

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**APRIL 9, 2024
6:00 PM**

**Kathy Jones
Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the March 19, 2025 Planning Commission meeting.**
- 5. Public Hearings and Recommendations to Council:**
 - a. Zoning application [2025-404] to amend the Parkway Place PID on approximately 151 acres located on along Joe B Jackson Parkway, Richard Reeves Drive, and Logistics Way, Swanson Developments, LP applicant. (Project Planner: Holly Smyth)
 - b. Mandatory Referral [2025-701] to consider the abandonment of a portion of Blackman Road right-of-way located at the intersection of Blackman Road and Hartman Farm Court, SEC, Inc. applicant. (Project Planner: Sloane Lewis)
 - c. Proposed amendment to the Zoning Ordinance [2025-802] related to regulations for institutional group assembly uses, including school uses, and pertaining to the following sections:
 - Section 7: Site Plan Review;
 - Section 9: Standards for Special Permit Uses;
 - Section 19: Residential Districts;
 - Section 27: Landscaping and Screening;
 - Chart 1: Uses Permitted by Zoning District (and its endnotes); and
 - Endnotes for Chart 2: Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity RatiosCity of Murfreesboro Planning Department applicant. (Project Planner: Matthew Blomeley)

MURFREESBORO PLANNING COMMISSION AGENDA

PAGE 2

APRIL 9, 2025

6. Staff Reports and Other Business:

- a.** Outside the City sewer service [2024-507] request to amend the conditions of approval for an outside the City sewer customer on approximately 46 acres located along Epps Mill Road and Capital Way, Towery Development applicant. (Project Planner: Richard Donovan)
- b.** Mandatory Referral [2024-718] to consider the abandonment of portions of a drainage easement on property located along Dejarnette Lane, SEC, Inc. on behalf of Providence Christian Academy applicant. (Project Planner: Holly Smyth)

7. Adjourn.

MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS – APRIL 9, 2025
PROJECT PLANNER: HOLLY SMYTH

5.a. Zoning application [2025-404] to amend the Parkway Place PID on approximately 151 acres located along Joe B Jackson Parkway, Richard Reeves Drive, and Logistics Way, Swanson Developments, LP applicant.

The subject area is part of the existing amended Parkway Place Planned Industrial Development (Parkway Place PID - file #2022-412) located on the south side of Joe B Jackson Parkway and along Richard Reeves Drive and Logistics Way. Access to individual parcels is generally through the center of the PID along the existing Richard Reeves Drive and the new Logistics Way. The northern portions of the PID are mostly built out while the southern sections are still vacant and/or under development. The PID defines 4 regions which have different scales, architecture, landscape buffers, and allowable uses for each region as defined by the program book.

The applicant is requesting to amend the PID by modifying the proposed allowable uses table highlighted on page 17 and modifying the boundaries of Regions 2 and 3, so that areas west of Richard Reeves Drive are within Region 3. Concurrently, the applicant has filed Site Plan Review #2025-3018 for Volunteer Fleet at risk, pending acceptance of a portion of the amended PID being approved by the City.

The 2025 PID Amendments can be best seen on **pages 8.1 and 17** of the program book. The “Region” boundaries are proposed to change from what is shown on page 8 of the program book to that shown on page 8.1 so that properties on the west side of Richard Reeves Drive are changed from Region 2 (shown in orange) to Region 3 (shown in the red). This modification will help eliminate the exceptions in Region 2 west of Richard Reeves Drive, that are currently designated by “X*” in Region 2 allowing “Contractor’s Yard or Storage, Outdoor” in Region 2 only on the West of Richard Reeves Drive. The new amendment removes this use from Region 2 and changes the areas west of Richard Reeves to be part of Region 3 which allows this use. The main purpose why staff suggested this modification to the Region boundaries is the adjacent sensitivities and buffers are clearly different on one side of Richard Reeves Drive due to the eastern side being adjacent to residential uses.

The proposed Allowable Uses table provides yellow highlighting over the proposed modifications. One new use for “Motor Vehicle Repair (Medium & Heavy Duty Commercial Vehicles excluding the sales and rental components)” is being proposed to allow this use on one specific lot (#16). A business called “Volunteer Fleet” has been operating for a number of years in Region 2 directly adjacent to single family residential and wants to expand into their own new building on Lot #16 within the PID. Staff believes their original approval may have been given in error due to previous confusion about how to classify the use within the PID. Because automotive repair businesses were not originally an intended use within the PID, this allowance to move the business to a more appropriate lot not adjacent to residential would be an improvement from the current condition. However, with the proposed amendment, this use would not be allowed anywhere else in the PID. The applicant clarified at the initial Planning Commission meeting that an auto servicing use would not replace the Volunteer Fleet tenant space.

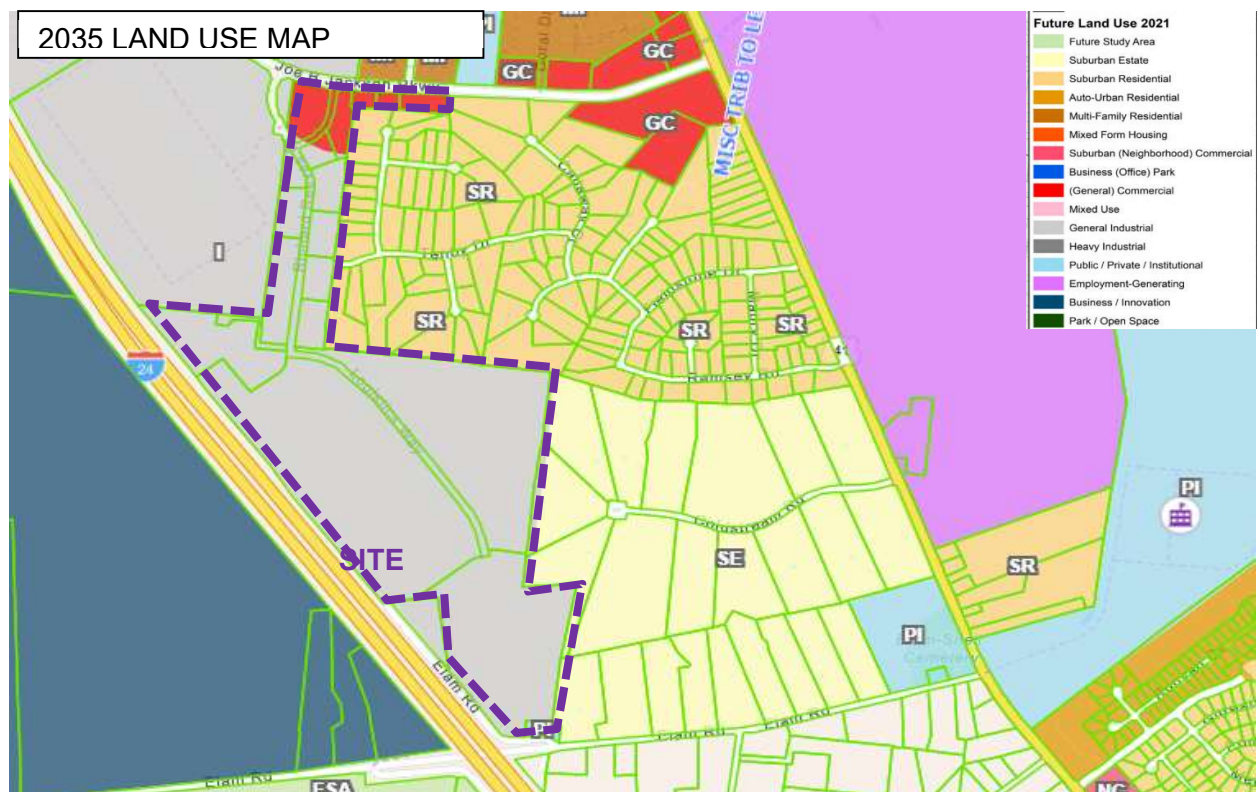
Staff received an additional amendment request to the allowable use table to add “powder coating” use to the allowed uses table in Regions 3 and 4. Given region 4 abuts low density residential lots, staff recommended that all activities are indoor and modify to read “powder coating (indoor)* “. This new use with a clarification note are incorporated into page 17 of the revised program book.

The other proposed modifications to the use table are intended to make the PID more consistent with recent changes to both the definitions and use table in the City’s Zoning Ordinance as well as eliminate confusion of duplicated listed uses.

Adjacent Zoning and Land Uses

The PID is directly adjacent to I-24 to the west, southeast of the Amazon Fulfillment Center zoned H-I (Heavy Industrial), industrial buildings zoned L-I (Light Industrial) and H-I to the north and northwest and one highway billboard site zoned RS-15 (Single-Family Residential) to the southwest within City limits as generally shown on page 6 of the program book and the attached City map.

Along the eastern boundaries of the PID, zoning within the county is RM (Medium Density Residential). This area contains existing single family residential subdivisions of Magnolia Trace and Oakland Farms with lot sizes ranging from 0.6 acres to 7.4 acres. The PID requires 50’ to 125’ landscape buffers adjacent to these homes.



Future Land Use Map

The Murfreesboro 2035 Comprehensive Plan Future Land Use Map indicates that General Commercial (GC; adjacent to Joe B Jackson Parkway), General Industrial (GI; the bulk of the PID), and Public/Private/Institutional (PI; the small parcel at the southernmost tip of the PID) as the most appropriate land use characters over the PID.

The respective PID regions are clearly consistent with the GC and GI land use designations. However, the PI designation is not clearly consistent, but the parcel in question was incorporated into the PID during the 2022 amendment after the prior church building was demolished. The general plan designation was not subsequently updated, as it is not required to be consistent with the zoning, but future updates to the land use map should update the PI area to be designated GI.

Recommendation

Staff is supportive of this zoning request as mentioned above and shown more particularly on pages 8.1 and 17 of the program book to:

- Allow only Lot 16 to permit the use “motor vehicle repair (Medium & Heavy Duty Commercial Vehicles) excluding the sales and rental component.
- Add powder coating (indoor*) to the permitting uses table in Regions 3 & 4
- Modify the uses in the allowable uses table to be more in line with terminology as it has been recently amended in the City Zoning Ordinance.
- Change the orange colored Region 2 boundaries to no longer be included on the westerly half of Richard Reeves Drive but to be red colored Region 3 district instead as shown on page 8.1 of the program book.

For the following reasons:

- Allowing the specific automobile-related use on only Lot 16 allows this existing use in Region 2 to relocate into a more intensive industrial area away from adjacent single family residential lots .
- Limiting powder coating activities to all be indoor should protect adjacent residents.
- Updating the listed uses to terminology that is more consistent with the City’s Zoning Ordinance helps to more easily implement.
- Modifying the Region boundary map on the westside of Richard Reeves Drive from Region 2 into Region 3 accomplishes the same basic goal as the current policy does by removing the highlighted current language below of the “X*” and instead implementing by modify Region 3 boundaries on the map.

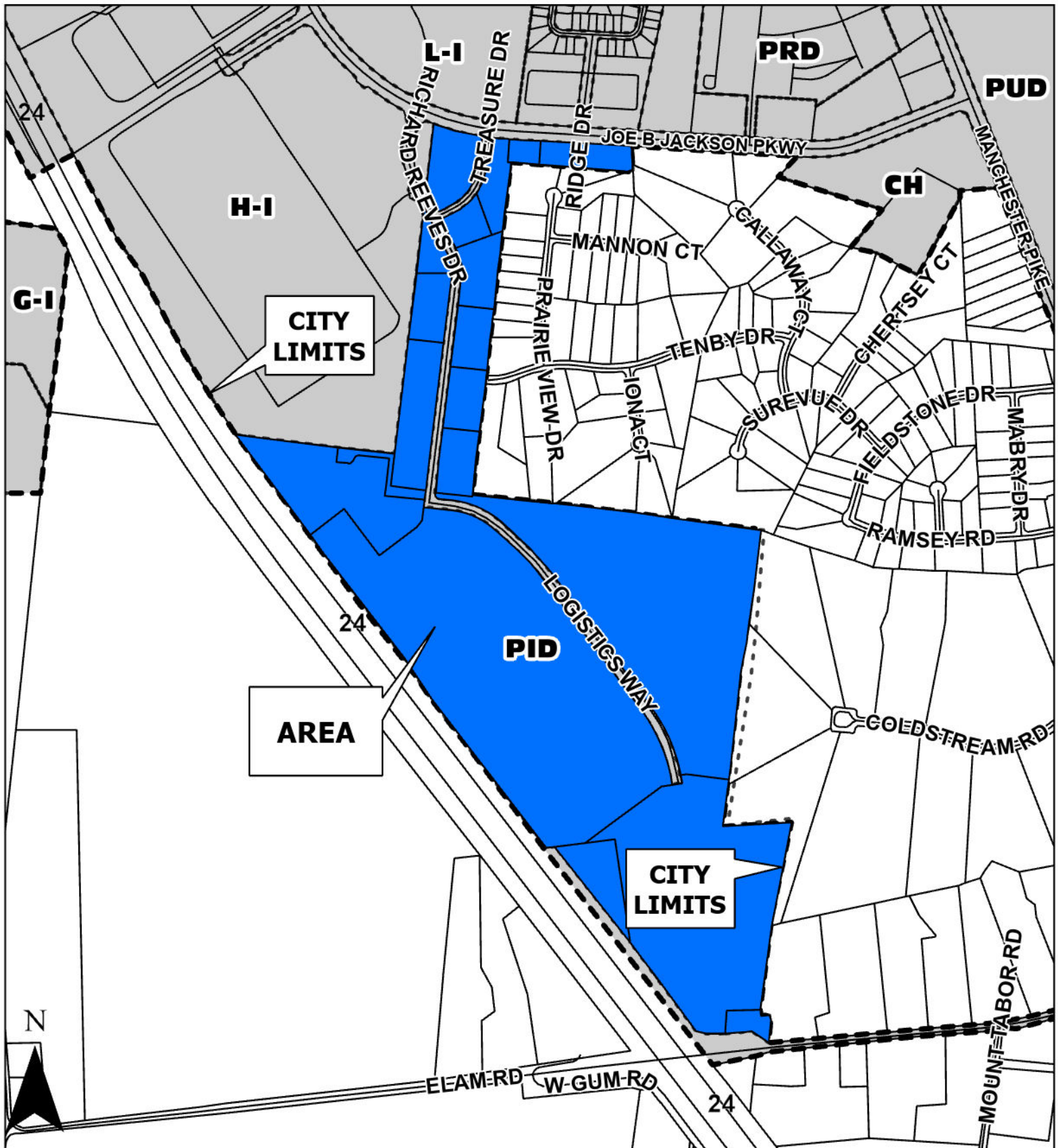
USES PERMITTED	ZONES			
	Region 1	Region 2	Region 3	Region 4
INDUSTRIAL				
Manufacture, Storage, Distribution of:				
Abrasive Products		X	X	X
Automobile Parts and Components Manufacture			X	X
Automobile Seats Manufacture			X	X
Bakery Goods		X	X	X
Bottling Works		X	X	X
Brewery		X	X	X
Candy		X	X	X
Canned Goods			X	X
Contractor's Storage, Indoor		X	X	X
Contractor's Yard or Storage, Outdoor		X*	X	
X* = Only allowed West of Richard Reeves Drive				
Cosmetics			X	
Custom Wood Products		X	X	X
Electrical or Electronic Equipment, Appliances, and Instruments		X	X	X
Fabricated Metal Products and Machinery (Indoor)		X	X	X
X = Permitted Uses X = New Permitted Uses X* = Only allowed West of Richard Reeves Drive				

