Communities applicant. (Project Planner: Brad Barbee)
- 7. Adjourn.**

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 19, 2025

1:00 PM

CITY HALL

MEMBERS PRESENT

Kathy Jones, Chair
Ken Halliburton, Vice-Chair
Jami Averwater
Tristan Carroll
Reggie Harris
Shawn Wright

STAFF PRESENT

Greg McKnight, Exec. Director, of Dev. Services
Ben Newman, Dir. of Land Mngt. & Planning
Matthew Blomeley, Assistant Planning Director
Holly Smyth, Principal Planner
Richard Donovan, Principal Planner
Brad Barbee, Principal Planner
Teresa Stevens, Sign Administrator
John Tully, Assistant City Attorney
Jeremy Grover, Planning Intern

1. Call to order.

Chair Kathy Jones called the meeting to order at 1:00 p.m.

2. Determination of a quorum.

Chair Kathy Jones determined that a quorum was present.

3. Public Comments.

Chair Kathy Jones announced that no one signed up to speak during the Public Comments portion of the agenda.

4. Approve minutes of the January 8, 2025 and January 15, 2025 Planning Commission meetings.

Ms. Jami Averwater made a motion to approve the minutes of the January 8, 2025 and January 15, 2025 Planning Commission meetings; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Jami Averwater
Tristan Carroll
Ken Halliburton

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 19, 2025

Reggie Harris

Shawn Wright

Kathy Jones

Nay: None

5. Consent Agenda:

Mr. Tristan Carroll announced he would abstain from discussion and voting on the Consent Agenda.

Graystone, Section 1, Phase 1 (2025-2001) final plat for 19 lots on 69.63 acres zoned PRD (Graystone PRD) located along Veals Road, Meritage Homes developer.

Valvoline Instant Oil Change [2024-3153] site plan for an 1,871 ft² automobile/motor vehicle service building on 1.11 acres zoned L-I (Light Industrial) located along Beasie Road, Valvoline developer.

Blake Creek [2025-1001] preliminary plat for 7 lots on 4.77 acres zoned RS-15 located along Brinkley Road, David Alcorn developer.

Farmhouse Downs, Section 1, Phase 1 [2025-2002] final plat for right-of-way and common areas on 6.48 acres zoned RM-16, RS-A2, RS-10, and RS-6 located along Lyons Farm Parkway, Lennar Homes developer.

Farmhouse Downs, Section 1, Phase 2 [2025-2003] final plat for 29 lots on 23.6 acres zoned RS-6 located along Lyons Farm Parkway, Lennar Homes developer.

Farmhouse Downs, Section 1, Phase 3 [2025-2004] final plat for 39 lots on 32.3 acres zoned RS-6 & RS-A2 located along Lyons Farm Parkway, Lennar Homes developer.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 19, 2025

East Castle Manor Townhomes, Lot 1 [2024-2065] final plat for 1 lot and horizontal property regime plat for 2 units on 0.16 acres zoned PRD & CCO located along East Castle Street, Nashville Comfort, LLC developer.

There being no further discussion, Ms. Jami Averwater made a motion to approve the Consent Agenda subject to all staff comments; the motion was seconded by Mr. Shawn Wright and passed by the following vote:

Aye: Jami Averwater
Ken Halliburton
Reggie Harris
Shawn Wright
Kathy Jones

Nay: None

Abstain: Tristan Carroll

6. Plats and Plans:

Jackson-Butler, Lots 1-3 [2025-2005] final plat for 3 lots on 12.4 acres zoned CH, L-I, & H-I located along Butler Drive and Joe B Jackson Parkway, MacDonald Associates, LLC and QuikTrip Corporation developers. Mr. Matthew Blomeley presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference, including a proposed alternative to the required sanitary sewer certificate.

Mr. Grant Chapman (surveyor of record) was in attendance representing the application.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the final plat subject to all staff comments, including the alternative proposed in the staff comments;

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 19, 2025

the motion was seconded by Ms. Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater
Tristan Carroll
Ken Halliburton
Shawn Wright
Kathy Jones

Nay: Reggie Harris

7. New Business:

Zoning application [2025-401] for approximately 0.24 acres located along East Street and West Street to be rezoned from RM-16 to RS-4, Elijah Montgomery and Nancy Morris applicants. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussions, Mr. Shawn Wright made a motion to schedule a public hearing on March 5, 2025; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Jami Averwater
Tristan Carroll
Ken Halliburton
Reggie Harris
Shawn Wright
Kathy Jones

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 19, 2025

Zoning application [2025-402] to amend the existing PCD zoning (Cannonsburg Place PCD) on approximately 23.4 acres located along Joe B Jackson Parkway and Shelbyville Pike, Wal-Mart Real Estate Business Trust applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

The Planning Commission discussed the reduction in parking, landscape buffering, lighting, and hours of operation.

Mr. Gabriel Loft (project manager) was in attendance representing the application.

There being no further discussions, Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on March 5, 2025; the motion was seconded by Ms. Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Ken Halliburton

Reggie Harris

Shawn Wright

Kathy Jones

Nay: None

Zoning application [2025-403] for approximately 0.82 acres located along Greenland Drive to be rezoned from RS-10 to PUD (Greenland Heights PUD), Rajesh Aggarwal applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 19, 2025

The Planning Commission and staff discussed the proposed permitted uses, access, number of parking spaces, and whether the proposed building needed to be reduced in size.

Mr. Brian Grover (landscape architect) was in attendance representing the application and agreed to work with Staff prior to the public hearing to review the permitted uses list.

There being no further discussions, Ms. Jami Averwater made a motion to schedule a public hearing on March 5, 2025; the motion was seconded by Vice-Chairman Ken Halliburton and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Ken Halliburton

Reggie Harris

Shawn Wright

Kathy Jones

Nay: None

Sign Ordinance amendment [2025-801] to amend Article 1, Section 25.2-2 (Definitions and Interpretation) and Article 2, Section 25.2-26 (On-site permanent sign requirements) regarding “second-floor signs”, City of Murfreesboro Building and Codes Department applicant. Ms. Teresa Stevens presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

The Planning Commission asked for photographic examples of proposed signage be provided before the public hearing.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION FEBRUARY 19, 2025

There being no further discussions, Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on March 5, 2025; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Tristan Carroll
Ken Halliburton
Reggie Harris
Shawn Wright
Kathy Jones

Nay: None

Abstain: Jami Averwater

8. Staff Reports and Other Business.

Mr. Matthew Blomeley reminded the Commission about an upcoming continuing education event scheduled at M.T.S.U in person on March 21, 2025.

9. Adjourn.

There being no further business the meeting adjourned at 2:30 p.m.

Chair

Secretary

BN: cj

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 5, 2025
PROJECT PLANNER: BRAD BARBEE**

- 5.a. Zoning application [2025-401] for approximately 0.24 acres located along East Street and West Street to be rezoned from RM-16 to RS-4, Elijah Montgomery and Nancy Morris applicants.**

The applicants, Mr. Elijah Montgomery and Ms. Nancy Morris, are requesting to rezone the subject properties located along East Street and West Street from RM-16 (Multi-Family Residential District) to RS-4 (Single-Family Residential District). The study area consists of two parcels totaling approximately 0.24 acres. The properties are located north of Ewing Boulevard and front on both West Street and East Street. These properties are further identified as Tax Map 090I, Group B, Parcels 17.00 and 23.00. The properties included in the zoning map amendment request consist of one vacant lot and one lot (615 East Street) that has been developed with a single-family detached dwelling.

The two lots in question were platted in 1946 as part of the Parks and Holden Addition Subdivision and are both currently owned by Ms. Morris. The house at 615 East Street was subsequently constructed over the common lot line. This requested downzoning is intended to allow the applicants to shift the existing common property line location so that it no longer conflicts with the location of the existing home and also allow Mr. Montgomery to construct a single-family detached dwelling on the vacant property that fronts along West Street. The RM-16 zone requires a minimum lot size of 6,000 ft². Neither existing lot complies with the RM-16 minimum lot size requirement, but they are both “grandfathered in” because they were platted prior to the current zoning regulations going into effect. Under the current zoning, however, they could not be resubdivided because one of the two lots would be made more non-conforming. Staff recommended to the applicants that they request a rezoning to RS-4, which has a 4,000 ft² minimum lot size that will allow the lots to be resubdivided in order to eliminate the encroachment of the existing structure over the common lot line.

Adjacent Land Use and Zoning

All surrounding properties are also zoned RM-16 and contain a mixture of both single-family residential detached dwellings and multi-family residential uses; with the majority being single-family detached homes.

Future Land Use Map

The future land use map of the Murfreesboro 2035 Comprehensive Plan recommends that the subject property develop with the *Auto-Urban Residential (AUR)* land use character. A description of this land use character taken from the amended comprehensive plan is below as is an excerpt from the future land use map.

AUTO-URBAN RESIDENTIAL CHARACTER (AUR) *This designation pertains to current and future residential development and includes primarily detached residential dwellings as primary use; and allows attached housing types (subject to compatibility and open space standards, e.g., townhomes, zero-lot line/patio homes, and three family structures); planned developments (with a potential mix of housing types and varying densities, subject to compatibility and open space standards), etc.*

The existing and proposed single-family residential uses proposed in this zoning request are consistent with the Auto-Urban Residential land use character.



Staff recommendation:

Staff is supportive of this rezoning request for the following reasons.

- 1) The requested zoning is consistent with the future land use map of the Murfreesboro 2035 Comprehensive Plan.
- 2) The plan to develop the vacant parcel as a single-family detached home is consistent with the surrounding neighborhood.
- 3) The rezoning will allow the resubdivision of these two lots in order to eliminate the existing encroachment over the lot line.

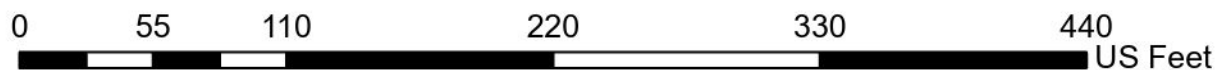
Action Needed:

The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning request. The Planning Commission should conduct a public hearing regarding the request and then formulate a recommendation for the Murfreesboro City Council.



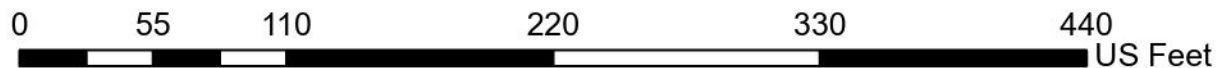
Rezoning request for property along East Street & West Street RM-16 to RS-4

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov





Rezoning request for property along East Street & West Street
RM-16 to RS-4

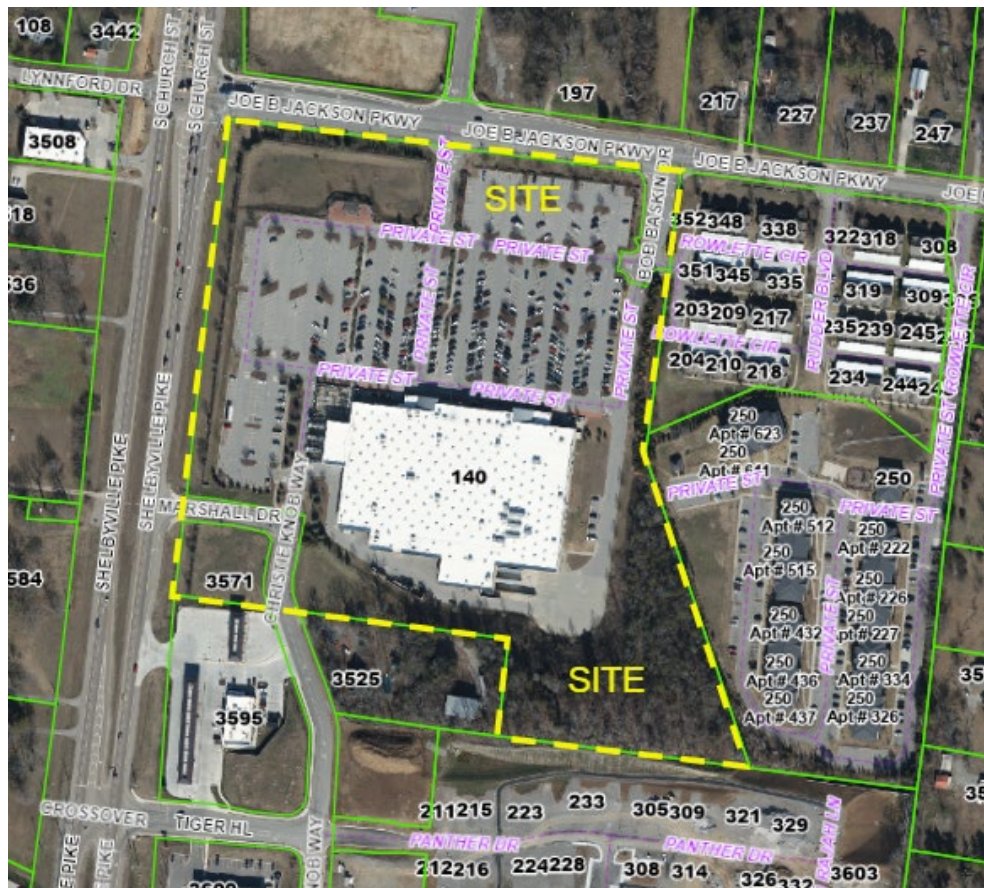


Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 5, 2025
PROJECT PLANNER: RICHARD DONOVAN**

- 5.b. Zoning application [2025-402] to amend the existing PCD zoning (Cannonsburg Place PCD) on approximately 23.4 acres located along Joe B Jackson Parkway and Shelbyville Pike, Wal-Mart Real Estate Business Trust applicant.**

Wal-Mart Real Estate Business Trust, the applicant, is requesting an amendment to the PCD (Cannonsburg Place PCD) for a property located on the south side of Joe B Jackson Parkway and the east side of Shelbyville Pike. The property encompasses approximately 25.2 acres and is currently developed as a Wal-Mart Supercenter. The Cannonsburg Place PCD (Planned Commercial District) was approved in 2008. The site plan for the Wal-Mart Supercenter was approved in November 2012 with additional site plans for outdoor storage, approved March of 2018, and two for pickup expansions in December of 2022 and September of 2023, respectively. The subject property is identified as Tax Map 136, Parcel 006.04.



Adjacent Land Use and Zoning

The adjacent properties are mixture of residential and commercial and zoned accordingly. To the north is the Marketplace at Savannah Ridge PUD (Planned Unit District) which includes Aldi and undeveloped land. To the west is the Villas of Baskinwood PRD (Planned Residential District) townhome development and Chaney Ridge Apartments which is zoned RM-16 (Residential Multi-Family). To the south is Tiger Hill Townhomes PRD and CH (Commercial Highway) zoning which includes the Racetrac gas station and a single-family residence. The properties to the west across Shelbyville Pike are zoned CH which includes a liquor store and existing single-family residential.

Cannonsburg Place PCD Existing

The existing PCD (Cannonsburg Place PCD) consists of 25.9 acres that includes a site for up to 204,000 square foot “big box” retail store, a remote fueling station, and a remote pharmacy drop-off. Most elements within the PRD remain consistent with prior approvals and are highlighted as follows:

- **Design standards:**
 - Building materials include stone veneer, split-face block, and dryvit. All elevations will be at least 50% masonry.
 - Mechanical units will be screened with faux stone columns and ornamental fencing.
 - Shopping cart storage areas will be screened with planter boxes.
 - Loading docks will face away from the public right-of-way.
- **Open Space and Landscaping:**
 - Over 25% open space has been provided and will remain.
 - The 3.3% formal open space which includes a pergola seating area.
 - Raised planters are being used to break up the façade and mass of the “big box.”
 - The four-rail wooden fence with stone columns will remain along the major thoroughfares.

Future Land Use Map:

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan designates the project area as ‘Commercial General’ (GC), which is considered the most appropriate land use character, as indicated on the map below. The Commercial General land use category aims to promote the following characteristics and development types:

Characteristics:

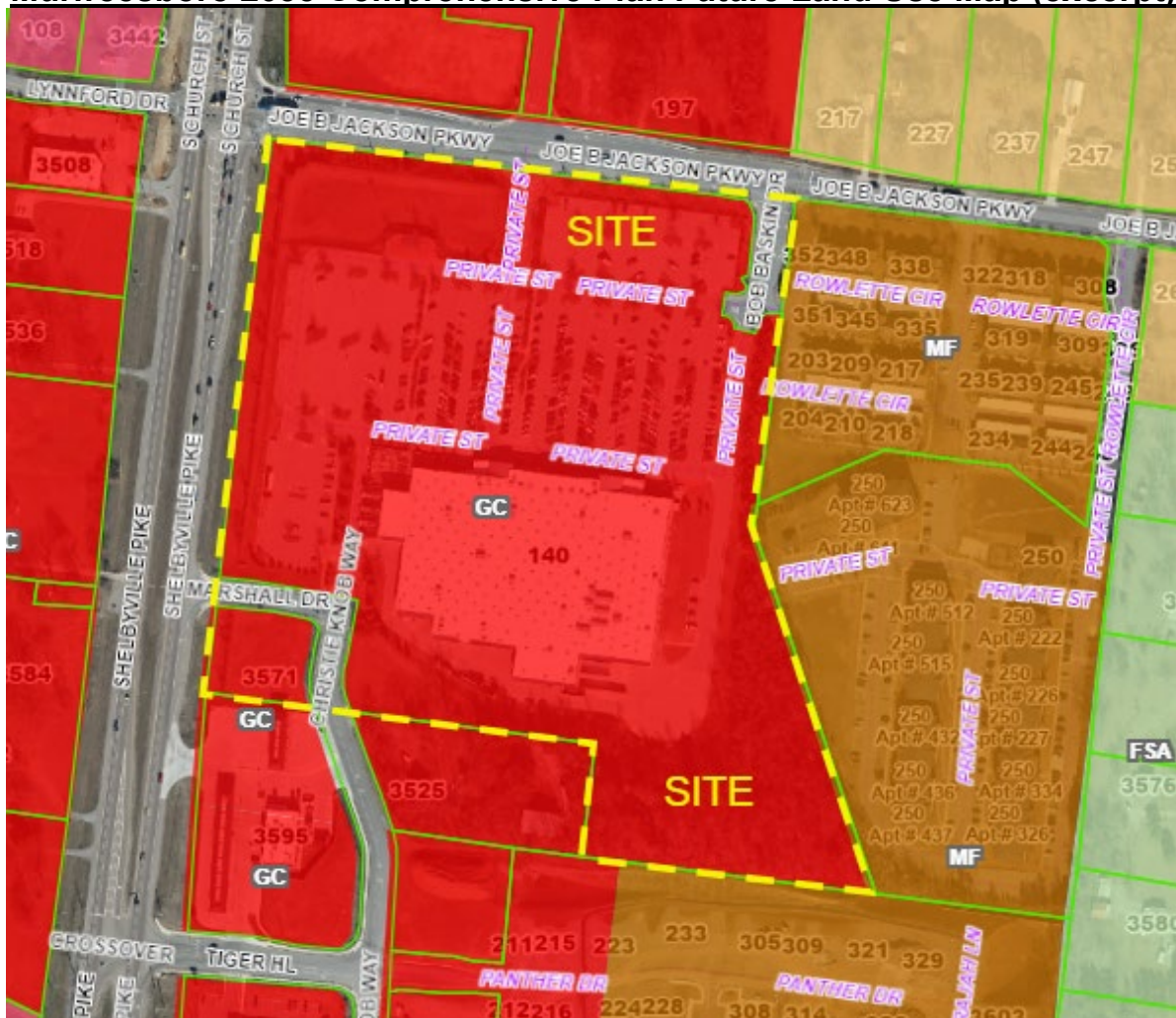
- Significant portions of development sites devoted to vehicular access drives, circulation routes, surface parking, and loading/delivery areas;
- May include formal open space;

- Pedestrian connections to public roadway required;
- Joint / shared parking and access between parcels is required.
- Shared plazas and/or seating area located between principal use and outparcels.

Development Types:

- Commercial centers along major roadways, with a range of uses, including those on high-profile “pad” sites along the roadway frontage; in addition to outparcel development.
- Automobile service-related enterprises (e.g., gas / service stations, auto parts, car washes).
- Restaurant chains (e.g., fast food, other).
- “Big-box” commercial stores (e.g., grocery, appliances, department/discount stores, clothing, etc.).
- Hotels.

Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



Cannonsburg Place PCD Proposed Amendment

The applicant is proposing to amend two elements of the existing PCD:

1. to add a fueling center with convenience store
2. and reduce the parking ratio.

Fuel Center with convenience store

The current PCD does allow a fueling center with a much smaller footprint. The existing PCD would permit fuel pumps with a walk-up kiosk. The applicant is requesting to include a fuel canopy with 9 fuel pumps which will have stone wrapped columns as currently required in the PCD. The main change to the fuel center will come with the addition of a 1,618 walk-in convenience store. The fuel center and convenience store are located on the northeast corner of the parcel near the Villas of Baskinwood townhome development. The applicant has proposed a heavy landscaping buffer along the eastern edge of the fuel center to provide buffering to the residential use. A landscaping plan is included in the pattern book on page 13. Architecture will mimic that of the existing building, including the brick, stone, and dryvit materials. The base of the building will also include planter boxes to draw from the architecture of the primary structure.

Staff has been working with the applicant to make changes to the PCD based on feedback from the Planning Commission at the last meeting. The applicant has made the following changes to the PCD:

- Add language to require a Type C buffer along the western edge of the proposed fuel center. This language has been added to Page 13.
- Include details on the proposed gas station lighting to ensure light is directed downward on the site and not toward the adjacent residences. The applicant has provided an initial photometric plans that demonstrates 0.0 foot candle reading at the Baskinwood Townhomes property line. The PCD also states that the 0.5 foot candle reading will be provided at the right-of-way line of Bob Baskin Drive, which is on page 7.
- Include hours of operation for the fuel center and convenience store. This language has been added to Page 7.

Parking Ratio

The current PCD has a 4.70 stalls per 1,000 square feet of sales floor area parking requirement. The applicant is proposing to reduce the parking ratio to 2.50 stalls per 1,000 square feet. The 2.50 spaces per 1,000 square feet is equivalent to the Zoning Ordinance requirement for discount stores, which is 1 space per 400 square feet. The proposed fuel center and convenience store contribute to the loss of 86 parking spaces. Below is a table comparing the required and provided spaces for the existing parking ratio and proposed parking ratio.

	Floor Area	Ratio	Required spaces	Provided Spaces
Existing	124,998 sf	4.70 per 1,000 sf	587	683
Proposed	126,616 sf	2.50 per 1,000 sf	317	596
Difference	+1,618 sf	- 2.20 per 1,000 sf	- 270	- 87

During their deliberations, the Planning Commission may wish to consider the following factors, among others:

1. If the fuel center location is appropriate next to the adjacent residential uses.
2. If the landscape screening is adequate or needs fencing or other elements to provide additional screening and buffering for the adjacent residential uses.
3. If the reduction in the minimum parking requirement is appropriate.

Staff recommendation:

Staff is supportive of this rezoning request for the following reasons:

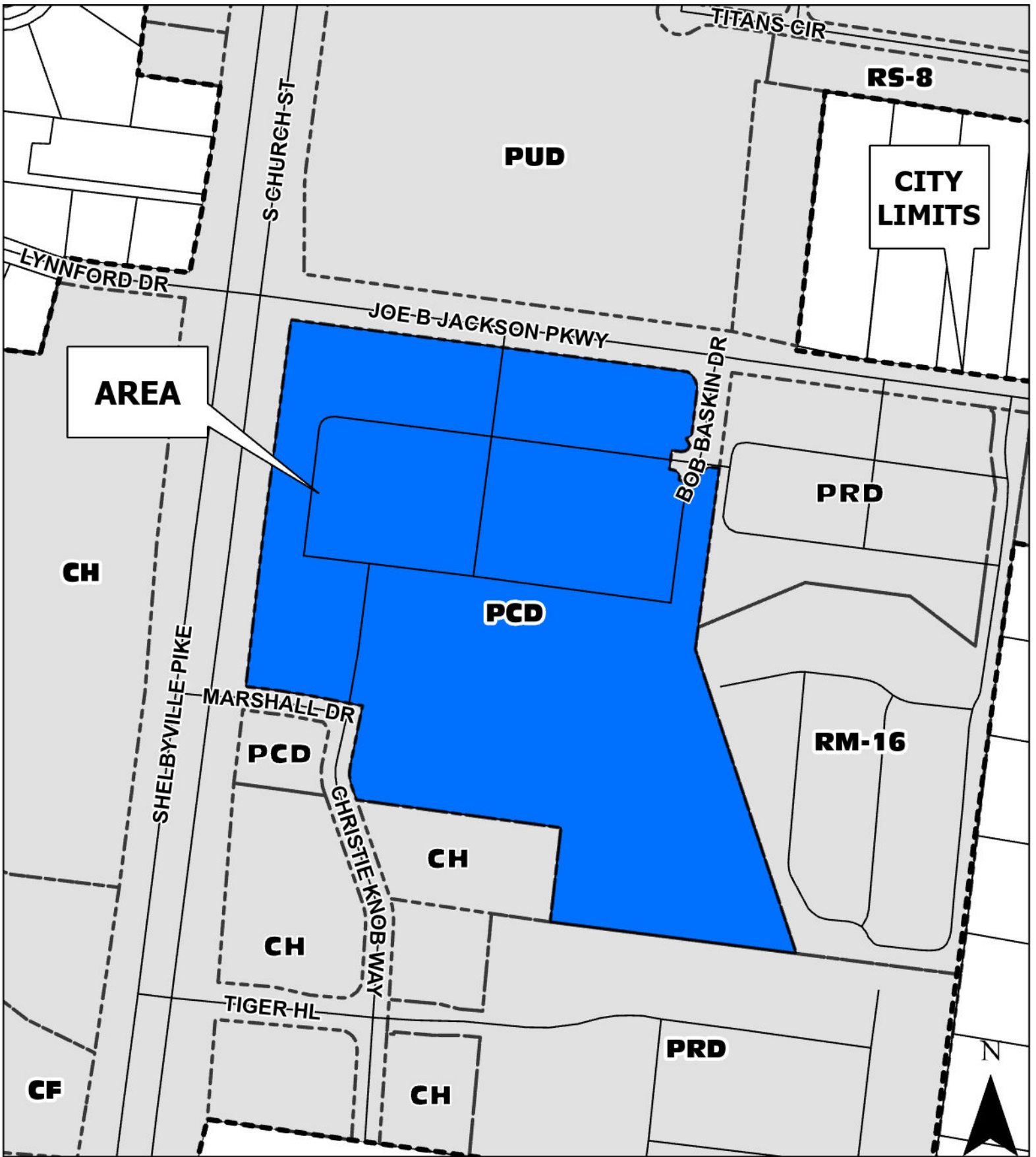
1. The PCD zoning is consistent with the FLUM of the Comprehensive Plan which supports automobile service-related enterprises and “Big-box” commercial stores.
2. The parking ratio is consistent with the Zoning Ordinance which would support the proposed and existing uses on site.
3. The design elements of the proposed fuel center and convenience store mirror those of the existing approved development. This consistency helps maintain a cohesive visual identity and minimizes any disruptive changes to the established character of the area.
4. The proposed Type C buffer, along with the existing vegetation, will help minimize any potential impacts on the adjacent residential properties.

Action Needed:

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

Attachments:

Ortho Map
Non-ortho maps
Pattern Book

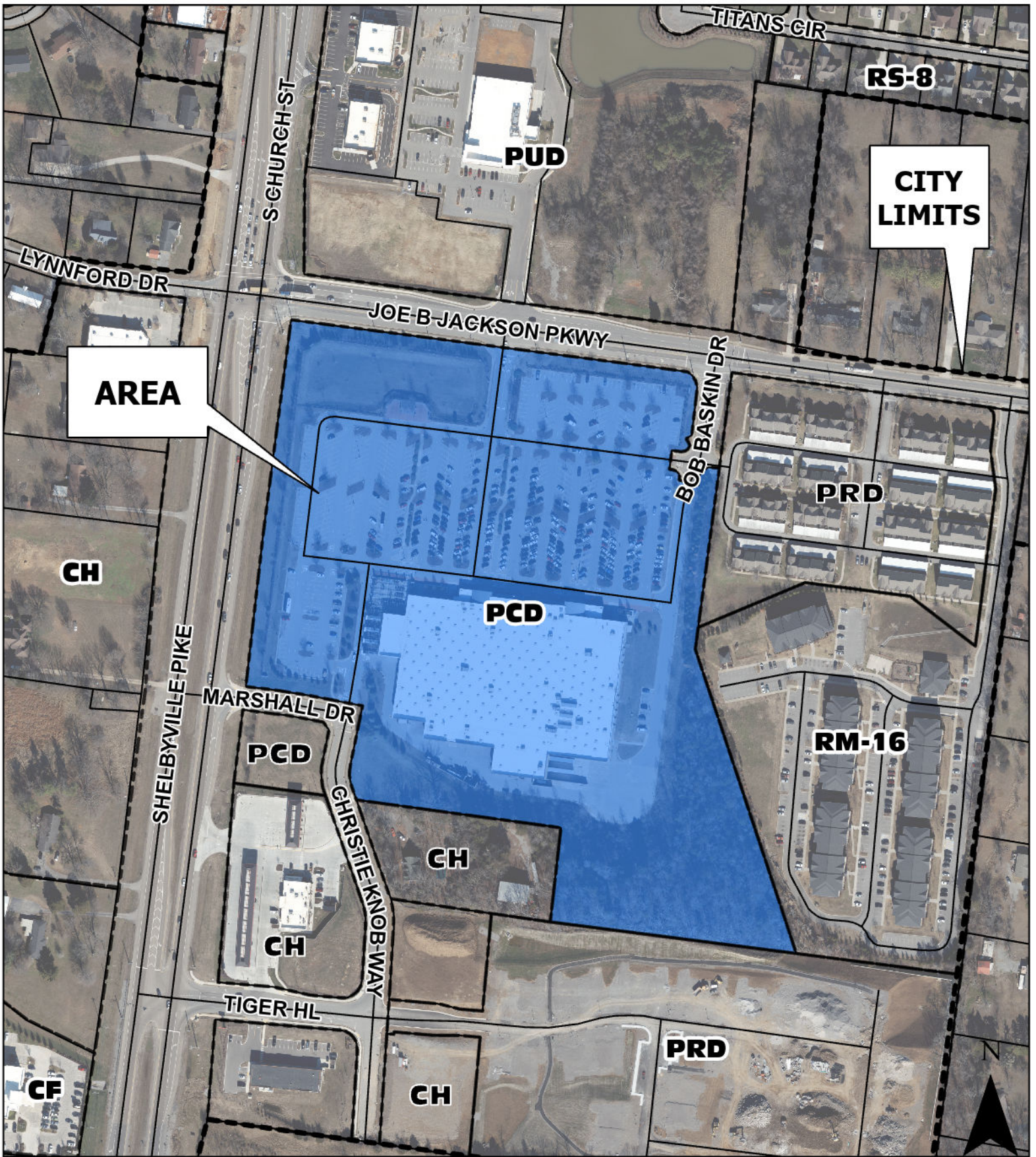


Zoning Request for property along
Joe B Jackson Parkway & Shelbyville Pike
PCD Amendment (Cannonsburg Place PCD)



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov





Zoning Request for property along
Joe B Jackson Parkway & Shelbyville Pike
PCD Amendment (Cannonsburg Place PCD)

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

165 330 660 990 1,320
US Feet

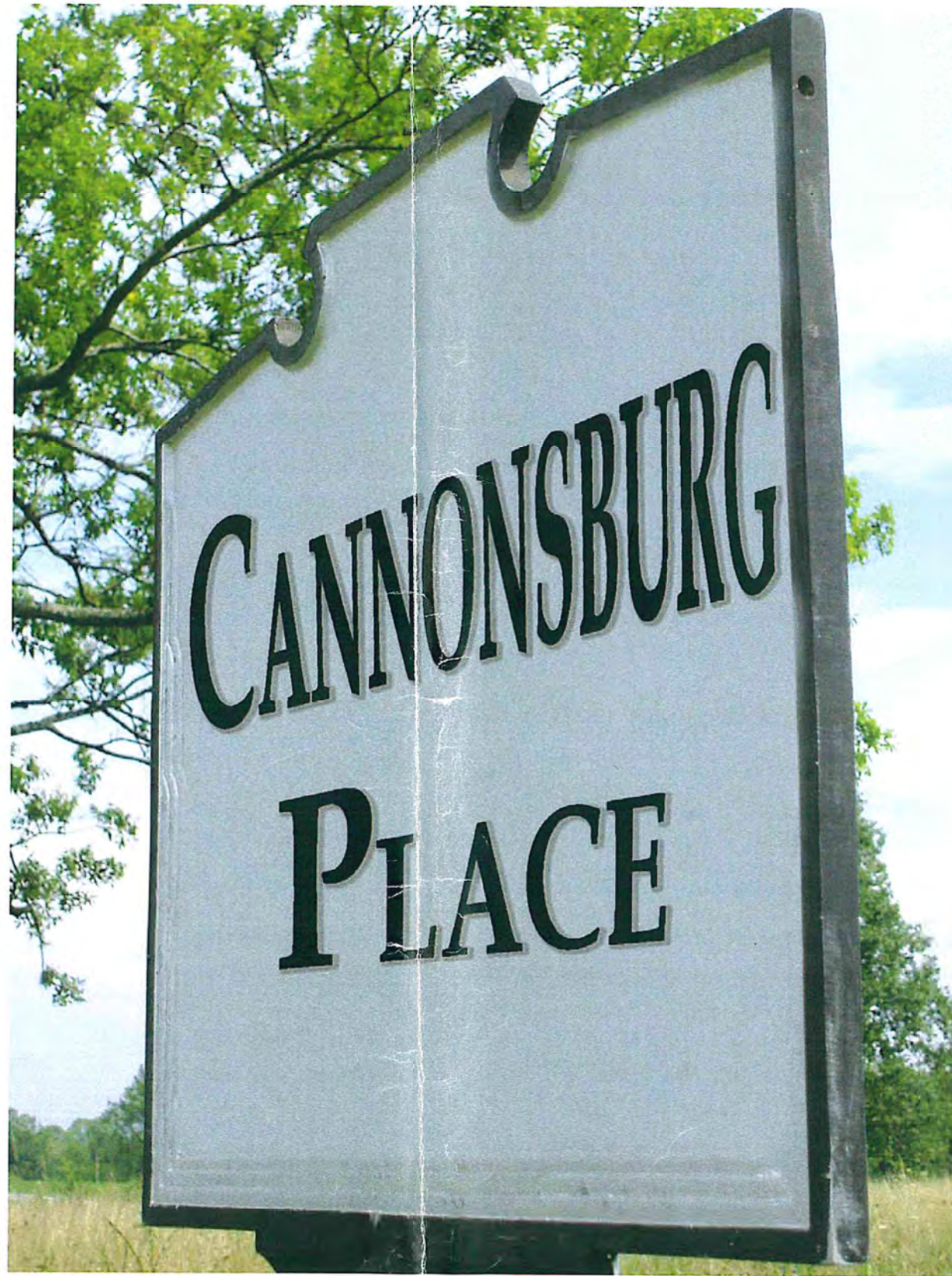
AMENDED FOR AN
ADDITION OF A FUEL
STATION WITH
CONVENIENCE STORE

*An Application for
Annexation and Rezoning
To
A Planned Commercial
Development for*

INITIAL AMENDMENT SUBMITTAL
AMENDMENT CHANGING PAGES: 1, 2, 4, 5, 6, 7,
8, 9, 13, 17, 18, 19
JANUARY 16, 2025

RESUBMITTED
FEBRUARY 25, 2025 FOR THE
MARCH 5, 2025
PLANNING COMMISSION MEETING

SEC, INC.
Engineers, Surveyors, & Land Planners
850 Middle Tennessee Blvd
Murfreesboro, TN 37129
Contact: Matthew Taylor



Submitted for City Council Public Hearing to be held on January 17, 2008
As Approved by Murfreesboro Planning Commission on November 7, 2007

DEVELOPED BY:

Walmart 
Save money. Live better.