Action Needed

The applicant will be available at the Planning Commission meeting to discuss this proposed zoning request. The Planning Commission will need to conduct a public hearing prior to making a recommendation to the City Council.

Attachments

- Non-Ortho Map
- Ortho Map
- Amended Program Book
- Approved Allowed Uses excerpt from existing Program Book

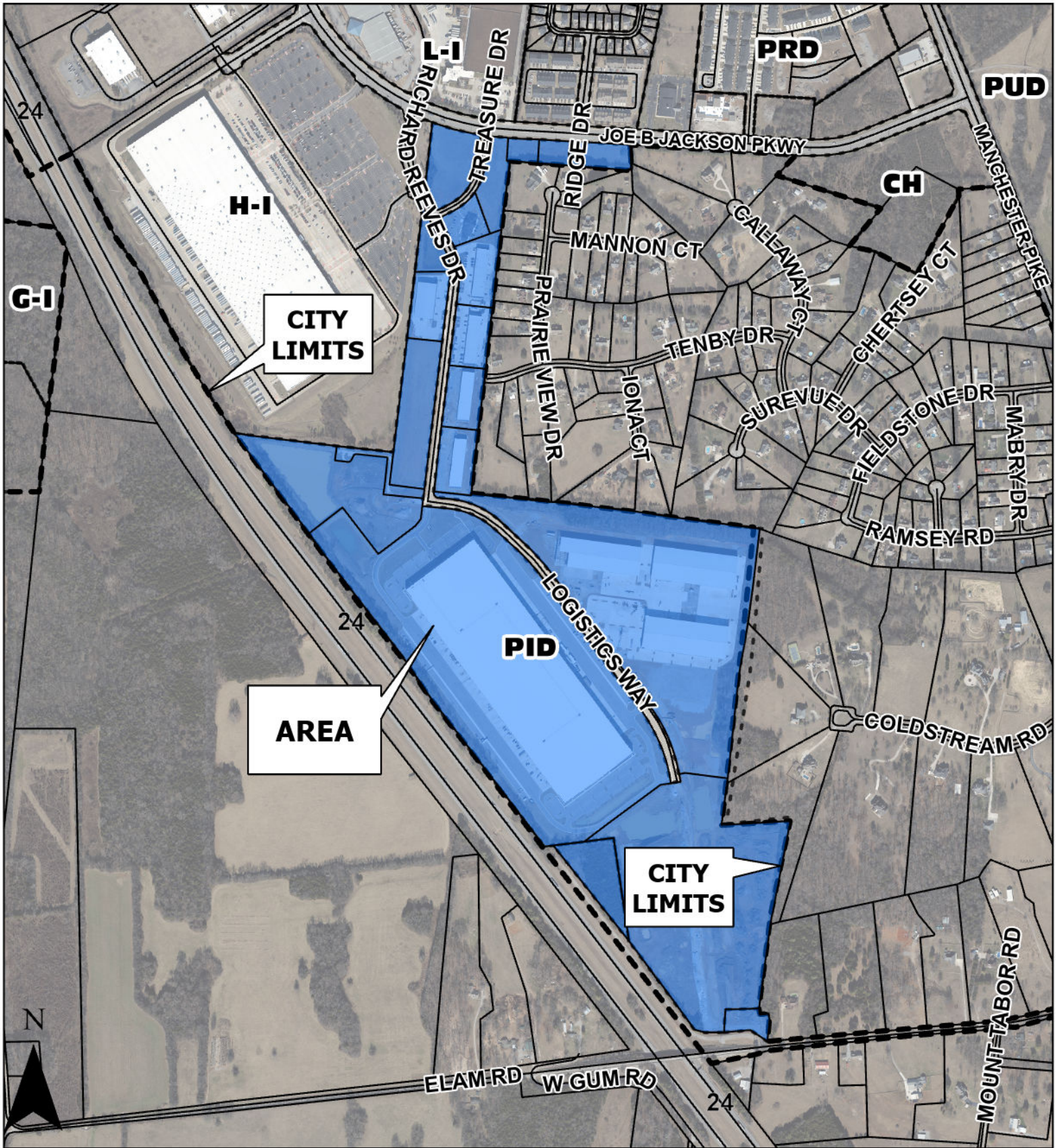


Zoning Request for property along Richard Reeves Drive
& Logistics Way
PID Amendment (Parkway Place PID)

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



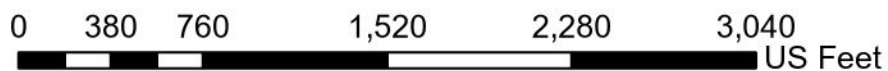
0 380 760 1,520 2,280 3,040
US Feet



Zoning Request for property along Richard Reeves Drive
& Logistics Way
PID Amendment (Parkway Place PID)



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



**A Request to Amend
The Planned Industrial
Development for:**

PARKWAY PLACE

AMENDING PID #2016-412 THROUGH ZONING AMENDMENT #2022-412

AMENDING PID #2022-412 THROUGH ZONING AMENDMENT #2025-404

SEC, Inc.

**Planning, Engineering,
& Landscape Architecture**

SEC, INC.

850 Middle Tennessee Blvd
Murfreesboro, TN 37129
Contact: Rob Molchan, PLA
615-890-7901

SUBMITTED ON FEBRUARY 13th, 2025

**RESUBMITTED MARCH 13TH, 2025
FOR PLANNING COMMISSION REVIEW - MARCH 19TH, 2025**

**RESUBMITTED APRIL 1ST, 2025
FOR PLANNING COMMISSION PUBLIC HEARING - APRIL 9TH, 2025**



Developer

Swanson Development, LP.

1188 Park Avenue
Murfreesboro, TN 37128
Contact: Joe Swanson
615-896-0000

PARKWAY PLACE

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INTRODUCTION

The Request

Swanson Development, LP respectfully requests to amend the existing Parkway Place PID. The proposed development is located along the south side of Joe B Jackson Parkway, east of the Amazon Fulfillment Center, west of Magnolia Trace & Oakland Farms subdivisions, and north of Interstate 24. The site is identified as Parcels 1.00, 2.00, 3.00, 4.00, & 5.00 of Tax Map 126O, Parcels 22.05, 1.00, 2.00, 3.00, 4.00, 5.00, 6.00, 7.00, 7.01, & 8.00 of Tax Map 135B, and Parcels 2.00, 2.01, & 26.00 of Tax Map 135. The site has a combined average of approximately 151.33 acres.

This request is to amend the allowable uses for Lot 16 to include Motor Vehicle Repair (Medium & Heavy Duty Commercial Vehicles) excluding the sales and rental. Additionally, the westerly side of Richard Reeves Drive is proposed to be modified into Region 3.

Region 1 will continue to be a mixture of lots that will allow for individual businesses to offer commercial, office and restaurant uses to the area to support the business community and residents located in this region.

Region 2 flanks the easterly half of Richard Reeves Drive southward through the center of the region toward the larger portion of the PID located along Interstate 24. On the eastern side of the roadway, the developer is proposing flex warehouse buildings being coined ‘Incubator Industry’. These buildings allow for small businesses to grow and evolve as their business does.

Regions 3 & 4 buffers will remain the same as previously approved. The architectural characteristics and allowable uses for both Regions have been revised to better accommodate future end users. The line between Regions 3 & 4 has been redefined to match the roadway alignment approved with the site plans for the warehouses in Region 3. Parcel 26.00 of Tax Map 135 is approximately 0.69 acres. This area was added to Regions 3 and 4 at the southernmost end of the PID, bisected by a private access easement. See Page 8.1 for a complete breakdown of acreages in each of the regions as currently approved and proposed.



PARKWAY PLACE

Vision & Commitment

Swanson Development, LP the developer of Parkway Place is committed to creating a quality Planned Industrial Development to attract potential users that can not only provide gainful employment to residents of the City of Murfreesboro and Rutherford County, but also provide a new destination for commerce to grow and develop. The developer has chosen to proceed with the Planned Industrial Development option to ensure the City of Murfreesboro and surrounding residents of the quality and characteristics of the development.

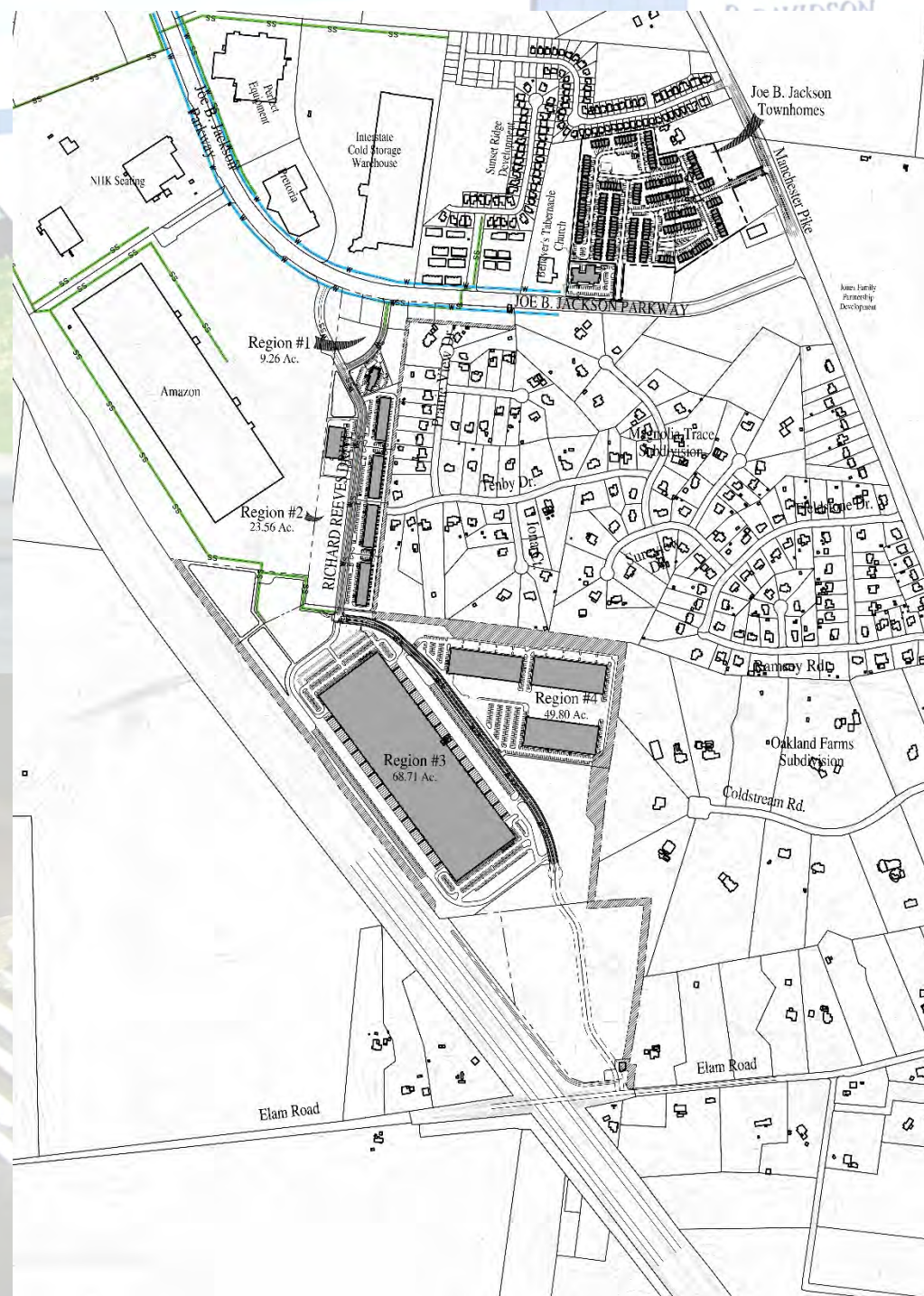


*Connection through to Elam Road pending approval by TDOT and Rutherford County

North Up
N.T.S.

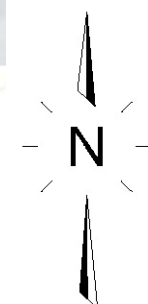
EXISTING CONDITIONS

RIGHTS-OF-WAY, UTILITIES, & TOPOGRAPHY



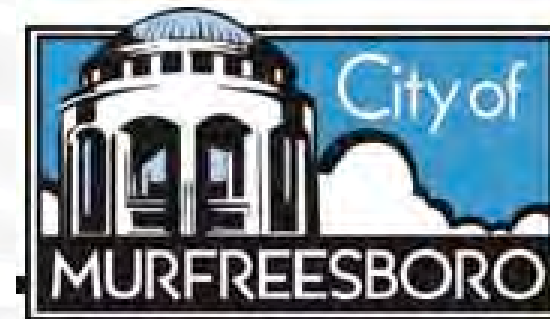
Existing Water Line

Existing Sanitary Sewer Line



N.T.S.

Existing topography indicates that the site has several closed depressions on-site. In general, the site drains toward the right-of-way of I-24. On-site stormwater detention will be provided and final locations will be determined as each site is developed. Final design for on-site detention will be done in a manner to limit the post-development peak flows to pre-development levels in accordance with City of Murfreesboro and TDEC requirements.



The property has access to four public rights-of-way; Joe B Jackson Parkway, Richard Reeves Drive, Treasure Drive, and Elam Road. The main access will be from Joe B Jackson to Richard Reeves Drive or Treasure Drive, and a new private access point is being shown connecting to Elam Road, which would need to be approved by TDOT and Rutherford County.



Gas service (4-inch) is along the north side of Joe B Jackson Parkway and is provided by Atmos Energy.

PARKWAY PLACE



Sewer service is located at 2 locations close to the property. One point (8-inch) is located along the south side of Joe B Jackson Parkway and runs to the north through the Sunset Ridge Development. The other location (8-inch) is located in the rear of the Amazon property. Sewer from both locations has been extended onto the developing sites. Additional extensions will be provided as Regions develop. Sanitary sewer will be provided by Murfreesboro Water and Sewer Department.



CONSOLIDATED UTILITY DISTRICT
Rutherford County, Tennessee

Water service (20-inch) is located along the south side of Joe B Jackson Parkway, and a 6" water main along Elam Road. Water will be provided by the Consolidated Utility District.



Middle Tennessee Electric will be providing service to the development.

PARKWAY PLACE

EXISTING CONDITIONS (CONT.)

PHYSICAL FEATURES



#1 (Example of foliage to remain)

Presently the majority of the site is covered in a mixture of hardwoods and evergreens with a few open areas where the cover is pasture or scrub.



#2
(Portion of Buffer to remain
taken from the Oakland Farm S/D side)



#3
(Portion of Buffer to remain
taken from Magnolia Trace side)

Portions of the property have large outcroppings of rock existing. There is only one known structure on-site and that is a old barn which will be removed.



#4
(Portion of Buffer to remain
taken from Magnolia Trace side)

PARKWAY PLACE

EXISTING CONDITIONS (CONT.)

PHYSICAL FEATURES



#6 (Existing clearing on-site)



#6 (Existing construction on-site)



#7 (Existing tree line to remain)



#8 (Portion of existing foliage to remain)

PARKWAY PLACE

EXISTING CONDITIONS (CONT.)

PHYSICAL FEATURES



#9
(Existing treeline along Magnolia Trace to remain)



#11 (Existing street stub from Magnolia Trace)



#10 (Existing buffer to remain)



#10 (Existing buffer to remain from 2016)

EXISTING CONDITIONS (CONT.)

SURROUNDING USES AND ZONINGS

Surrounding zonings are made up of CH, LI, HI, GI, RS-15, PRD, PUD, and RM (county).



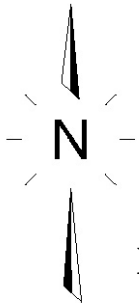
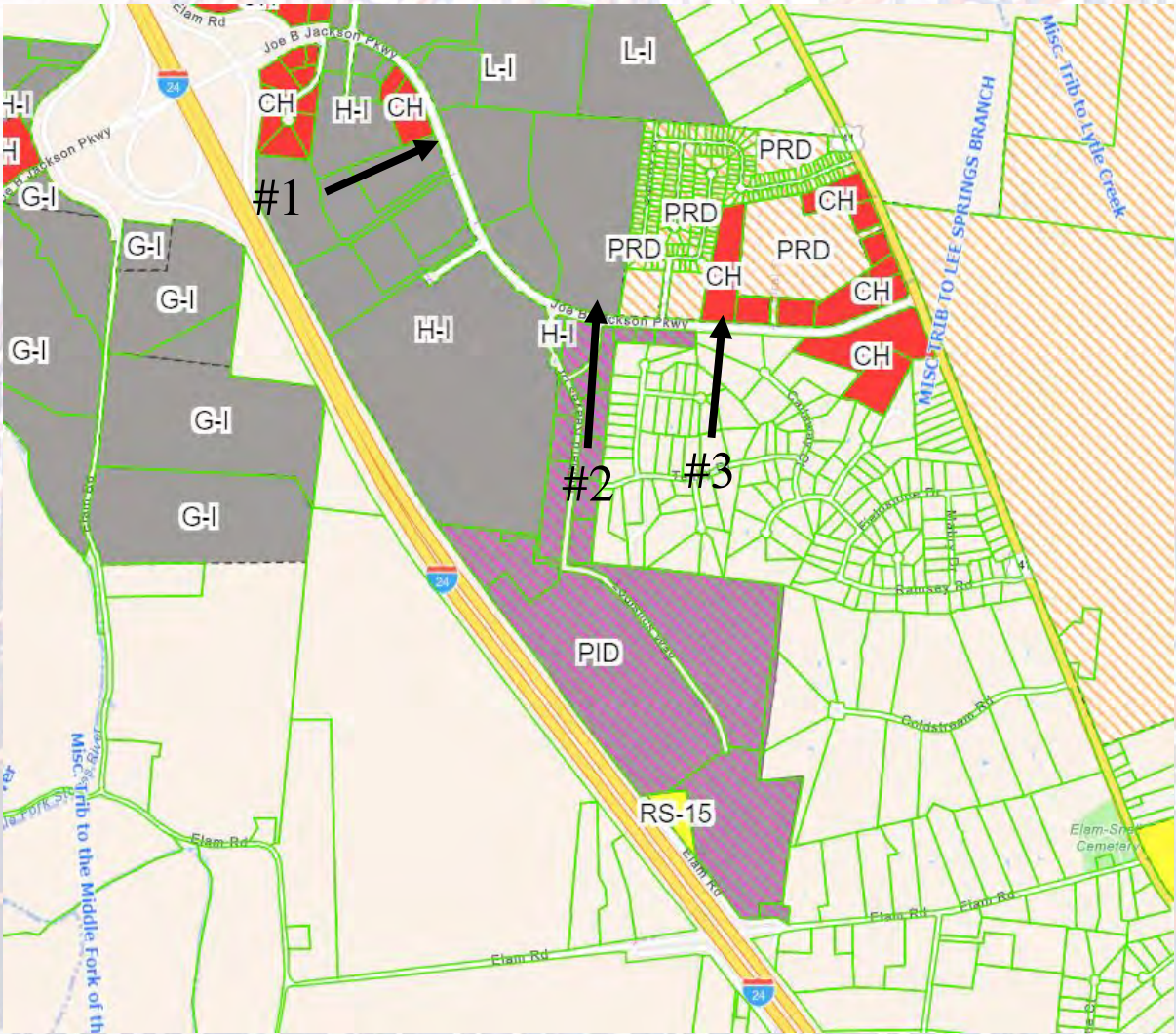
The Perfect Equipment site is located to the northwest of the subject property.



The Interstate Warehousing site is located directly north of the subject property on the opposite side of Joe B Jackson Parkway.



Believer's Tabernacle is located on the north side of Joe B Jackson Parkway to the northeast of the subject property.



N.T.S.

PROPOSED SITE



NORTH UP
N.T.S.

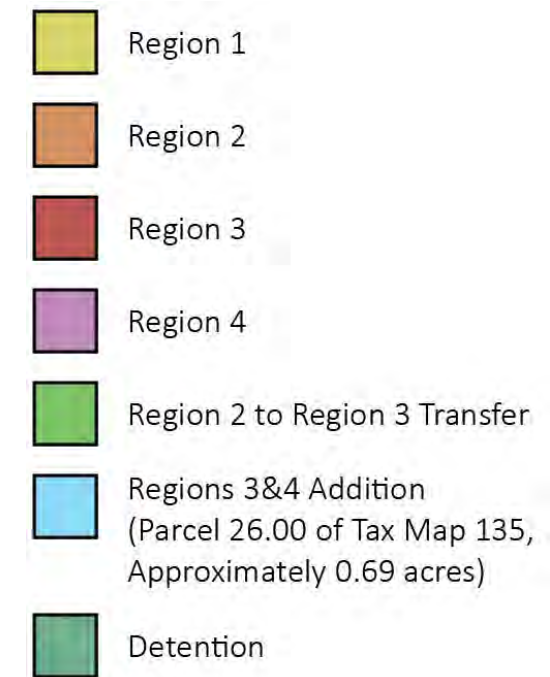
PARKWAY PLACE

PROPOSED SITE REQUIREMENTS

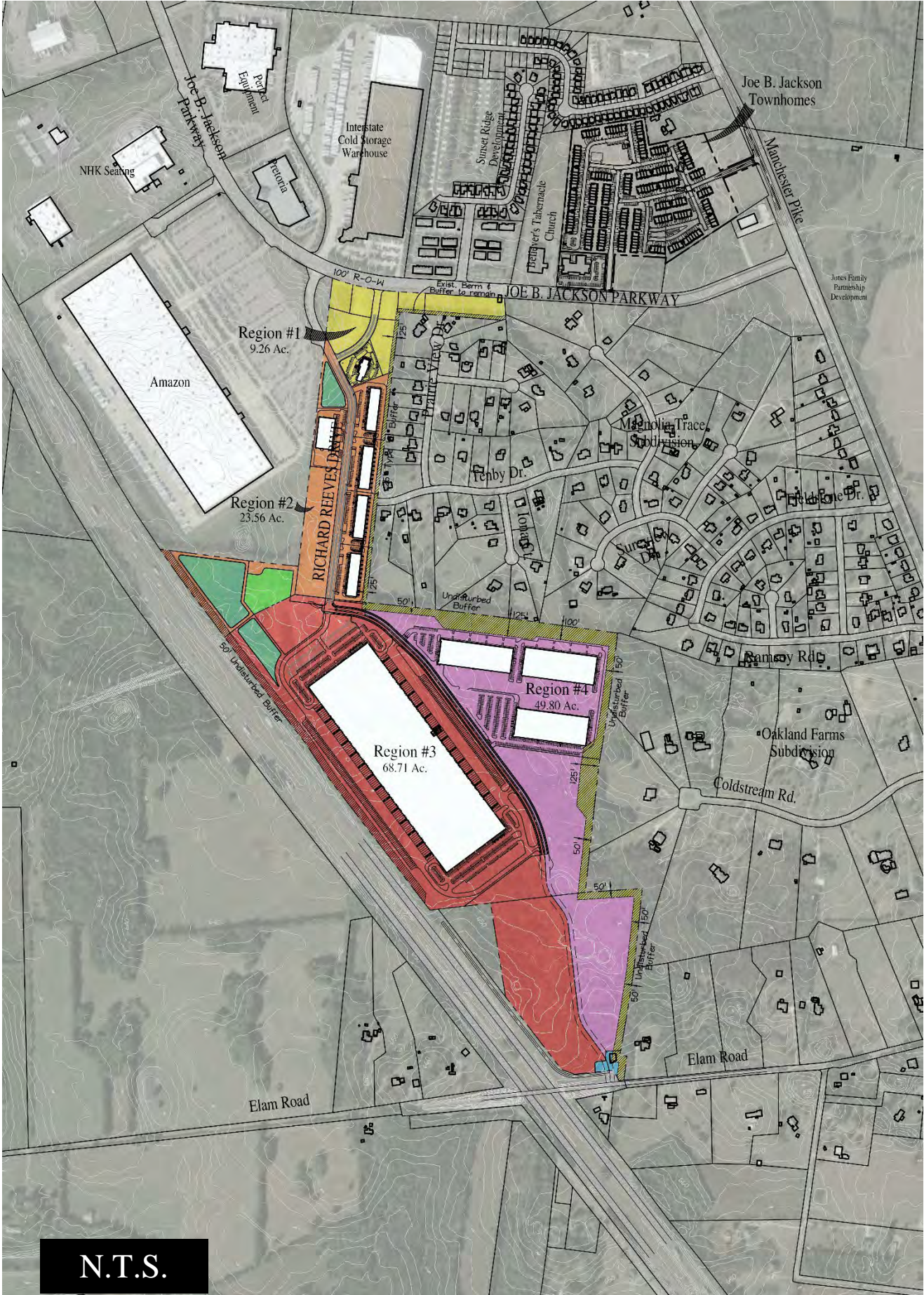
- Entire development consists of 151.33 acres with the old church site included at the southernmost end of the property. The development will be broken into four (4) regions according to allowable uses and heights. The region lines have been shown on the plan to the left. These are not property lines.
- Undisturbed buffers and masonry fence walls have been called out on the plan. These areas are to remain in their present condition. The only exception to this will be if additional landscaping is added, however existing vegetation shall not be removed. At the time of development for each site located in Region #4, buffers shall meet the planting requirements equivalent to a Type ‘E’ Buffer from the City’s landscape ordinance.
- The undisturbed buffers have been called out as 50 feet along the right-of-way of I-24, 50 feet minimum along the eastern and northern boundaries of Region #4 with certain “sensitive” areas enlarged.
- The eastern boundary of Regions #1 & #2 has a 25 foot wide Type ‘E’ buffer and masonry wall called out. The existing tree and fence line in this location is to remain and has been supplemented with a landscaping buffer and a masonry wall that is a minimum of 9 feet tall.
- The southern boundary of Region #1 has an existing evergreen buffer that is to remain. Presently this buffer is a Type ‘B’ Buffer.
 - The development will be providing a public/private access easement to the south of the Logistics Way terminus and shall be constructed back to Elam Road. Pending approval from TDOT, Rutherford County, and/or the City of Murfreesboro.
- Lighting fixtures and lighting plan design will meet the City of Murfreesboro regulations in order to contain the light on-site and reduce glare.
- Any and all mechanical units shall be located on the roof or in a mechanical yard screened by evergreen landscape plantings.
- Parking areas with more than 200 spaces will be broken into sub-lots by the utilization of landscape strips at least 20 feet in width.
 - All parking will be screened from right-of-ways by use of trees, shrubs and/or low landscape mounds.
 - Sites shall utilize curb & gutter throughout, no extruded curb will be accepted.
 - Adequate room for truck turning movements at any loading areas should be provided.
- All entry points into sites as well as the parking areas are to be adequately planned to allow for proper turning and maneuvering movements. If truck parking is anticipated, then truck sized parking spaces shall be allocated in the design. Normal spaces for passenger vehicle will not be used for this purpose.
- No truck parking areas shall be allowed between any proposed building and the northern and eastern property lines of Region #4.
- Any truck docks located in Region #1, 3, or 4 shall be oriented away from the neighboring residential neighborhood. Also, truck dock areas shall be screened from public right-of-ways.
- Signage will comply with City of Murfreesboro’s sign ordinance pursuant to its requirements for a Planned Industrial Development (PID) and will be cohesive with the architectural character of each site while being complemented by landscaping.
 - All utilities shall be underground. This applies for both public infrastructure as well as on-site.
 - Stormwater management areas shall be screened from view if not being aesthetically enhanced
- Foundation plantings shall be utilized along the fronts of buildings. Truck dock areas are exempt from this requirement.
 - Building Height Restrictions (maximum) shall be as such:
 - Region #1 = 35 feet
 - Region #2 = 25 feet
 - Region #3 = 75 feet
 - Region #4 = 45 feet