WALMART, INC.
702 SW 8TH STREET
BENTONVILLE, AR 72716
(479) 273-4000

ENGINEER:

 **CARLSON
CONSULTING
ENGINEERS, INC.**
7068 LedgeStone Commons, Bartlett, TN 38133
Phone (901) 384-0404 • Fax (901) 384-0710

**M & W Murfreesboro,
Joint Venture**

Developers

125 International Blvd, Suite 200
LaVergne, TN 37086
Contact: Ralph Knauss: 471-5060
Glenn Wilson: 844-0180

RECEIVED

DEC 10 2007

Heibert & Associates, LLC
Planners & Landscape Architects
1894 Gen. George Patton Dr., Suite 400
Franklin, TN 37067-4665
Contact: Connor Ball, ASLA

CANNONSBURG PLACE

TABLE OF CONTENTS

COVER PAGE.....	i
TABLE OF CONTENTS.....	ii
INTRODUCTION.....	1

EXISTING CONDITIONS

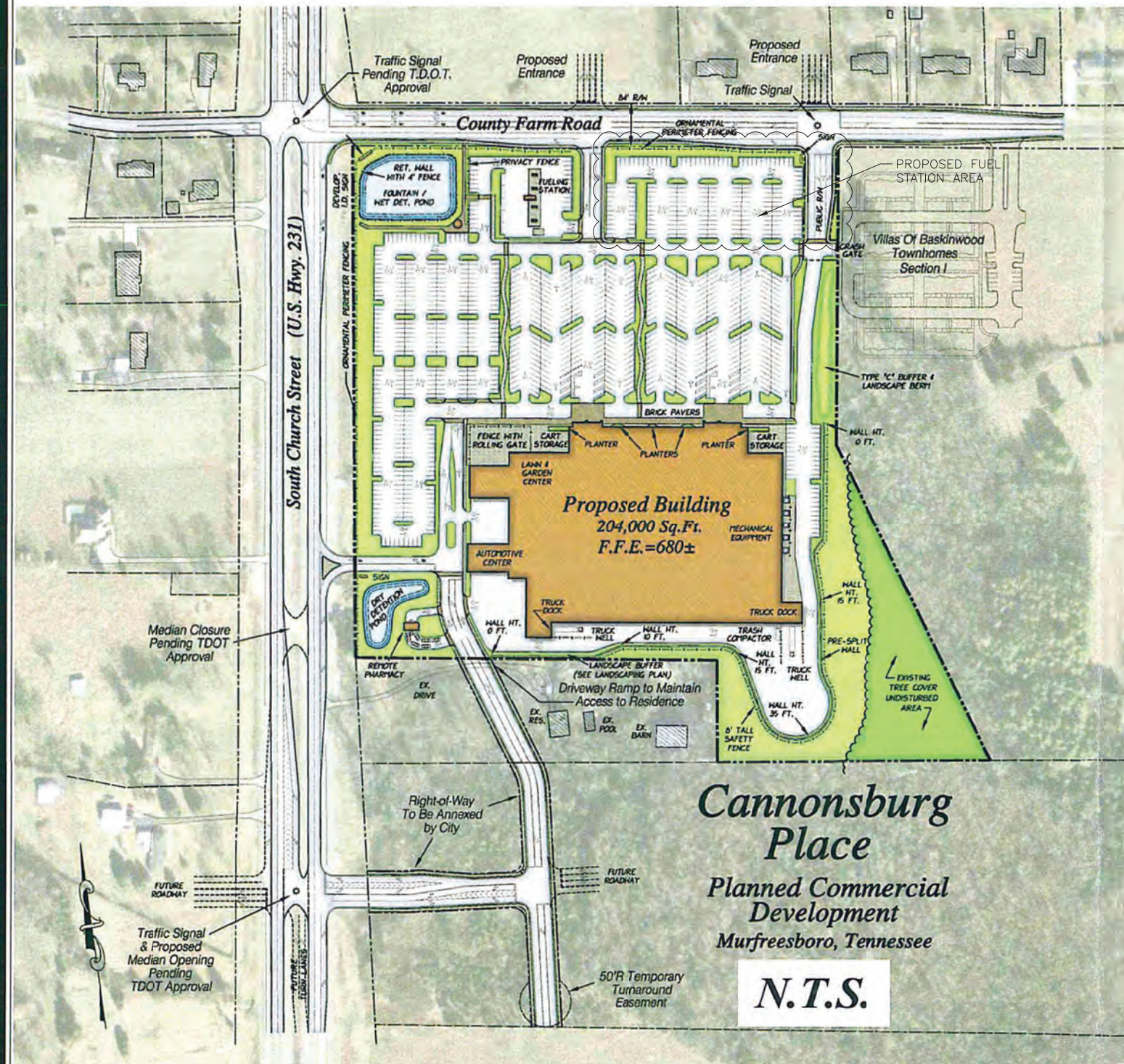
RIGHTS-OF-WAY, UTILITIES, & TOPOGRAPHY.....	2
PHYSICAL FEATURES.....	3
SURROUNDING USES & ZONINGS.....	4

PROPOSED SITE

PROPOSED SITE.....	5
OVERALL SITE PLAN.....	6
FUEL STATION SITE PLAN.....	7
SITE REQUIREMENTS.....	8
LANDSCAPE PLAN.....	9,10
FORMAL OPEN SPACE PLAN.....	11
LANDSCAPE PLAN.....	12,13
INGRESS/EGRESS.....	14
PROPOSED ARCHITECTURE.....	15,16,17,18
PROPOSED COMMERCIAL USES.....	19

CANNONSBURG PLACE

INTRODUCTION



Inspiration

Inspiration for the name of Cannonsburg Place came from the site's close proximity to the historical marker that preserves the roots of Murfreesboro's origins. Just to the north of County Farm Road lies a state historical marker (shown below) that briefly describes Murfreesboro's beginnings as the Cannonsburg settlement until the city was founded in 1811.

The Request

M&W Murfreesboro Joint Venture(M&W) is requesting the annexation of Parcel 7 of Tax Map 136 (1.6 acres), and the rezoning of Parcels 6.02, 6.04, & 7 of Tax Map 136 (25.9 acres). Additionally, M&W is requesting that a 60 foot right-of-way, shown directly south of the main property, be annexed into the City of Murfreesboro for the purpose of providing a full access public road connection to South Church Street.

The subject property is located directly south of County Farm Road and directly east of South Church Street. The majority of the site is currently located within the city limits and is zoned RS-15 while the remainder is currently located in the county with a zoning of R-15. The requested rezoning of the subject property is from its current residential classification to a Planned Commercial Development (PCD) suitable for a large single tenant "Big Box" retail commercial use.



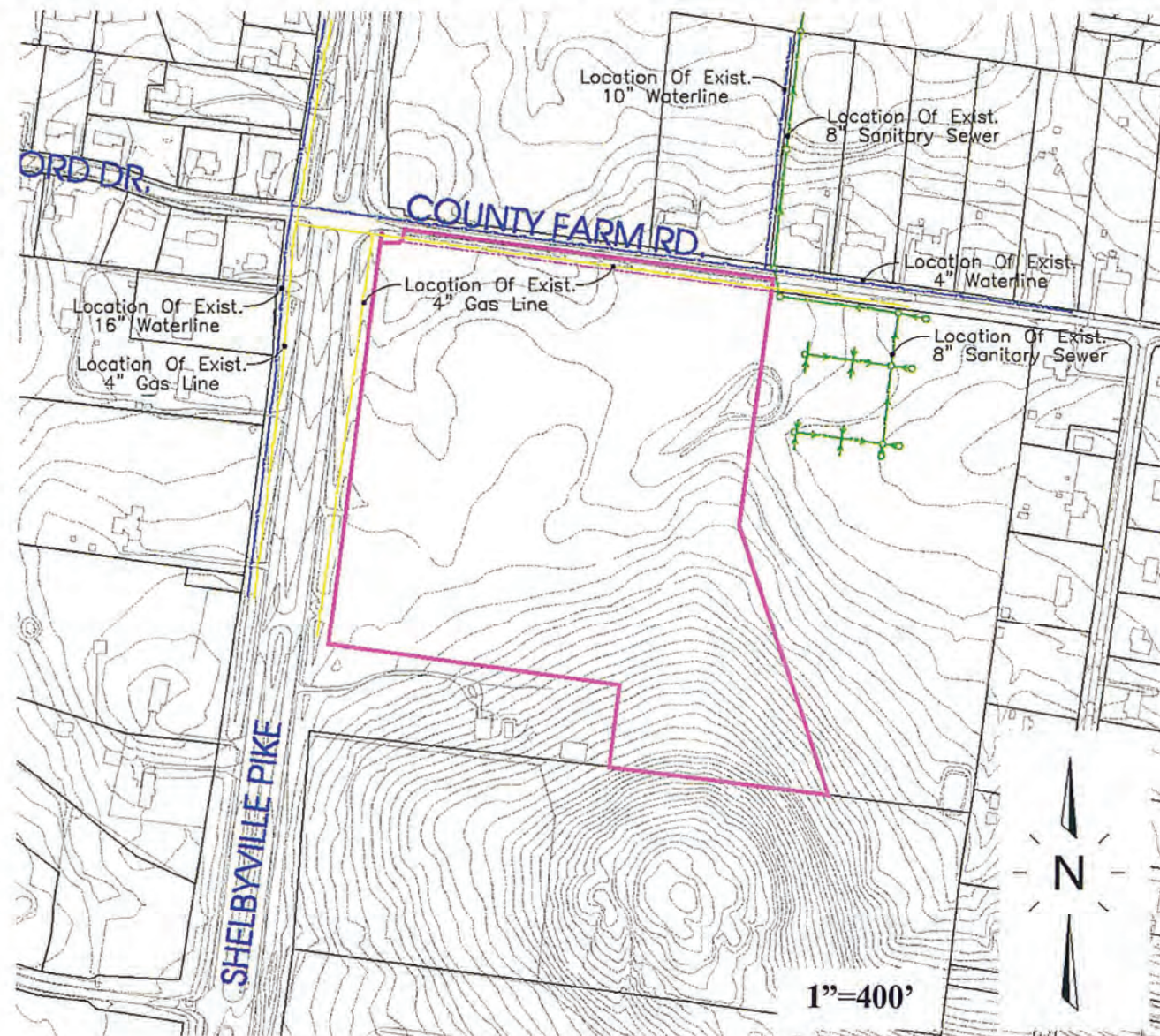
Vision & Commitment

Cannonsburg Place, as envisioned, is shown to the left. Just as Cannonsburg signaled entrance of a new destination for settlers coming into the area, the developers of Cannonsburg Place are committed to creating retail destination for consumers in the area. Through this commitment, M&W Murfreesboro, Joint Venture will provide a high-quality development that will fulfill a major commercial sub-regional need for South Murfreesboro and the surrounding areas. In so doing, area residents will benefit by both the accessibility to the site and the wide array of services and merchandise that will be provided as a result of this retail destination.

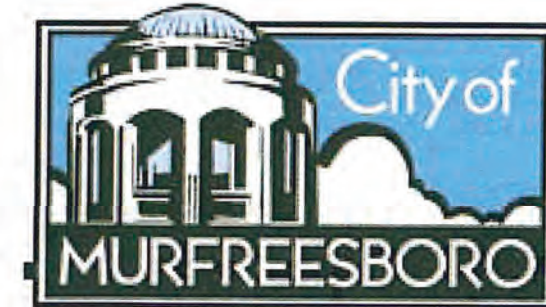
CANNONSBURG PLACE

EXISTING CONDITIONS

RIGHTS-OF-WAY, UTILITIES, & TOPOGRAPHY



Existing topography indicates that the site consists of 2 distinct drainage basins. One basin drains to the east into the Baskinwood development while the other basin drains to a culvert at the northwest corner under County Farm Road. On-site stormwater detention will be provided as shown on the conceptual site plan. Final design for on-site detention will be done in a manner to limit the post-development peak flows to pre-development levels.



The property has access to public rights-of-way at 4 points. Two access points will be from County Farm Road and two will be from South Church Street (U.S. 231)



Sewer service is located at the northeast property corner. Sanitary sewer will be provided by Murfreesboro Water and Sewer Department



Gas service is along County Farm Road and South Church Street and is provided by Atmos Energy.

Consolidated Utility District of Rutherford County



Water service is located along the west side of South Church Street and at the northeast corner of the property like the sewer. Water will be provided by the Consolidated Utility District.



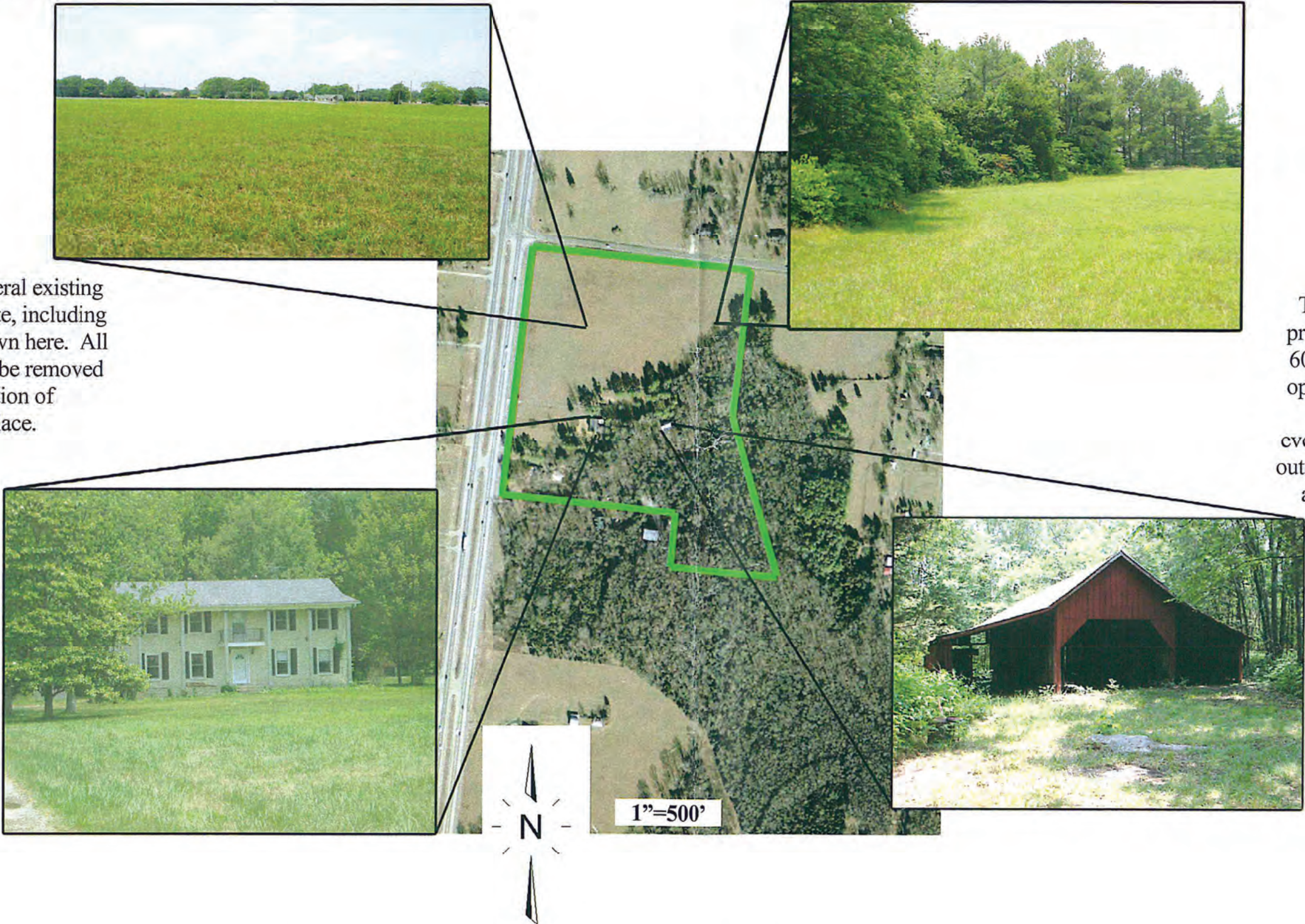
ELECTRIC SERVICE IS PROVIDED BY MIDDLE TENNESSEE ELECTRIC

CANNONBURG PLACE

EXISTING CONDITIONS (CONT.)

PHYSICAL FEATURES

Presently there are several existing structures located on-site, including the house and barn shown here. All of these structures will be removed with the construction of Cannonsburg Place.



The existing ground cover on the property is split with approximately 60% being wooded and 40% being open pasture. The woods are dense and made up of a mixture of evergreens and hardwoods with rock outcropping becoming more common as the ground elevation ascends.

CANNONBURG PLACE

EXISTING CONDITIONS (CONT.)

SURROUNDING USES AND ZONINGS

The Savannah Ridge development contains a mixture of commercial and residential properties. The Marketplace at Savannah Ridge obtained its PCD zoning within the past year and will be offering large commercial stores for the area. Several other commercial developments are in close proximity as shown here.



Development to the south of the project consists mostly of large lot county subdivisions and undeveloped farmland.

Surrounding zonings are made up of CH, PCD, CF, OG, RS-12, RS-8, RM-16, RZ, and R-15(county).



The residential townhouse development, Villas of Baskinwood, is currently under construction and borders the project on the east. Stevens Bend, a single family development, is also located in close proximity to the site.

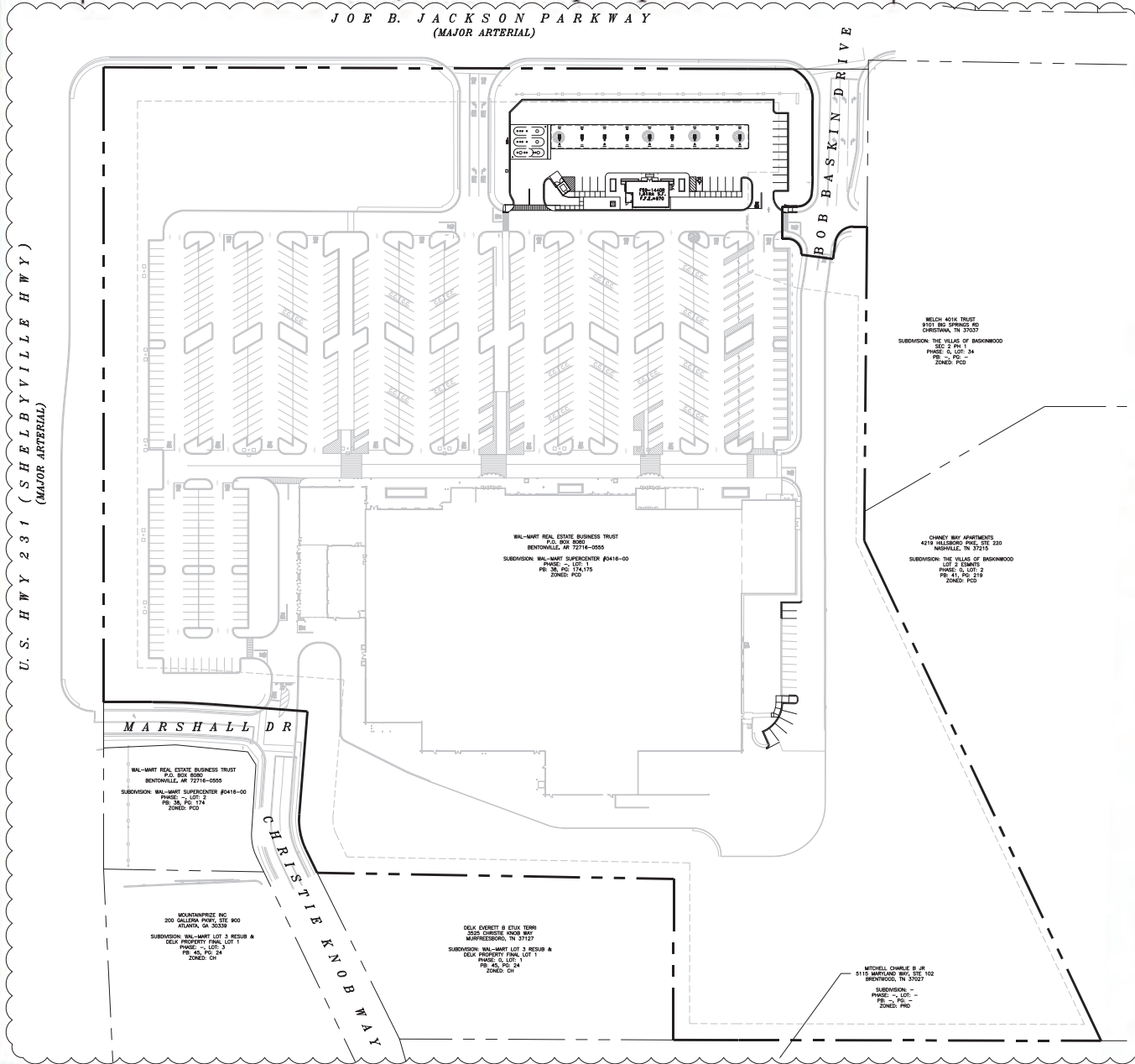


CANNONBURG PLACE

PROPOSED SITE

Synopsis

Cannonburg Place consists of 25.9 acres located at the southeast intersection of County Farm Road and South Church Street. The proposed site provides for a 204,000 s.f. "big box" retail store, a remote fueling station, and a remote pharmacy drop-off. The site plan provides for 2 loading dock areas, an automotive center, a lawn and garden center, on-site parking, stormwater management, a compactor for refuse collection, and formal open space.



PROPOSED SITE CHARACTERISTICS

- At least 30 feet between parking and the right-of-way for South Church Street
- At least 20 feet between parking and the right-of-way for County Farm Road except at the turn lane areas where it will have at least 15 feet separation
 - At least 20 feet between driving aisles and east property line accompanied by a landscape buffer
 - At least 10 feet between driving aisles and south property line accompanied by a landscape buffer
 - TOTAL OF 597 SPACES PROVIDED FOR A PARKING RATIO OF 3.79/1,000 SF OF FLOOR AREA
 - Maximum of 200 parking spaces in any 1 sub-lot with 5 sub-lots
 - All parking will be screened from right-of-ways by use of berms and shrubs.
 - Shopping cart storage areas at building have been screened with raised planters.
 - Raised planters are also being utilized to break up façade and mass of building.
 - Over 25% open space has been provided.
 - Mechanical units have been partially screened with faux stone columns and powder coated aluminum ornamental fencing.
 - Lawn and Garden Center has been designated and screened with faux stone columns and powder coated aluminum ornamental fencing.
 - Both loading docks are facing away from public right-of-ways
 - Adequate room for truck turning movements at the loading areas and fueling center have been provided
 - Providing 3.3% formal open space
- Providing 4-rail wooden ornamental fence with faux stone columns along County Farm Road and South Church Street
- Providing 12 foot wide pedestrian pathways designated with use of brick pavers along building frontage and 8 foot wide at drive aisle crossings. All other sidewalks on-site will be at least 5 foot wide and the sidewalks in the 20 foot wide landscape islands will be 8 foot wide.
- All entrance points except the right in/right out are to have 3 lane cross sections (Right out, Left out, and In)
 - The wet detention pond will have at least 5 feet from the top of the pond to the permanent water surface elevation and have a segmental retaining wall to create the sides. The permanent pool will range from 3 to 6 foot deep. Since the sides will be vertical, permanent ladders will be attached to the sides of the pond adjacent to the sitting areas to provide a safety outlet. In addition, a 4-foot tall powder coated aluminum fence will be provided along the top of the pond on the sides adjacent to the sitting areas.
 - Along the top of the pre-split retaining wall, an 8-foot tall fence will be provided for safety purposes. This fence will be powder coated aluminum with the decorative finials atop.
- Lighting fixtures and lighting plan design will meet the GDO District regulations in order to contain the light on-site and produce no glare.

OVERALL SITE PLAN

1935 PARTNERS
2121 CHICKERING LN
NASHVILLE, TN 37215
SUBDIVISION: MARKETPLACE & VILLAGES AT SAVANNAH
RIDGE RESUB ETC
PHASE: 0, LOT: 5
PB: 45, PG: 153-155
ZONED: PUD

1935 PARTNERS
3011 ARMORY DR, STE 120
NASHVILLE, TN 37204
SUBDIVISION: MARKETPLACE & VILLAGES AT SAVANNAH
RIDGE RESUB ETC
PHASE: 0, LOT: 9
PB: 45, PG: 153-155
ZONED: PUD

1935 PARTNERS
3011 ARMORY DR, STE 120
NASHVILLE, TN 37204
SUBDIVISION: MARKETPLACE & VILLAGES AT SAVANNAH
RIDGE RESUB ETC
PHASE: 0, LOT: 7
PB: 45, PG: 153-155
ZONED: PUD

JOE B. JACKSON PARKWAY
(MAJOR ARTERIAL)

BOBASKIN DRIVE

ARYA JOINT VENTURE
3508 SHELBYVILLE HWY
MURFREESBORO, TN 37127
SUBDIVISION: LYNNFORD OAKS RESUB
LOTS 45 & 46
PHASE: 0, LOT: 46
PB: 31, PG: 202
ZONED: CH

DEEPHUM INVESTMENT PARTNERSHIP
4341 ROXBURGHE CT
MURFREESBORO, TN 37128
SUBDIVISION: WATSON
PHASE: 0, LOT: 2
PB: 13, PG: 398
ZONED: CH

DEEPHUM INVESTMENT PARTNERSHIP
4341 ROXBURGHE CT
MURFREESBORO, TN 37128
SUBDIVISION: WATSON
PHASE: 0, LOT: 1
PB: 13, PG: 398
ZONED: CH

ABD LLC
104 BUTLER AVE
SHELBYVILLE, TN 37160
SUBDIVISION: TOWN & COUNTRY EST
LOTS 1-3 & 6-12
PHASE: 0, LOT: 1
PB: 3, PG: 104
ZONED: CH

U. S. H W Y 2 3 1 (S H E L B Y V I L L E H W Y)
(MAJOR ARTERIAL)

MARSHALL DR

WAL-MART REAL ESTATE BUSINESS TRUST
P.O. BOX 8090
BENTONVILLE, AR 72716-0555
SUBDIVISION: WAL-MART SUPERCENTER #0416-00
PHASE: 0, LOT: 2
PB: 38, PG: 174
ZONED: PCD

MOUNTAINPRIZE INC
200 GALLESSA PKWY, STE 900
ATLANTA, GA 30339
SUBDIVISION: WAL-MART LOT 3 RESUB &
DELA PROPERTY FINAL LOT 1
PHASE: 0, LOT: 3
PB: 45, PG: 24
ZONED: CH

WAL-MART REAL ESTATE BUSINESS TRUST
P.O. BOX 8090
BENTONVILLE, AR 72716-0555
SUBDIVISION: WAL-MART SUPERCENTER #0416-00
PHASE: 0, LOT: 1
PB: 38, PG: 174, 175
ZONED: PCD

DELA EVERETT B ETUX TERR
3025 CHRISTIE KNOB WAY
MURFREESBORO, TN 37127
SUBDIVISION: WAL-MART LOT 3 RESUB &
DELA PROPERTY FINAL LOT 1
PHASE: 0, LOT: 1
PB: 45, PG: 24
ZONED: CH

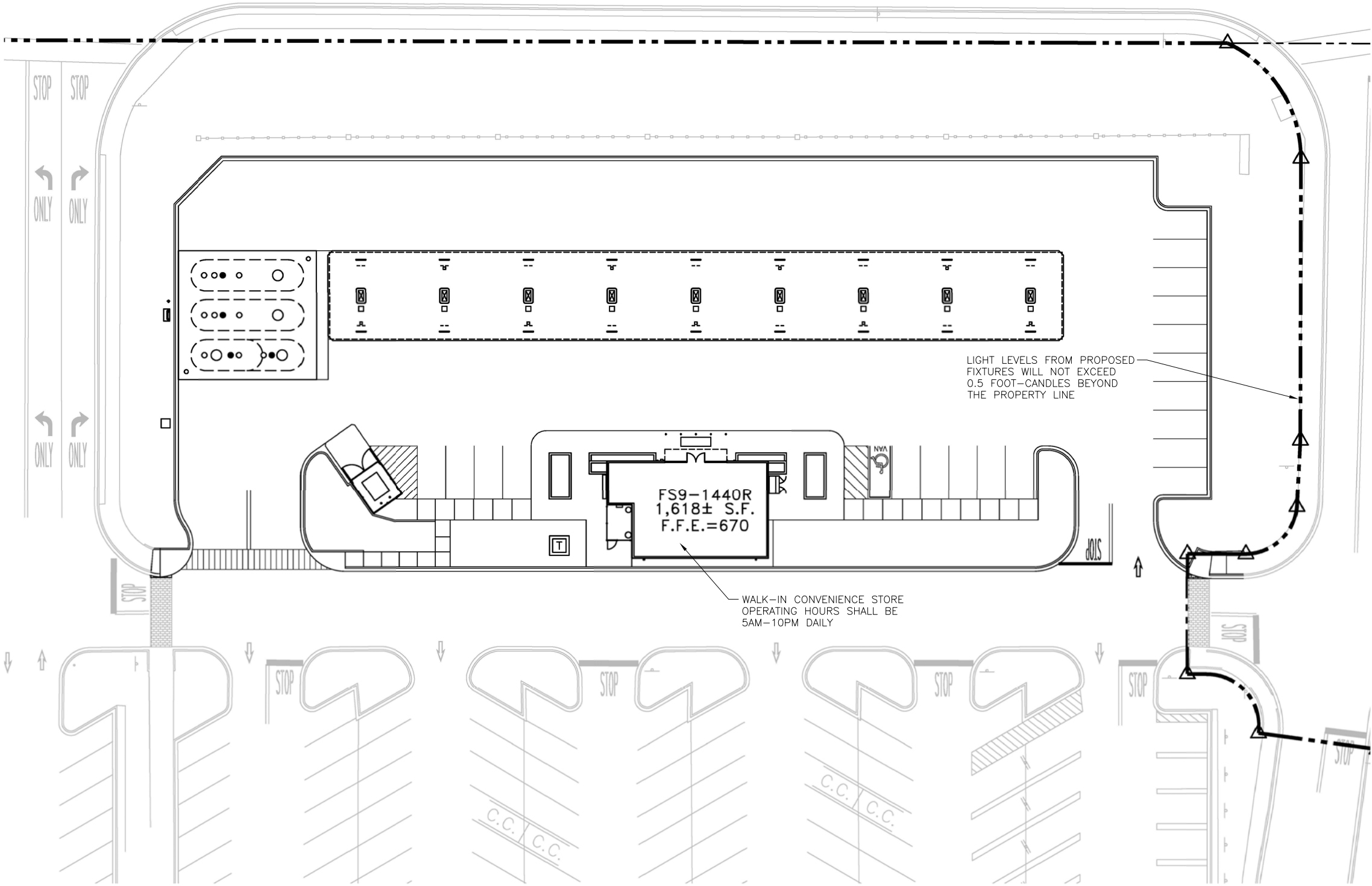
WELCH 401K TRUST
9101 BIG SPRINGS RD
CHRISTIANA, TN 37037
SUBDIVISION: THE VILLAGES OF BASKINWOOD
SEC 2 PH 1
LOT 34
PHASE: 0, LOT: 34
PB: -, PG: -
ZONED: PCD

CHANEY WAY APARTMENTS
4219 HILLSBORO PIKE, STE 220
NASHVILLE, TN 37215
SUBDIVISION: THE VILLAGES OF BASKINWOOD
LOT 2 EDWARDS
PHASE: 0, LOT: 2
PB: 41, PG: 219
ZONED: PCD

MITCHELL CHARLE B JR
5115 MARYLAND WAY, STE 102
BRENTWOOD, TN 37027
SUBDIVISION: -
PHASE: -, LOT: -
PB: -, PG: -
ZONED: PHD