2022 - PREVIOUSLY APPROVED PID AMENDMENTS AND REQUESTED EXCEPTIONS

- 1) Parcel 26.00 of Tax Map 135 is requested to be zoned to PID and annexed into the City and this development’s total site area and added to Regions 3 and 4, Split by the future roadway
- 2) Approximately 0.64 acres of Region 2 is requested to be relocated to Region 3
- 3) Allowable uses on Page 17 for the different Regions has been revised to accommodate a more diverse group of end users
- 4) The development will be providing a public/private access easement to the south via the TDOT frontage road and shall be constructed back to Elam Road. A public/private access easement will be provided with any new site plan approvals for this area of Regions 3&4. This proposed public/private vehicular ingress/egress shall not be used for shipping and receiving (either coming or going) for tenants of the development.
- 5) The site will be requesting an exception to the maximum cul-de-sac length per the City of Murfreesboro Subdivision Regulations for the currently approved Logistics Way.
- 6) South of the existing terminus of the approved Logistics Way, new site plans will require a Traffic Impact Study for Elam Road.



REGION	APPROVED ACREAGE	PROPOSED ACREAGE	DIFFERENCE
REGION 1	9.23 ACRES	9.26 ACRES	+0.03 ACRES
REGION 2	25.80 ACRES	25.38 ACRES	-0.42 ACRES
REGION 3	71.45 ACRES	69.15 ACRES	-2.30 ACRES
REGION 4	44.03 ACRES	47.54 ACRES	+3.51 ACRES
TOTAL AREA	150.51 ACRES	151.33 ACRES	+0.82 ACRES



2025 PID AMENDMENTS AND REQUESTED EXCEPTIONS



1) Land-Use Amendments

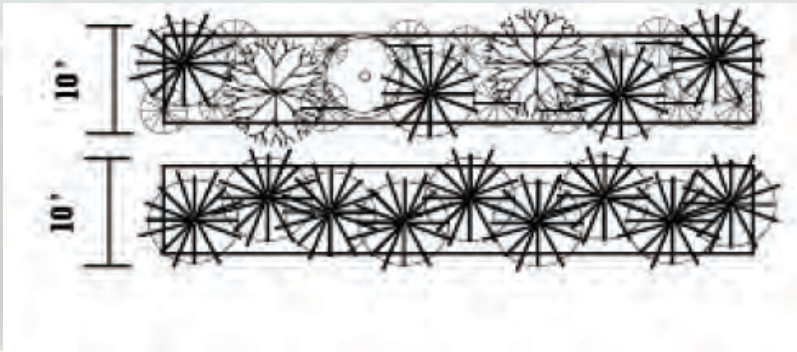
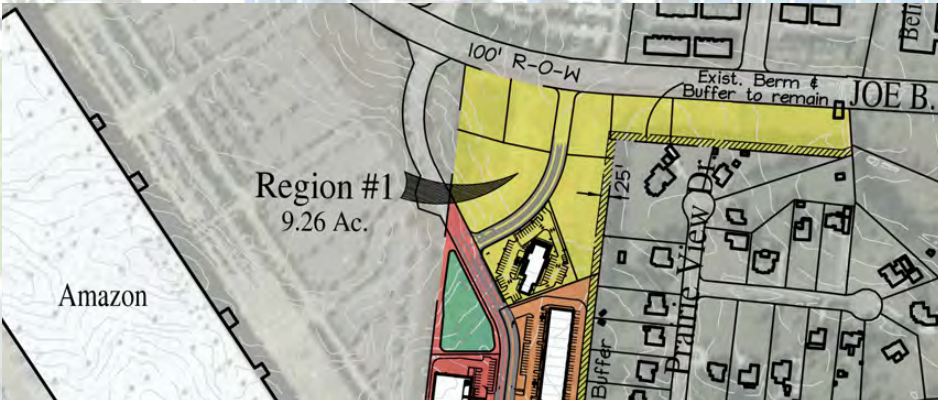
- a) Requesting the allowable uses for Lot 16 to include Motor Vehicle Repair (Medium & Heavy Duty Commercial Vehicles) excluding the sales and rental components.
- b) Requesting to differentiate Dry Cleaning into two uses, one commercial and one industrial as highlighted on page 17.
- c) Requesting "Contractor's Yard or Storage, Outdoor" be removed from region 2.
- d) Requesting to remove the "Other" use category and redistribute those uses to the commercial and industrial categories.
 - i) Recycling Center moved to Industrial Category
 - ii) "Self-Service Storage Facility" moved to Commercial Category
 - iii) "Wholesale Establishments" moved to Commercial Category
- e) Requesting to consolidate the commercial use "Warehousing, Transporting" & the "Warehouse" use under "Other" to "Warehousing, Transporting / Distributing / Fulfillment" in the industrial use category
- f) Requesting the addition of Powder Coating to Region 3 & 4

2) Modify Region 2 on the westerly half of Richard Reeves Drive to be Region 3.

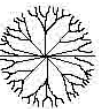
- Region 1
- Region 2
- Region 3
- Region 4
- Detention

REGION	APPROVED ACREAGE	PROPOSED ACREAGE	DIFFERENCE
REGION 1	9.26 ACRES	9.26 ACRES	-0.00 ACRES
REGION 2	25.38 ACRES	9.14 ACRES	-16.24 ACRES
REGION 3	69.15 ACRES	85.39 ACRES	+16.24 ACRES
REGION 4	47.54 ACRES	47.54 ACRES	-0.00 ACRES
TOTAL AREA	151.33 ACRES	151.33 ACRES	-0.00 ACRES

LANDSCAPE REQUIREMENTS



North Up
N.T.S.



Shade Tree: A large tree growing to over 40' in height at maturity, usually deciduous, that is planted to provide canopy cover shade. Minimum 2 1/2 – 3 inch caliper at planting



Ornamental Tree: A small to medium tree, growing 15' to 40' in height at a maturity, that is planted for aesthetic purposes such as colorful flowers, interesting bark, or fall foliage. Minimum 1 1/2 inch caliper at planting



Evergreen Tree: A tree having foliage that remains green throughout the year, that is planted for aesthetic or screening purposes. Minimum 6 ft ht. at planting



Large Shrub: An upright plant growing 10' to 20' in height at maturity that is planted for ornamental or screening purposes. Minimum 3 ft. ht. at planting



Medium Shrub: A plant growing 5' to 10' in height at maturity that is planted for ornamental or screening purposes. Minimum 2 ft. ht. at planting



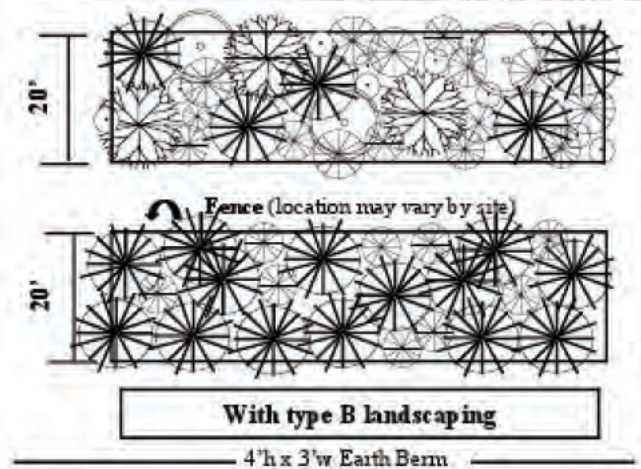
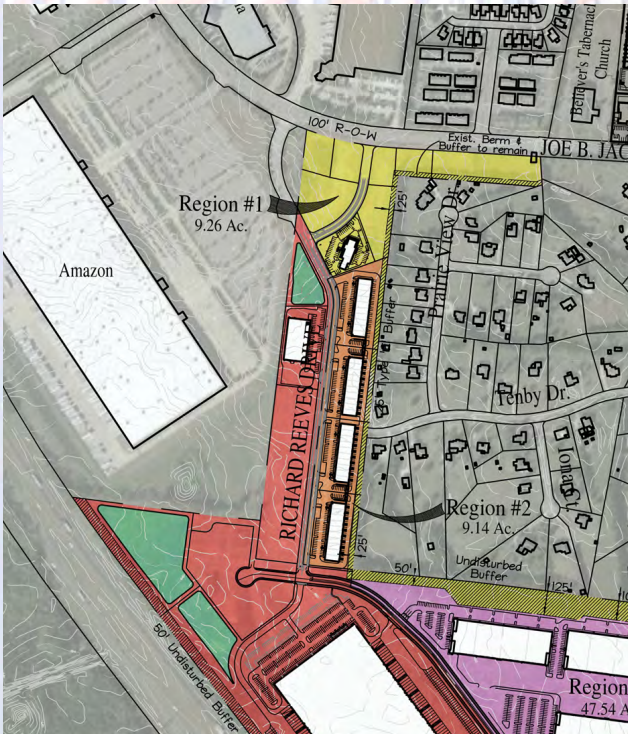
Small Shrub: A plant growing to less than 5' in height at maturity that is planted for ornamental or screening purposes. Minimum 18 in. at planting



Evergreen Shrub: A shrub having foliage that remains green throughout the year, that in this instance is planted for screening purposes.

PARKWAY PLACE

- Shown to the left is a picture of the existing buffer located along the southern buffer of Region #1. Presently this is a Type B Buffer.
- Shown to the right are some pictures of the existing tree line and 25' landscape buffer with 9' tall wall located along the eastern boundary of Region #2. These trees are to remain and be supplemented with a 25 foot wide landscape buffer with a masonry wall which was established and installed in 2017. This buffer meets the Type E requirements shown below and the masonry wall is at least 9 feet tall. In addition, any new evergreen trees planted shall be a minimum of 6 feet tall at the time of planting.



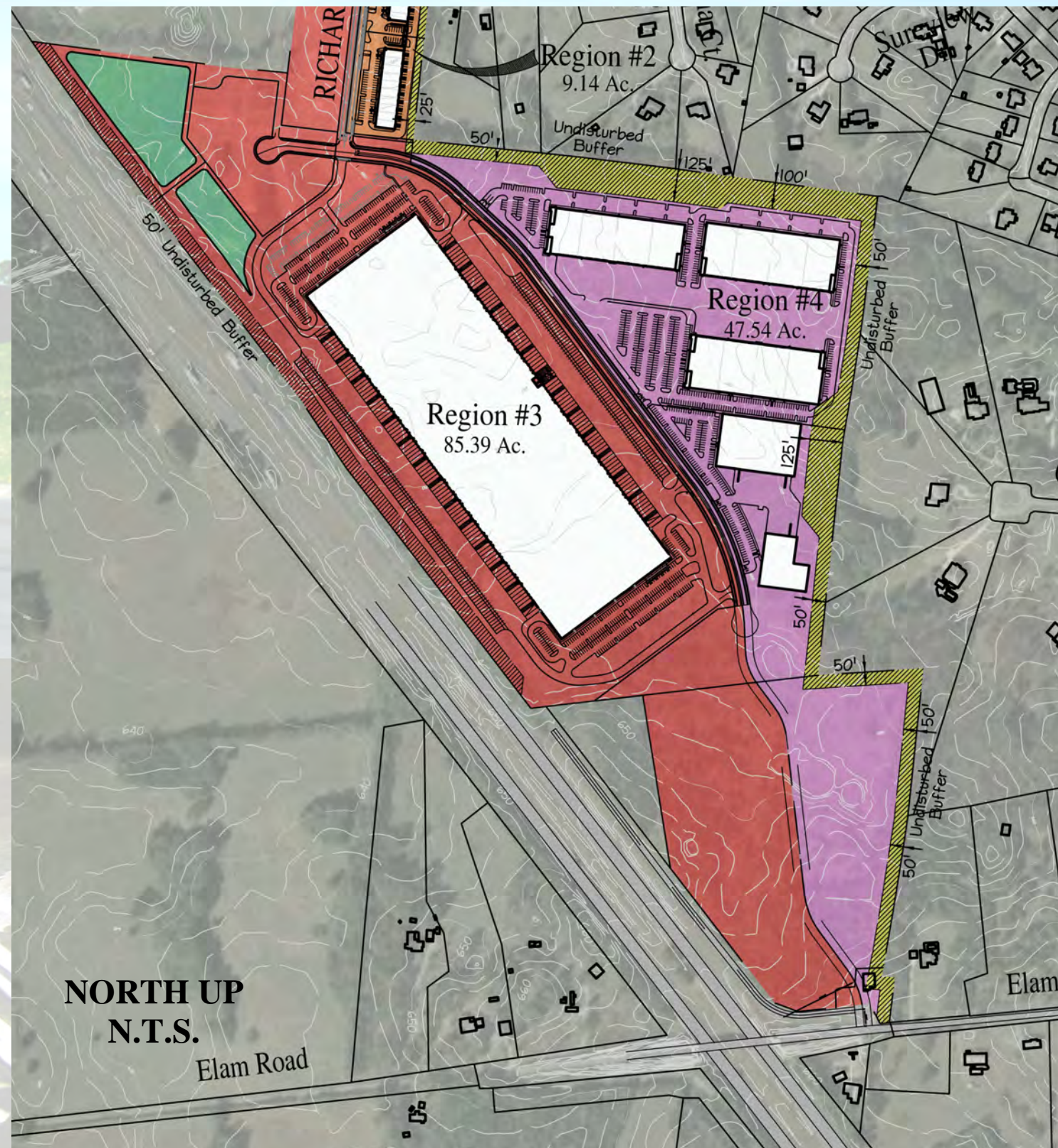
Type E

North Up
N.T.S.



PARKWAY PLACE

LANDSCAPE REQUIREMENTS (cont)



- Shown to the left are Regions #3 & #4 with the previously mentioned undisturbed buffers shown. Also provided here are some pictures of the existing vegetation within these undisturbed areas. These areas are to remain completely undisturbed with no grading allowed in these areas. In addition, extra precautions shall be utilized during construction to make sure the existing vegetation is not harmed in these areas. The only disturbance of these areas that will be allowed is if additional landscaping is added to supplement the existing vegetation. At the time of development for each site located in Region #4, these buffers shall meet the planting requirements equivalent to a Type E Buffer from the City's landscape ordinance.



- These areas have been set aside to minimize any impact on the neighboring properties. Several items were considered with these buffers and include:
 - 1.) Distance of existing residences to the shared property line
 - 2.) Quality of existing foliage on each side of the shared property line

INGRESS/EGRESS

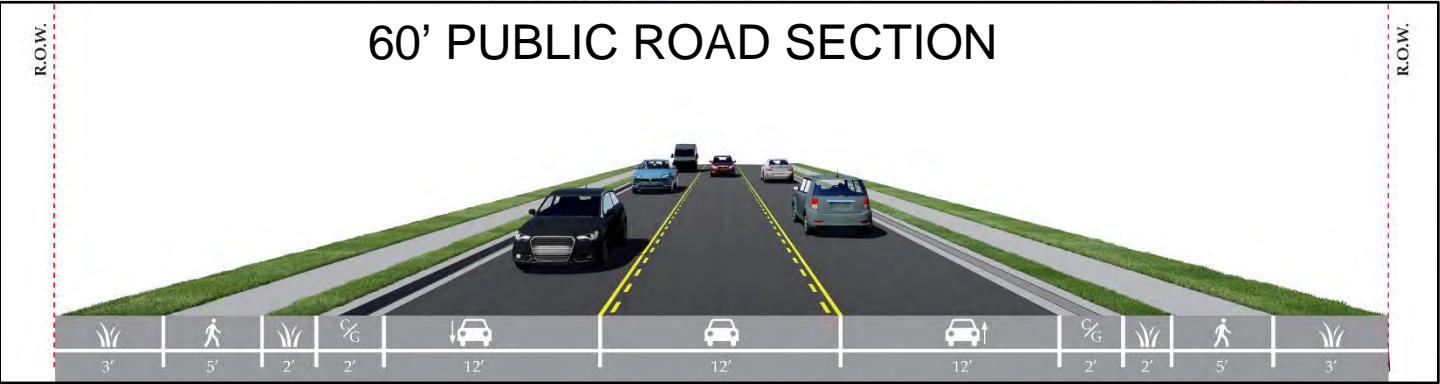


Parkway Place has been planned to have its main access off Joe B Jackson Parkway via two roadways. The first is Richard Reeves Drive, a public road, through the center of Region #2 and down to Regions #3 & #4. Richard Reeves Drive was extended to serve Regions #3 & #4. The road has a 60 foot right-of-way with a 3-lane cross section. The typical section is shown below. The second access off of Joe B Jackson Parkway is Treasure Way, a 50 foot right-of-way that bisects Region 1 and provides another link to the end of Richard Reeves Drive. This roadway provides access to new lots in Region #1. A new private access drive is proposed to connect to Elam Road as shown further in this plan book.

Interstate 24 is conveniently located and accessed by the interchange located to the northwest of this site. In addition to Interstate 24, Murfreesboro's Major Transportation Plan (MTP) calls for Manchester Highway to be widened to 5 lanes on the north side of Joe B Jackson Parkway and widened to 3 lanes on the south side of Joe B Jackson Parkway to Elam Road. Joe B Jackson Parkway is currently built as a 5-lane cross section and transitions to a 3-lane section after it crosses over the river and the railroad tracks to the west of the Interstate 24 interchange.

In addition to adequate roadway infrastructure, the individual sites need to be planned adequately to provide truck turning movements. These need to be planned for at key locations like truck docks, truck parking areas, site entrances, and any internal turning movements. Internally to the site, all turning movements shall be carefully planned to allow truck circulation through the sites.

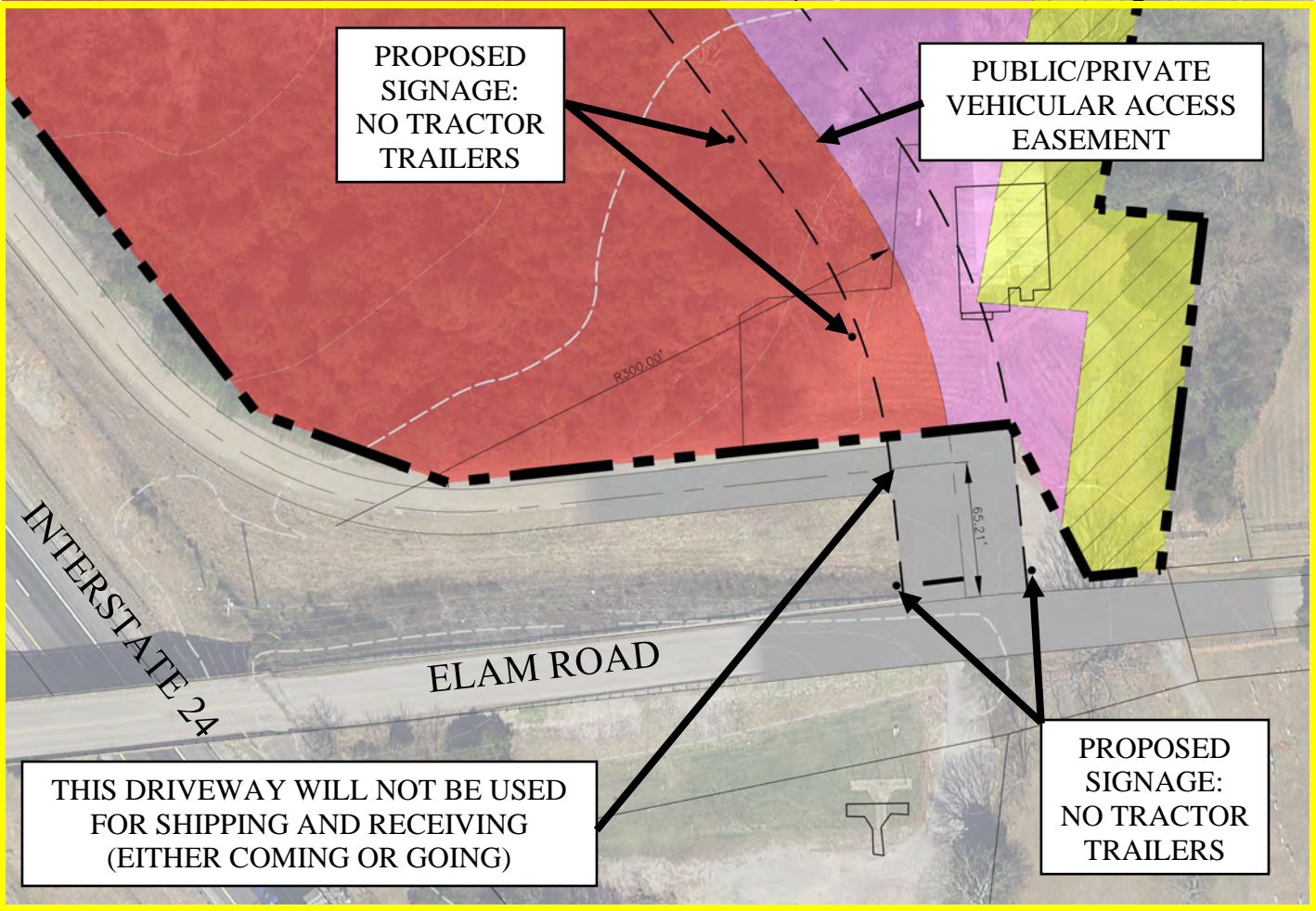
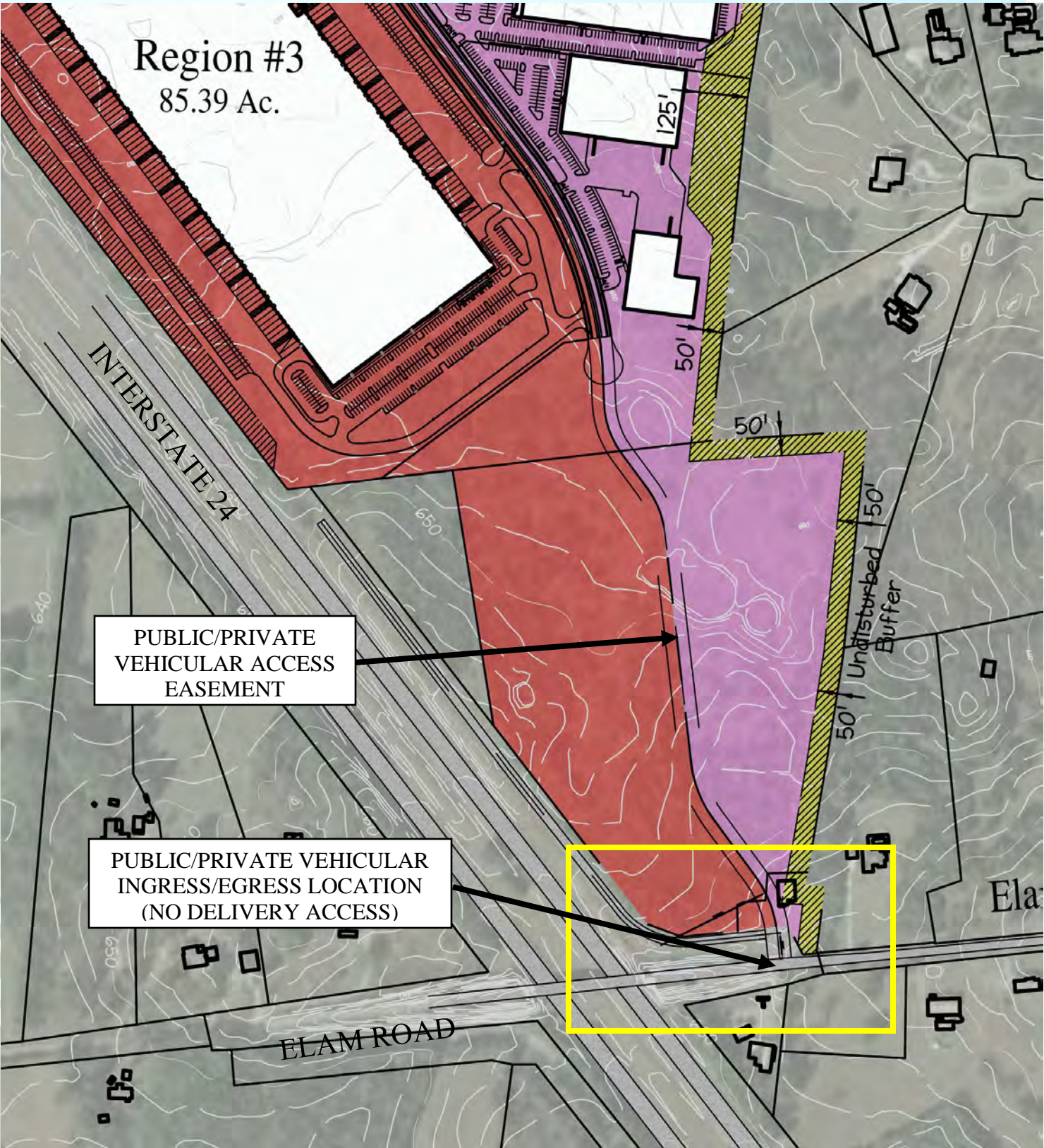
PARKWAY PLACE