FUEL STATION SITE PLAN

CANNONSBURG PLACE



CANNONSBURG PLACE

SITE REQUIREMENTS

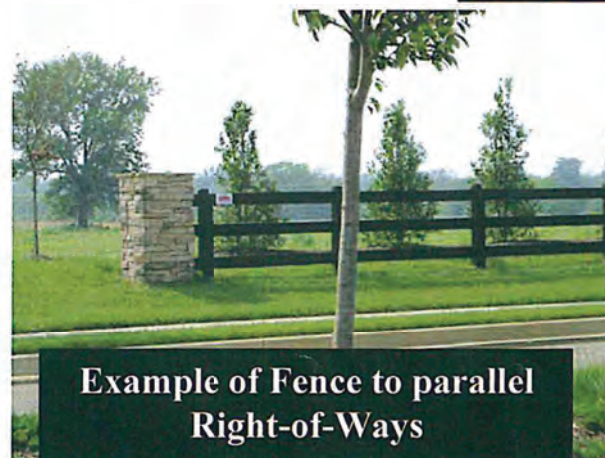
Design Standards

➤ MINIMUM PARKING RATIO OF 2.50/1,000 SF

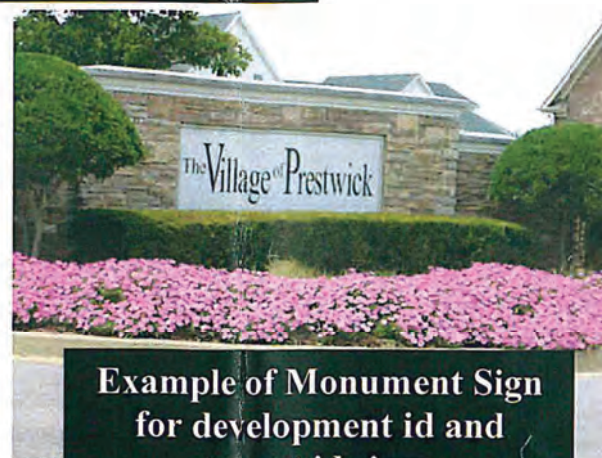
- Site shall utilize curb and gutter throughout, no extruded curb will be accepted.
- Pedestrian access paths are to be made clear and concise by the use of pavers and a minimum width of 12 feet along the frontage of the building and 8 foot wide at drive aisle crossings. Walkways through 20 foot wide landscape islands will be 8-foot wide and all other sidewalks will be at least 5 feet wide
- Entire length of western and northern right-of-ways, except where broken by entrance ways or signs, is to be paralleled by a 4 rail wooden fence with faux stone veneer columns on 50 foot centers
- Signage will comply with City of Murfreesboro's sign ordinance pursuant to its requirements for a Planned Commercial Development (PCD) and will be cohesive with the architectural character of entire site being complemented by ample landscaping.
- All headwalls are to be stained, have a veneer that is consistent with remainder of site, or discharge below water surface.
- All on-site utilities are to be underground



Example of Screening Parking from Right-of-Ways



Example of Fence to parallel Right-of-Ways



Example of Monument Sign for development id and tenant id signs



Examples of Raised Planters to Screen Carts and for Green Space at Building



Example of Bench to be used along the frontage of the building

Design Standards

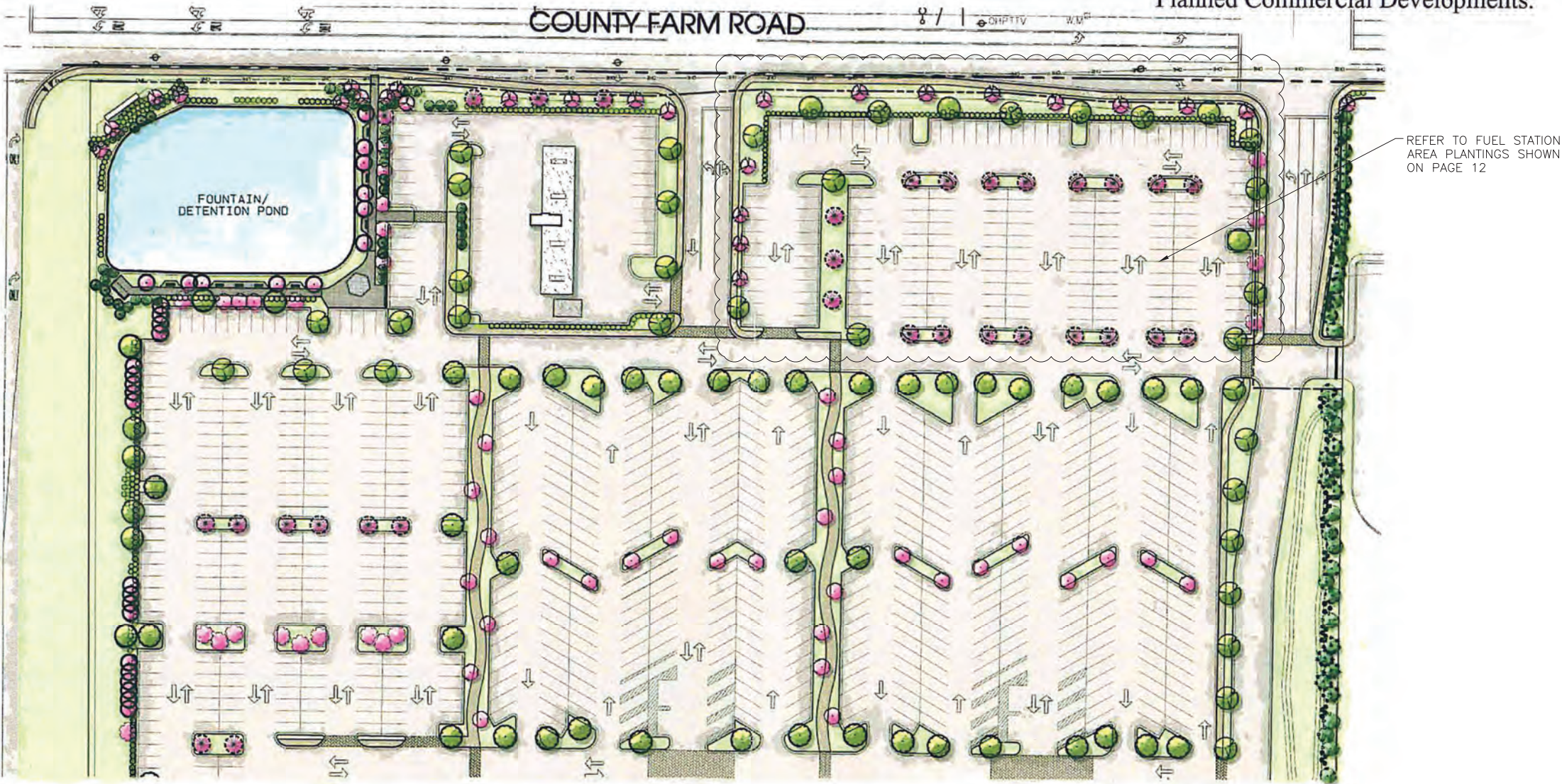
- All parking areas are to be separated at least 20 feet and 30 feet from the public right-of-ways of County Farm Road and South Church Street, respectively, and screened by means of evergreen shrubs or a combination of shrubs and berms, either way the minimum height of top of shrub from curb elevation is to be 3 foot at planting. The only exception to the separation distance will be at turn lanes where the separation must be at least 15 feet.
- Parking areas with more than 200 spaces should be broken into sub-lots by the utilization of landscape islands at least 20 feet in width.
 - Maintain at least 25% open space.
- Provide formal open space equal in size to at least 3% of the total site area.
- Provide landscaping buffers on eastern and southern boundaries while incorporating and leaving as much undisturbed vegetation as possible.
- Park area is to be screened from the fueling station by privacy fence and landscaping to further develop the solitude of the area and encourage the utilization of the park.
- Loading docks are to face away from public right-of-ways and be further screened with walls.
- Stormwater management areas should be screened from view if not being aesthetically enhanced.
- Shopping cart storage at the building is to be screened from view by means of landscape planters.
- At least 1/4 of the total length of the western elevation shall have green space planned along the base of the building. This green space requirement may be fulfilled by at-grade planters or by raised planters (cart screening may count toward this requirement)
- In addition to the green space at the building, pedestrian activity is to be encouraged by use of sitting benches integrated into the plan in coordination with the planters.
- Both the planters and the benches should be coordinated with any emergency exit doors along the frontage.
- Lighting fixtures and lighting plan design will meet the GDO District regulations in order to contain the light on-site and produce no glare.

CANNONBURG PLACE

LANDSCAPE PLAN

For trees located in the parking lot and around the perimeter, the minimum sizes of the trees are to be:

- 10% of trees to be 4" caliper or greater
- 15% of trees to be 3" caliper or greater
- Remaining tree sizes will be in accordance with Murfreesboro landscaping Ordinance as it regards Planned Commercial Developments.



1"=100'

Heibert & Associates, LLC
Site Planning • Landscape Architecture
ASLA CLAS CERTIFIED
MEMBER
Suite 400 • General George Patton Drive • Franklin, TN 37067
615-376-2421 • FAX: 615-376-2428 • Design@HeibertLA.com

CANNONBURG PLACE

LANDSCAPE PLAN



For trees located in the parking lot and around the perimeter, the minimum sizes of the trees are to be:

- 10% of trees to be 4" caliper or greater
- 15% of trees to be 3" caliper or greater
- Remaining tree sizes will be in accordance with Murfreesboro landscaping Ordinance as it regards Planned Commercial Developments.



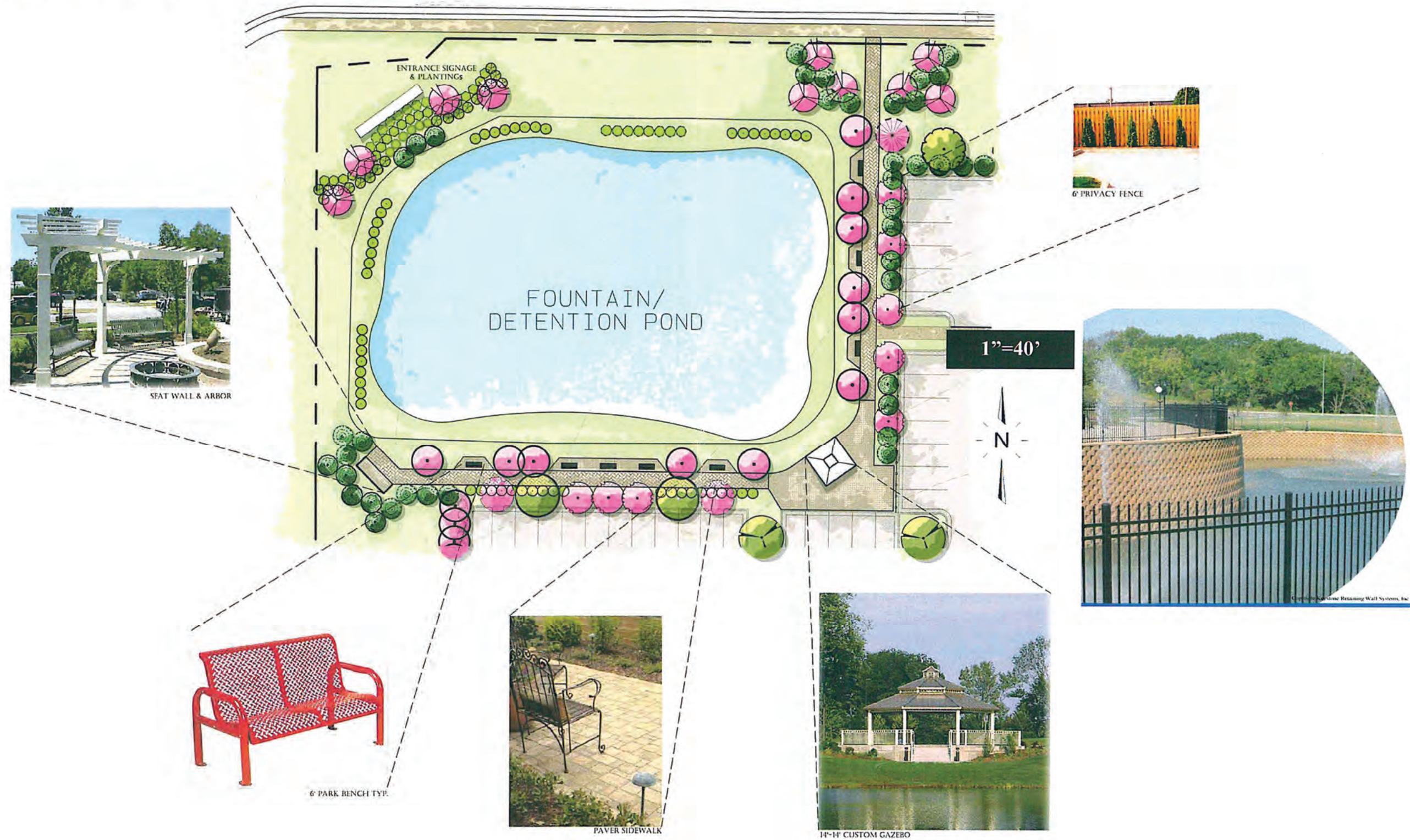
1"=100'

Heibert & Associates, LLC
Site Planning • Landscape Architecture
A S L A CLAS CERTIFIED
MEMBER LANDSCAPE ARCHITECT

Suite 400 • General George Patton Drive • Franklin, TN 37067
615-376-2421 • FAX: 615-376-2438 • Design@HeibertLA.com

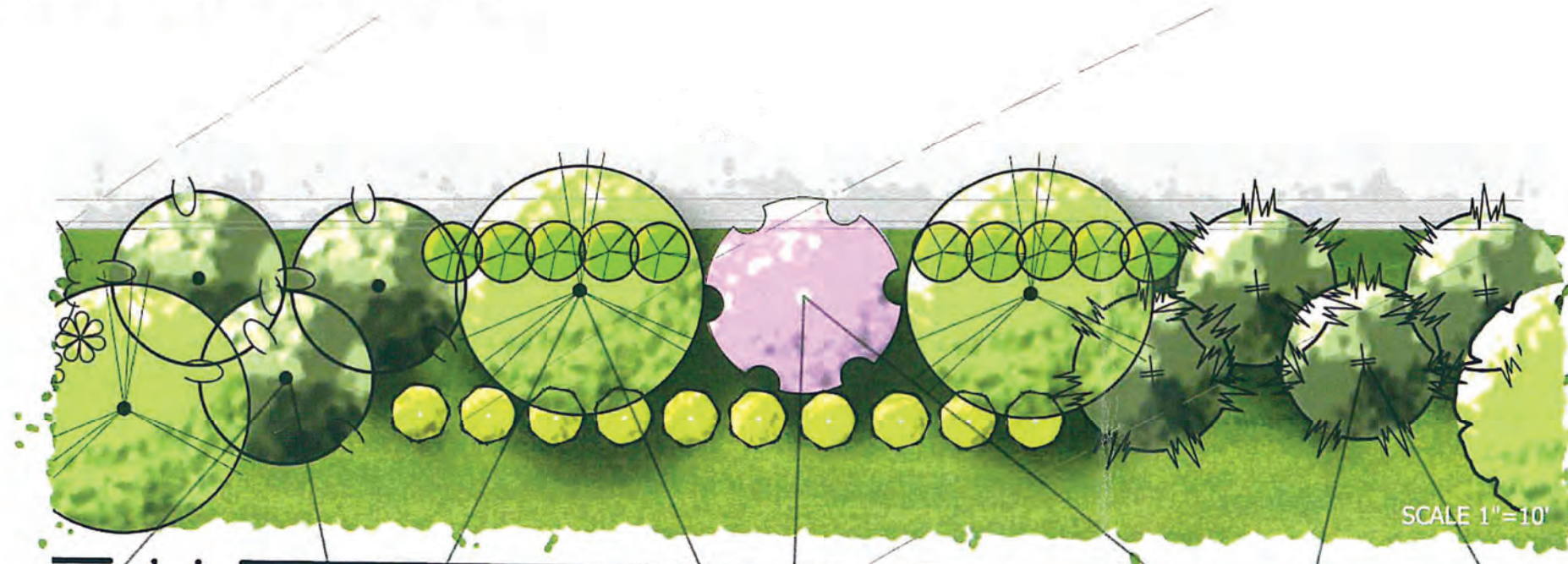
CANNONSBURG PLACE

FORMAL OPEN SPACE PLAN



CANNONSBURG PLACE

LANDSCAPE PLAN (CONT.)



Evergreen Tree A
Cedar
Holly
Juniper



Canopy Tree
Oak
Maple
Linden



Understory Tree
Redbud
Hawthorn
Trident Maple

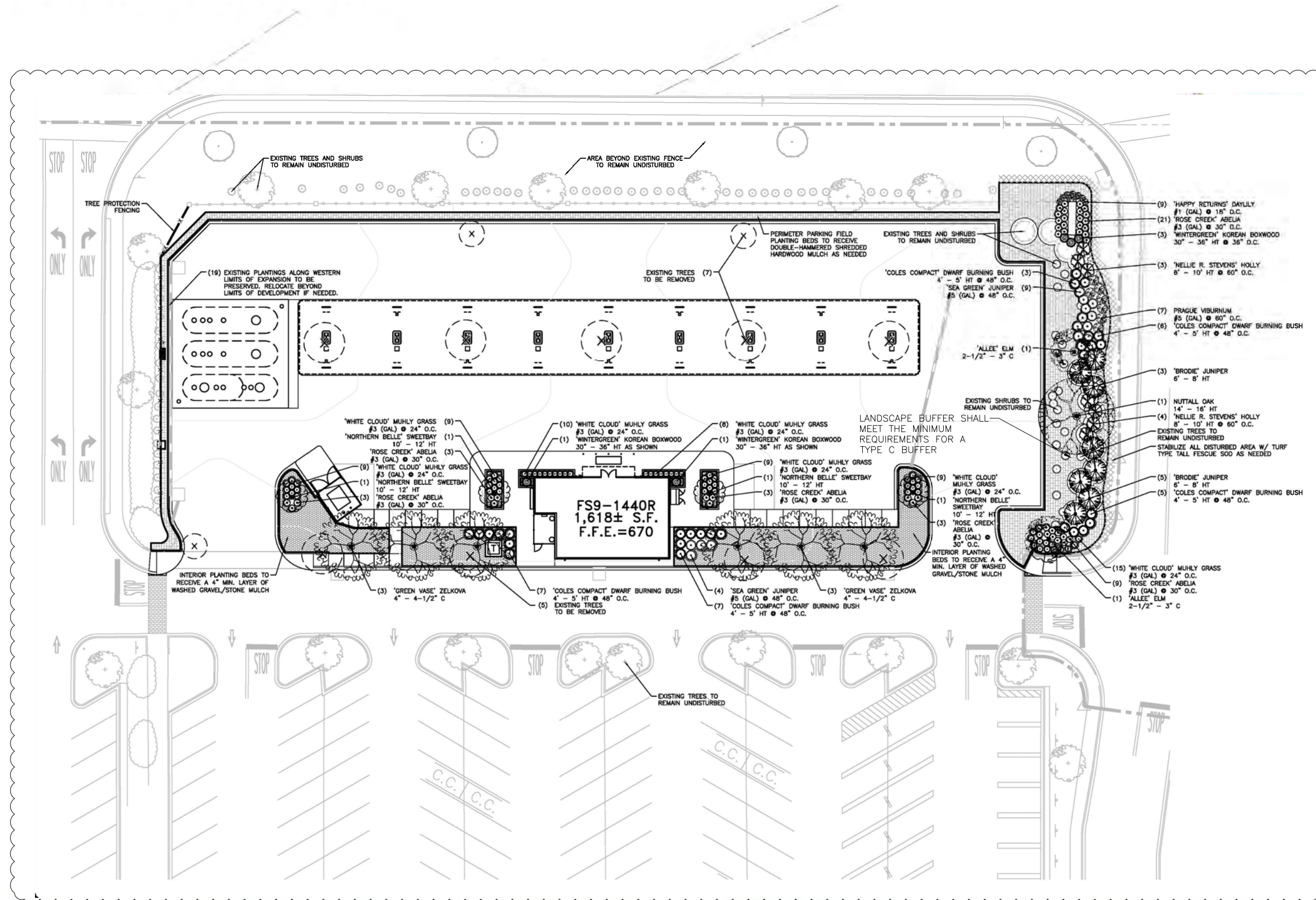


Evergreen Tree B
Cypress
Magnolia
Arborvitae



Typical Buffer

LANDSCAPE PLAN (CONT.)



CANNONSBURG PLACE

INGRESS/EGRESS



N.T.S.

Cannonsburg Place will have several entrances that will act to disperse traffic instead of concentrating it onto one single road. Based on Murfreesboro's 2025 Major Thoroughfare Plan (MMTP), County Farm Road is planned to be upgraded to a 5-lane roadway adjacent to the site, while to the east of the site the roadway is planned to be a 3-lane road and extended to I-24. These improvements are currently in the design stage. With these scheduled road improvements in the immediate vicinity, consumers will be provided with convenient access to Cannonsburg Place from I-24 and South Church Street.

The plan has been designed to provide 4 entry ways into the site. Access will come from County Farm Road and South Church Street. In addition, the plan also accounts for right-of-way dedication along the frontage of County Farm Road and the improvement of County Farm Road to a 5-lane section. A traffic study has been completed in conjunction with this project and all recommendations of that study will be built with the development of this site. In addition, any modifications to Highway 231 will require approval from TDOT.

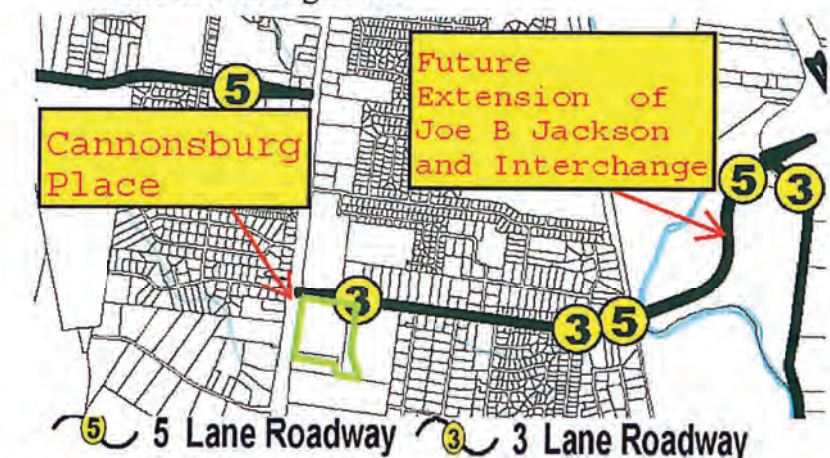
The **eastern entrance on County Farm Road** will serve as the primary entrance for the site and will be signalized by the developers. This entrance will be a public road and will provide emergency vehicular access into the neighboring Villas of Baskinwood as well as a pedestrian connection. In order to avoid "cut-through" traffic, the new entry way into the Villas of Baskinwood will be furnished with a crash gate to limit the access to emergency access only. After this connection is built, the western most entrance of the Villas of Baskinwood will be eliminated to avoid any possible conflicts. It is also being requested that the entrance(service entrance) for the development to the north of County Farm Road be coordinated with this entry point. At present, the design shows the northern site's entrance being approximately 40 feet to the west of Cannonsburg Place's entrance. The entry point for Cannonsburg Place was determined by the need to be as far from the intersection with South Church Street as possible.

The **southern access point on South Church Street** is presently designated to be approximately 1500 feet from the intersection of County Farm Road and South Church Street and located at the crest of the hill. That entrance would create a new median opening in South Church Street. These improvements which include a planned future traffic signal are pending TDOT approval. To achieve the access point, right-of-way for the road will be annexed into and dedicated to the city and the road will be built to city standards as a part of this project.

The **western access point on County Farm Road** has no curb cuts for more than 150 feet off the proposed edge of pavement. It is also being requested that the entrance for the development to the north of County Farm Road be coordinated with this entry point.

The **northern access point on South Church Street** is a right-in/right out and has no curb cuts for over 230 feet from the existing edge of pavement. In conjunction with this entrance, the median opening on South Church Street is proposed to be closed pending TDOT approval.

Also, adequate room has been provided for the truck turning movements in both loading dock areas and the fueling center.



CANNONSBURG PLACE

PROPOSED ARCHITECTURE

Architectural Features

- The main entrances are to be well defined by use of raised rooflines, canopies, glazing, and stone pilasters.
- Parapet wall will be required along the western and northern elevations and the western half of the southern elevation and the northern half of the eastern elevation.
- Architectural cornice will be required in conjunction with all parapet walls.
- If canopies are used, they are to be flat with metal or wood finish with cable supports.
- At least 2 different color tones shall be used along any single elevation.
- No single plane of the building on the north or west elevations shall be more than 50 feet long.



INTENT

It is intended that the proposed architectural styles, elements, colors and materials outlined in this section be approved only as an architectural guideline and sampling palate for final building design. The Planning Commission shall have review authority and shall be allowed to provide input and influence for the final architectural building design. This shall be done as part of the final site plan approval process.



Building Materials

- Integrally Colored Split Face Block will be utilized on the western and northern elevations
- On the eastern elevation, the same requirements will apply until the northern edge of the mechanical units at which point the entire wall will consist of integrally colored split face block. The entire southern elevation will consist of the integrally colored split face block.
- Dryvit will be utilized from the termination of the split face block to the roof line.
- Pilasters will consist of a faux stone veneer and will be utilized to break up the building's facade.
- All elevations will be at least 50% masonry

Architectural Features

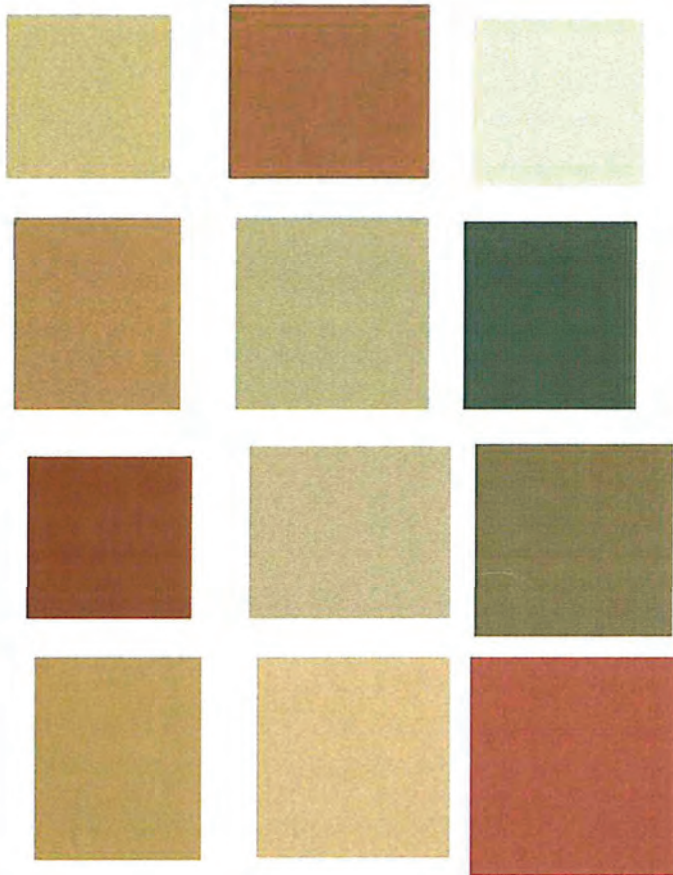
- All mechanical units are to be partially screened to break up the view of the units.
- The fuel station and pharmacy will be required to have hip, gable, or curved roofs.
- The columns of the fuel station and pharmacy will be required to be faux stone veneer.
- The maximum height of the fueling station and pharmacy canopy is 20 feet.
- The pharmacy and fueling station canopies are to have at least 14 feet clearance.
- Any roofing material visible on any structure is to be asphalt shingles or metal roofing of a neutral earthen color or accent color in coordination with the building colors.
- All roll up doors visible from a public right of way are to be buffered from view or enhanced by the use of canopies and painting to match the adjacent building material.



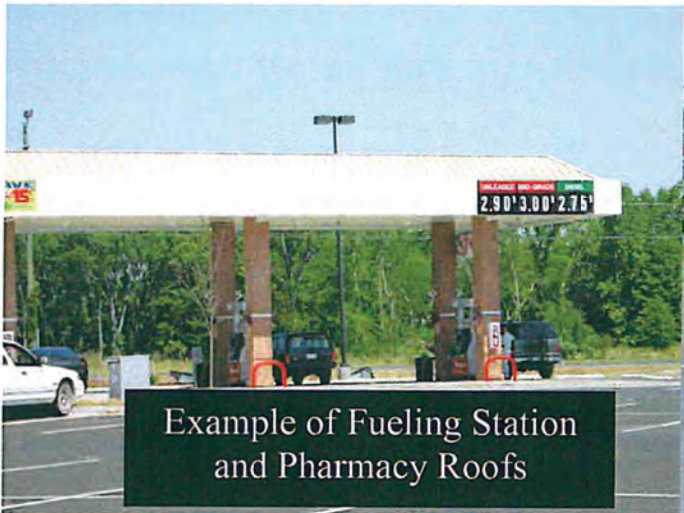
CANNONBURG PLACE

PROPOSED ARCHITECTURE (cont.)

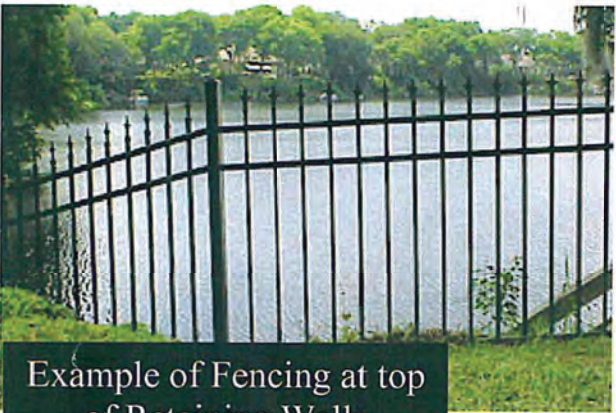
Building Color Palette Primary Colors



Building Color Palette Accent Colors



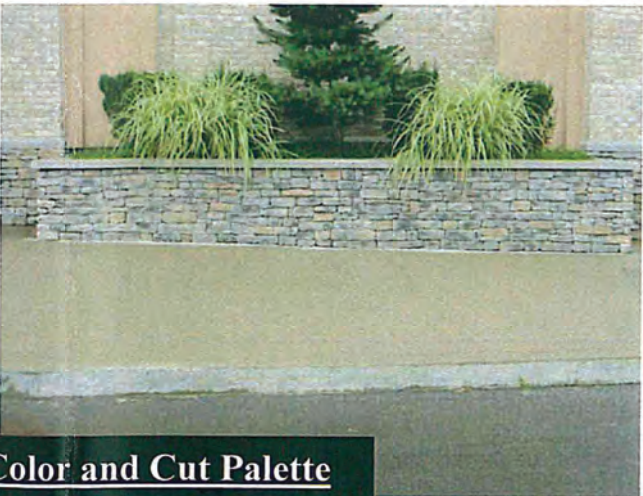
Example of Fueling Station and Pharmacy Roofs



Example of Fencing at top of Retaining Walls



Example of HVAC Partial Screening

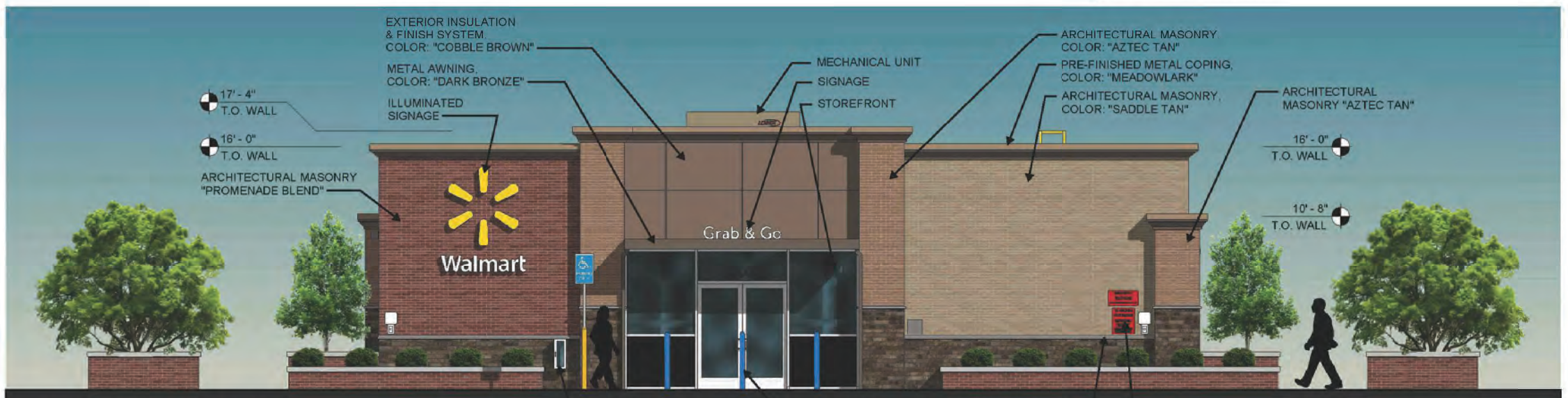


Stone Color and Cut Palette

PROPOSED
ARCHITECTURE (cont.)

CANNONBURG PLACE

NOTE:
ALL MATERIALS, COLORS, AND FINISHES TO MATCH ADJACENT SUPERCENTER.