*Cross sections shown on this sheet are meant to convey the overall design and approximate dimensions of the proposed roadways and access easements. Final roadway and access easement designs and dimensions shall be submitted at a site plan level.
**The intersection of Elam Road with the new connector road may be wider based on traffic study to adequately address turn movements and may slightly affect landscape buffer for safer visibility

PREVIOUSLY APPROVED ELAM ROAD CONNECTION

PARKWAY PLACE



- South Vehicular Ingress/Egress Notes:**
- 1) Swanson will add to their leases, that tractor trailer traffic (shipping and receiving) shall not be permitted to enter or leave the development through the southern vehicular ingress/egress location.
 - 2) The southern public/private access easement will have signs posted indicating that tractor trailer traffic shall not use the southern vehicular ingress/egress location.
 - 3) The connection to Elam Road will be required with the development of the portion of the PID south of the former Al Neyer development. A traffic study will be required to be submitted for City review at that time to determine what roadway improvements to Elam Road must be constructed by the developer in conjunction with the driveway connection to Elam Road.

PROPOSED ARCHITECTURE REGION #1 & #2

Architectural Features

- The main entrances are to be well defined and easily recognizable by use of raised rooflines, canopies, glazing, change in materials, change in colors, and change in building planes
- Any enclosures (mechanical or trash) shall match the building architecture of that site through material and color
- Truck docks in Regions #1 & 2 shall be screened from public right-of-ways. In Region #2, a 25 feet wide Type 'E' buffer and 9 feet tall masonry wall shall screen the 'Incubator Industry' buildings from the neighboring residential developments
- Foundation Plantings shall be utilized at retail or office buildings
- Varying rooflines and building planes shall be utilized on all office and retail buildings
- Multiple materials shall be utilized on every elevation of all office and retail buildings

Example of Retail Building



Example of Retail Building

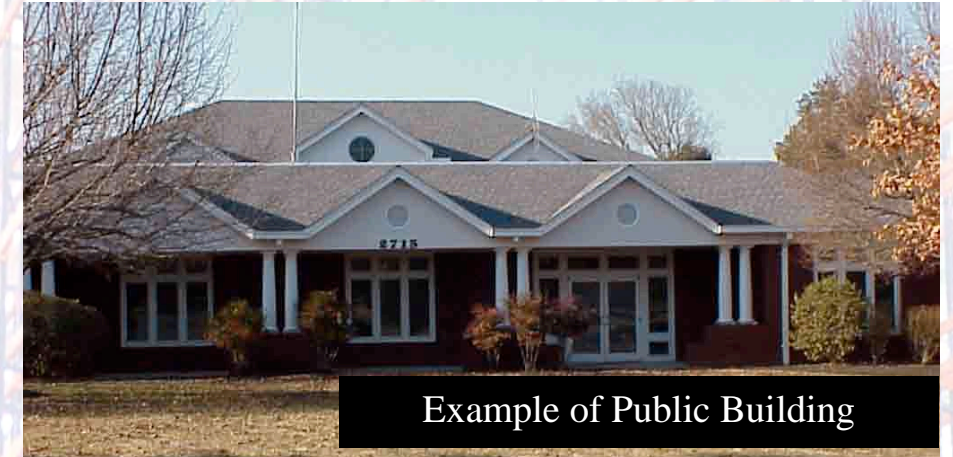


Building Materials

- Integrally Colored Split Face Block will be allowed
 - Tilt-up precast concrete wall will be allowed
- Dryvit will be allowed, but only in combination with other materials. No single elevation shall be all dryvit
 - Brick will be allowed
 - Textured metal will be allowed on the elevations
- No corrugated metal will be allowed on the elevations, however it will be allowed for the roofs
 - Insulated metal panels (IMP's) will be allowed
- Stone, cast stone, and aggregate stone panels will be allowed
 - Cementitious siding will be allowed
 - Asphalt shingles will be allowed
 - Glazing will be allowed
 - Canopies will be allowed
- Glass, aluminum, and stone cladding will be allowed

PARKWAY PLACE

Example of Public Building



Architectural Features

- If mechanical units are on the roof, then they should be screened from view
 - Maximum height of building in Region #1=35 feet & Region #2=25 feet (*see pg. 15*)
- All roll up doors shall be screened from public rights-of-way.

Example of Office Building



PROPOSED ARCHITECTURE REGION #3 & 4 Architectural Features

- The main entrances are to be well defined and easily recognizable by use of raised rooflines, canopies, glazing, change in materials, change in colors, and change in building planes
- Any enclosures (mechanical or trash) shall match the building architecture of that site through material, color, and character
- Truck docks shall be positioned to face away from the neighboring residential developments in Region #4 and screened from public right-of-ways in Regions #2, 3, & 4



Example of Building Entrance

INTENT

It is intended that the proposed architectural styles, elements, colors and materials outlined in this section be approved only as an architectural guideline and sampling palate for final building designs. The Planning Commission shall have review authority and shall be allowed to provide input and influence for the final architectural building design for each site. This shall be done as part of the final site plan approval process.

Region #3 and 4 are anticipated to have mostly industrial uses and have been limited to those uses with this pattern book. Region #2 has allowable uses that fall into industrial uses as well as office and retail uses. Due to this reason, Region #2 has been included in both sets of architectural guidelines.



Example of Building Entrance

Building Materials

- Integrally Colored Split Face Block will be allowed
 - Tilt-up precast concrete wall will be allowed
- Dryvit will be allowed, but only in combination with other materials. No single elevation shall be all dryvit.
 - Brick will be allowed.
 - Textured metal will be allowed on the elevations
- No corrugated metal will be allowed on the elevations, however it will be allowed for the roofs
 - IMP's will be allowed
- Stone, cast stone, and aggregate stone panels will be allowed
 - Cementitious siding will be allowed
 - Asphalt shingles will be allowed
 - Glazing will be allowed
- Glass, aluminum, and stone cladding will be allowed

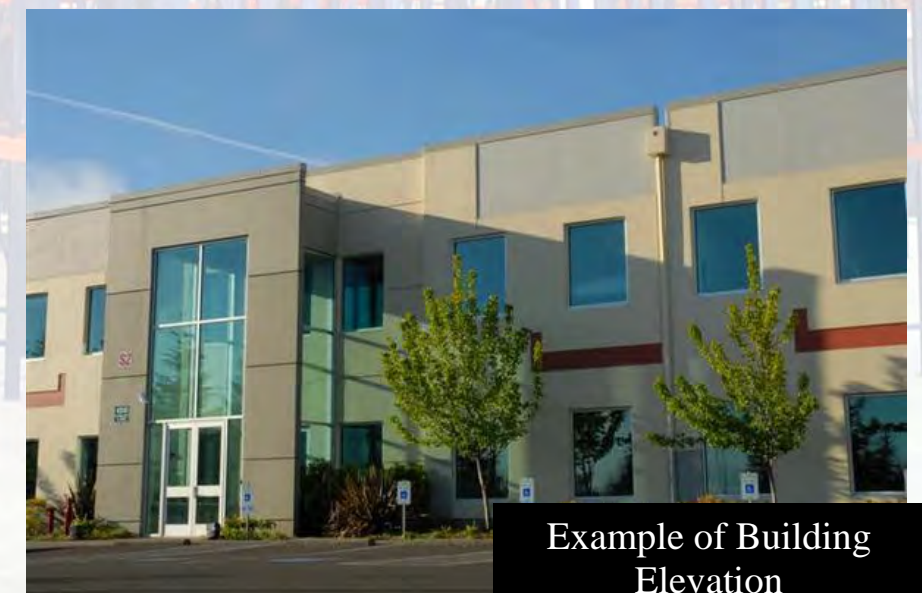
PARKWAY PLACE



Example of Building Elevation

Architectural Features

- If mechanical units are on the roof, and should be screened from view of any public rights-of-way
- Maximum height of building in Region #3=75 feet (*see pg. 15*)
- Maximum height of building in Region #4=45 feet (*see pg. 15*)



Example of Building Elevation

EXISTING AND PROPOSED ARCHITECTURE

Images on this page are from the existing Region 2, Lot 5. These images show the character of the existing and proposed buildings in Region 2. Building sides that are visible to the right-of-way should return from the front façade, generally a quarter of the side building length.



PARKWAY PLACE

PROPOSED ARCHITECTURE (cont.)

Building Color Palette Primary Colors



Building Color Palette Accent Colors



Example of Brick



Example of Cast Stone



Example of Stone Veneer



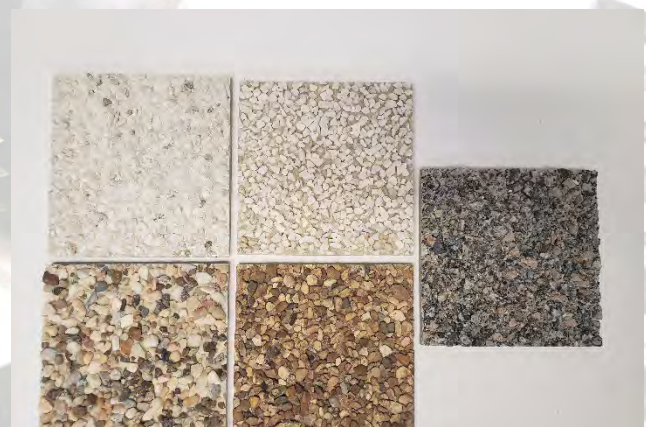
Example of Split Face Block & Textured Metal



Example of IMP Panels



Example of Cementitious Siding



Example of Aggregate Panels



Example of Tilt-up Concrete



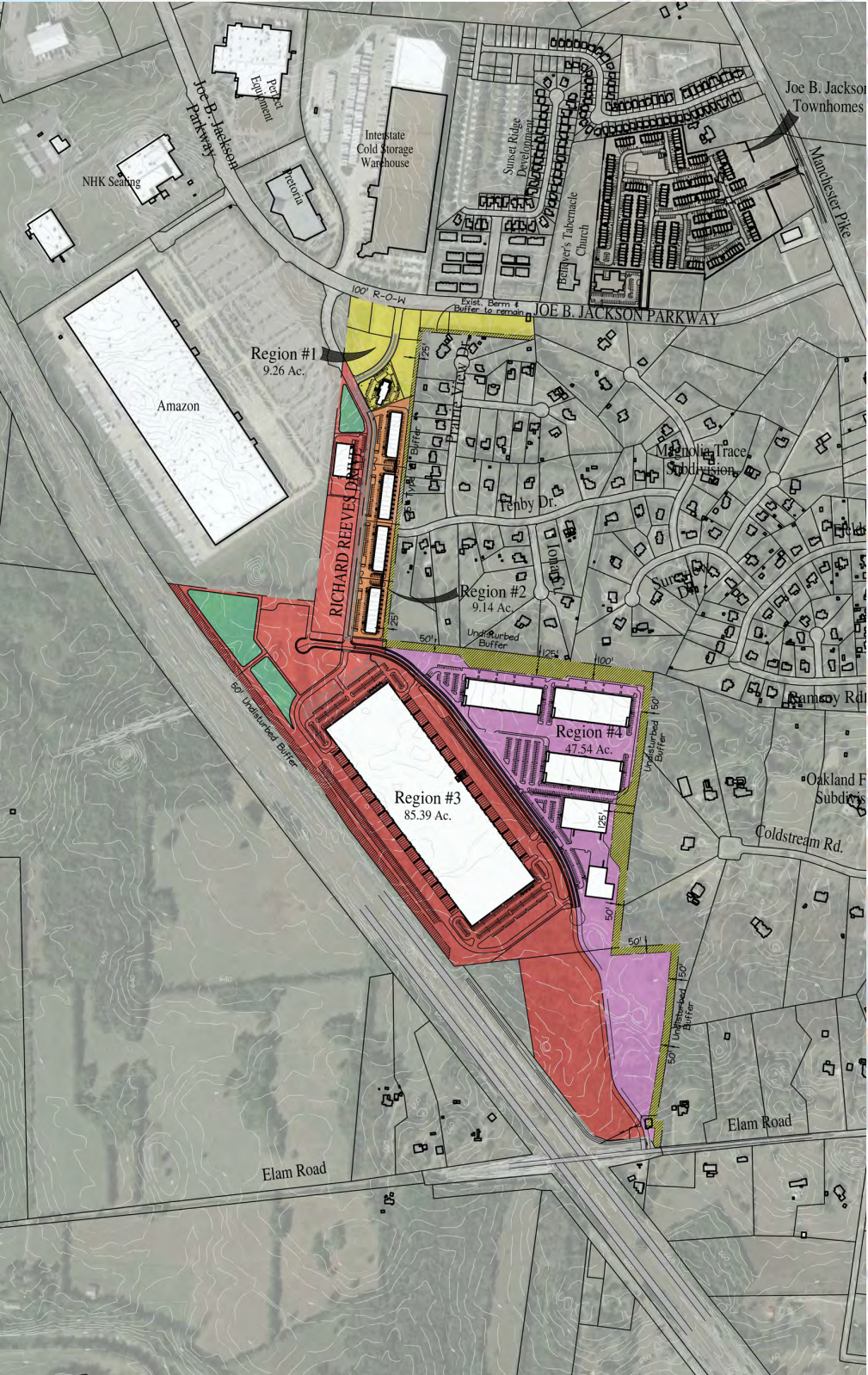
PARKWAY PLACE

PROPOSED ALLOWABLE USES

USES PERMITTED	ZONES			
	Region 1	Region 2	Region 3	Region 4
COMMERCIAL				
Amusements, Commercial Indoor		X	X	
Animal Grooming Facility	X	X	X	
Antique Mall		X		
Antique Shop <3,000 sq. ft.	X	X	X	
Apothecaries (pharmaceuticals only)	X			
Art or Photo Studio or Gallery	X	X	X	
Bakery, Retail		X	X	
Bank, Branch Office	X			
Bank, Drive-Up Electronic Teller	X			
Bank, Main Office	X			
Barber or Beauty Shop	X	X		
Boat Rental, Sales, or Repair			X	
Book or Card Shop	X			
Brewery - Artisan	X	X	X	X
Business School	X	X	X	
Business and Communication Service		X	X	X
Catering Establishment		X	X	X
Clothing Store	X	X		
Commercial Center	X			
Convenience Sales and Service, maximum 5,000 sq. ft. floor area	X			
Delicatessen	X			
Department or Discount Store		X		
Dry Cleaning < 3,000 sf (No on-site cleaning)	X	X		
Financial Service (Check Cash)	X	X		
Fireworks Retailer		X	X	
Fireworks Seasonal Retailer		X	X	
Flower or Plant Store	X	X	X	
Funeral Home	X			
General Service and Repair Shop		X	X	
Glass--Auto, Plate, and Window		X	X	X
Glass--Stained and Leaded	X	X		
Group Assembly, <250 persons		X	X	
Health Club	X	X	X	X
Interior Decorator	X	X		
Iron Work		X		
Janitorial Service		X		
Karate, Instruction	X	X		
Keys, Locksmith	X	X		
Laboratories, Medical		X		
Laboratories, Testing	X	X		
Lawn, Tree, and Garden Service		X		
Lumber, Building Material			X	
Motor Vehicle: Repair (Medium & Heavy Duty Commercial Vehicles (Excluding the sales and rental) Lot 16 only			X	
Music or Dancing Academy	X	X		
Offices	X	X	X	X
Optical Dispensaries	X	X		
Personal Service Establishment	X	X	X	X
Pet Shops, Excluding Overnight Kenneling	X	X		
Pharmacies	X			
Powder Coating (Indoor)*			X	X
Radio, TV, or Recording Studio		X	X	
Reducing and Weight Control Service	X	X		
Restaurant and Carry-Out Restaurant	X			
Restaurant, Drive-In	X			
Restaurant, Specialty	X			
Restaurant, Specialty -Limited	X	X		
Retail Shop, other than enumerated elsewhere	X	X	X	X
Salvage and Surplus Merchandise		X	X	
Self-Service Storage Facility			X	X
Sheet Metal Shop		X	X	
Shopping Center, Community			X	
Shopping Center, Neighborhood			X	
Shopping Center, Regional			X	X
Specialty Shop	X	X		
Towing			X	
Veterinary Office	X	X		
Veterinary Clinic	X	X		
Vehicle Wash		X		
Wholesaling Establishments		X	X	X
X = Permitted Uses				

*All activity associated with the power coating operation, including the storage or powder coating materials and the actual powder coating activities themselves, shall be conducted indoors only. No such activities or uses shall be conducted outside of any building.

USES PERMITTED	ZONES			
	Region 1	Region 2	Region 3	Region 4
INDUSTRIAL				
Manufacture, Storage, Distribution of:				
Abrasive Products		X	X	X
Automobile Parts and Components Manufacture			X	X
Automobile Seats Manufacture			X	X
Bakery Goods		X	X	X
Bottling Works		X	X	X
Brewery		X	X	X
Candy		X	X	X
Canned Goods			X	X
Contractor's Storage, Indoor		X	X	X
Contractor's Yard or Storage, Outdoor			X	
Cosmetics			X	
Custom Wood Products		X	X	X
Dry Cleaning, Laundering Facility > 3,000 sqft			X	X
Electrical or Electronic Equipment, Appliances, and Instruments		X	X	X
Fabricated Metal Products and Machinery (Indoor)		X	X	X
Food and Beverage Products except animal slaughter, stockyards, rendering, and brewery			X	X
Furniture and Fixtures		X	X	X
Jewelry		X	X	X
Leather and Leather Products except tanning and finishing		X	X	X
Leather and Leather Products, Tanning and Finishing			X	
Lumber and Wood Products			X	
Metal or Rubber Stamps			X	
Musical Instruments			X	X
Novelties		X	X	X
Office/Art Supplies		X	X	X
Paints, only storage or distribution		X	X	X
Paper Products excluding paper and pulp mills			X	
Pharmaceuticals			X	X
Photographic Film Manufacture			X	
Pottery, Figurines, and Ceramic Products		X	X	X
Primary Metal Distribution and Storage, indoor			X	X
Primary Metal Manufacturing			X	
Printing and Publishing		X	X	X
Recycling Center			X	
Rubber and Plastic Products except rubber or plastic manufacture			X	
Silverware and Cutlery			X	X
Soap			X	
Sporting Goods			X	X
Stone, Clay, Glass, and Concrete Products		X	X	X
Toiletries			X	
Toys		X	X	X
Transportation Equipment, Vehicles			X	
Warehousing, Transporting / Distributing / Fulfillment			X	X
USES PERMITTED				
ZONES				
	Region 1	Region 2	Region 3	Region 4
INSTITUTIONS				
Church	X			
Day-Care Center	X			
Public Building	X			
USES PERMITTED				
ZONES				
	Region 1	Region 2	Region 3	Region 4
TRANSPORTATION AND PUBLIC UTILITIES				
Post Office or Postal Facility		X	X	X
Pump Station		X		
Telephone Service Center		X	X	X
X = Permitted Uses				



PARKWAY PLACE

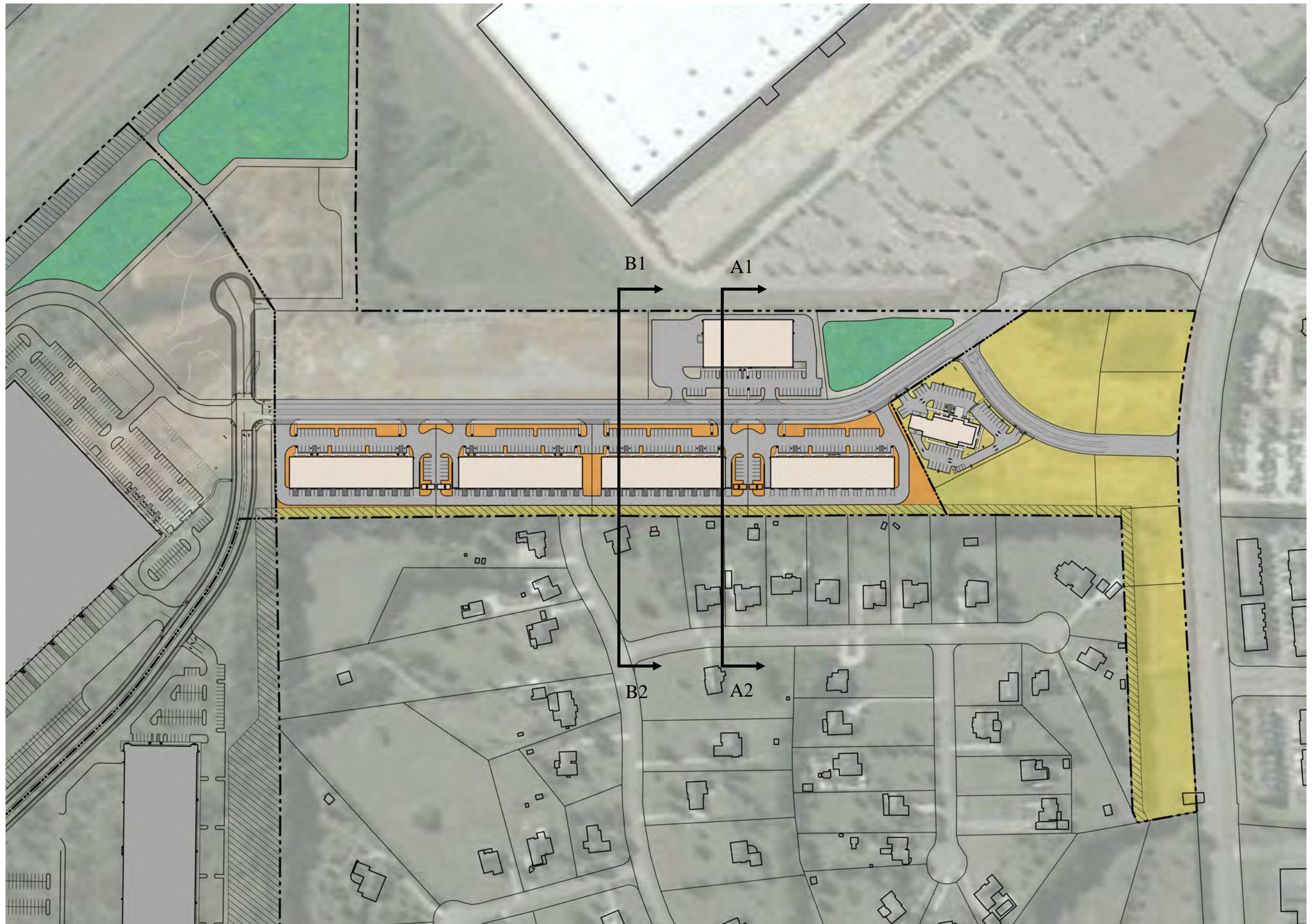
The uses for the development were selected and restricted to help protect the existing residents and ensure a successful development. The less intense uses have been placed abutting the residential zones while the more intense uses will be buffered from the residential zones. In addition to considering the abutting residential zones, the allowable uses of each Region inside the development were considered to ensure the long-term success of the development itself. By maintaining appropriate uses within each Region, proper transitions between land uses will occur and keep activities restricted to certain areas therefore protecting each individual site itself as well as the entire development and surrounding region.