SERVICE BUILDING FRONT ELEVATION



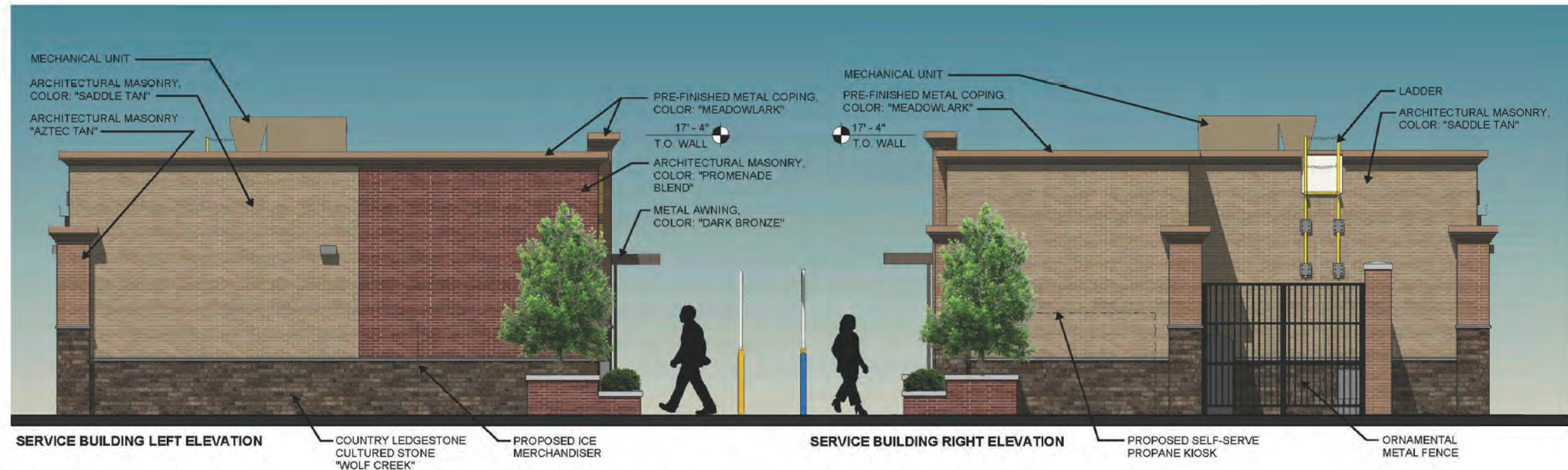
SERVICE BUILDING REAR ELEVATION

 ARCHITECTURAL MASONRY "PROMENADE BLEND"	 ARCHITECTURAL MASONRY "AZTEC TAN"	 ARCHITECTURAL MASONRY "SADDLE TAN"	 COUNTRY LEDGESTONE CULTURED STONE "WOLF CREEK"	 EXTERIOR INSULATION & FINISH SYSTEM (EIFS) COLOR: SW #6082 "COBBLE BROWN"	 PRE-FINISHED METAL, COLOR: SW #7522 "MEADOWLARK"	 PRE-FINISHED METAL, COLOR: P217E "DARK BRONZE"
---	---	--	--	---	--	--

PROPOSED
ARCHITECTURE (cont.)

CANNONBURG PLACE

NOTE:
ALL MATERIALS, COLORS, AND FINISHES
TO MATCH ADJACENT SUPERCENTER.



PROPOSED ACCESSORY USES

Cannonsburg Place will be restricted to the uses shown and listed here. In addition, any user of the site will not be allowed to spill music or noise into the surrounding residential areas during the night.



AUTOMOTIVE REPAIR



BAKERY GOODS OR RETAIL



PHARMACY
WITH DRIVE-THRU



HARDWARE SALES



HOME & GARDEN SUPPLIES



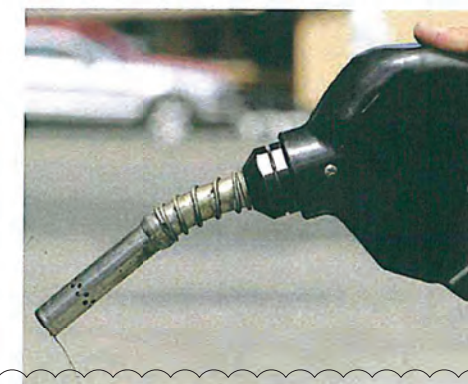
GROCERY



GREENHOUSE OR NURSERY

In addition to the uses shown, the allowable commercial uses include:

- 1.) Retail Sales
- 2.) Clothing Sales
- 3.) Jewelry Sales
- 4.) Book or Card Shop
- 5.) Office/Art Supplies Shop
- 6.) General Offices
- 7.) Photo Finishing
- 8.) Restaurant
- 9.) Sporting Goods
- 10.) Telephone Service Center
- 11.) Tobacco Products
- 12.) Automated Teller Machine
- 13.) Mass Merchandiser
- 14.) Department Store



FUELING CENTER
WITH CONVENIENCE STORE



BARBER OR
BEAUTY SHOP



SCREENING AND PARKING NARRATIVE

TO: RICHARD DONOVAN

FROM: KYLE TSCHIRHART

RE: WALMART #0416-1003
140 JOE B JACKSON PKWY
MURFREESBORO, TN

DATE: JANUARY 16, 2025

CC: FILE

Dear Mr. Donovan:

The purpose of this narrative is to accompany the Cannonsburg Place PCD amendment submittal for the addition of a Walmart Fuel Station to the existing Walmart Supercenter at 140 Joe B Jackson Rd. The proposed work includes a reduction of parking spaces, and heavy landscape screening. Additional insight for these items is provided below, to assist in Planning Staff and Planning Commission's understanding of this project.

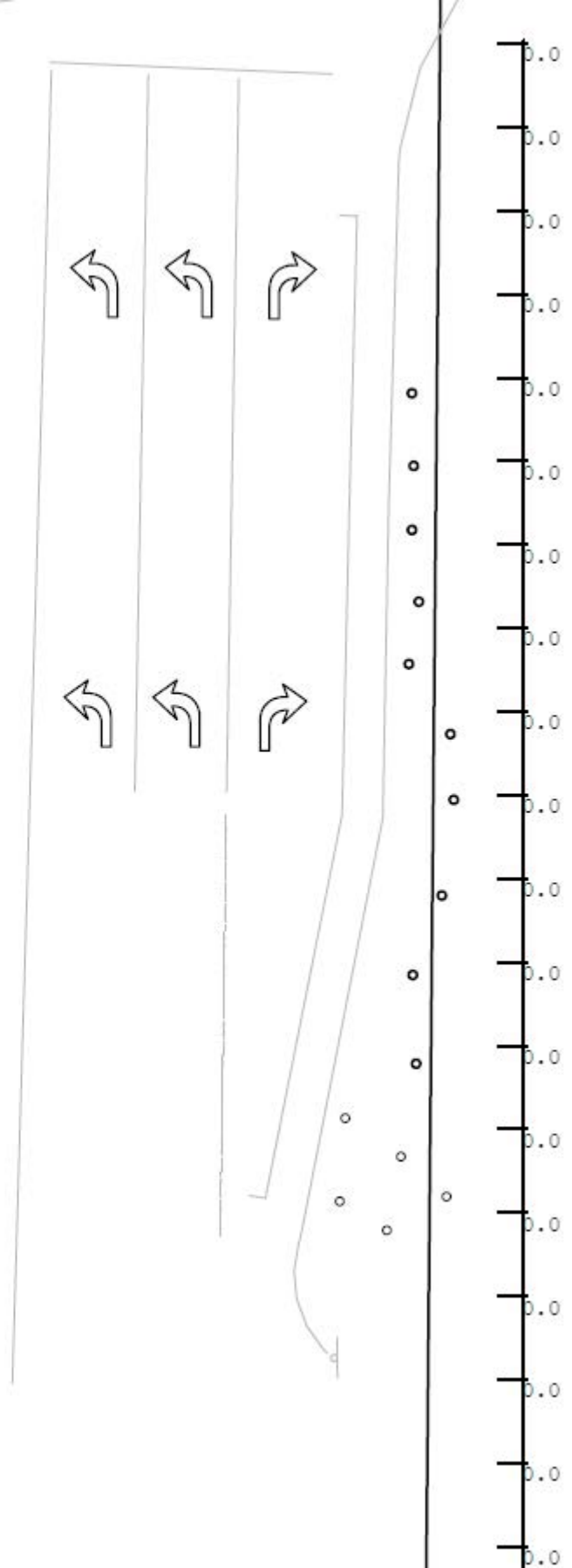
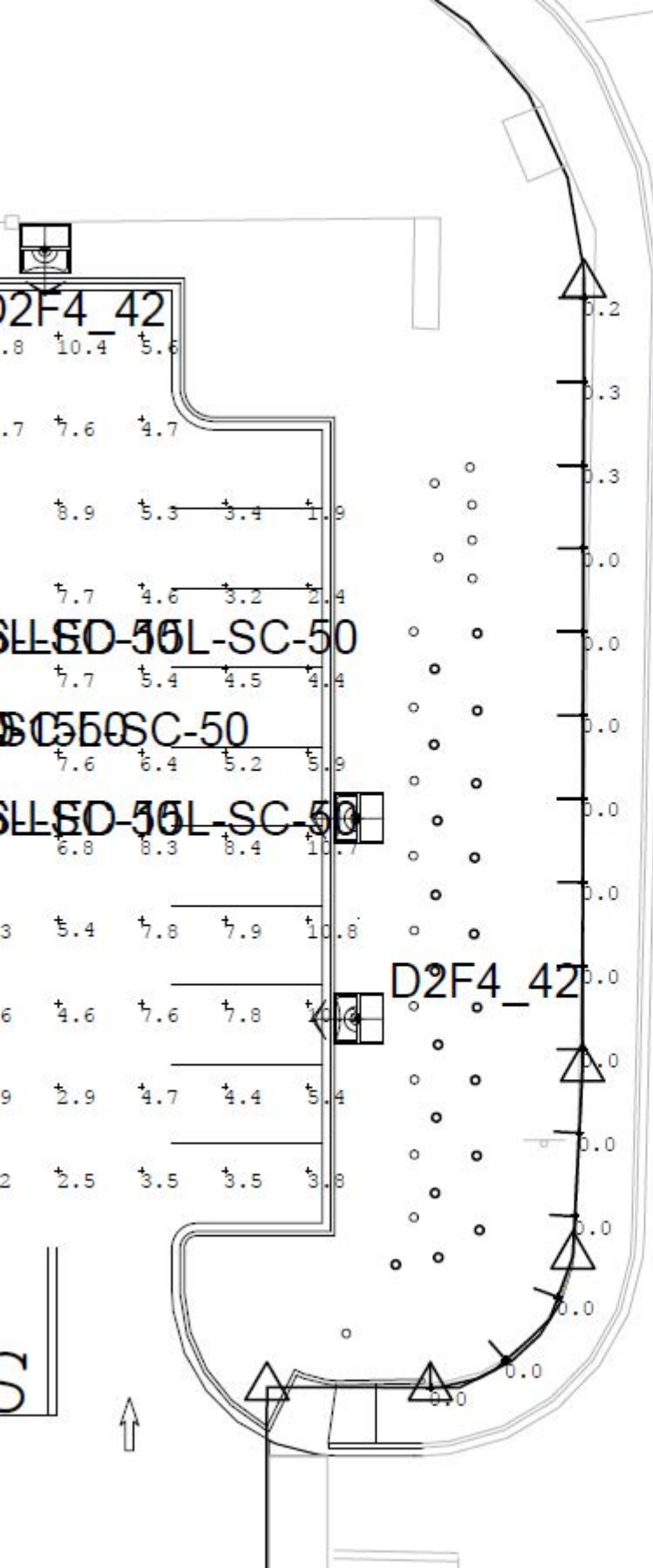
Parking Reduction: The current required parking ratio per the original PCD pattern book is 4.70 spaces per 1,000 sf of sales floor area. The current Walmart Supercenter parking lot meets this requirement. With this PCD amendment, we are proposing the reduction of the required parking ratio to 2.50 spaces per 1,000 sf of gross floor area - which aligns with the Murfreesboro Zoning Ordinance requirement for discount stores. The actual proposed parking ratio is 3.79 spaces per 1,000 sf, exceeding this requirement.

Landscape Screening: The Walmart Fuel Station is proposed to be located on the northeast corner of the existing Walmart parking lot. This portion of the lot is adjacent to multi-family housing to the east across Bob Baskin Dr. To mitigate disruption associated with the addition of a fuel station and convenience store, we are proposing a heavy landscape screening area on the east side of the fuel station. This landscaping will provide a buffer between the fuel station and multi-family housing, separating these uses.

Sincerely,

A handwritten signature in blue ink that reads "Kyle Tschirhart". The signature is fluid and cursive, with the first name "Kyle" and last name "Tschirhart" clearly distinguishable.

Kyle Tschirhart, EI
Carlson Consulting Engineers, Inc.



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 5, 2025
PROJECT PLANNER: HOLLY SMYTH**

5.c. Zoning application [2025-403] for approximately 0.82 acres located along Greenland Drive to be rezoned from RS-10 to PUD (Greenland Heights PUD), Rajesh Aggarwal applicant.

The subject property is located on the north side of Greenland Drive opposite the Champion Way T-intersection and includes 2 parcels. The parcels are identified as Parcels 009.00 and 008.00 of Tax Map 090G Group B (aka 1603 and 1607 Greenland Drive, respectively). The proposed PUD would accommodate one mixed-use building containing 4 townhomes with resident fitness (equating to **±4.88** dwelling units to the acre) and approximately 2,700 square feet for commercial uses.

Adjacent Zoning and Land Uses

The surrounding zone districts include RM-16 (Multi-Family Residential District) to the north, PUD (Planned Unit District) to the northwest, RS-10 (Single-Family Residential) to the east and west, and CU (College & University District) to the south across the street. The primary surrounding land uses are either single-family dwellings, apartments, or the MTSU campus, more particularly shown on page 4 of the program book. Recently-developed commercial uses occupy the corner of Old Lascassas Road and Greenland Drive.

Proposed PUD

The PUD overall layout is best seen on page 8 of the program book, which also includes basic site data. The PUD is being requested to allow for 4 single-family attached townhome units and 2,700 square feet of commercial space on the front ground floor. The project is most similar to what would be allowed in a MU- Mixed Use zone district and therefore uses it and the existing RS-10 zone for comparison on page 15.

The anticipated floor plan layout can be found on page 10 of the program book. The front portion of the ground floor incorporates a 2,700 square foot commercial use anticipated initially as a UPS store with “store-front” architecture with only one commercial space to start and the far right tenant space for a residents only workout space (as parking is not available for other types of uses at this time). The one currently anticipated tenant for the ground floor is a UPS store, which would be classified as “retail shop, other than enumerated elsewhere” per the current Zoning Ordinance definitions. Four 2-bedroom townhomes will each be a minimum of 1,850 square feet of habitable living area with the entire 2nd floor and the back half of the 1st floor. The front elevation of the entire building facing Greenland Drive can be found on page 11. The 2nd floor facing Greenland Drive incorporates a 228 square foot townhome balcony and 132 square foot closet for each of the 4 dwellings to serve as their private formal open space. There is a minimum of 2,000 square feet of common formal open space proposed in front of the building at the ground floor level with a plaza consisting of enhanced hardscape, formalized plantings, outdoor

seating, green turf and bike racks -- with the ultimate design to be finalized during site plan review. Additionally, there is a 900 square foot indoor resident fitness center. The proposed building setbacks are 42' front, 25' rear, and 5' side.

Access/Parking: Pages 8 and 12 of the program book summarize most of the specifics related to access and parking. There will be one all-way vehicular access into the site from Greenland Drive (designated as a Minor Arterial). The entrance cross-section accommodates four 12' travel lanes (1 in-bound and 3 outbound) and one 10' monolithic sidewalk.

Greenland Drive is currently built as a 4-lane roadway with a center turn lane and bike lanes on both sides of the street to the west of the Champion Way intersection. To the east of the intersection, Greenland Drive transitions into a 2-lane roadway with center turn lane. Sidewalks and curb & gutter are located on both sides of Greenland Drive with no bike lanes within the right-of-way as the street narrows. The Greenways, Blueways, and Bikeways Master Plan (GBBP) included a public desire to have bikeways from North Highland Avenue to North Rutherford Boulevard along Greenland Drive; however, the Area 'C' Map in the GBBP identified "existing bike lanes" east of Champion Way to Brown Drive/Hanover Street, where they do not actually exist.

There is an existing bike/pedestrian connection between the 2 existing properties from Greenland Drive about 16-ft wide, which leads to the apartment complex to the north, that will be rerouted through the proposed site plan, with a dedicated access easement, to maintain access.

The four two-bedroom dwellings would require 9 parking spaces while the 2,700 square feet of retail space also requires 9 spaces for a total of 18 spaces. Twenty-two (22) regular surface parking stalls and 1 handicapped stall are proposed for the entire mixed-use development. Because there is a surplus of 4 parking spaces, the project could adjust its bedroom count or the commercially available space so long as it continues to meet minimum parking requirements.

Landscape plantings and buffers are normally required to be a 15' "Type D" between PUD and RS-10 zone districts. The planned development is requesting a reduction in this requirement to a 5' perimeter planting yard standard, given the adjacent properties to the east and west are designated as Mixed-Use on the Future Land Use Map. Page 13 in the program book reflects the proposed general landscape layout. Additionally, due to the bike/pedestrian path tying into the rear of the site, staff has asked that parking lot screening not be provided along the path to improve visibility for safety and the addition of adequate lighting. Base of building landscaping is provided along all building sides; however, a small exception to allow a 2.5' depth versus the standard 3' along the private drive is being requested.

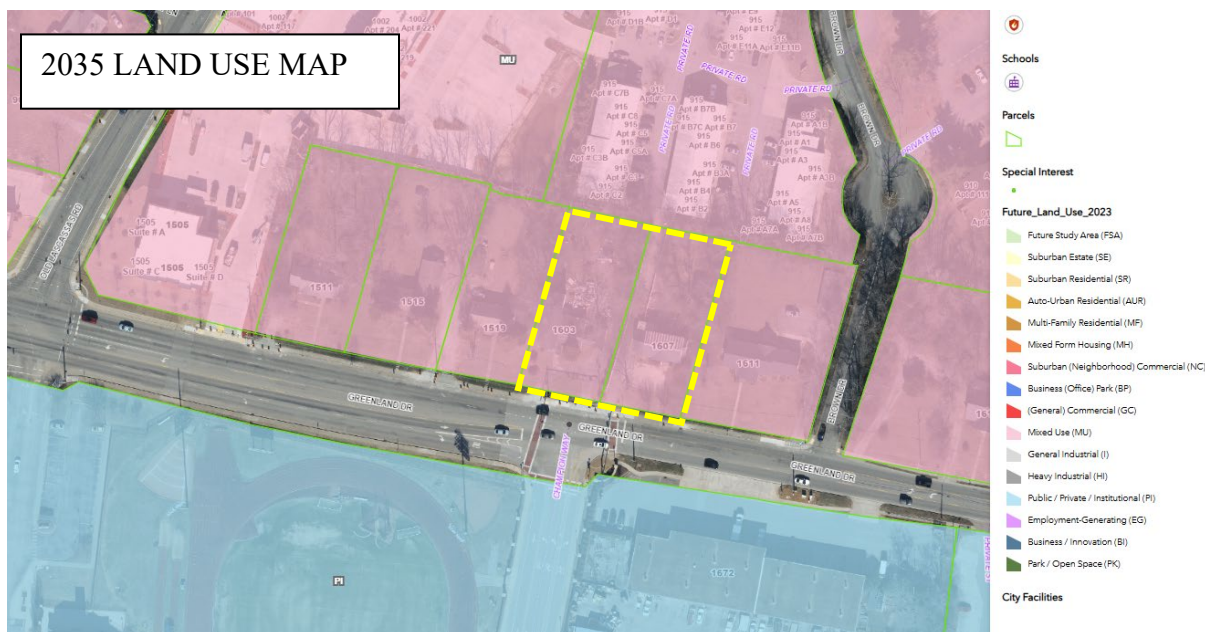
The project site provides 0.16 acres of the site (20% of the site) as "open space" meeting the City standard. As stated above, formal open space concepts have been provided and will be finalized with the site plan review process.

Comparative Zoning: Page 15 of the Program Book shows the comparison for this development to MU – Mixed Use zone and the existing RS-10 zone district with the requested exceptions shown in red text. Requested exceptions are all regarding setbacks or landscaping within the PUD as follows:

- Requesting an exception that the side setbacks be reduced by 5 feet from a 10 foot side setback to a 5 foot side setback, which will require a ‘rated’ wall for Building and Codes Department.
- Requesting an exception that the required 3-ft base of building landscaping adjacent to proposed private drive be reduced to 2.5-ft.
- Requesting an exception that the rear landscape yard and planting requirements be eliminated along the 10’ pedestrian pathway.
- Requesting an exception to the normally required 15-ft wide Type ‘D’ Buffer to be reduced to just meet the 5-ft perimeter planting standards.

Future Land Use Map

The future land use map recommends a “*Mixed Use Center – MU*” land use character. Development types for this land use “allows a broad range of commercial, office and high-density residential uses and public spaces serving surrounding neighborhoods, commercial / professional business parks and visitors from nearby communities. Mixed Use developments are required to provide office, commercial and retail spaces in addition to residential uses.” The character of this land use includes designs for pedestrian connectivity to surrounding neighborhoods, minimal front setbacks creating architectural enclosures with enhanced streetscape design, multi-story structures, and shared parking with complimentary uses. This land use encourages high density residential mixed with office, commercial, and retail spaces. Generally compatible zoning districts include CBD, MU-GDO, and PUD. Based on the Comprehensive Plan designation, the proposed PUD is clearly consistent with the *Mixed Use Center* designation.



Additional Information for Planning Commission

At the February 19th Planning Commission meeting, there were a few items of concern that were verbalized to staff that needed to be addressed before the public hearing, which are discussed below.

There were some uses in the Allowable Use Table that are not possible due to site constraints, be it parking for restaurant uses or outdoor play areas for childcare. The applicant stated they would review the uses and further analyze the constraints and remove uses that are not practical and/or cannot meet City standards. Page 09 of the book shows an updated use table with the removal of all institutional uses, amusements, antique mall, business school, coffee/food/beverage kiosks, department or discount store, pet shops, all restaurants, and all utility uses except for telephone or communication services. Additionally, required parking ratios and required parking quantities have been added to all the uses to show that those uses could meet City standards should other commercial uses be located within the 2,700 square foot tenant space anticipated for the UPS Store.

A concern was expressed regarding how a passenger vehicle could turn around without backing out into Greenland Drive if the parking lot was full. A turn template exhibit was prepared and included with the packet showing that vehicles can turn around on-site without backing into the street if all the parking stalls are in use. The site layout was adjusted to provide 2 parking spaces at the north-western corner and the trash bin enclosure area was moved further into the site and changed to trash carts serviced by a private hauler as discussed in the SEC response letter attached.

There was a concern expressed that parking should be provided closer to the UPS Store entrance and maybe parking should be moved up front or maybe the developer should consider providing a rear entrance into the UPS Store from the center of the building between the condo units. The response from the applicant stated that “incorporating a rear entrance into the UPS Store would significantly impact the existing floor plan, particularly concerning load-bearing walls. As a result, the hallway could not be feasibly divided between two units. To address accessibility concerns, the design was revised to include an additional entrance on the west side of the building, complete with an awning to offer protection from the elements.” However, staff did not believe this additional entrance provides any benefit as it could actually cause a safety issue and has been removed.

Additionally, staff reached out to the City’s traffic division at our weekly infrastructure meeting. They stated that parking in the front setback would not be allowed as traffic would have to enter into the travel lanes needed for adequate circulation throat distances at the signalized intersection. Additionally, the traffic division stated that the proposed signage and the island shrubbery between the outbound and inbound lanes at the front of the property need to be removed from the program book as it would not be approved as it is a safety hazard for traffic. Therefore, the program book has been updated to remove.

The commission wanted to understand how parking by the residents would be limited/controlled/ signed to not conflict with the commercial use parking needs. The following statement has been added to the program book on page 09 “Residential parking shall be assigned via parking signs or painted numbers/letters within the spaces. Parking shall be enforced by the building owner.”

Department Recommendation

Staff is supportive of this revised rezoning request for the following reasons:

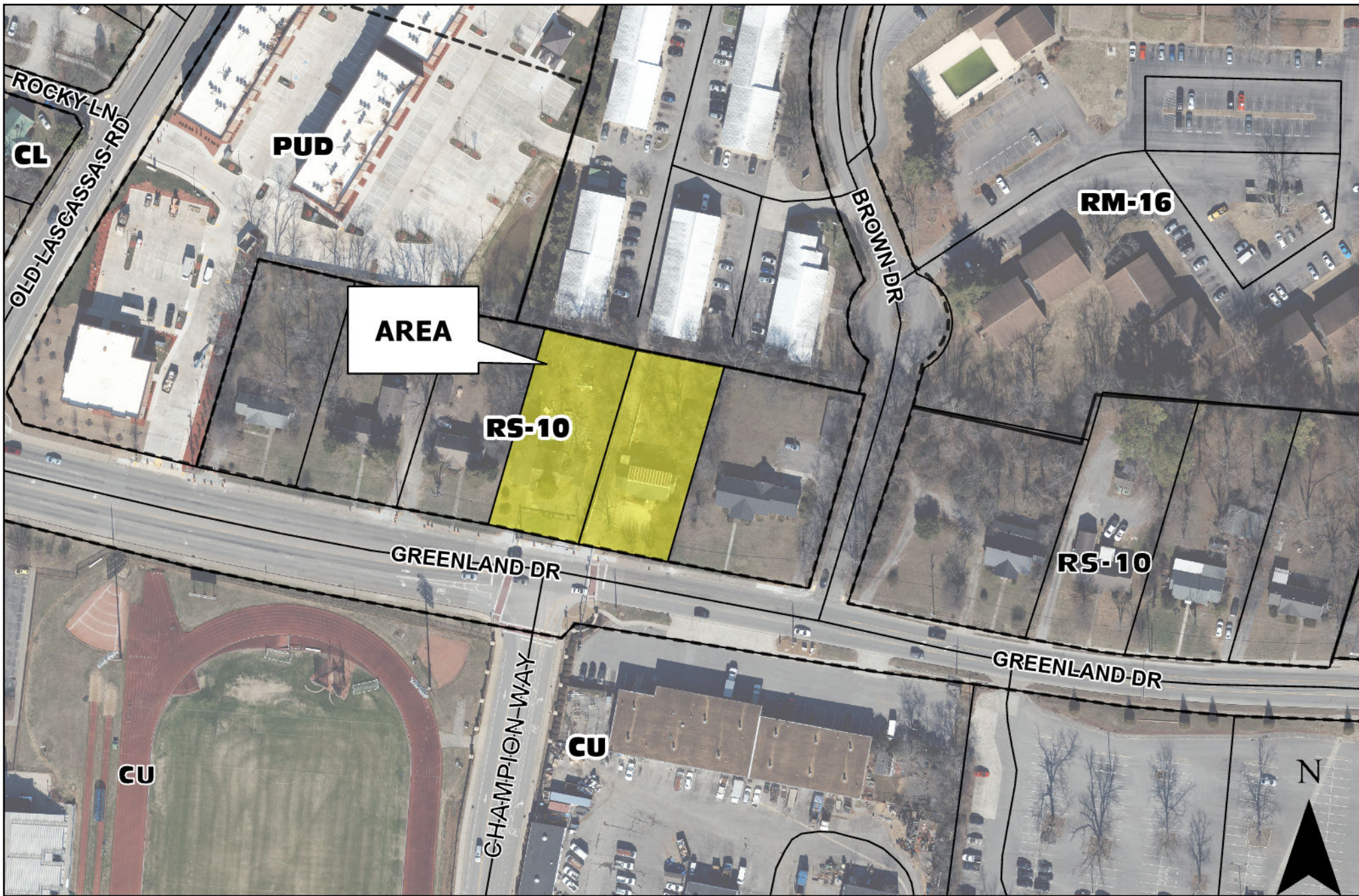
- 1) The commercial and residential uses in the proposed PUD are clearly consistent with the “Mixed Use Center” future land use designation of the General Plan.
- 2) The character of this land use includes designs for pedestrian connectivity to surrounding neighborhoods, minimal front setbacks creating architectural enclosures with enhanced streetscape design, multi-story structures, and shared parking with complimentary uses as the General Plan land use policy states.
- 3) The pedestrian and bicycle path connections are being relocated within the site between the apartments and this project to continue easy access to the MTSU campus.
- 4) Any of the updated Allowable Uses, should they change over time, will meet the City standards for the residential and commercial parking uses.
- 5) Architectural design is compatibility with surrounding land uses
- 6) Removal of existing dilapidated homes is a benefit to the neighborhood.
- 7) This project is a catalyst for positive change and redevelopment of this area of Greenland Drive.

Action Needed

The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should conduct a public hearing and then formulate a recommendation to City Council.

Attachments:

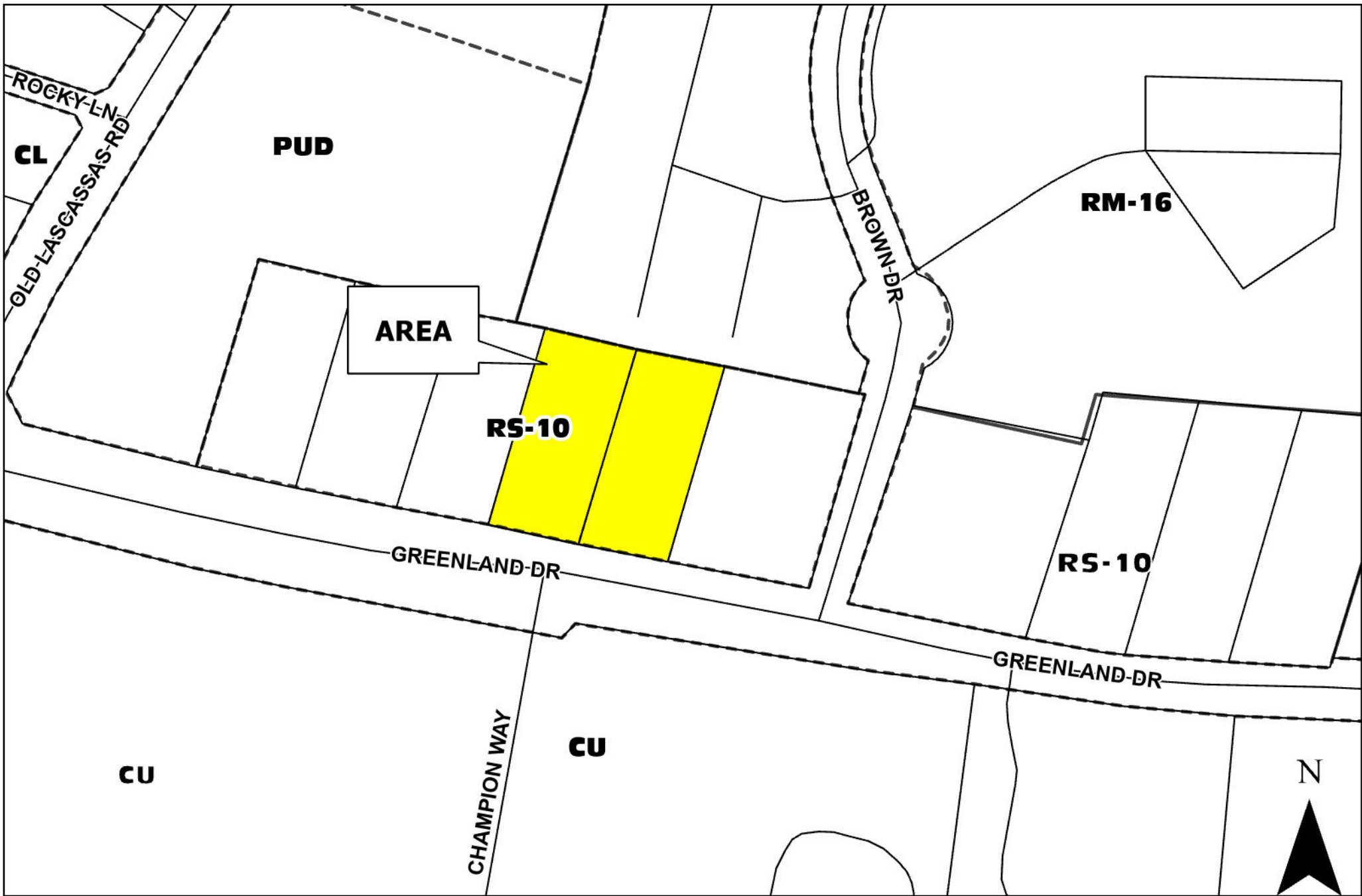
- NoOrtho Map
- Ortho Map
- SEC Response Letter
- Updated Program Book



Rezoning request for property along Greenland Drive
RS-10 to PUD (Greenland Heights PUD)

0 85 170 340 510 680 US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Rezoning request for property along Greenland Drive RS-10 to PUD (Greenland Heights PUD)



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

SEC, Inc.

SITE ENGINEERING CONSULTANTS

ENGINEERING · SURVEYING · LAND PLANNING
LANDSCAPE ARCHITECTURE

850 Middle Tennessee Blvd · Murfreesboro, TN 37129 · 615-890-7901 · www.sec-civil.com · Fax 615-895-2567

February 25, 2025

Holly Smyth
City of Murfreesboro
111 West Vine Street
Murfreesboro, TN 37130

RE: Greenland Heights PUD - Resubmittal per staff comments.
PUD Pattern Book Response to Staff Comments
SEC Project No. 24210

Dear Holly,

Revisions per staff comments have been outlined below.

Development Services – Planning

Holly Smyth - 615.893.6441

- 1) Analyze uses that should be removed from the Use Table that cannot meet site constraints such as parking or outdoor play (May want an excel spreadsheet that summarizes the square footages of various use types and removes items from the list in the program book, showing with strikethroughs for PC purposes and later removal at CC).

Response: Revised allowable use table to remove any uses that required more than what was available for parking (13 Spaces). Calculations have been added along with the total required parking per use.

- 2) Provide a turn template showing that passenger vehicles exhibit that shows a vehicle can turn around and get back out to Greenland Drive without backing into street if all the parking stalls are in use.

Response: Added turning template (Ford F-150 w/ 8' bed). The solid waste enclosure has been revised to a trash bin enclosure. This will still be served via a private hauler. The removal of the dumpster enclosure increases visibility of the pedestrian pathway and allows the relocation of two parking spaces outside of the rear parking lot. This relocation allows the dedication of two turn-around spaces at the ends of the parking bays.

- 3) Consider providing a rear entrance into the UPS Store directly from the parking lot through an entrance between the two townhome units at the center (maybe it is an exit only entrance with panic hardware on the interior?)

Response: Incorporating a rear entrance into the UPS Store would significantly impact the existing floor plan, particularly concerning load-bearing walls. As a result, the hallway could not be feasibly divided between two units. To address accessibility concerns, the design has been revised to include an additional entrance on the west side of the building, complete with an awning to offer protection from the elements.

- 4) Explain how parking by the residents will be limited/controlled/ signed to not conflict with the commercial use parking needs.

Response: Residential parking shall be assigned via parking signs or painted numbers/letters within the spaces. Parking shall be enforced by the building owner.

Should you need any clarification concerning the plans or our revisions, please feel free to contact me at 615-648-7085.

Sincerely,

A handwritten signature in blue ink, appearing to read "Brian Grover". The signature is stylized with a large initial "B" and a cursive "Grover".

Brian Grover, P.L.A.

SEC, Inc.

GREENLAND HEIGHTS

A REQUEST FOR REZONING FROM SINGLE FAMILY RESIDENTIAL (RS-10) TO PLANNED UNIT DISTRICT (PUD)

Murfreesboro, Tennessee



SEC, Inc.

SEC Project #24210

Initial Submittal

January 16, 2025

Resubmitted

February 11th, 2025 for the
February 19th, 2025
Planning Commission Meeting

Resubmitted

February 25th, 2025 for the
March 5th, 2025
Planning Commission Public Hearing

© Copyright 2025, Site Engineering Consultants, Inc.



Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Brian Grover / Matt Taylor
Phone: (615) 890-7901
Email: [Redacted]
Web: www.sec-civil.com

850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129

Company Name: Aggerwal LLC
Profession: Developer
Attn: Ed Stevens
Phone: (615) 337-0809
Email: [Redacted]

TABLE OF CONTENTS02

PROJECT SYNOPSIS, ZONING MAP, & FUTURE LAND USE MAP03

SUBDIVISION MAP & 2040 MAJOR TRANSPORTATION PLAN04

UTILITY MAP & HYDROLOGY AND TOPOGRAPHY05

ON-SITE, ROADWAY, & OFF-SITE PHOTOGRAPHY 06-07

CONCEPTUAL SITE AND LANDSCAPE PLAN08

DEVELOPMENT STANDARDS.....09

ARCHITECTURAL CHARACTERISTICS..... 10-11

INGRESS AND EGRESS12

AMENITIES & LANDSCAPE STANDARDS.....13

ARTICLE 13 INFORMATION SUMMARY14

REQUESTED EXCEPTIONS SUMMARY15

© Copyright 2025, Site Engineering Consultants, Inc. (SEC, Inc.)
This document shall not be reproduced, modified, published, or used in any way or form of media/print
without the expressed written consent of Site Engineering Consultants, Inc.



AERIAL PHOTOGRAPH

Not To Scale

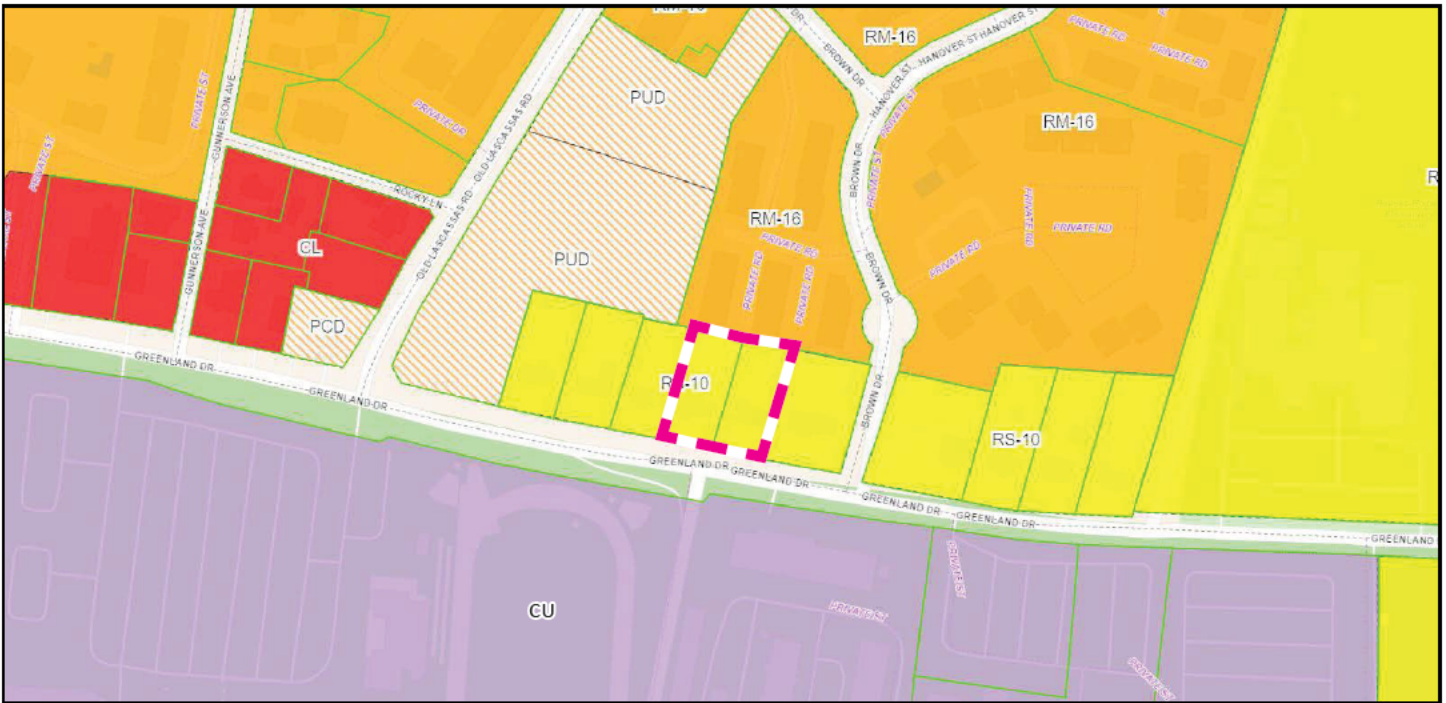
- Greenland Drive
- Brown Drive
- Champion Way (Private)
- Old Lascassas Road



Site Boundary

Aggarwal LLC respectfully requests rezoning of the Aggarwal properties at 1603 and 1607 Greenland Drive from single-family residential (RS-10) to Planned Unit District (PUD) to create Greenland Heights. The property is located along the northern side of Greenland Drive at the intersection of Champion Way. The site is identified as Parcels 8.00 and 9.00 of Tax Map 90G Group B, and is approximately 0.82 acres.

The request for rezoning to a PUD, is to create Greenland Heights. The development will consist of a two-story mixed-used building with the first floor providing access to a commercial space and four single-family attached townhomes. The second floor will provide additional living space for the townhomes, along with a balcony overlooking Greenland Drive and into the MTSU campus. These four units, on 0.82 acres, create a density of approximately 4.88 dwelling units per acre. The proposed townhomes will be a minimum of 1,850 square feet of living space, and will have a maximum of 2 bedrooms each. These townhome units will be for rent. The building elevations will be constructed of masonry materials to add quality and character to the community. Mail service shall be provided via a permanent mail kiosk at the rear of the building. The property owner will maintain the common areas.



ZONING MAP

Not To Scale

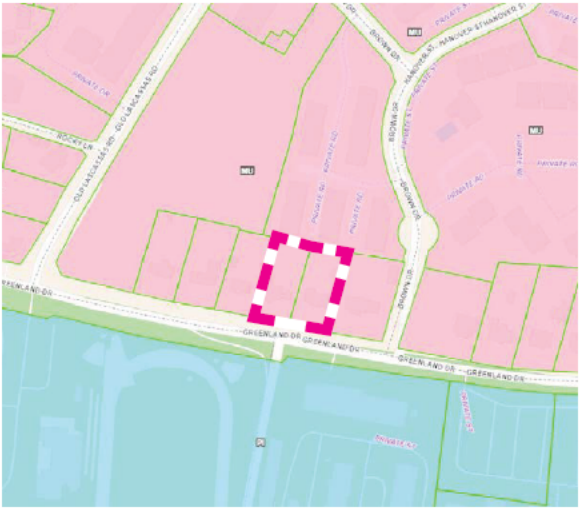
- RS-10 Residential Single-Family (RS-10)
- RM-16 Residential Multi-Family (RM-16)
- CL Commercial Local (CL)
- CU College and University (CU)
- PUD Planned Unit District (PUD)
- PCD Planned Commercial District (PCD)



Site Boundary

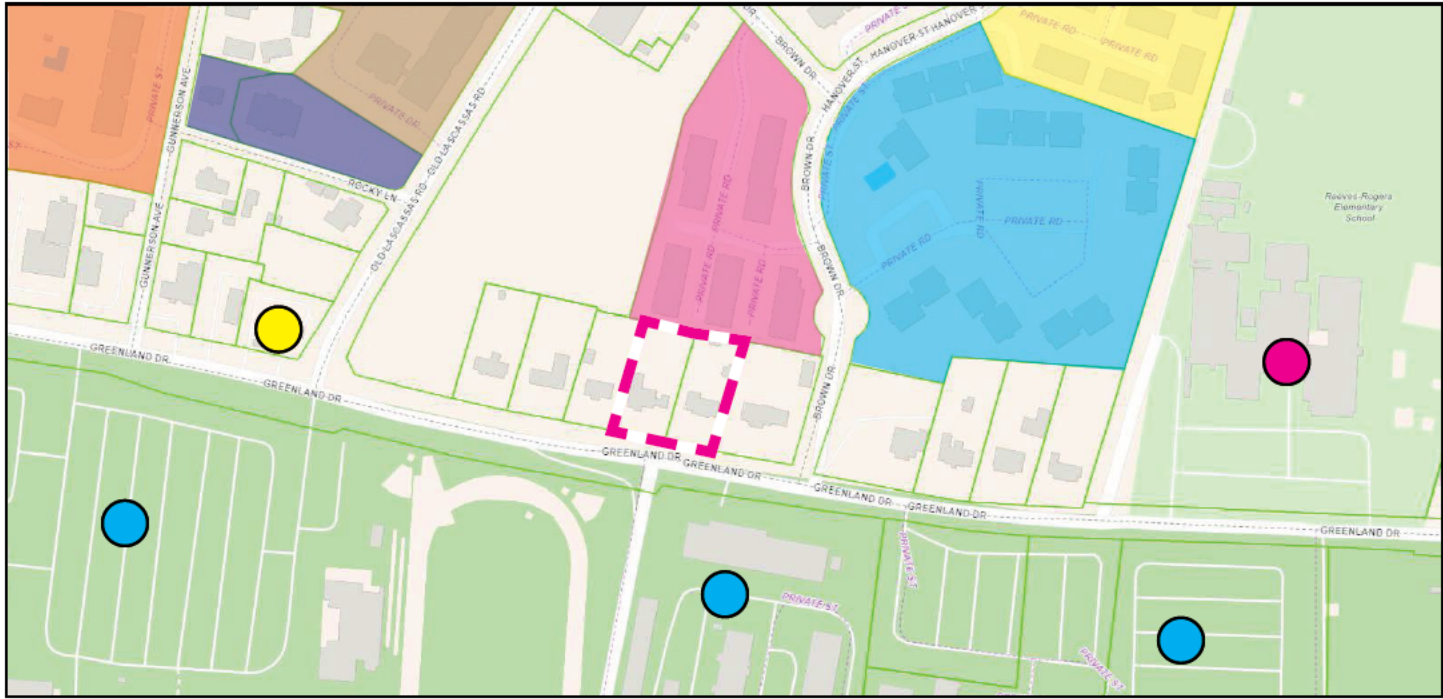
The surrounding area consists of a mixture of zoning types and land uses. The land directly north is zoned RM-16 and land to the east and west is zoned RS-10. Across Greenland Drive is the MTSU Campus, zoned CU.

2035 FUTURE LAND USE PLAN



The Murfreesboro Future Land Use Plan designates this area as Mixed-Use Center (MU). The character of this land use includes designs for pedestrian connectivity to surrounding neighborhoods, minimal front setbacks creating architectural enclosures with enhanced streetscape design, multi-story structures, and shared parking with complimentary uses. This land use encourages high density residential mixed with office, commercial, and retail spaces. Generally compatible zoning districts include CBD, MU-GDO, and PUD.

The proposed development aligns closely with the Murfreesboro Future Land Use Plan in terms of proposed zoning, dwelling type, and building character.



SUBDIVISION MAP

Not To Scale



Greenland Heights is surrounded by a mixture of residential subdivisions, commercial properties, and educational facilities. The Cove at Center Point One a residential development consisting of two-story single family attached apartments. The exterior elevations consist of primarily brick along all elevations with fiber cement board accents between floors. There is one primary point of ingress/egress to the development from Brown Drive with two secondary points from Brown Drive.

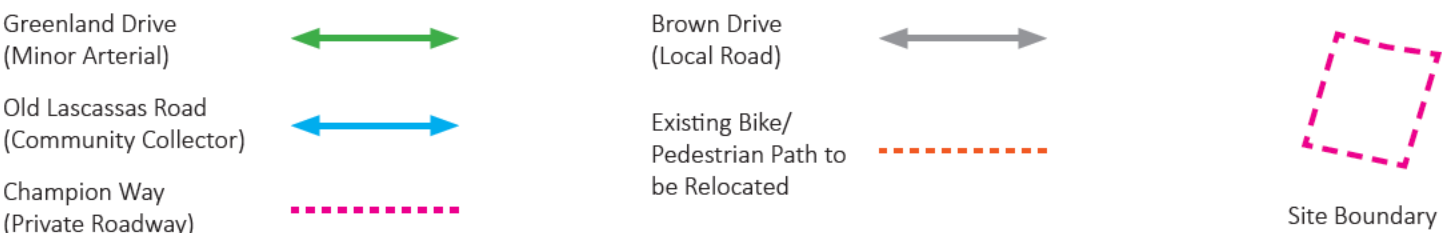
College Pointe Apartments is a residential development consisting of two-story single family attached apartments. The exterior elevations consist of primarily brick along all elevations with metal roofing. There are two primary point of ingress/egress to the development from Brown Drive.

Middle Tennessee State University and Reeves-Rogers Elementary School are two educational facilities to the south and east of this development, respectively. Reeves-Rogers has three points of ingress/egress to Greenland Drive, and has operating hours between 8:00 am and 4:00 pm. MTSU utilizes Champion Way directly south of the development as a primary access point for sporting events and day-to-day operations for faculty and students.



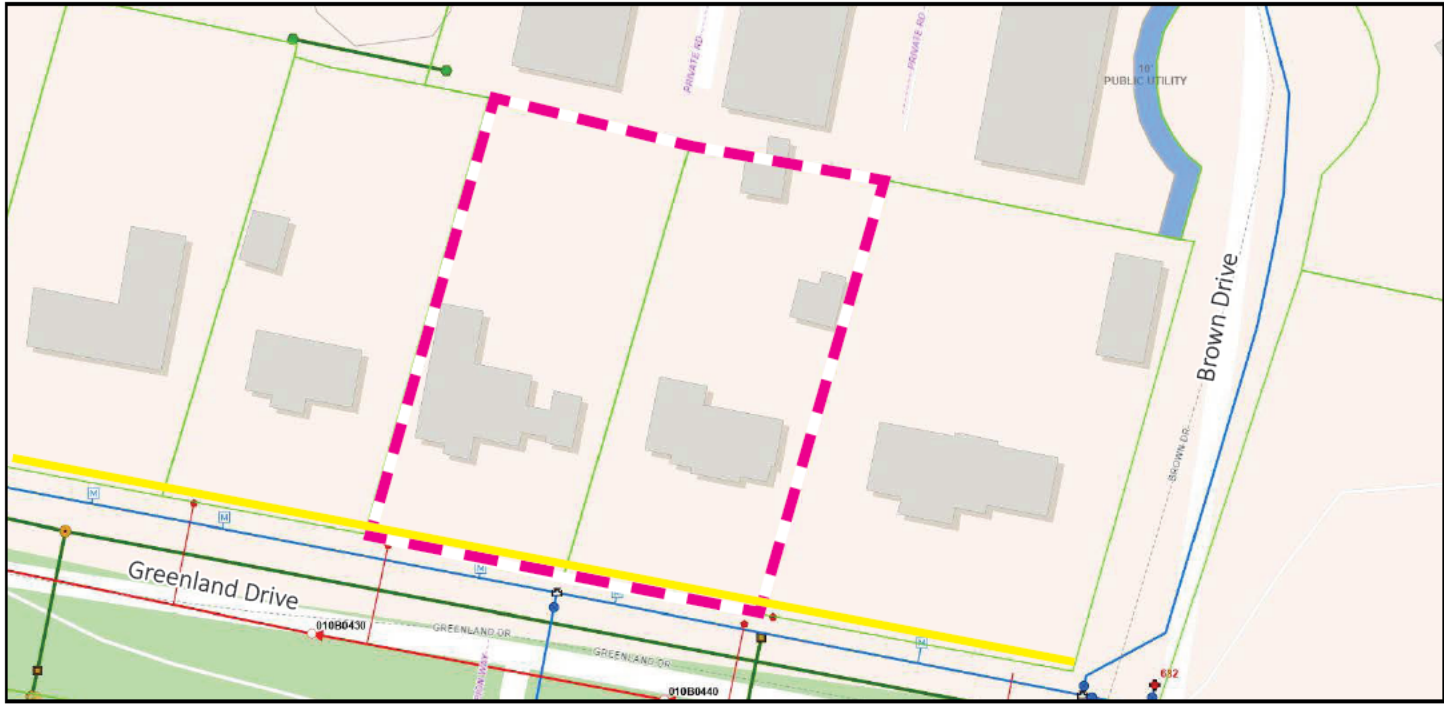
2040 MAJOR TRANSPORTATION PLAN

Not To Scale



The property has/will have access to the existing public right-of-way of Greenland Drive through one entrance, and will provide stubs for future connections to the east and west via a cross-access easement. No roadways within or connected to this development are on the City of Murfreesboro's 2040 Major Transportation Plan. Greenland Drive is currently built as a 4-lane roadway with a central turning median and bike lanes on both sides of the street to the west of the Champion Way intersection. To the east of the intersection, Greenland Drive transitions into a 2-lane roadway with central turning median. Sidewalks and curb & gutter are located on both sides of Greenland Drive with no bike lanes within the right-of-way, as the street narrows. The Greenways, Blueways, and Bikeways Master Plan included a public desire to have bikeways from North Highland Avenue to North Rutherford Boulevard along Greenland Drive, however the Area 'C' Map identified "existing bike lanes" east of Champion Way to Brown Drive/Hanover Street, where they do not exist.

There is an existing bike/pedestrian connection between the 2 existing properties from Greenland Drive about 16-ft wide that will be rerouted per the proposed site plan to maintain access..



UTILITY MAP

Not To Scale

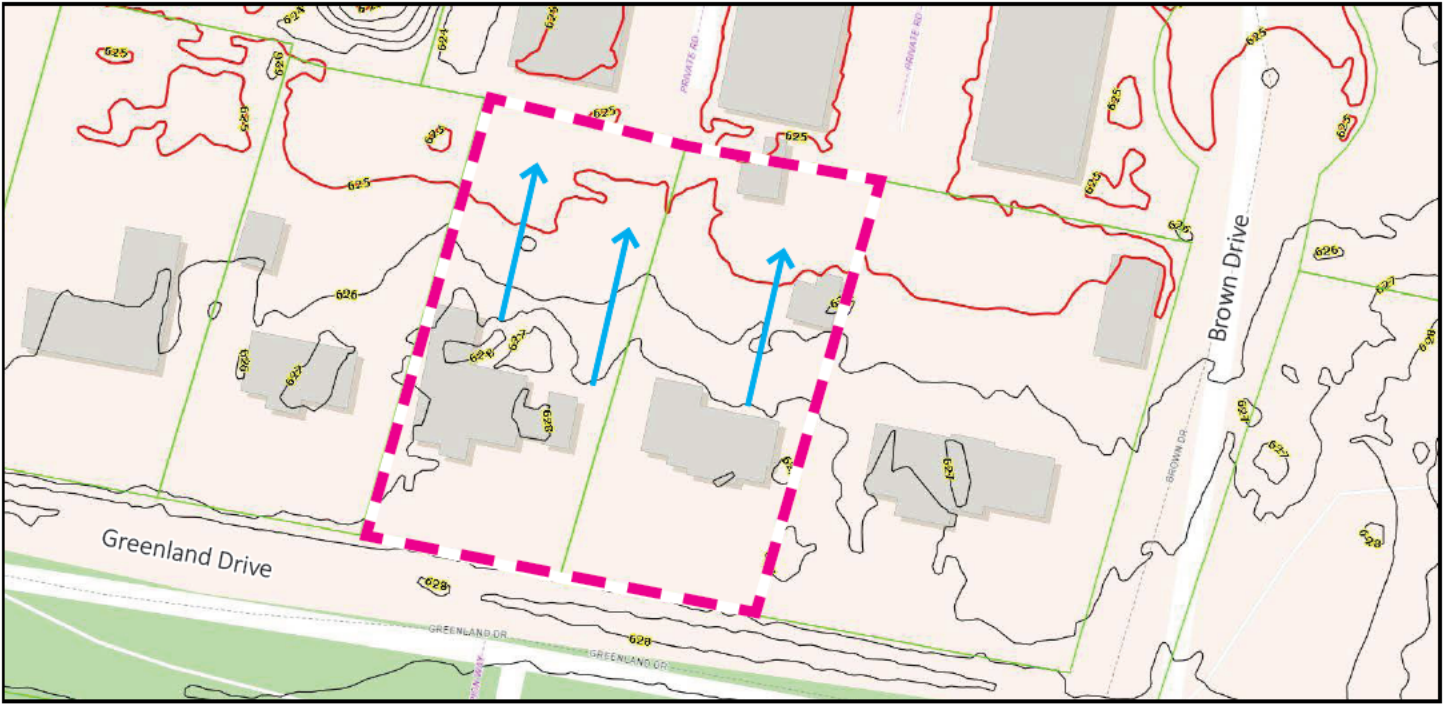


Water service will be provided by the Murfreesboro Water Resources Department. There is an existing 10 inch cast iron water line along Greenland Drive for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.

Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. There is an existing 8 inch cast iron sanitary sewer line along Greenland Drive for sanitary sewer service into the site. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property.



Electric service will be provided by Middle Tennessee. Service will be extended from Greenland Drive. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY AND TOPOGRAPHY

Not To Scale



The topographic map above shows the site's topographic high point generally at the southern boundary of the property. From this high point, the property drains towards the north. Stormwater that drains to the north, flows towards College Pointe Apartments and either infiltrates into the ground, or enters the existing stormwater system along Brown Drive.

No portions of this property are within a registered FEMA Floodplain or Floodway per FEMA Flood Panel 47149C0280J eff. 5/9/2023.



PHOTO DIRECTION MAP

Not To Scale

- Greenland Drive
- Champion Way (Private)
- Brown Drive



Site



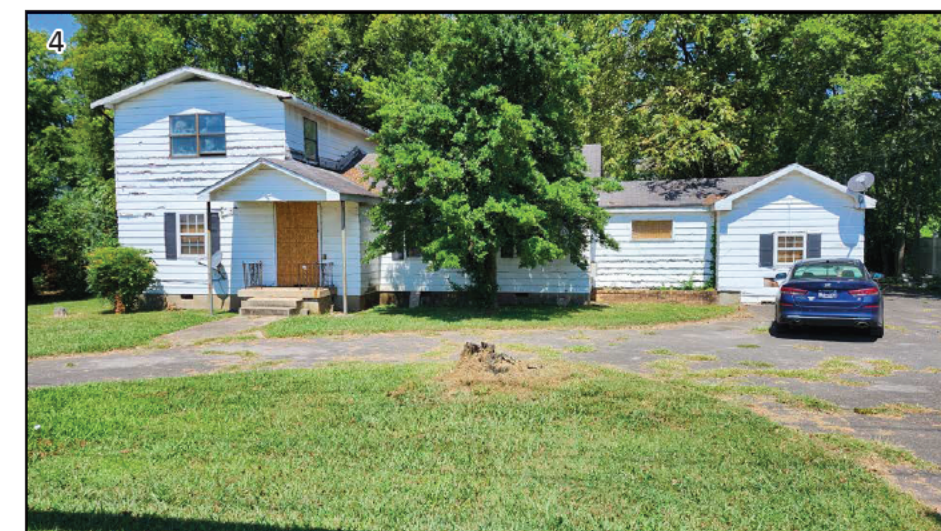
View of Existing 16' Wide Pedestrian/Bike Corridor Looking South



View of Western Property Line Looking North



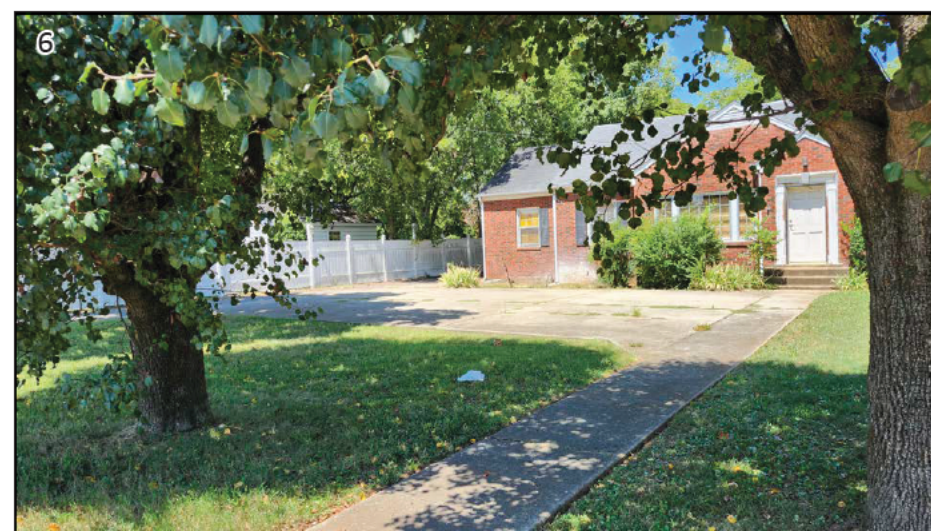
View From Southwestern Corner of Property Looking Northeast
(1603 Greenland Drive) to be Demolished



View From Proposed Intersection Looking North



View of Existing 16' Wide Pedestrian/Bike Corridor Looking North
(1607 Greenland Drive) to be Demolished



View From Southeastern Corner of Property Looking Northwest



View from Eastern Property Line Looking West

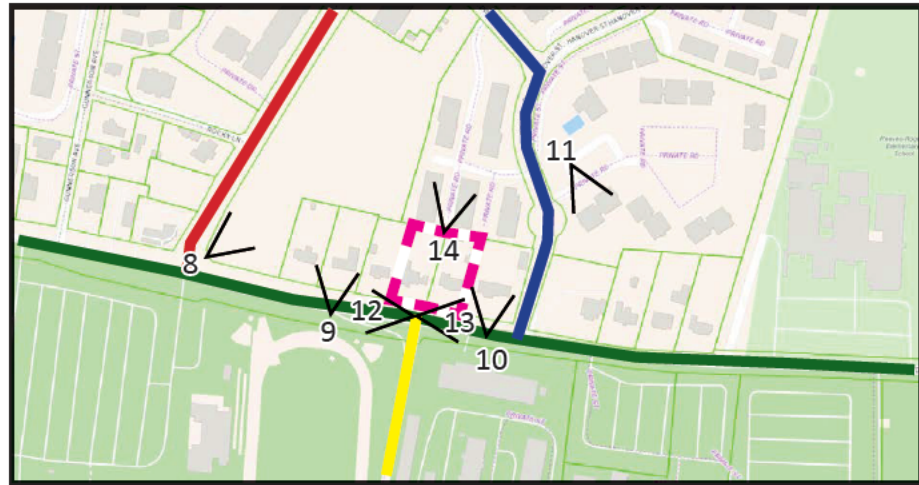


PHOTO DIRECTION MAP

Not To Scale

- Greenland Drive
- Champion Way (Private)
- Old Lascassas Road
- Brown Drive



View of Existing Commercial at Old Lascassas Road and Greenland Drive
Looking Northeast



View of Neighboring Residence Looking North
(1515 & 1519 Greenland Drive)



View of Neighboring Residence East of Project Looking North
(1611 Greenland Drive)



View of Adjacent Apartment Complex Building Looking Southeast
(The Cove at Center Pointe One)



View From Proposed Entrance Looking West



View From Proposed Entrance Looking East



View of Proposed Connection to Northern Private Drive Looking North
(College Pointe Apartments)

LAND USE DATA	
Total Land Area:	±0.82 Acres
Total Land Area:	±35,839 SF
Total Number of Units:	4 Units
Density: 4 Units/0.82 Acres =	±4.88 Units/Acre
Total Required Open Space:	±0.16 Acres (20%)
Total Provided Open Space:	±0.16 Acres (20%)
Required Formal Open Space:	±2,000 SF
Provided Formal Open Space:	±2,000 SF







Parking Requirements:

Number of Beds per Townhome Unit:
4) 2-BDRM Units * 2.2 Spaces/Unit) = 8.8 Spaces

Required Townhome Spaces = 9 Spaces

Maximum Commercial Area: ±2,700 SF
Required (1 space/300 SF)= 9 Spaces

Total Parking Required = 18 Spaces
Total Parking Provided = 22 Spaces + 1 HC

-  Townhome Units
-  Commercial/Mixed Use Units
-  Open Space
-  Roadway
-  Sidewalk
-  Pavers
-  Pedestrian/Bike Cross-Access Easement

*Landscaping along the 10' wide pedestrian pathway shall utilize shrubs no higher than 24" and trees shall have a 7' clear trunk to establish and maintain clear sight lines for pedestrian safety.

Note: The northern private drive shall include a vehicular cross-access easement to the east and west to provide connections to potential future commercial developments along the Greenland Drive corridor. Cross-access easement shall be further studied and evaluated during site plan review, and may be removed if deemed appropriate by Staff.



Development Standards:

- Development shall consist of 4 Single-family attached townhome units and a maximum of 2,700 sqft of commercial space.
- Development will have a recorded shared parking agreement executed.
- All residential units shall have a maximum of two bedrooms.
- Each unit will be for rent.
- The units will be a minimum of 1,850 sqft of habitable interior living area.
- Home occupations, accessory to a principal residential use, shall be permitted in this planned development if they demonstrate that they will comply with the administrative home occupation standards in the Murfreesboro Zoning Ordinance, as they may be amended from time to time. Home occupations that do not comply with said administrative home occupation standards shall not be permitted in this planned development.
- All mechanical equipment (i.e. HVAC and transformers) to be screened via fencing or landscaping.
- HVAC units will be located at the rear or side of the building and shall be screened from public rights-of-way or HVAC units shall be located on the roof.
- All on-site utilities will be underground.
- Solid waste will be handled via individual trash bins, and shall be serviced by a private hauler.
- Any solid waste enclosure will be constructed of masonry material consistent with building architecture and be at least 6-12” foot taller then the waste containers. Gates shall be opaque and the enclosure shall be enhanced with landscaping.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- Development will reroute the existing pedestrian connection from College Pointe Apartments to Greenland Drive in the area shown for cross-access easement.
- Mail service will be provided via a CBU.
- Residential parking shall be assigned via parking signs or painted numbers/letters within the spaces. Parking shall be enforced by the building owner.
- All common areas and parking lot/drives will be owned and maintained by the property owner.



EXAMPLE OF ENTRANCE SIGNAGE



EXAMPLE OF PARKING LOT LIGHTING

Allowable Uses:

The immediate end user for Greenland Heights, at this time, is a retail shipping tenant. The allowable uses outlined on this page are reflected within the Commercial Fringe (CF) and the General Office (OG) districts. The addition of townhomes, as a mixed-use component, is encouraged by the Future Land Use Map. Greenland Heights will allow the uses as listed in the ‘Allowable Uses’ chart.

ALLOWABLE USES		Proposed Use Area: 2,700 SF Non-Residential Spaces Available: 13 Spaces	
DWELLINGS		Parking Ratio	Required Parking
Four-Family Residential	X	1.1/ Bedroom	8.8 Spaces
COMMERCIAL			
Animal Grooming Facility	X	1/ 300 SF	9 Spaces
Antique Shop <3,000 sq.ft.	X	1/ 300 SF or 5 Spaces, and 1/ Business Vehicle	9+ Spaces
Art or Photo Studio or Gallery	X	1/ 500 SF or 5 Spaces	6 Spaces
Artisan Use <3,000 sf, other than enumerated elsewhere	X	1/ 300 SF or 5 Spaces	9 Spaces
Bakery, Retail	X	1/ 500 SF or 5 Spaces	6 Spaces
Bank or Credit Union, Branch Office or Main Office	X	1/ 300 SF or 5 Spaces	9 Spaces
Book or Card Shop	X	1/ 300 SF or 5 Spaces	9 Spaces
Business and Communication Service	X	1/ 300 SF or 5 Spaces	9 Spaces
Catering Establishment	X	1/ 500 SF, and 1/ Delivery Vehicle or 5 Spaces	11 Spaces
Clothing Store	X	1/ 300 SF or 5 Spaces, and 1/ Business Vehicle	9+ Spaces
Convenience Store (≤5,000 SF)	X	1/ 300 SF or 5 Spaces, and 1/ Business Vehicle	9+ Spaces
Dry Cleaner (≤3,000 SF)(No On-Site Cleaning)	X	1/ 300 SF or 5 Spaces	9 Spaces
Financial Services (No Check Advance Businesses)	X	1/ 300 SF or 5 Spaces	9 Spaces
Fitness Studio/Personal Instruction (≤5,000 SF)	X	1/ 300 SF or 5 Spaces	9 Spaces
Flower or Plant Store	X	1/ 300 SF, and 1/ Business Vehicle or 4 Spaces	9+ Spaces
Glass-Stained and Leaded	X	1/ 300 SF or 5 Spaces, and 1/ Business Vehicle	
Grocery Store	X	1/ 250 SF	11 Spaces
Interior Decorator	X	1/ 300 SF	9 Spaces
Janitorial Service	X	1/ 300 SF	9 Spaces
Keys, Locksmith	X	1/ 300 SF	9 Spaces
Laboratories, Medical	X	1/ 300 SF	9 Spaces
Laboratories, Testing	X	1/ 300 SF	9 Spaces
Music or Dancing Academy	X	1/ 300 SF or 5 Spaces	9 Spaces
Offices	X	1/ 300 SF or 5 Spaces, and 1/ Business Vehicle	9+ Spaces
Optical Dispensaries	X	1/ 300 SF	9 Spaces
Personal Service Establishment	X	1/ 300 SF	9 Spaces
Pharmacies, Apothecaries	X	1/ 300 SF or 5 Spaces	9 Spaces
Retail Shop, other than enumerated elsewhere	X	1/ 300 SF or 5 Spaces, and 1/ Business Vehicle	9+ Spaces
Specialty Shop	X	1/ 300 SF or 5 Spaces	9 Spaces
Veterinary office	X	1/ 300 SF	9 Spaces
TRANSPORTATION AND PUBLIC UTILITIES			
Telephone or Communication Services	X	1/ 1,000 SF	3 Spaces

Prohibited Uses:


- Bar/Tavern
- Tobacco Sales as Primary Use
- Vape Sales as Primary Use
- No automobile sales and/or service
- Pawn Shop


Architectural Characteristics:

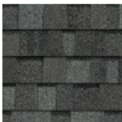
- Building heights shall not exceed 35 feet in height
- The building will be 2-story
- All townhome units will have 2 bedrooms
- All townhome units will have an outdoor balcony area on the second floor that is roughly 200 square feet of private formal open space and roughly 120 square feet of exterior storage.
- Building shall have articulation of planes to create a varied facade along the front elevation.
- Building exterior shall consist of a mixture of materials and shall be varied to accentuate different elements along the building exterior.
- All building signage and development signage shall be designed to the City of Murfreesboro signage guidelines.


Building Materials:

- Front Elevations: Masonry Materials (Brick, Stone)
- Side Elevations: Masonry Materials (Brick, Stone)
- Rear Elevations: Masonry Materials (Brick, Stone)

 Example of Brick
(Different colors, cuts, patterns will be allowed)

 Example of Stone Veneer
(Different colors, cuts, patterns will be allowed)

 Example of Asphalt Shingles
(Different colors will be allowed)

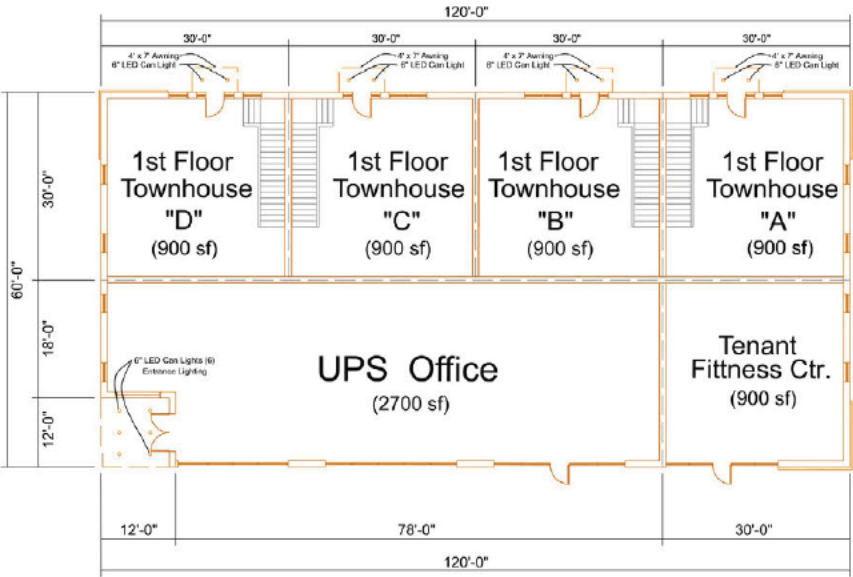
 Example of Metal Seam Roof
(Different colors will be allowed)



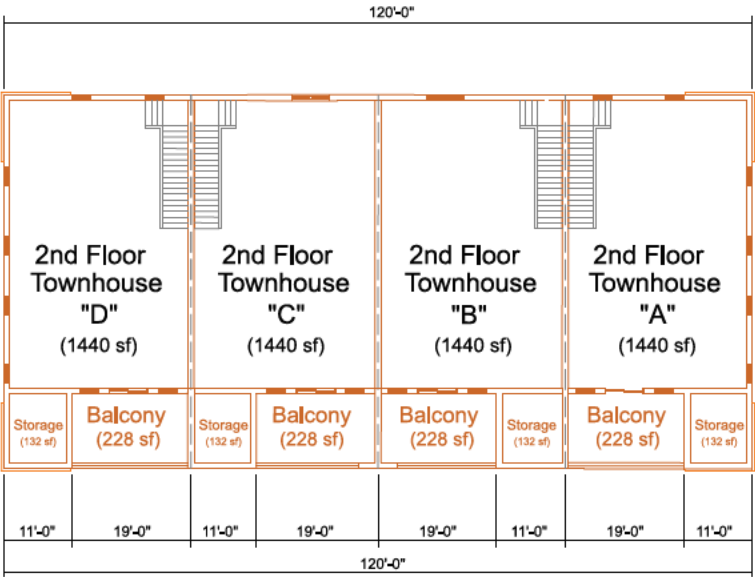
Building Setbacks to External Property Lines

- Front: 42-feet
- Side: 5-feet
- Rear: 25-feet

Note: The northern private drive shall include a vehicular cross-access easement to the east and west to provide connects to potential future commercial developments along the Greenland Drive corridor. Cross-access easement shall be further studied and evaluated during site plan review, and may be removed if deemed appropriate by Staff.

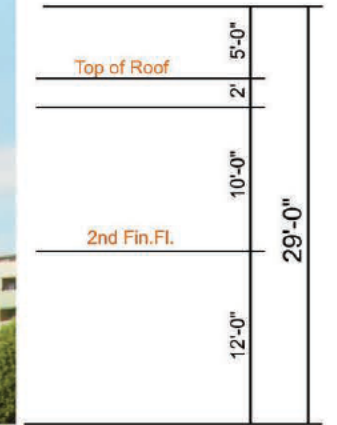
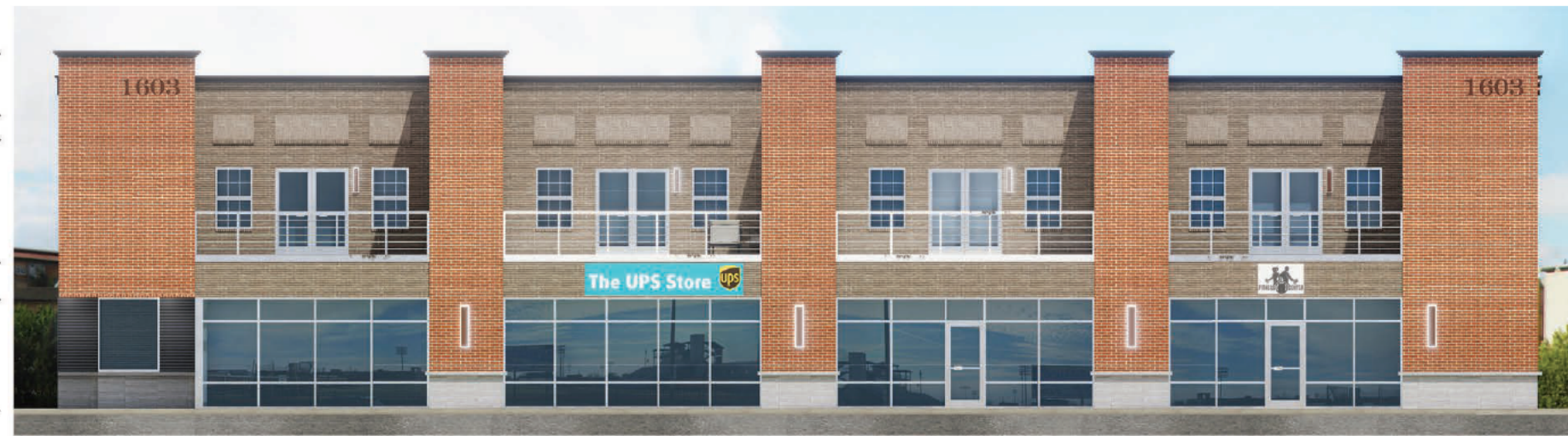
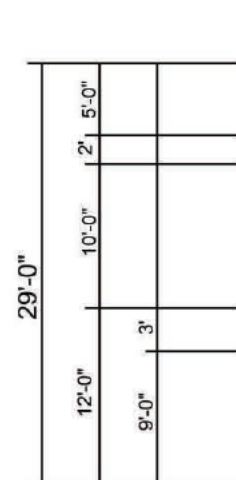
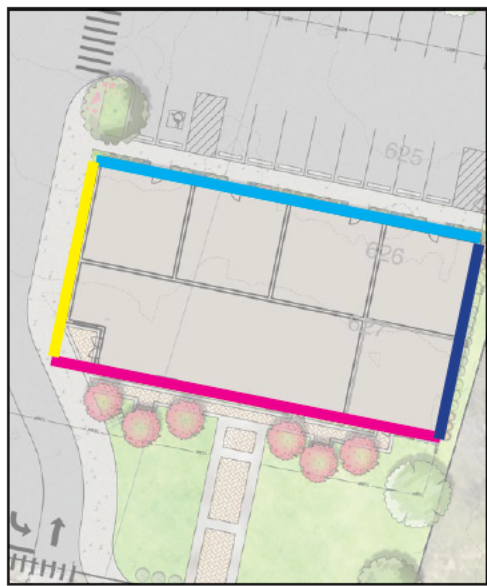


EXAMPLE OF 1ST FLOOR LAYOUT

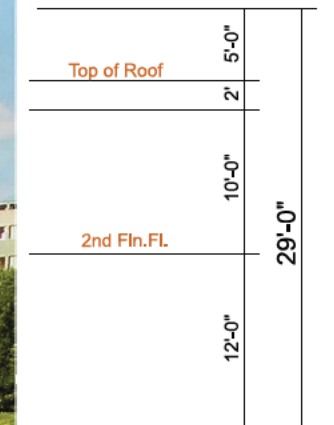


EXAMPLE OF 2ND FLOOR LAYOUT

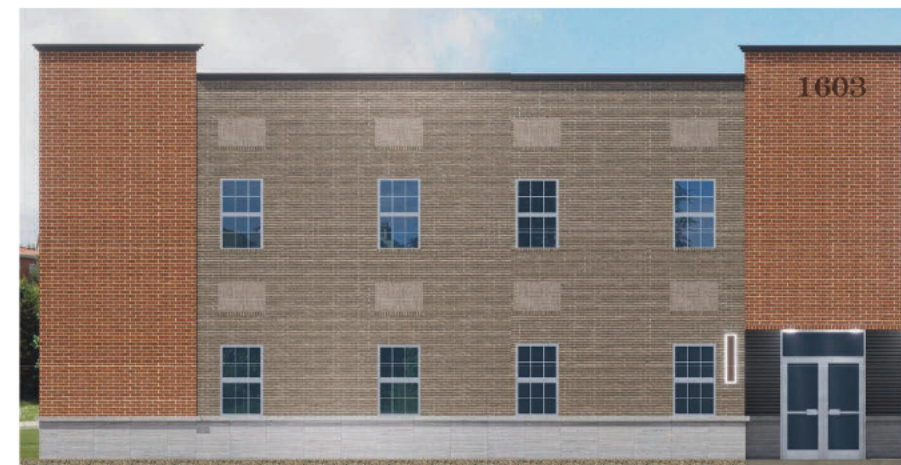
*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



FRONT ELEVATION FACING SOUTH TOWARDS GREENLAND AVE



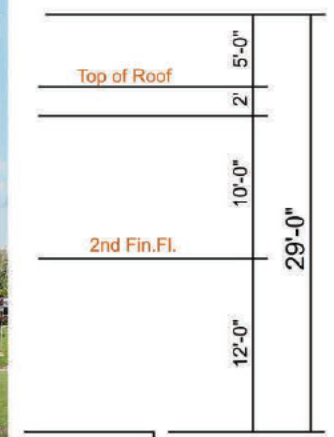
REAR ELEVATION (FACING NORTH TOWARDS COLLEGE POINTE APARTMENTS)



WEST ELEVATION (FACING WEST TOWARDS PRIVATE DRIVE)



EAST ELEVATION (FACING EAST TOWARDS 1611 GREENLAND DRIVE)



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

Pursuant to the City of Murfreesboro’s 2040 Major Transportation Plan (MTP), none of the roadways in this development are slated for improvements. Greenland Drive is a minor arterial roadway where the majority of vehicular trips generated by this development will impact. It is currently built as a 4-lane roadway with central turning median until it intersects with Champion Way, where it then transitions down to a 2-lane roadway with central turning median. Sidewalks and curb & gutter are located on both sides of Greenland Drive. There is an existing bike line along Champion Way to the south and along Greenland Drive west of Champion Way.

As stated above, the primary means of ingress/egress from this site will be onto Greenland Drive. The entrance is proposed to incorporate four travel lanes for proper circulation into and out of the development onto Greenland Drive and Champion Way. There will be one lane for traffic entering the development, and three lanes for traffic leaving the development; a right turn lane, a left turn lane, and a through lane. A cross access easement is proposed for the western side of the development. There will be a pedestrian and bicycle access easement along the pedestrian pathway traveling from Greenland Drive to College Pointe Apartments. Figure 12.1 shows the proposed entrance into the development from Greenland Drive and the conceptual restriping of the intersection. Improvements in the right-of-way shall be further studied and evaluated during site plan review.

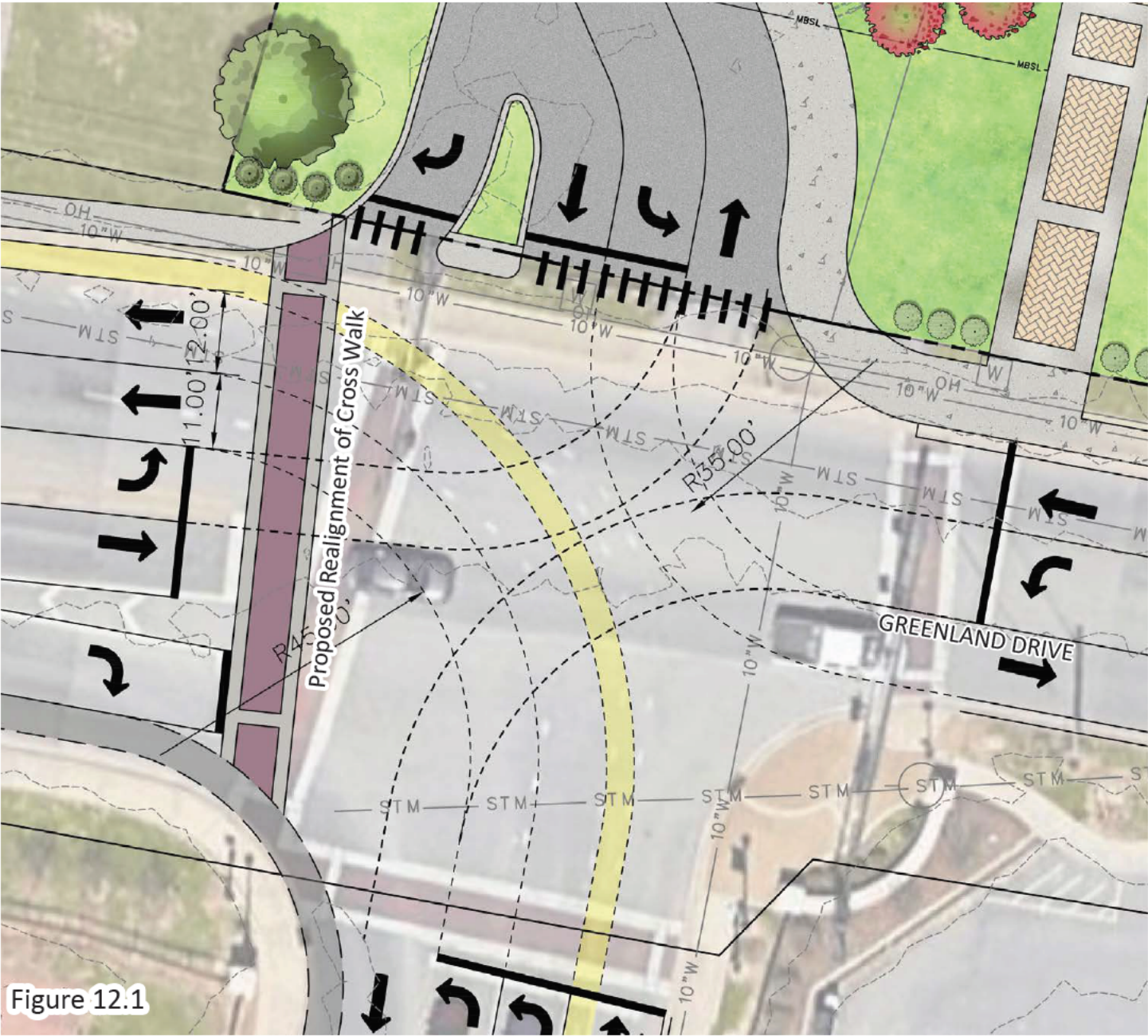


Figure 12.1

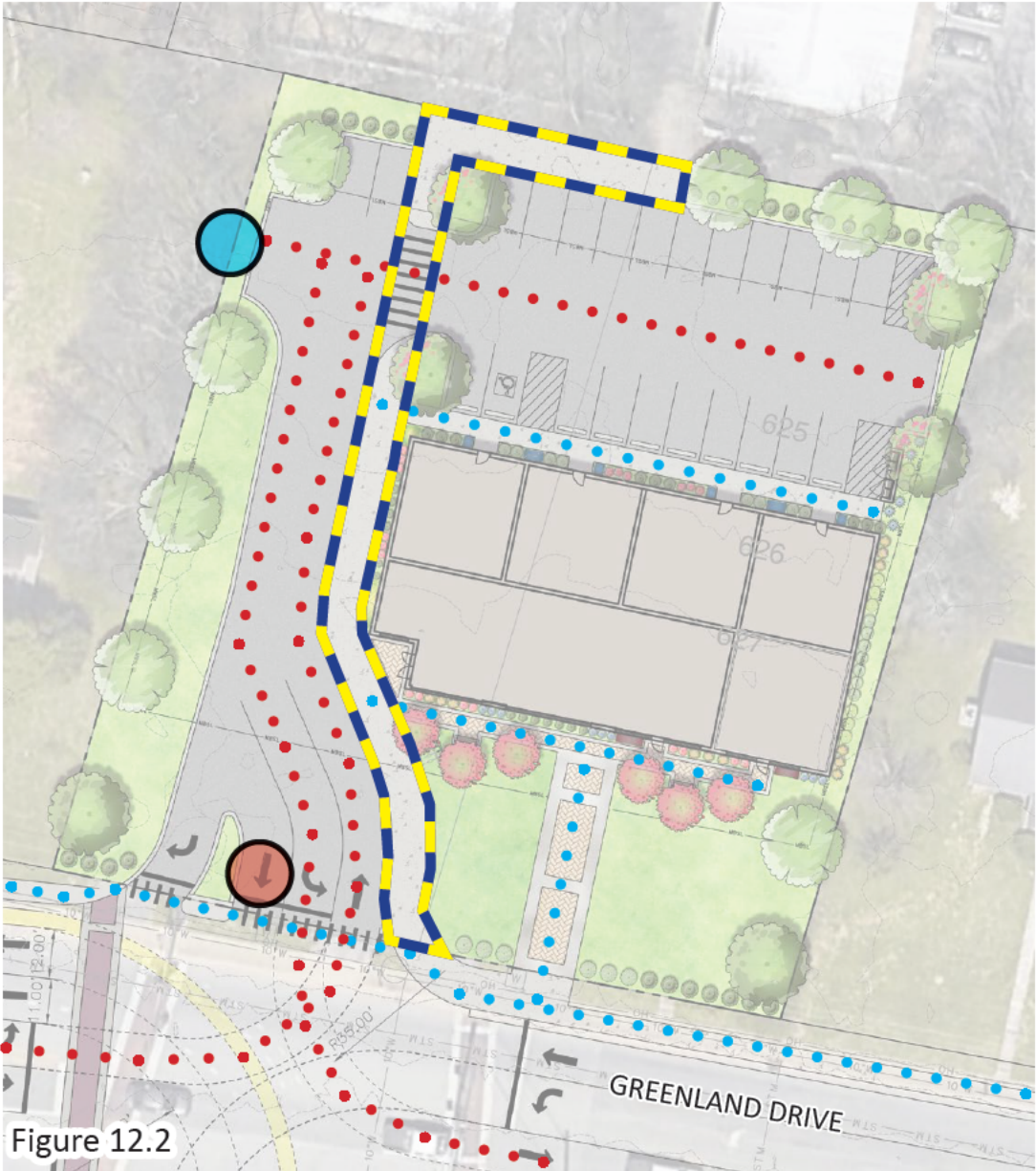
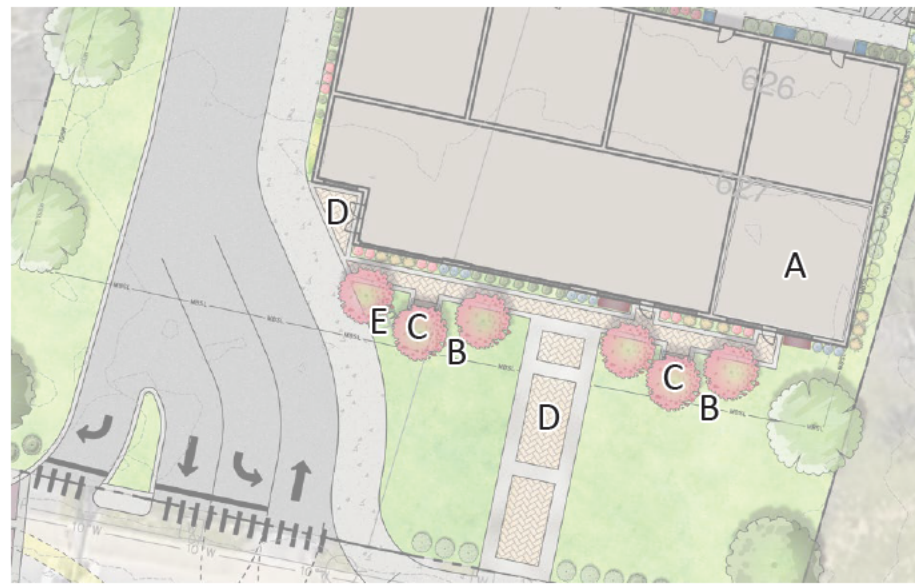


Figure 12.2

Note: The northern private drive shall include a vehicular cross-access easement to the east and west to provide potential future connections to commercial developments along the Greenland Drive corridor. Cross-access easement shall be further studied and evaluated during site plan review, and may be removed if deemed appropriate by Staff.

- Proposed Entrance
- Proposed Cross Connection to West
- Pedestrian Circulation
- Vehicular Circulation
- Pedestrian/Bike Access Easement



- A Resident Fitness Center
- B Formalized Plantings
- C Outdoor Seating
- D Enhanced Hardscape
- E Bike Rack

LOCATION MAP - AMENITIES

Not To Scale

With this request, Greenland Heights will be dedicating approximately 0.16 acres (20% of the site) to open space. The formal space is located at the entrance of the building and consists of a plaza with seating areas. The existing pedestrian connection that currently traverses the site will be rerouted around the west side of the building. The location for this pathway was selected to promote visibility and safety for pedestrians. Each amenity will be constructed and operational prior to the first residential unit receiving its certificate of occupancy.



Example of Resident Fitness Center



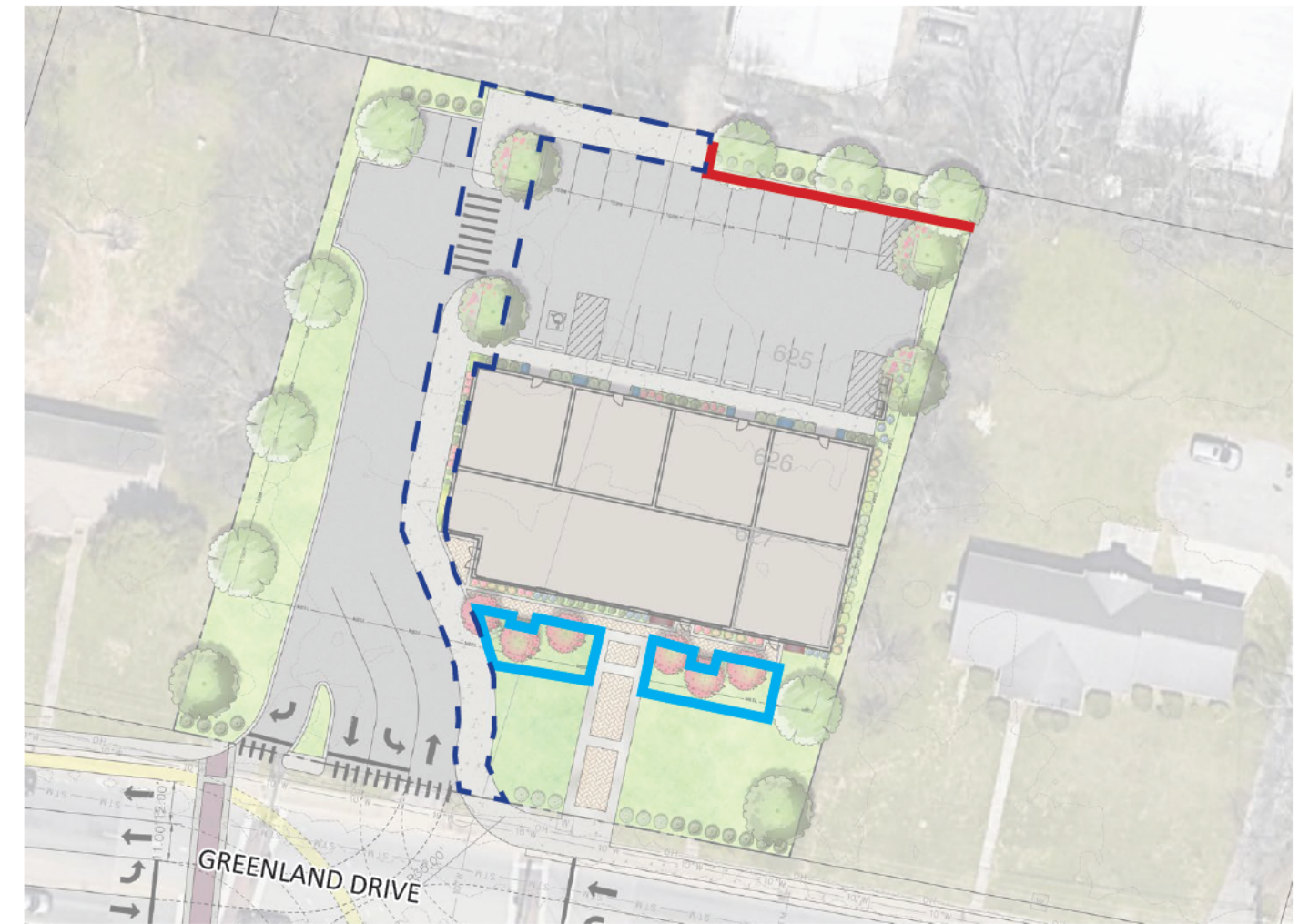
Example of Formalized Plantings



Example of Outdoor Seating



Example of Enhanced Hardscape



- Formalized Plantings
- 8'-10' Pedestrian/Bike Landscape Overlay
- Parking Lot Screen

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

Landscaping Characteristics:

- A minimum 5 feet of landscape area shall be required between parking and all property lines, except where the rerouted pedestrian walkway abuts the proposed parking along the northern property line.
- Landscaping along the pedestrian pathway shall utilize shrubs no higher than 24" and trees shall have a 7' clear trunk to establish and maintain clear sight lines for pedestrian safety.
- Public rights-of-way screened from parking by use of landscaping and/or berming.
- All above ground utilities and mechanical equipment screened with landscaping and/or walls.
- Solid waste enclosure screened with a masonry wall and enhanced with landscaping.
- The building will have a 3-ft wide foundation plantings along the north, east, and south side of the building and an approximately 2.5' foundation planting along the western side of the building.
- Parking areas shall be screened with evergreen shrubs to shield headlights from neighboring property to the north, except along areas that include the 8-10' pedestrian pathway.
- A minimum of 2,000 sqft of common formal open space shall be provided.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: The exhibits given on Pages 3-7 meet this requirement.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wet-lands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: The exhibits given on Pages 3-7 meet this requirement.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: The exhibits given on Pages 3-7 meet this requirement.

4.) A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

Response: Pages 8-9 provide exhibits and standards that provides the required materials.

5.) A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.

Response: Pages 8 & 12 provide exhibits and standards that provides the required materials.

6.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

- (AA): The approximate date when construction of the project can be expected to begin.
- (BB): The order in which the phases of the project will be built.
- (CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage
- (DD): A breakdown by phase for subsections (5) and (6) above.

Response: The project is anticipated to be developed in one phase. Development is anticipated to begin within 180 days of rezoning approval, and will include all public infrastructure.

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned RS-10. The surrounding area has a mixture of residential, commercial, and institutional properties. The concept plan and development standards combined with the architectural requirements of the buildings shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complement existing and future development in this area.

8.) A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property

Response: See Page 15 for requested exceptions and setbacks.

9.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio) and the O.S.R. (Open Space Ratio). These tabulations are for the PCD.

Response: This requirement has been addressed in the chart below.

TOTAL SITE AREA	35,839 s.f.	0.82 AC	100.00%
TOTAL MAXIMUM FLOOR AREA	12,960 s.f.	0.30 AC	36.16%
TOTAL LOT AREA	35,839 s.f.	0.82 AC	100.00%
TOTAL BUILDING COVERAGE	7,079 s.f.	0.16 AC	19.75%
TOTAL DRIVE/ PARKING AREA	13,418 s.f.	0.31 AC	37.44%
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC	0.00%
TOTAL LIVABLE SPACE	22,421 s.f.	0.51 AC	62.56%
TOTAL OPEN SPACE	7,168 s.f.	0.16 AC	20.00%
FLOOR AREA RATIO (F.A.R.)	0.36		
LIVABILITY SPACE RATIO (L.S.R.)	0.43		
OPEN SPACE RATIO (O.S.R.)	0.80		

10.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portions of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0280J eff. 5/9/2023.

11.) The location and proposed improvements of any street depicted on the Murfreesboro 2040 Major Transportation Plan as adopted and as it may be amended from time to time.

Response: Pages 4 & 12 discuss the 2040 Major Transportation Plan.

12.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Ed Stevens, contact info for both is provided on cover.

13.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 10-11 show the architectural character of the proposed building and building materials listed.

14.) If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 9.

Land Use Parameters and Building Setbacks				
Zoning (Existing vs Proposed)	MU (Most Relevant)	RS-10 (Existing)	Proposed PUD	Difference
Residential Density				
Maximum Dwelling Units Multi-Family	25 Units/Acre	4.4 Units/Acre	4.88 Units/Acre	-20.12 Units/Acre
Minimum Lot Area	None	10,000 SF	32,500 SF	+22,500 SF
Minimum Lot Width	100'	65'	170'	+105'
Minimum Setback Requirements				
Minimum Front Setback	15'	35'	42'	+27'
Minimum Side Setback	10'	10'	5'	-5'
Minimum Rear Setback	20'	25'	25'	0'
Land Use Intensity Ratios				
MAX F.A.R.	None	None	None	None
Minimum Livable Space Ratio	None	None	None	None
Minimum Open Space Requirement	20%	N/A	20%	0%
Minimum Formal Open Space Requirement	3%	N/A	2,000 SF	N/A
Max Height	150'	35'	30'	-120'

REQUESTED EXCEPTIONS:

- Requesting an exception that the side setbacks be reduced by 5 feet from a 10 foot side setback to a 5 foot side setback, which will require a ‘rated’ wall for Building and Codes Department.
- Requesting an exception that the rear landscape yard and planting requirements be eliminated along the 8’-10’ pedestrian pathway.
- Requesting an exception to the normally required 15-ft wide Type ‘D’ Buffer to be reduced to just meet the 5-ft perimeter planting standards.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 5, 2025
SIGN ADMINISTRATOR: TERESA STEVENS**

- 5.d. Sign Ordinance amendment [2025-801] to amend Article 1, Section 25.2-2 (Definitions and Interpretation) and Article 2, Section 25.2-26 (On-site permanent sign requirements) regarding “second-floor signs”, City of Murfreesboro Building and Codes Department applicant.**

Added Definition:

The Sign Ordinance provides definitions for words or terms that may deviate from the Webster’s Eleventh Collegiate Dictionary and or the International Building Code. To more clearly define a specific use of signage in Section 25.2-26 On Site Permanent Signs, Staff is proposing adding the term and definition, “*Second-floor sign.*” A type of attached sign that is mounted on the second floor of a multi-tenant commercial building. Second-floor signs do not include projecting signs. A tenant space must have a minimum of twenty linear feet of frontage on the second floor of a building, excluding the basement, to be eligible for a second-floor sign. Any measurement of building frontage shall apply only to the second-floor frontage owned or leased and occupied by the tenant but shall not include a common area. A second-floor sign must be attached to the area occupied by the second-floor tenant and must be set back at least twelve inches from the outer limits of tenant’s building frontage. No part of a second-floor sign shall cover, obstruct, interfere, or extend above or below any window, window ledge, window frame, cornice, accent band, or other architectural feature. A second-floor sign must use individual solid cast letters, channel letters, or reverse channel letters attached directly to the building or to a raceway of the same color as the building. Raceways must be kept in good repair, including without limitation repairing old holes from previous signs.

The photo below is an example of a two-story building with second floor signage very similar to what has been proposed. The sign size here is one square foot per linear foot of tenant space. If a building has multiple floors only the first two floors would be allowed to have signs, excluding the Building ID sign, if permitted.



On-Site Permanent Signs, Section 25.2-26

- This Ordinance Amendment will only affect the following zones or zone overlays, GDO-1, GDO-2, GDO-3, GDO-4 and PUD.
- Signs on the building front of a second-floor multi-tenant building will be allowed under this proposal.
- One sign per second-floor tenant that has at least twenty linear foot of exterior tenant wall along the building front.
- Maximum sign height is 30 inches; 1.5 square foot per linear foot of tenant frontage with a maximum of 100 square feet; sign cannot exceed 75% of tenant frontage
- Limited to the second story of a commercial multi-tenant building.
- Illumination shall be push-thru style lighting; exposed neon tube or exposed LED light sources are prohibited.

The following are examples of allowable sign types in this amendment.

Channel letter sign on raceway



Channel letter sign w/out a raceway



Reverse channel letter w/white light



Reverse channel letter w/color



Solid cast letter no light



Example of solid cast letters



Below are other sign types that have not been included in this amendment.

Backerboard or sign background



Projectiong sign



Cabinet sign



Exposed Neon or LED sign



Action Needed:

The Planning Commission will need to conduct a public hearing on this matter and then formulate a recommendation for City Council.

ORDINANCE 25-O-XX amending the Murfreesboro City Code, Chapter 25.2, Signs.

WHEREAS, the City promotes and protects the public health, safety, and general welfare; and,

WHEREAS, the City seeks to allow adequate opportunity for free speech in the form of messages or images displayed on signs, while balancing that interest against public safety and aesthetic concerns impacted by signs; and,

WHEREAS, City staff recommends changes to the regulations imposed by Chapter 25.2, Signs, of the Murfreesboro City Code narrowly tailored to support the City's interests; and,

WHEREAS, City staff recommends changes to Sections 25.2-2 and 25.2-26 of Chapter 25.2, Signs, of the Murfreesboro City Code, in order to allow for second floor signs in certain zoning districts within the City; and

WHEREAS, City Council finds that these recommendations are consistent with State and Federal law and the reasonable regulation of lawful activity.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MURFREESBORO, TENNESSEE, AS FOLLOWS:

SECTION 1. Chapter 25.2, Article I, Section 25.2-2 of the Murfreesboro City Code is amended at subsection (A), by adding the following:

Section 25.2-2 Definitions; interpretation.

“Second-floor sign.” A type of attached sign that is mounted on the second floor of a multi-tenant commercial building. Second-floor signs do not include projecting signs. A tenant space must have a minimum of twenty linear feet of frontage on the second floor of a building, excluding the basement, to be eligible for a second-floor sign. Any measurement of building frontage shall apply only to the second-floor frontage owned or leased and occupied by the tenant but shall not include a common area. A second-floor sign must be attached to the area occupied by the second-floor tenant and must be set back at least twelve inches from the outer limits of tenant's building frontage. No part of a second-floor sign shall cover, obstruct, interfere, or extend above or below any window, window ledge, window frame, cornice, accent band, or other architectural feature. A second-floor sign must use individual solid cast letters, channel letters, or reverse channel letters attached directly to the building or to a raceway of the same color as the building. Raceways must be kept in good repair, including without limitation repairing old holes from previous signs.

SECTION 2. Chapter 25.2, Article II, Section 25.2-26 of the Murfreesboro City Code is amended at subsection (C), by adding the following:

Section 25.2-26 On-site permanent sign requirements.

(C)(10) SIGNS PERMITTED IN GDO-1, GDO-2, GDO-3, GDO-4 AND PUD ZONING DISTRICTS:

(a) Commercial use areas of PUD or commercial zoned areas of GDO-1, GDO-2, GDO-3, or GDO-4.

[1] Type – Second floor signs:

Number – One per second-floor tenant. Limited to the number of occupied tenant spaces on a second floor that have at least twenty linear feet of an exterior wall along the frontage.

Size – 30” maximum height; allowable area of 1.5 sq ft per linear foot of tenant frontage (100 sf maximum area). Signage may not exceed a length of 75% of the frontage of tenant’s occupied space.

Setback – N/A

Height – limited to second story of a commercial multi-tenant building

Illumination – push-thru style lighting; exposed neon tube or LED light sources are prohibited.

(b) Nothing in this section shall be construed to limit or curtail noncommercial speech in favor of commercial speech. A person may erect a sign in conformity with this section that is used in whole or in part for noncommercial speech.

SECTION 3. The captions and headings of the sections throughout this Ordinance are intended solely to facilitate reading and reference to the sections and provisions of this Ordinance. Such captions shall not affect the meaning or interpretation of this Ordinance.

SECTION 4. That this Ordinance shall take effect fifteen (15) days after its passage upon second and final reading, the public welfare and the welfare of the City requiring it.

Passed:

Shane McFarland, Mayor

1st reading _____

2nd reading _____

ATTEST:

APPROVED AS TO FORM:

Erin Tucker
City Recorder

Adam F. Tucker
City Attorney

SEAL

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
MARCH 5, 2025
PROJECT PLANNER: BRAD BARBEE**

6.a. The Courtyards at Franklin Road [2025-1002] master plan and preliminary plat for 48 lots on 23.49 acres zoned CF and RS-8 located along Franklin Road.

This is the preliminary plat and master plan review for The Courtyards at Franklin Road. The property is zoned CF and RS-8. The purpose of this plat is to create 47 residential lots, 1 commercial lot, common areas, easements, and right of ways as shown. This preliminary plat approval shall not confer a vested right to proceed with development of the property as shown on the preliminary plat but rather shall authorize the applicant to submit construction plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) Shift the street name label for Garcia Boulevard onto the street.
- 2) Provide E911 approval of the proposed street names included with this preliminary plat.
- 3) Propose driveway locations on each street frontage for corner lots.
- 4) Revise the street classification labels to read “Local Street”.

Development Services – Engineering

Jennifer Knauf, 615.893.6441, jknauf@murfreesborotn.gov

- 1) Provide a copy of the ARAP for removal of the wetlands and add the permit number on the plans.
- 2) All driveways must be 5 ft from the property line at the ROW.
- 3) The extension of Rucker Lane needs to be dedicated as future ROW. ROW to be dedicated by deed prior to recording the plat.
- 4) Discharge from the south pond needs to be piped to the next downstream structure as shown on the original plans to prevent point discharge onto neighboring property and/or discharge across the sidewalk.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) Provide sod in lieu of the proposed seed and straw for the amenity center lot.
- 2) Staff recommend specifying a multistem crepe myrtle in place of the single stem specification. Single trunk Crepe Myrtles are difficult to locate.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

- 1) No Comments

Consolidated Utility District

William Steele, 615.225.3311, wsteele@ cudrc.com

- 1) *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department’s review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards.*

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, chrisbarns@mte.com

- 1) *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards.*

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

- 1) No Comments

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

- 1) *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards..*

Informational and Procedural Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 2) This site plan is affected by the City's Major Transportation Plan.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Jennifer Knauf, 615.893.6441, jknauf@murfreesborotn.gov

- 1) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
- 2) Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.
- 3) Prior to certificate of occupancy being issued, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
- 4) Prior to Land Disturbance Permit being issued, a long-term operation and maintenance plan and associated agreement must be reviewed and approved by the Murfreesboro Water Resources Department.
- 5) A ROW permit is required.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

- 1) No Comments.

Consolidated Utility District

William Steele, 615.225.3311, wsteelecudrc.com

1) No Comments.

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, chrisbarns@mte.com

1) No Comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1) No Comments.

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

1) No Comments.

OWNER
HOWARD & DOROTHY SMITH
916 WHITEHALL ROAD
MURFREESBORO, TN 37130

DEVELOPER
EPSON COMMUNITIES
500 STONEHEDGE PARKWAY
DUBLIN, OH 43017
CONTACT: MR. DWIGHT O'NEAL

WATER SERVICE
CONSOLIDATED UTILITY DISTRICT
709 NEW SALEM HWY
MURFREESBORO, TN 37129
PHONE: 615-545-6050

SURVEYOR
RAGANSMITH
1500 MEDICAL CENTER PARKWAY SUITE 2J
MURFREESBORO, TN 37129
PHONE: 615-545-6050
CONTACT: CHRIS MABERY, RLS

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N00°34'47"W	42.42'
L2	N40°00'00"W	99.29'
L3	N10°00'00"W	16.30'

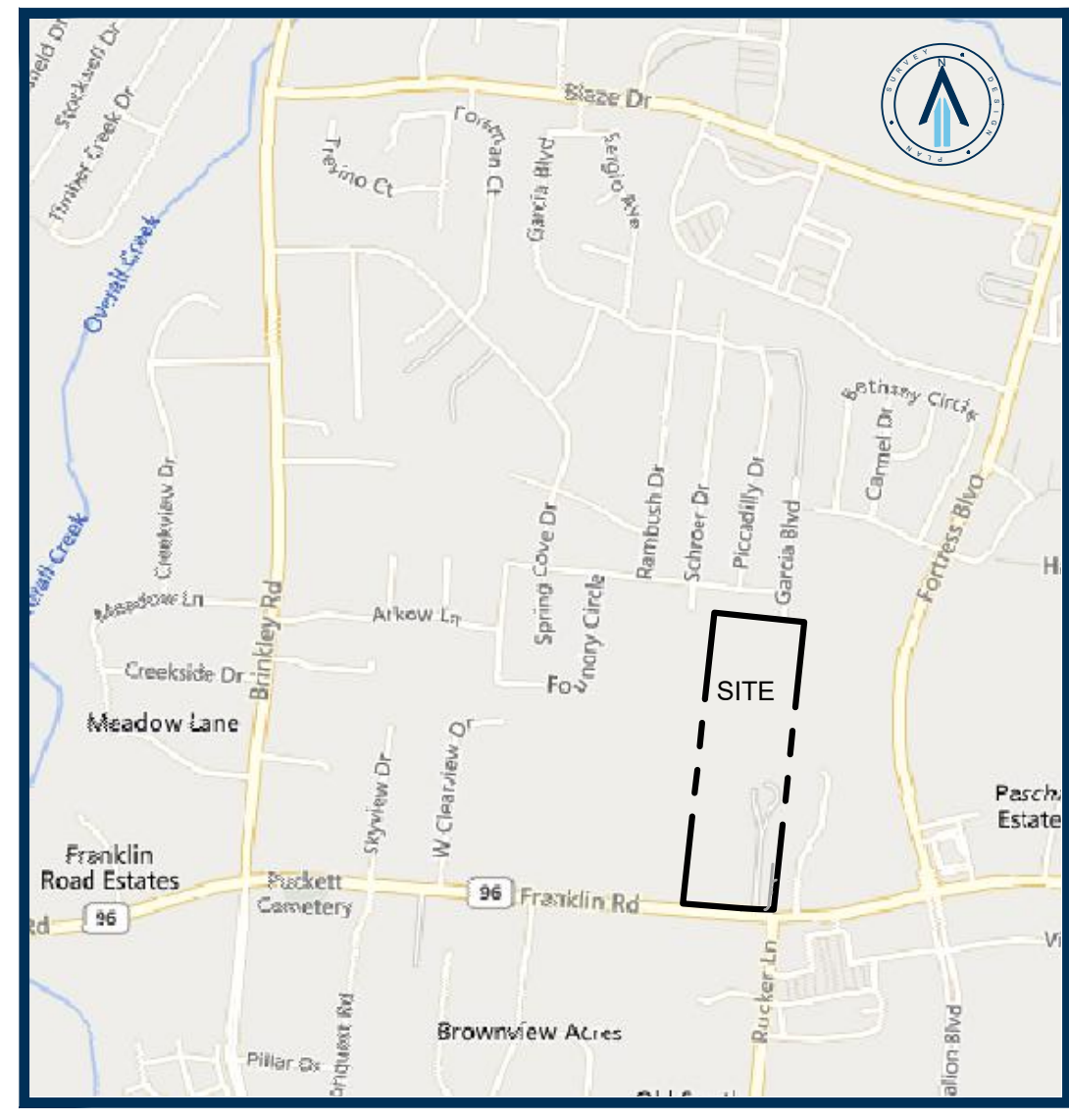
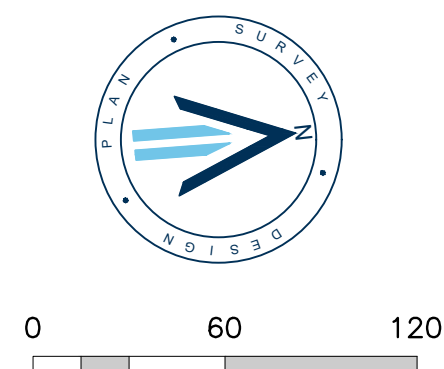
COMMON AREA (CA) TABLE		
CA	SQ. FT. ±	ACRES ±
1	7989	0.18
2	91733	2.11
3	8884	0.21
4	56121	1.29
5	32131	0.74
6	41801	0.96

LOT AREA TABLE		
LOT	SQ. FT. ±	ACRES ±
1	14448	0.33
2	7934	0.18
3	7989	0.18
4	8010	0.18
5	8030	0.18
6	8030	0.18
7	12477	0.29
8	8190	0.19
9	8190	0.19
10	8030	0.18
11	10304	0.24
12	10912	0.25
13	10912	0.25
14	10912	0.25
15	10912	0.25
16	10912	0.25
17	10912	0.25
18	10912	0.25
19	10912	0.25
20	10912	0.25
21	10912	0.25
22	10912	0.25
23	10912	0.25
24	10912	0.25
25	10912	0.25

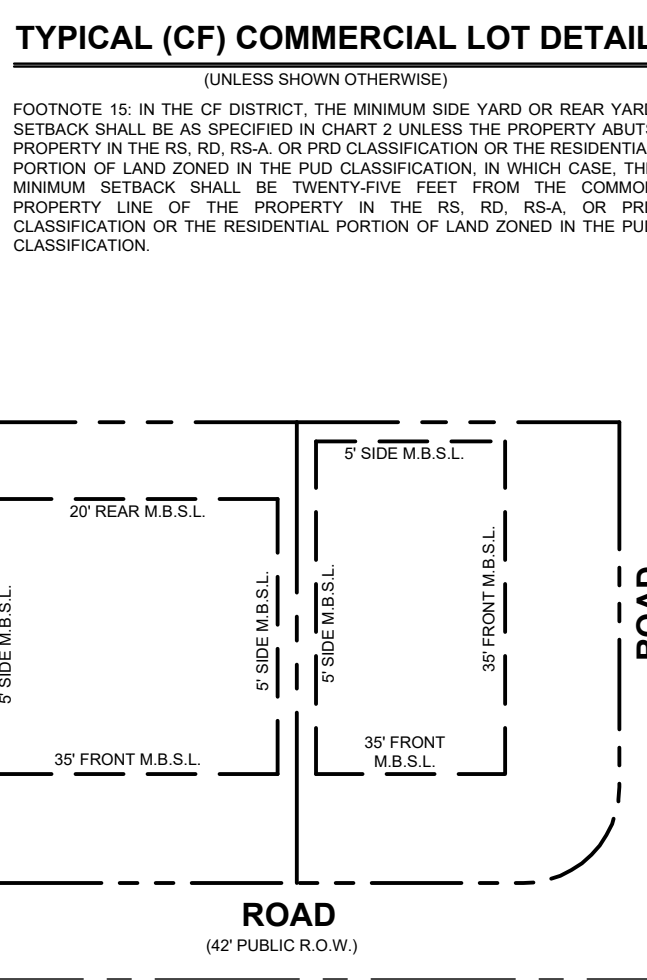
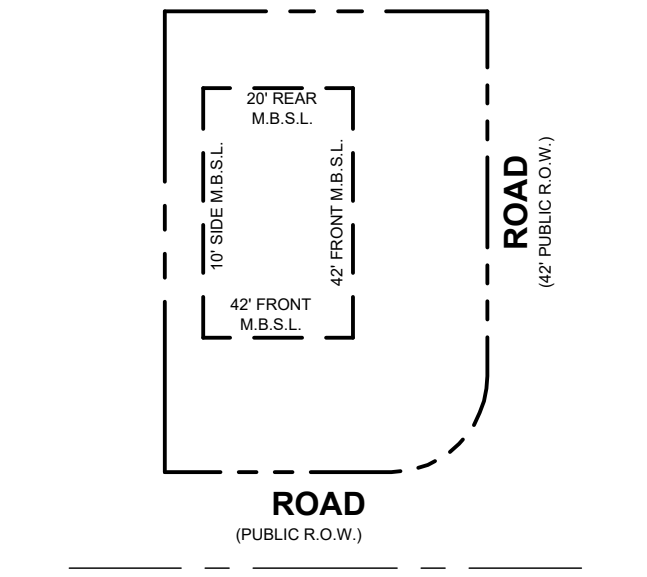
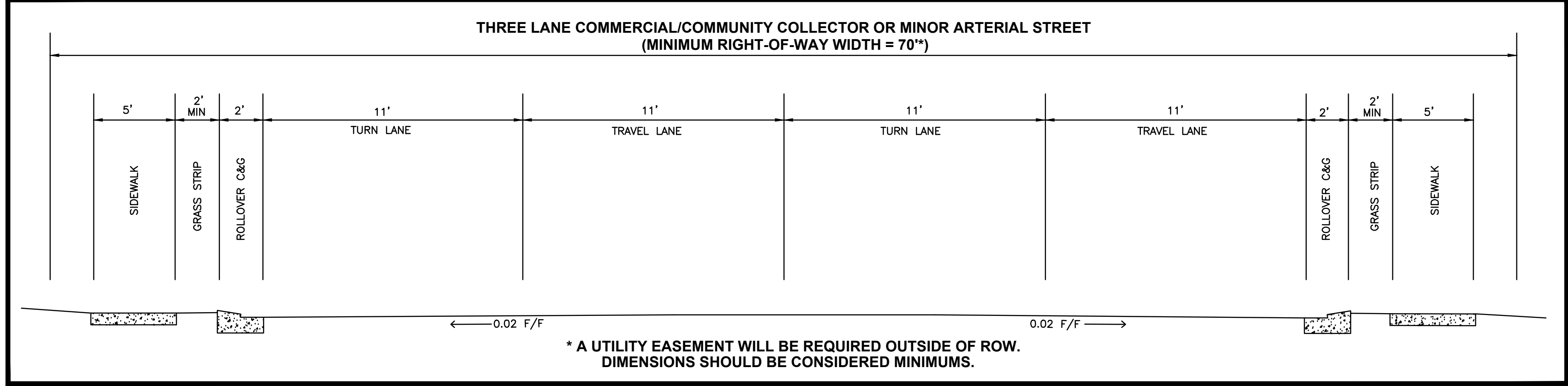
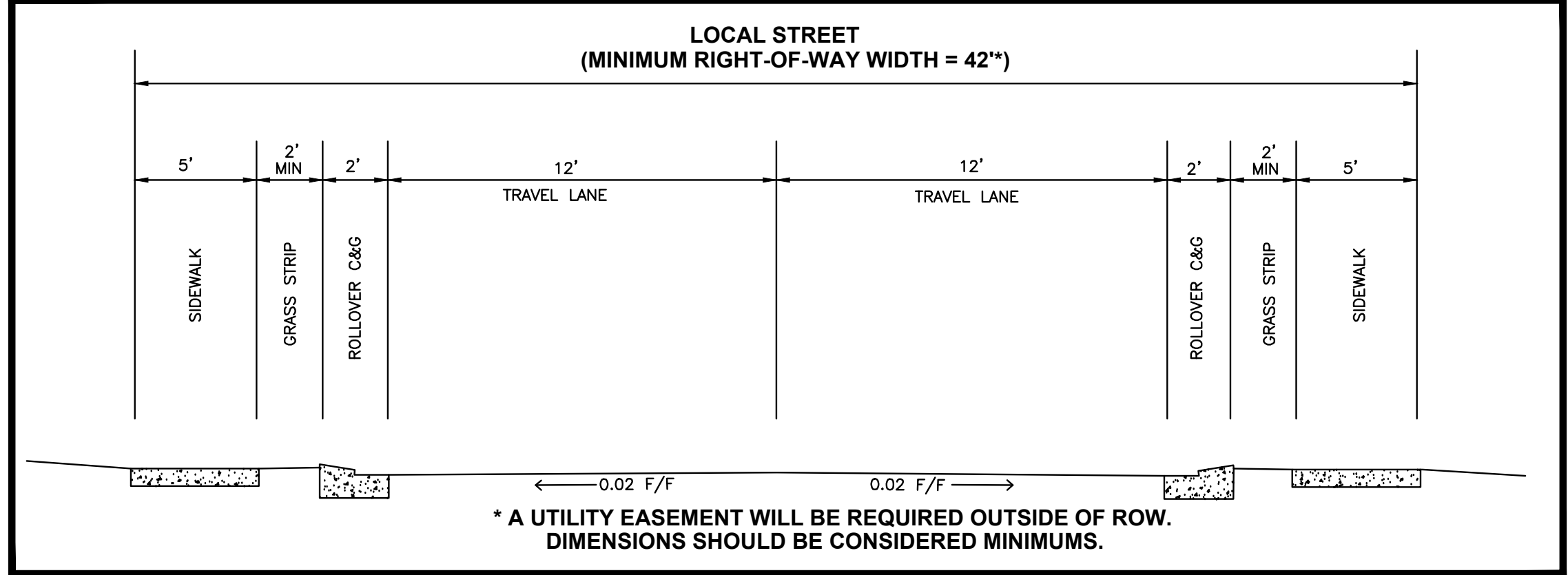
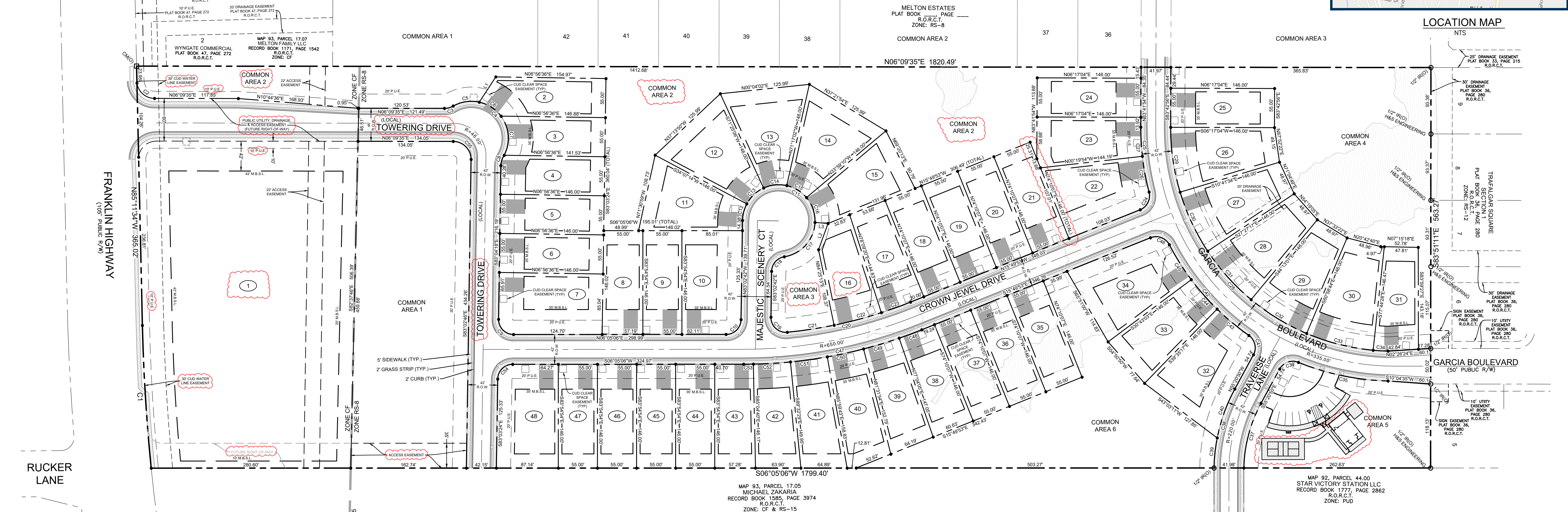
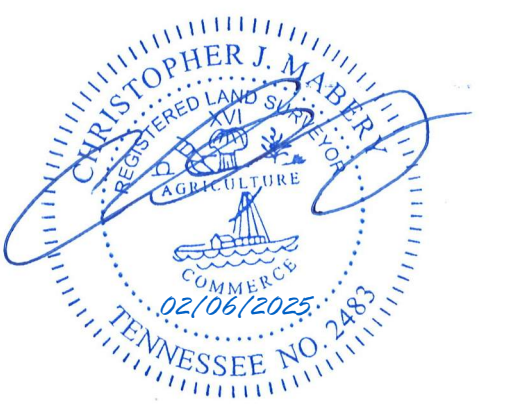
LOT AREA TABLE		
LOT	SQ. FT. ±	ACRES ±
26	10418	0.24
27	10302	0.24
28	10302	0.24
29	10302	0.24
30	10302	0.24
31	10302	0.24
32	10302	0.24
33	10302	0.24
34	10302	0.24
35	10302	0.24
36	10302	0.24
37	10302	0.24
38	10302	0.24
39	10302	0.24
40	10302	0.24
41	10302	0.24
42	10302	0.24
43	10302	0.24
44	10302	0.24
45	10302	0.24
46	10302	0.24
47	10302	0.24
48	10302	0.24
49	10302	0.24
50	10302	0.24

CURVE TABLE									
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEG	CHORD END	CHORD BEG	CHORD END
C1	202.00	201.18	17.00	100.00	201.18	N01°29'59"E	N01°29'59"E	N01°29'59"E	N01°29'59"E
C2	25.00	30.79	82°01'30"	21.74	32.81	N01°03'10"E	N01°03'10"E	N01°03'10"E	N01°03'10"E
C3	25.00	12.88	29°31'30"	8.99	12.74	N01°30'10"E	N01°30'10"E	N01°30'10"E	N01°30'10"E
C4	52.00	133.29	148°50'50"	174.70	99.68	N01°03'10"E	N01°03'10"E	N01°03'10"E	N01°03'10"E
C5	52.00	37.80	41°40'30"	19.83	37.06	N01°30'10"E	N01°30'10"E	N01°30'10"E	N01°30'10"E
C6	52.00	37.80	41°40'30"	19.83	37.06	N01°30'10"E	N01°30'10"E	N01°30'10"E	N01°30'10"E
C7	52.00	37.80	41°40'30"	19.83	37.06	N01°30'10"E	N01°30'10"E	N01°30'10"E	N01°30'10"E
C8	27.10	15.62	30°31'30"	8.03	15.40	S89°57'31"E	S89°57'31"E	S89°57'31"E	S89°57'31"E
C9	21.00	33.30	80°51'31"	21.32	29.92	N01°30'10"E	N01°30'10"E	N01°30'10"E	N01°30'10"E
C10	21.00	33.30	80°51'31"	21.32	29.92	N01°30'10"E	N01°30'10"E	N01°30'10"E	N01°30'10"E
C11	51.00	231.79	160°24'31"	60.34	77.90	N01°03'10"E	N01°03'10"E	N01°03'10"E	N01°03'10"E
C12	51.00	24.19	27°00'00"	12.32	23.95	S89°57'31"E	S89°57'31"E	S89°57'31"E	S89°57'31"E
C13	51.00	33.20	37°17'52"	17.21	32.62	S01°13'00"E	S01°13'00"E	S01°13'00"E	S01°13'00"E
C14	51.00	33.20	37°17'52"	17.21	32.62	S01°13'00"E	S01°13'00"E	S01°13'00"E	S01°13'00"E
C15	51.00	33.20	37°17'52"	17.21	32.62	S01°13'00"E	S01°13'00"E	S01°13'00"E	S01°13'00"E
C16	51.00	33.20	37°17'52"	17.21	32.62	S01°13'00"E	S01°13'00"E	S01°13'00"E	S01°13'00"E
C17	51.00	33.20	37°17'52"	17.21	32.62	S01°13'00"E	S01°13'00"E	S01°13'00"E	S01°13'00"E
C18	51.00	33.20	37°17'52"	17.21	32.62	S01°13'00"E	S01°13'00"E	S01°13'00"E	S01°13'00"E
C19	21.00	29.47	80°24'31"	17.79	27.11	S42°00'00"E	S42°00'00"E	S42°00'00"E	S42°00'00"E
C20	21.00	35.36	86°28'14"	23.52	31.33	N04°43'11"E	N04°43'11"E	N04°43'11"E	N04°43'11"E
C21	629.00	179.12	16°18'00"	80.17	178.51	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C22	629.00	179.12	16°18'00"	80.17	178.51	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C23	629.00	179.12	16°18'00"	80.17	178.51	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C24	629.00	179.12	16°18'00"	80.17	178.51	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C25	629.00	179.12	16°18'00"	80.17	178.51	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C26	629.00	179.12	16°18'00"	80.17	178.51	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C27	629.00	179.12	16°18'00"	80.17	178.51	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C28	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E

CURVE TABLE									
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEG	CHORD END	CHORD BEG	CHORD END
C29	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C30	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C31	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C32	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C33	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C34	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C35	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C36	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C37	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C38	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C39	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C40	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C41	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C42	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C43	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C44	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C45	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C46	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C47	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C48	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C49	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C50	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C51	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C52	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C53	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C54	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C55	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C56	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C57	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C58	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C59	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E
C60	314.00	446.02	88°41'00"	306.87	438.84	N01°40'00"E	N01°40'00"E	N01°40'00"E	N01°40'00"E



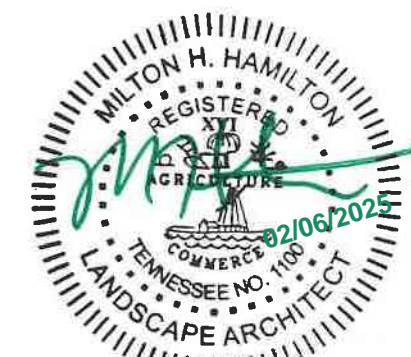
RaganSmith
a Pape-Dawson company



- GENERAL NOTES**
- THE PURPOSE OF THIS PLAT IS TO CREATE 48 LOTS OF RECORD FROM ONE PARCEL OF LAND AND TO DEDICATE RIGHT OF WAY, EASEMENTS, AND COMMON AREAS AS SHOWN.
 - BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE COORDINATE SYSTEM OF 1983. GPS EQUIPMENT WAS USED TO DETERMINE THE POSITION OF TWO (2) CONTROL POINTS FOR THE SURVEYED PROPERTY TO ESTABLISH A BASIS FOR BEARING FOR THE SURVEY. TYPE OF GPS EQUIPMENT USED: SPECTRA PRECISION SP80. TYPE OF GPS SURVEY: TDDT NETWORK ADJUSTED REAL TIME KINEMATIC. THE AVERAGE POSITIONAL QUALITY IS 8.0 CM.
 - ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88. CONTOURS ARE AT ONE FOOT INTERVALS AND ARE BASED ON A FIELD RUN SURVEY USING RANDOM SPOT ELEVATIONS. CONTOURS WERE DERIVED USING SURFACE MODELING TECHNIQUES.
 - THIS PROPERTY IS CURRENTLY ZONED CF AND RS-8. CURRENT REQUIREMENTS, PER CITY OF MURFREESBORO ZONING ORDINANCE ARE AS FOLLOWS:
ZONE CF: FRONT - 42'; SIDE - 10'; REAR - 20'.
FOOTNOTE 15: IN THE CF DISTRICT, THE MINIMUM SIDE YARD OR REAR YARD SETBACK SHALL BE AS SPECIFIED IN CHART 2 UNLESS THE PROPERTY ADJUTS PROPERTY IN THE RS, RD, RSA, OR PRD CLASSIFICATION OR THE RESIDENTIAL PORTION OF LAND ZONED IN THE PUD CLASSIFICATION, IN WHICH CASE, THE MINIMUM SETBACK SHALL BE TWENTY FIVE FEET FROM THE COMMON PROPERTY LINE OF THE PROPERTY IN THE RS, RD, RSA, OR PRD CLASSIFICATION OR THE RESIDENTIAL PORTION OF LAND ZONED IN THE PUD CLASSIFICATION.
ZONE RS-8: A GARAGE ATTACHED TO A SINGLE-FAMILY DETACHED DWELLING SHALL HAVE A MINIMUM FRONT SETBACK OF 35 FEET. THE REMAINING PORTION OF THE STRUCTURE SHALL HAVE A MINIMUM FRONT SETBACK OF 25 FEET. THE DRIVEWAY OF AN ATTACHED OR DETACHED GARAGE FOR A SINGLE-FAMILY DETACHED DWELLING IN THE ABOVE DISTRICTS SHALL HAVE SUFFICIENT WIDTH AND DEPTH TO ACCOMMODATE FOUR VEHICLES. A SINGLE-FAMILY DETACHED DWELLING UNIT IN THE ABOVE ZONING DISTRICT THAT HAS NO GARAGE SHALL HAVE A MINIMUM FRONT SETBACK OF 35 FEET.
 - BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 4740002551. THE REMAINING PORTION OF LAND ZONED IN THE RS, RD, RSA, OR PRD CLASSIFICATION OR THE RESIDENTIAL PORTION OF LAND ZONED IN THE PUD CLASSIFICATION, IN WHICH CASE, THE MINIMUM SETBACK SHALL BE TWENTY FIVE FEET FROM THE COMMON PROPERTY LINE OF THE PROPERTY IN THE RS, RD, RSA, OR PRD CLASSIFICATION OR THE RESIDENTIAL PORTION OF LAND ZONED IN THE PUD CLASSIFICATION.
 - BEING PARCEL NUMBER 17.01 AS SHOWN ON RUTHERFORD COUNTY PROPERTY MAP NUMBER 83.
 - BEING A PORTION OF THE SAME PROPERTY CONVEYED TO HOWARD C. AND DOROTHY B. SMITH FROM C. G. & H. COMPANY BY WARRANTY DEED OF RECORD IN DEED BOOK 255, PAGE 649, REGISTERS OFFICE FOR RUTHERFORD COUNTY, TENNESSEE. ALSO BEING A PORTION OF THE SAME PROPERTY CONVEYED TO HOWARD C. AND DOROTHY B. SMITH FROM C. G. & H. COMPANY BY INSTALLMENT DEED OF RECORD IN DEED BOOK 266, PAGE 1, REGISTERS OFFICE FOR RUTHERFORD COUNTY, TENNESSEE.
 - THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APURTENANCES AT THE SITE. PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE IT IS A REQUIREMENT PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE OR MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF ANY INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 811.
 - ALL EXISTING STRUCTURES ON THE SUBJECT PROPERTY ARE TO BE REMOVED.
 - THIS PROPERTY IS LOCATED WITHIN THE OVERALL CREEK SEWER ASSESSMENT DISTRICT.
 - WETLAND AREAS SHOWN HEREON WERE TAKEN FROM A HYDROLOGIC FEATURE LOCATION MAP PREPARED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., DATED MAY 31, 2024.

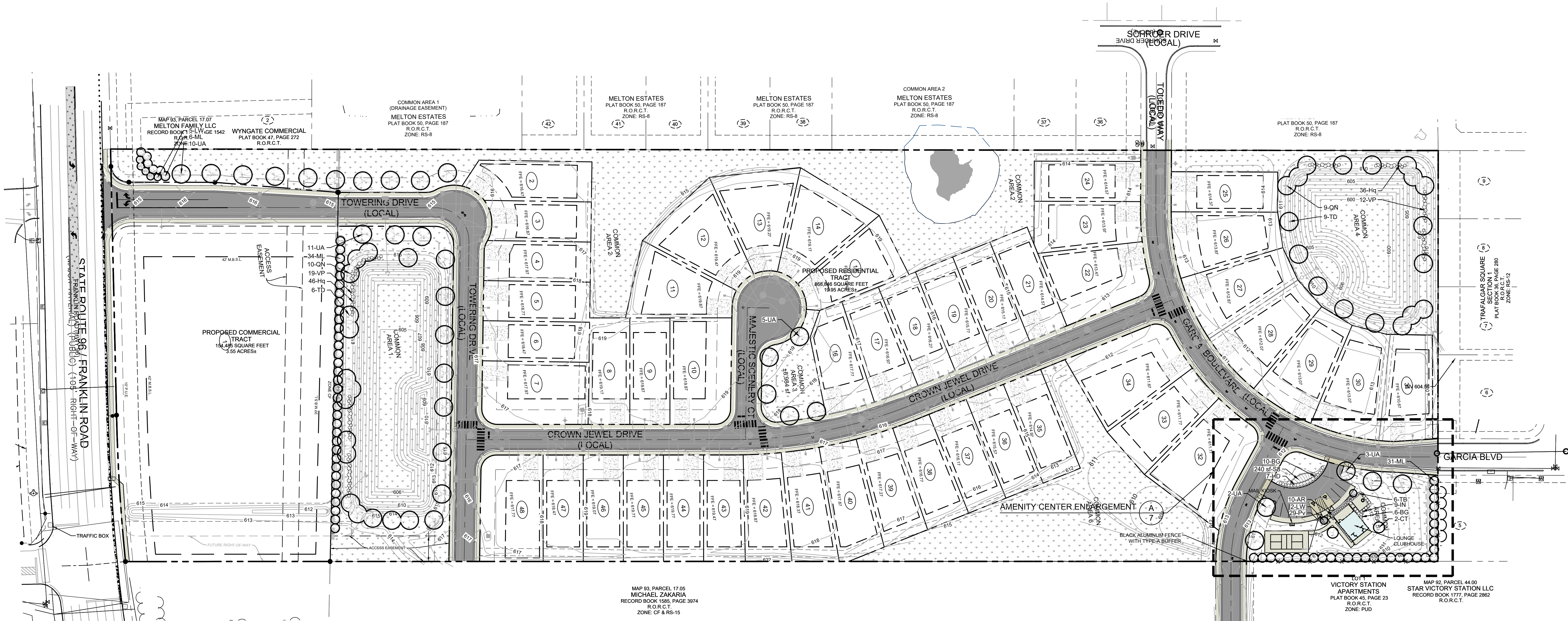


RaganSmith
a Pape-Dawson company



PRELIMINARY PLAT
THE COURTYARDS AT FRANKLIN ROAD

13 CIVIL DISTRICT, CITY OF MURFREESBORO, RUTHERFORD COUNTY, TENNESSEE



LANDSCAPE SITE DATA

PROPERTY INFORMATION:

STREET ADDRESS: 4424 FRANKLIN ROAD
CITY: MURFREESBORO
STATE: TENNESSEE
COUNTY: RUTHERFORD COUNTY
TAX MAP: 093
PARCEL: 017.01
TOTAL AREA: 23.49± AC
ZONING CLASSIFICATION: RS-8 / CF

DEVELOPER:

EPON COMMUNITIES
DWIGHT O'NEAL
222 2ND AVE. S. SUITE 1700
NASHVILLE, TN 37201
(615) 390-2727
DONEAL@EPONCOMMUNITIES.COM

NORTH STORMWATER SCREENING (720± LF)

PLANTING REQUIRED:
(1 SHADE TREE PER 40 LF) 18 SHADE
(1 EVERGREEN SHRUB PER 15 LF) 48 SHRUBS

PROVIDED PLANTING: 18 TREES
52 SHRUBS

SOUTH STORMWATER SCREENING (970± LF)

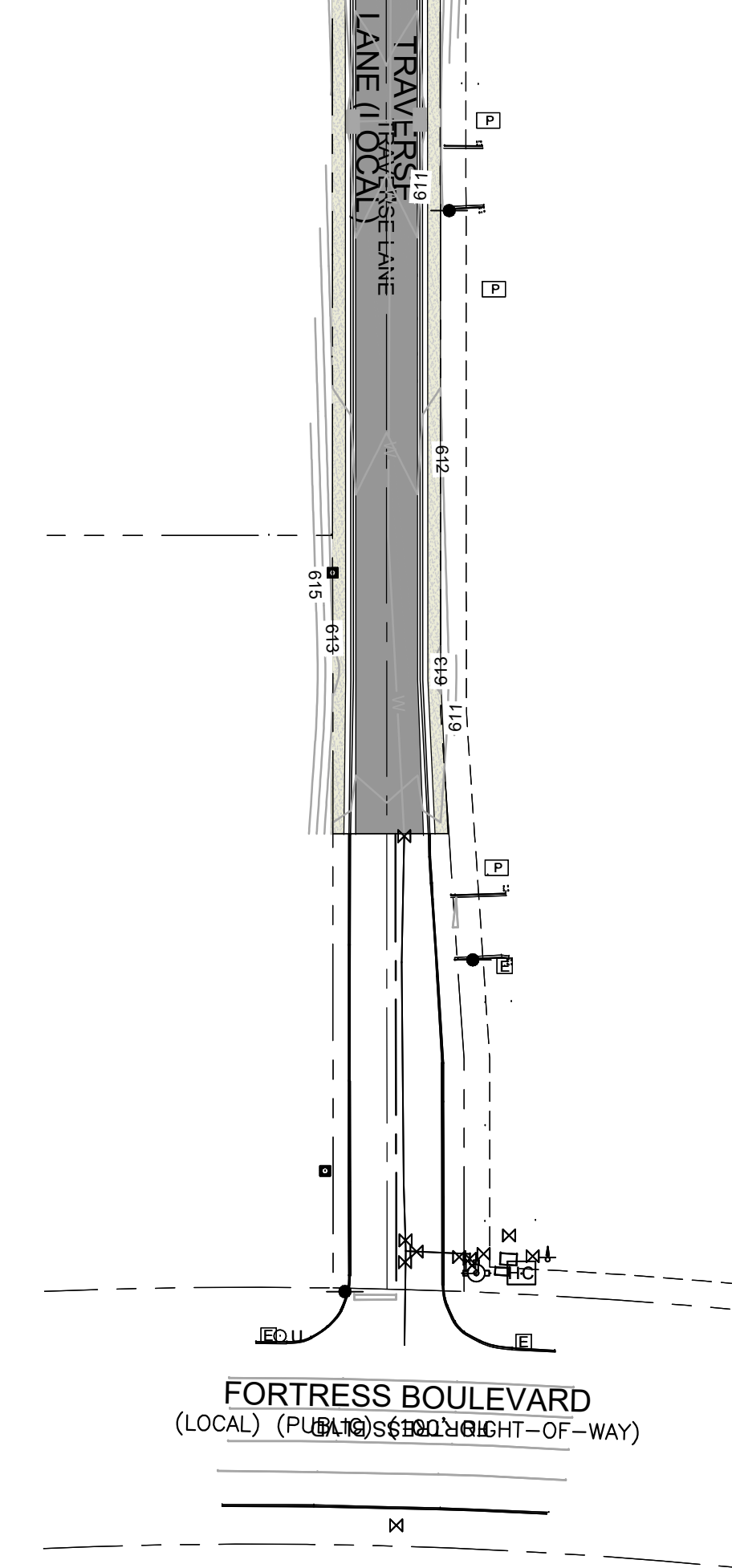
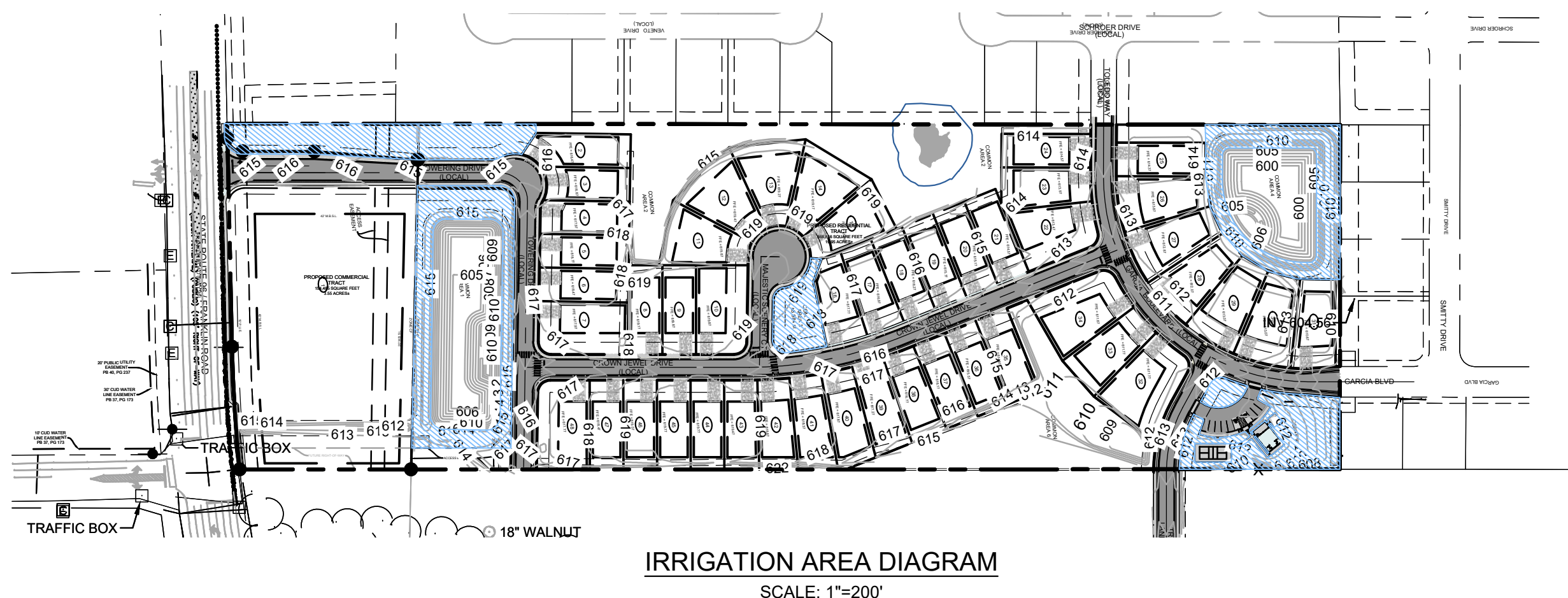
PLANTING REQUIRED:
(1 SHADE TREE PER 40 LF) 25 SHADE
(1 EVERGREEN SHRUB PER 15 LF) 65 SHRUBS

PROVIDED PLANTING: 25 TREES
65 SHRUBS

MIN. % OF 4" CAL. TREES REQUIRED: 10%
% OF 4" CAL. TREES PROVIDED: 23% (13/65)
MIN. % OF 3" CAL. TREES REQUIRED: 15%
% OF 3" CAL. TREES PROVIDED: 29% (15/65)

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
TREES								
CT	2	CERCIS CANADENSIS 'NC2016-2'	FLAME THROWER® EASTERN REDBUD	DECIDUOUS	2" CAL.	6'-8" HT.		
LW	7	LAGERSTROEMIA INDICA 'WHIT II' TM	DYNAMITE CRAPE MYRTLE	ORNAMENTAL	1.5" CAL.	6'-8" HT.		4FT CLEAR TRUNK EVENLY BRANCHED, FULL SYMMETRICAL CROWN, MATCHED.
QN	19	QUERCUS NUTTALLII	NUTTALL OAK	CANOPY	3" CAL.	14-16' HT	AS SHOWN	7FT CLEAR TRUNK; SINGLE-STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, FULL SYMMETRICAL CROWN, MATCHED. STREET TREE QUALITY.
TD	15	TAXODIUM DISTICHUM	BALD CYPRESS	CANOPY	4" CAL.	14-16' HT	AS SHOWN	5FT CLEAR TRUNK; SINGLE-STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, FULL SYMMETRICAL CROWN, MATCHED. STREET TREE QUALITY.
UA	31	ULMUS PARVIFOLIA 'ALLEE' TM	ALLEE LACEBARK ELM	CANOPY	2" CAL.	12-14' HT	AS SHOWN	7FT CLEAR TRUNK, EVENLY BRANCHED, FULL SYMMETRICAL CROWN, STREET TREE QUALITY, MATCHED.
EVERGREEN TREES								
ML	71	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM DWARF SOUTHERN MAGNOLIA	EVERGREEN		6'-8" HT.	AS SHOWN	
CODE	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
AR	110	ABELIA X 'ROSE CREEK'	ROSE CREEK ABELIA	EVERGREEN	24" HT.	24"	3' O.C.	FULL CONTAINER
BG	16	BUXUS X 'GREEN MOUNTAIN'	BOXWOOD	EVERGREEN	36" HT.	36"	AS SHOWN	FULL CONTAINER
HD	7	HYDRANGEA PANICULATA 'LEPP1'	WHITE WEDDING® PANICLE HYDRANGEA	DECIDUOUS	36" HT.	36"	AS SHOWN	FULL CONTAINER
Hq	82	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	DECIDUOUS	24" HT	30"	AS SHOWN	FULL CONTAINER
IN	9	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	EVERGREEN	#3			
Pv	29	PANICUM VIRGATUM	SWITCH GRASS	ORNAMENTAL GRASS	18" HT	12"	AS SHOWN	TRIANGULATE SPACING
TB	6	THUJA ORIENTALIS 'BERKMAN'S GOLD'	BERKMAN'S GOLD ORIENTAL ARBORVITAE	EVERGREEN	#3			
VP	31	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM	EVERGREEN	36" HT.	36"	AS SHOWN	FULL CONTAINER
CODE	QTY	BOTANICAL NAME	COMMON NAME	TYPE	CONT	SPREAD	SPACING	REMARKS
GROUND COVERS								
S8	300 SF	SEASONAL COLOR ...		PERENNIAL				
TS	82,096 SF	TURF SOD	DROUGHT TOLERANT FESCUE BLEND	SEED				LOCALLY GROWN



Scale: 1" = 60'

Date: JUNE 13, 2024

Approved By: MHH

Revisions:

- 2 02/05/25 PER LAYOUT CHANGES
- 1 07/03/24 CITY COMMENTS

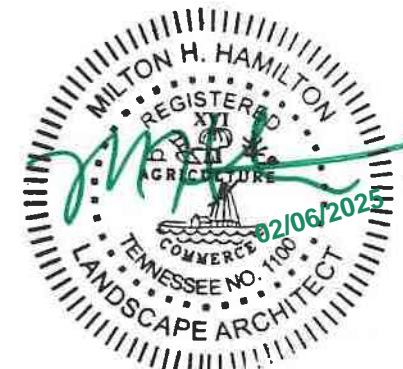
Drawing Title:
LANDSCAPE PLAN

Drawing No.
6 OF 7
Project No.
23-0217



RaganSmith

a Pape-Dawson company



PRELIMINARY PLAT

THE COURTYARDS AT FRANKLIN ROAD

13 CIVIL DISTRICT, CITY OF MURFREESBORO, RUTHERFORD COUNTY, TENNESSEE

Scale: 1" = 60'

Date: JUNE 13, 2024

Approved By: MHH

Revisions:

#	#	#
#	#	#
#	#	#
#	#	#
#	#	#
1	07/03/24	CITY COMMENTS

Drawing Title:

LANDSCAPE PLAN

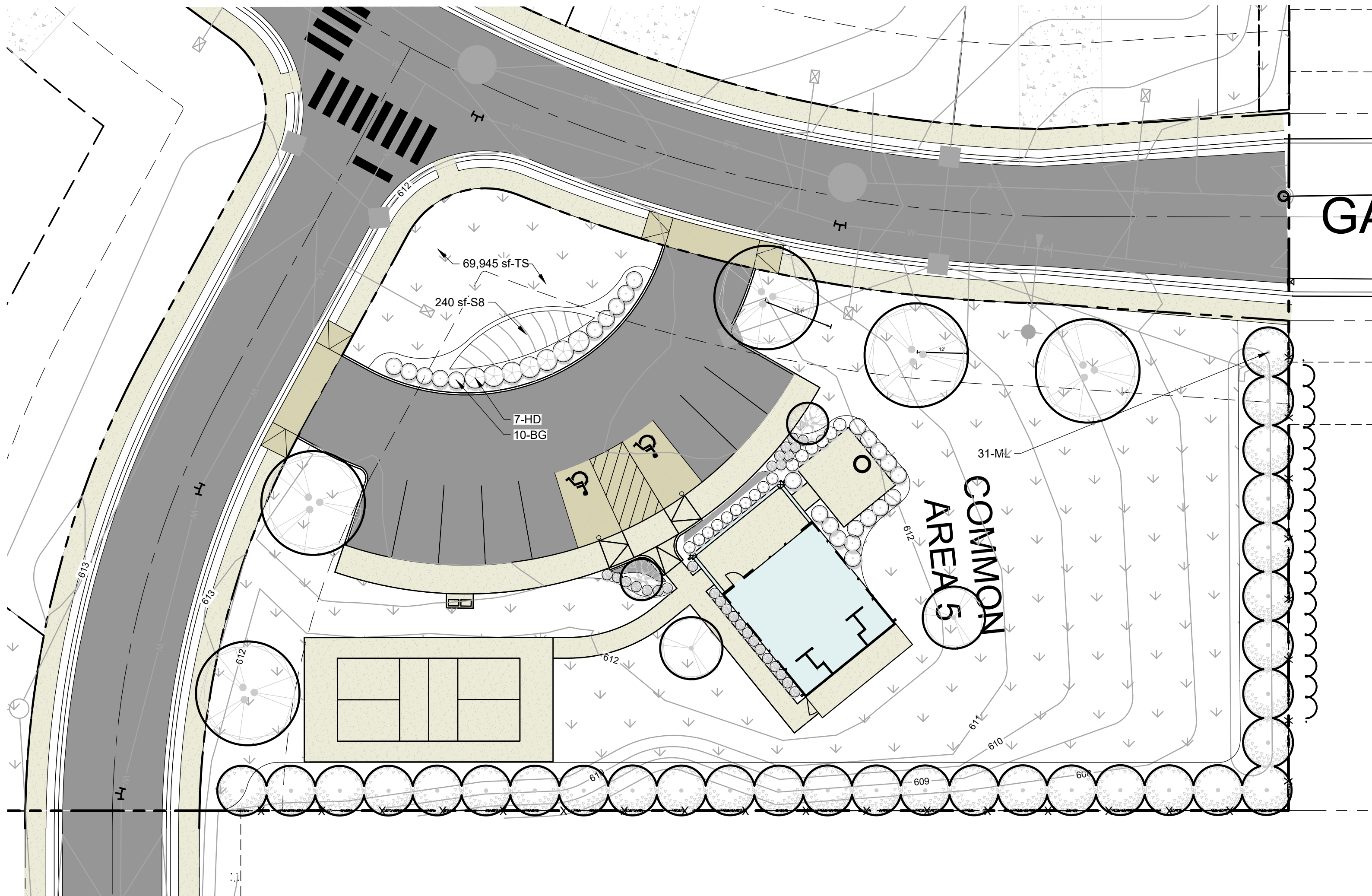
Drawing No.

7 OF 7

Project No.
23-0217



LOUNGE CLUBHOUSE
CONCEPTUAL RENDERING



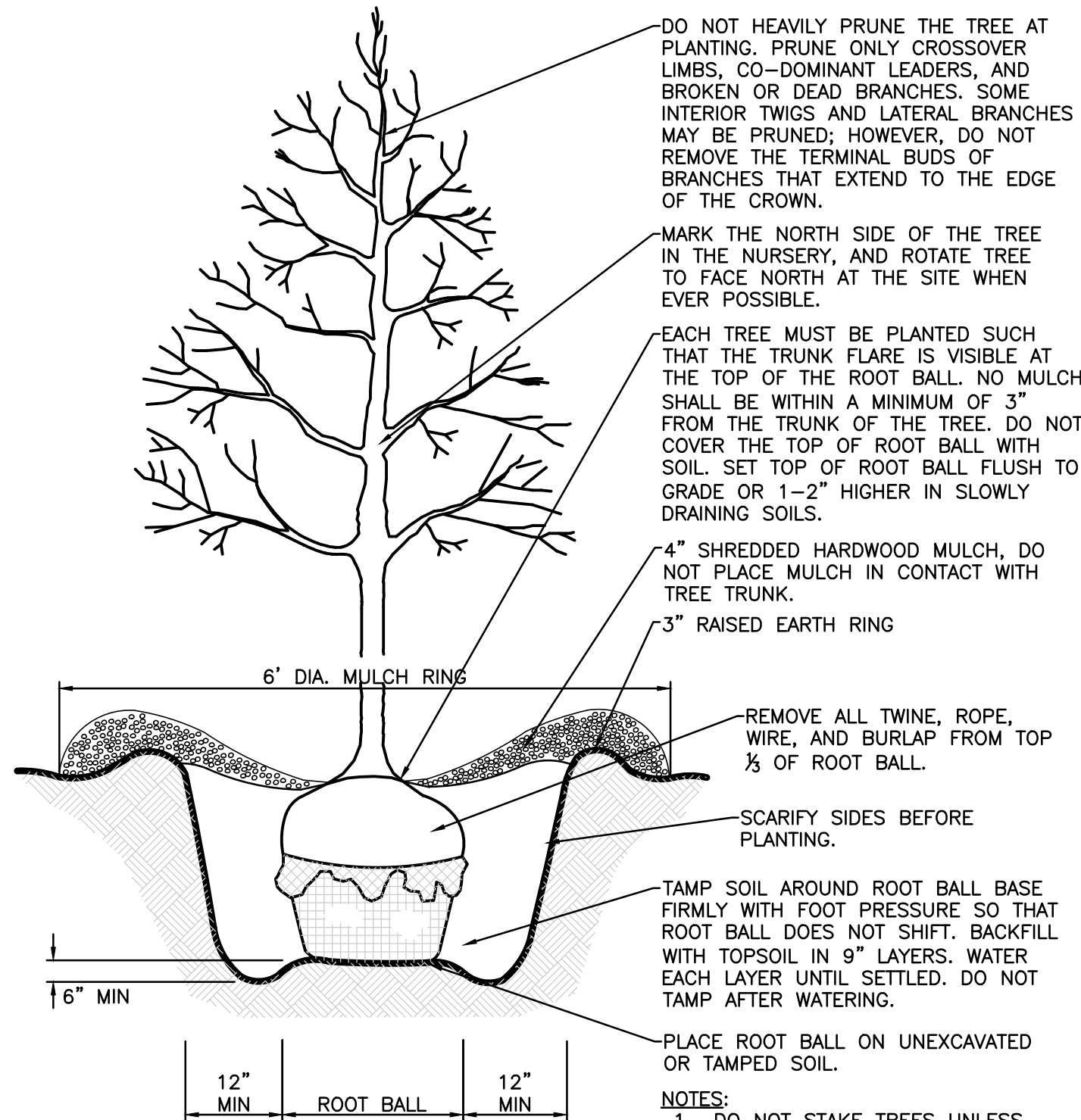
A AMENITY CENTER ENLARGEMENT
SCALE: 1" = 20'

PLANTING NOTES:

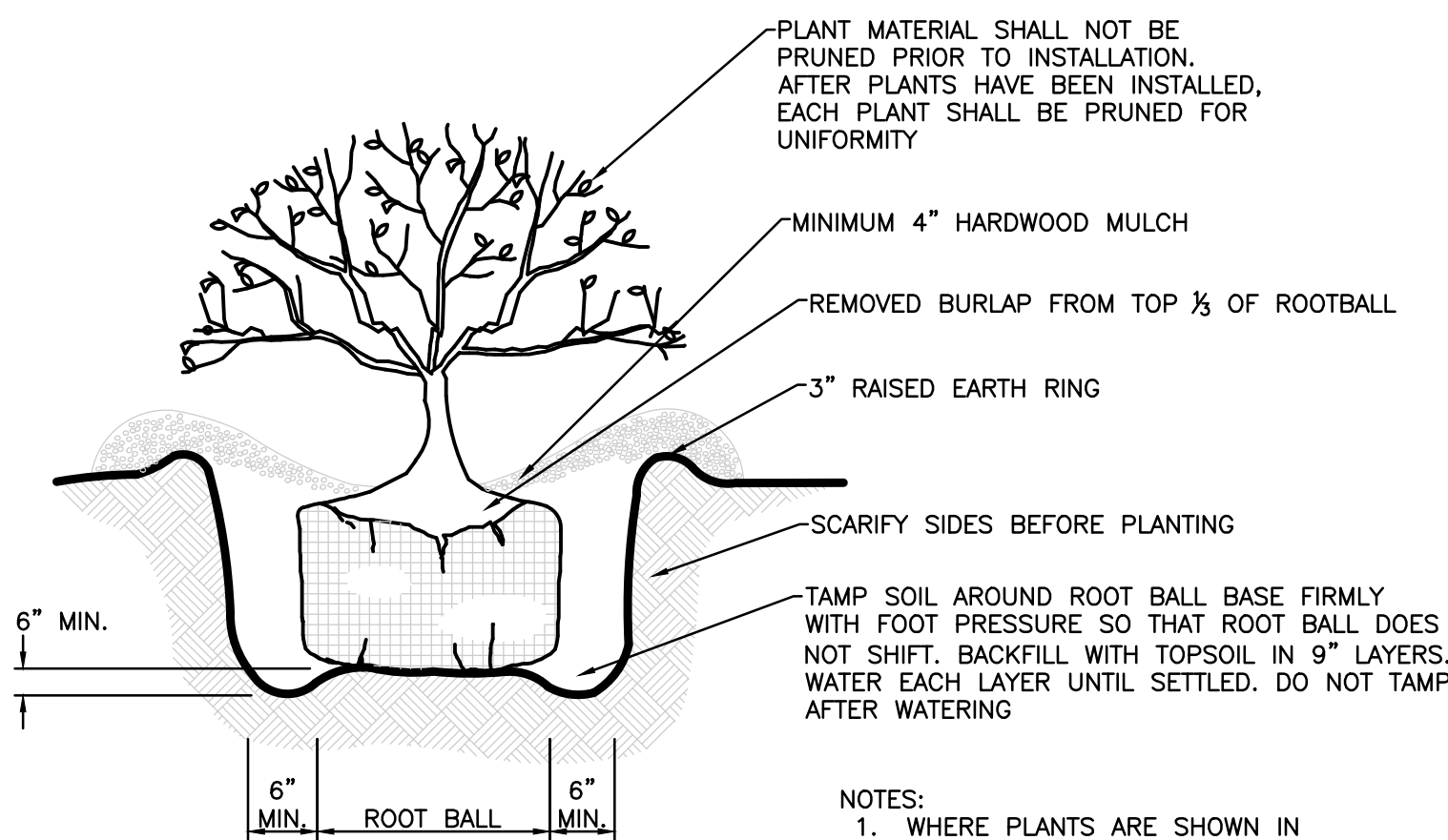
1. ANY SERIES OF TREES TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. ANY PLANTS MISARRANGED WILL BE RELOCATED.
2. SOIL USED IN BACKFILLING PLANTING PITS SHALL BE TOPSOIL AND MIXED WITH 25% PEAT BY VOLUME. EXCEPT FOR ERICACEOUS PLANTS. VERY ACID OR SOUR SOIL (SOIL HAVING A pH less than 6) SHALL BE MIXED WITH SUFFICIENT LIME TO PRODUCE A SLIGHTLY ACID REACTION (A pH of 6.0 to 6.5). ADD 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 2 POUNDS PER CUBIC YARD. MIX BOTH FERTILIZER AND PEAT THOROUGHLY BY HAND OR ROTARY TILLER.
3. SOIL USED IN BACKFILLING ERICACEOUS PLANTS SHALL BE TOPSOIL MIXED WITH 50% PEAT BY VOLUME. ADD 5-10-5 COMMERCIAL FERTILIZER AT THE RATE OF 5 POUNDS PER CUBIC YARD. MIX BOTH FERTILIZER AND PEAT THOROUGHLY BY HAND OR ROTARY TILLER.
4. UPON SECURING PLANT MATERIAL AND BEFORE INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR A PRE-INSTALLATION INSPECTION TO VERIFY ALL PLANT MATERIAL MEETS SPECIFICATION. MATCH TREES OF SAME SPECIES IN GROWTH CHARACTER AND UNIFORMITY.
5. APPLY HERBICIDE (TRIFLUR OR EQUIVALENT) TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL AT A RATE OF 2 POUNDS PER 1,000 SQUARE FEET.
6. CONTRACTOR SHALL SUBMIT A 10 OUNCE SAMPLE OF THE TOPSOIL PROPOSED TO A TESTING LABORATORY FOR ANALYSIS. SUBMIT TEST RESULTS WITH RECOMMENDATIONS FOR SUITABILITY TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.
7. PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE AND VERTICAL ALL NON-BIODEGRADABLE ROOT CONTAINERS SHALL BE REMOVED.
8. SELECTIVELY TRIM TREE BRANCHES BY 25%, MAINTAINING NATURAL SHAPE. PRUNE ALL DEAD AND BROKEN BRANCHES IN TREES AND SHRUBS. REMOVE TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIAL.
9. SCARIFY SUBSOIL IN PLANTING BEDS TO A DEPTH OF 3 INCHES. ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL.
10. CONTRACTOR SHALL PROVIDE SMOOTH, NEATLY TRENCHED (3 INCH DEEP) BED EDGES.
11. ALL PLANTING BEDS TO HAVE A MINIMUM 4 INCH DEEP SHREDED HARDWOOD MULCH.
12. DIMENSIONS FOR TRUNK CALIPER, HEIGHTS, AND SPREAD SPECIFIED ON THE MATERIAL SCHEDULE ARE A GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH A.N.S.I. Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" (CURRENT EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC.
13. TREES OF THE SAME SPECIES SHALL HAVE THE FOLLOWING CHARACTERISTICS: MATCHED BY BRANCHING HEIGHT, CALIPER, HEIGHT OF TREE, SPREAD OF BRANCHES AND BRANCHING STRUCTURE, AND OVERALL CANOPY SHAPE.
14. THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLAN (PLANT SYMBOLS) WILL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
15. CONTRACTOR TO WARRANTY ALL MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.

IRRIGATION NOTES:

1. ALL PROPOSED PLANTED AREAS ARE TO BE IRRIGATED UTILIZING FULL COVERAGE DESIGN.
2. SUBMIT PROPOSED IRRIGATION PLAN TO THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR GENERAL REVIEW AND ACCEPTANCE.
3. PROPOSED IRRIGATION SYSTEM SHOULD UTILIZE ANY RECLAIMED/REUSED/GRAY WATER PUBLIC SYSTEMS IF ACCESSIBLE.
4. SHOULD RECLAIMED/REUSED/GRAY WATER NOT BE AVAILABLE, BELOW GRADE CISTERNS OR ON-SITE RETENTION PONDS SHOULD BE CONSIDERED FOR AN IRRIGATION WATER SOURCE. USE OF PUBLIC POTABLE WATER SOURCE SHOULD BE A LAST CASE RESORT AND DESIGNED AS A TEMPORARY IRRIGATION SYSTEM UTILIZED TO ESTABLISHED PROPOSED PLANT MATERIAL THROUGH ITS FIRST TWO YEARS OF GROWTH.
5. PROPOSED IRRIGATION DESIGN SHOULD UTILIZE WATER EFFICIENT DESIGN TECHNIQUES SUCH AS THE USE OF DRIP IRRIGATION, MOISTURE SENSORS AND RAIN SENSORS TO MAXIMIZE WATER EFFICIENCY.
6. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING AN IRRIGATION SYSTEM THAT FUNCTIONS PROPERLY PER THE INTENT OF THE DESIGN. SHOULD THE IRRIGATION CONTRACTOR SEE A FLAW IN THE PROPOSED DESIGN AND/OR FINDS A PROBLEM IN THE FIELD THAT WILL NEGATIVELY AFFECT THE PERFORMANCE OF THE PROPOSED IRRIGATION SYSTEM, THE SAID CONTRACTOR IS RESPONSIBLE FOR INFORMING THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE PRIOR TO INSTALLING OR ORDERING MATERIAL FOR THE PROPOSED IRRIGATION SYSTEM.
7. IRRIGATION PLANS TO BE SUBMITTED PRIOR TO ISSUANCE OF PERMITS.



TREE PLANTING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE

- NOTES:
1. WHERE PLANTS ARE SHOWN IN BEDS, MULCH SHALL COVER ENTIRE BED AS DENOTED ON THE PLANS.
 2. CONTAINER GROWN PLANT MATERIAL MAY BE SUBSTITUTED FOR BURLAP MATERIAL.

THE PROPERTY SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING MATERIALS, INCLUDING TURF, AND IRRIGATION BOTH ON THE PROPERTY AND INSIDE OF THE R.O.W.

LANDSCAPE NOTES

1. ALL DISTURBED AREAS NOT OTHERWISE PLANTED SHALL BE SEEDED PER NOTES ON SHEET L2.0
2. PARKING SCREENING SHRUBS SHALL BE 24" HT AT TIME OF INSTALL AND 36" HT AT MATURITY PER CITY OF MURFREESBORO'S ORDINANCE.
3. MAIL KIOSK LANDSCAPE TO RECEIVE IRRIGATION VIA UNDERGROUND SYSTEM. IRRIGATION PLAN SHALL BE SUBMITTED TO THE CITY OF MURFREESBORO DEVELOPMENT SERVICES PRIOR TO OBTAINING BUILDING PERMIT.