2025 AMENDMENT:

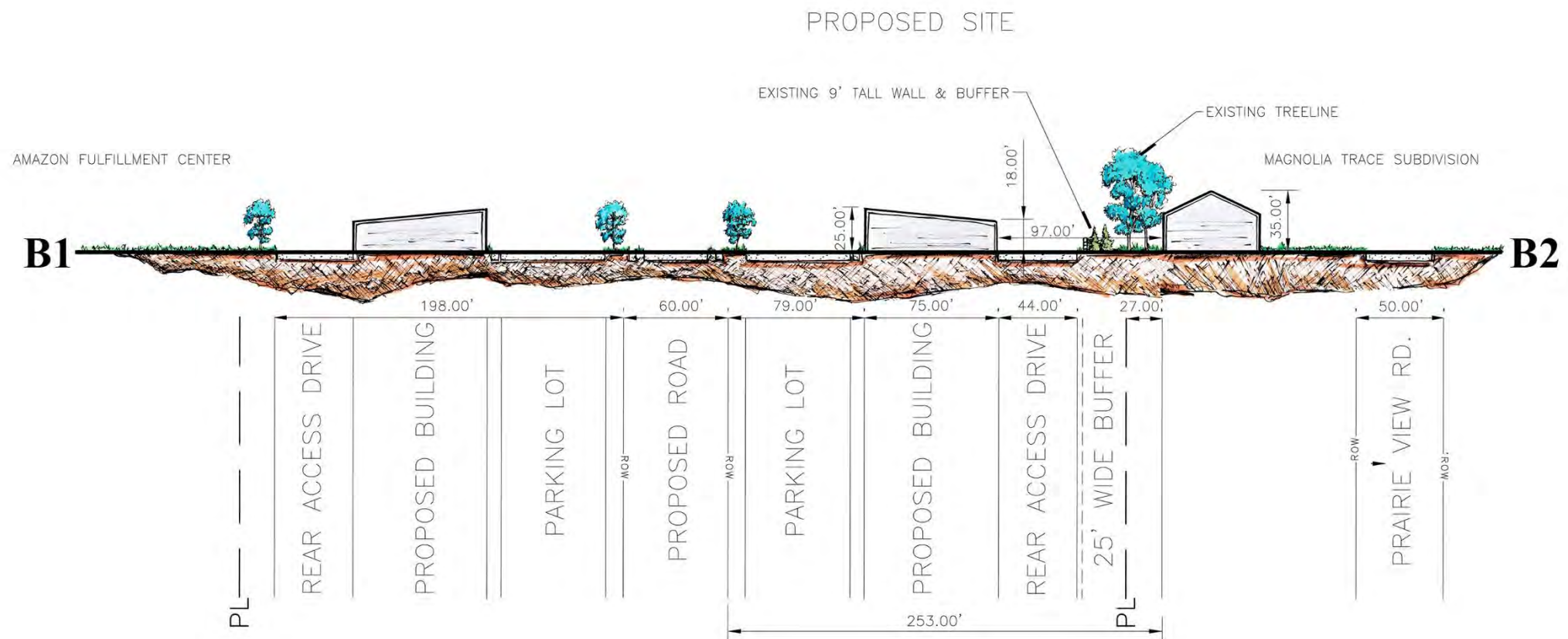
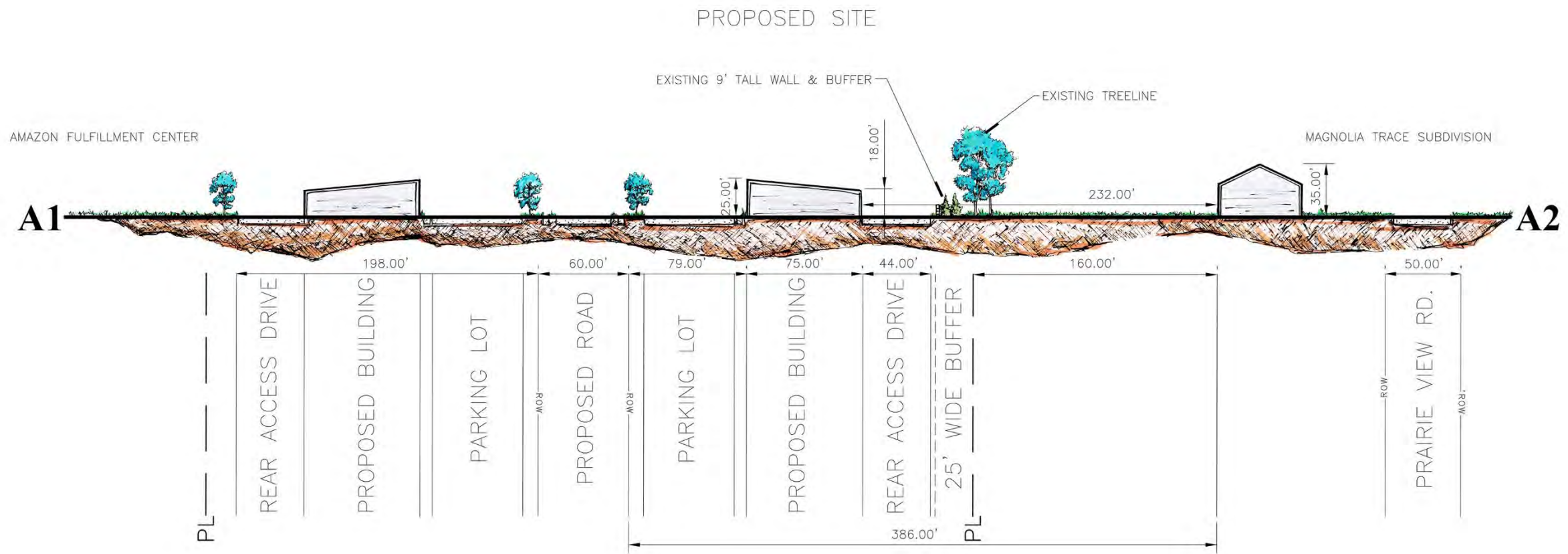
The 2024 Murfreesboro Zoning Ordinance update has further defined the "Motor Vehicle Service" land-use into several categories, separating the difference between "repairs" versus "service" & "small vehicles" versus "medium & heavy duty vehicles" in both Chart 1 and the definitions. "Dry Cleaning" and "Warehousing, Transporting / Distributing / Fulfillment" were also modified in chart 1 & 2 and are therefore incorporated herein.

The revised land-uses highlighted in yellow reflect these changes. Additionally staff has suggested to modify Region 2, west of Richard Reeves Drive, to Region 3, thereby negating the * carve out language in Region 2.

N.T.S.



North to the Right
Scale: 1" = 200'



1.) A MAP SHOWING AVAILABLE UTILITIES, EASEMENTS, ROADWAYS, RAIL LINES AND PUBLIC RIGHT-OF-WAY CROSSING AND ADJACENT TO THE SUBJECT PROPERTY.

RESPONSE: AN EXHIBIT IS GIVEN ON PAGE 5 ALONG WITH DESCRIPTIONS OF EACH.

2.) A GRAPHIC RENDERING OF THE EXISTING CONDITIONS AND/OR AERIAL PHOTOGRAPH(S) SHOWING THE EXISTING CONDITIONS AND DEPICTING ALL SIGNIFICANT NATURAL TOPOGRAPHICAL AND PHYSICAL FEATURES OF THE SUBJECT PROPERTY; LOCATION AND EXTENT OF WATER COURSES, WETLANDS, FLOODWAYS, AND FLOODPLAINS ON OR WITHIN ONE HUNDRED (100) FEET OF THE SUBJECT PROPERTY; EXISTING DRAINAGE PATTERNS; LOCATION AND EXTENT OF TREE COVER; AND COMMUNITY GREENWAYS AND BICYCLE PATHS AND ROUTES IN PROXIMITY TO THE SUBJECT PROPERTY.

RESPONSE: AN EXHIBIT IS GIVEN ON PAGE 5 THAT SHOWS THE EXISTING CONTOURS AND DRAINAGE PATTERNS ALONG WITH AN AERIAL PHOTOGRAPH OF THE AREA. NO PORTION OF THE PROPERTY IS SUBJECT TO FLOODPLAINS OR FLOODWAYS.

3.) A PLOT PLAN, AERIAL PHOTOGRAPH, OR COMBINATION THEREOF DEPICTING THE SUBJECT AND ADJOINING PROPERTIES INCLUDING THE LOCATION OF STRUCTURES ON-SITE AND WITHIN TWO HUNDRED (200) FEET OF THE SUBJECT PROPERTY AND THE IDENTIFICATION OF THE USE THEREOF.

RESPONSE: EXHIBITS AND PHOTOGRAPHS ON PAGES 3, 5, 6, 7, & 8 GIVE THE LOCATION OF EXISTING STRUCTURES ON THE SUBJECT PROPERTY AND THE SURROUNDING PROPERTIES. AN EXHIBIT ON PAGE 5A GIVES THE ZONING OF THOSE SAME PROPERTIES.

4.) A DRAWING DEFINING THE LOCATION AND AREA PROPOSED TO BE DEVELOPED FOR BUILDINGS AND PARKING; STANDARDS FOR PEDESTRIAN AND VEHICULAR CIRCULATION; THE PROPOSED POINTS OF INGRESS AND EGRESS TO THE DEVELOPMENT; THE PROVISION OF SPACES FOR LOADING; PROPOSED SCREENING TO BE MADE IN RELATION TO ABUTTING LAND USES AND ZONING DISTRICTS; AND THE EXTENT OF PROPOSED LANDSCAPING, PLANTING AND OTHER TREATMENT ADJACENT TO SURROUNDING PROPERTY.

RESPONSE: PAGES 8-12 LISTS STANDARDS AND EXHIBITS SHOWING THE CONCEPT PLAN WHICH SHOWS EACH OF THESE ITEMS.

5.) A CIRCULATION DIAGRAM INDICATING THE PROPOSED PRINCIPAL MOVEMENT OF VEHICLES, GOODS AND PEDESTRIAN WITHIN THE DEVELOPMENT TO AND FROM EXISTING THOROUGHFARE.

RESPONSE: THE SITE PLAN ON PAGES 4, 11, & 12 INDICATES ACCESS POINTS.

6.) IF THE PLANNED DEVELOPMENT IS PROPOSED TO BE CONSTRUCTED IN STAGES OR UNITS DURING A PERIOD EXTENDING BEYOND A SINGLE CONSTRUCTION SEASON, A DEVELOPMENT SCHEDULE INDICATING:

(AA) THE APPROXIMATE DATE WHEN CONSTRUCTION OF THE PROJECT CAN BE EXPECTED TO BEGIN; RESPONSE: THE PHASING OF THE DEVELOPMENT IS DISCUSSED ON PAGE 8

(BB) THE ORDER IN WHICH THE PHASES OF THE PROJECT WILL BE BUILT; RESPONSE: THE PHASING OF THE DEVELOPMENT IS DISCUSSED ON PAGE 8

(CC) THE MINIMUM AREA AND THE APPROXIMATE LOCATION OF COMMON SPACE AND PUBLIC IMPROVEMENTS THAT WILL BE REQUIRED AT EACH STAGE; RESPONSE: THE PHASING OF THE DEVELOPMENT IS DISCUSSED ON PAGE 8

(DD) A BREAKDOWN BY PHASE FOR SUBSECTIONS[5] AND [6] ABOVE; RESPONSE: THE PHASING OF THE DEVELOPMENT IS DISCUSSED ON PAGE 8

7.) A WRITTEN STATEMENT GENERALLY DESCRIBING THE RELATIONSHIP OF THE PROPOSED PLANNED DEVELOPMENT TO THE CURRENT POLICIES AND PLANS OF THE CITY AND HOW THE PROPOSED PLANNED DEVELOPMENT IS TO BE DESIGNED, ARRANGED AND OPERATED IN ORDER TO PERMIT THE DEVELOPMENT AND USE OF NEIGHBORING PROPERTY IN ACCORDANCE WITH THE APPLICABLE REGULATIONS OF THIS ARTICLE.

RESPONSE: THE PROPERTY IS CURRENTLY ZONED PID. THE SURROUNDING AREA HAS A MIXTURE OF USES CONSISTING OF RESIDENTIAL DETACHED STRUCTURES, CHURCHES, AND SCHOOLS. THE SCHOOL AND CHURCH ARE INSTITUTIONAL USES, WHICH ARE TYPICALLY CONSIDERED TO BE COMPLIMENTARY AND COHESIVE WITH THE SURROUNDING NEIGHBORHOODS. LIKE THOSE USES, THE APPROVED PID WILL PROVIDE AMENITIES AND NEEDS FOR THE LOCAL RESIDENTS. THE CONCEPT PLAN AND DEVELOPMENT STANDARDS COMBINED WITH THE ARCHITECTURAL REQUIREMENTS SHOWN WITHIN THIS BOOKLET WILL ALLOW THIS SITE TO FILL A NEED IN THE SIEGEL AREA.

8.) A STATEMENT SETTING FORTH IN DETAIL EITHER (1) THE EXCEPTIONS WHICH ARE REQUIRED FROM THE ZONING AND SUBDIVISION REGULATIONS OTHERWISE APPLICABLE TO THE PROPERTY TO PERMIT THE DEVELOPMENT OF THE PROPOSED PLANNED DEVELOPMENT OR (2) THE BULK, USE, AND/OR OTHER REGULATIONS UNDER WHICH THE PLANNED DEVELOPMENT IS PROPOSED. RESPONSE: THE FRONT SETBACKS REQUESTED ARE THE SAME AS REQUIRED SETBACK FOR A (OG) DEVELOPMENT. THE SIDE SETBACKS REQUESTED ARE SAME AS REQUIRED FOR A (OG) DEVELOPMENT. THE REAR SETBACKS ARE SAME AS REQUIRED SETBACK FOR A (OG) DEVELOPMENT. THE MAXIMUM HEIGHT IS SAME AS ALLOWED IN A (OG) DEVELOPMENT. THIS DEVELOPMENT REQUESTS AN EXCEPTION TO THE MAXIMUM CUL-DE-SAC LENGTH SET FORTH IN SECTION 5.7.5ii OF THE MURFREESBORO SUBDIVISION REGULATIONS FOR THE TEMPORARY END OF LOGISTICS WAY. A PUBLIC/PRIVATE ACCESS EASEMENT SHALL BE PROVIDED TO CONNECT TO ELAM ROAD FOR NON-DELIVERY VEHICULAR ACCESS ONLY.

9.) A TABULATION OF THE MAXIMUM FLOOR AREA PROPOSED TO BE CONSTRUCTED, THE F.A.R. (FLOOR AREA RATIO), THE L.S.R. (LIVABILITY SPACE RATIO) AND THE O.S.R. (OPEN SPACE RATIO). THESE TABULATIONS ARE FOR THE PID. NOT REQUIRED FOR INDUSTRIAL USES PER MURFREESBORO ZONING ORDINANCE CHART 2 “MINIMUM LOT REQUIREMENTS, MINIMUM YARD REQUIREMENTS, AND LAND USE INTENSITY RATIOS”.

10.) THE NATURE AND EXTENT OF ANY OVERLAY ZONE AS DESCRIBED IN SECTION 24 OF THIS ARTICLE AND ANY SPECIAL FLOOD HAZARD AREA AS DESCRIBED IN SECTION 34 OF THIS ARTICLE RESPONSE: THIS PROPERTY IS IN THE AIRPORT OVERLAY DISTRICT (AOD), BATTLEFIELD PROTECTION DISTRICT (BPD), GATEWAY DESIGN OVERLAY DISTRICT (GDO), HISTORIC DISTRICT (H-1), OR PLANNED SIGNAGE OVERLAY DISTRICT (PS). NO PORTION OF THIS PROPERTY LIES WITHIN THE 100-YEAR FLOODPLAIN, ACCORDING TO THE CURRENT FEMA MAP PANEL.

11.) THE LOCATION AND PROPOSED IMPROVEMENTS OF ANY STREET DEPICTED ON THE MURFREESBORO MAJOR THOROUGHFARE PLAN AS ADOPTED AND AS IT MAY BE AMENDED FROM TIME TO TIME. RESPONSE: PAGE 12 DISCUSSES THE MAJOR THOROUGHFARE PLAN.

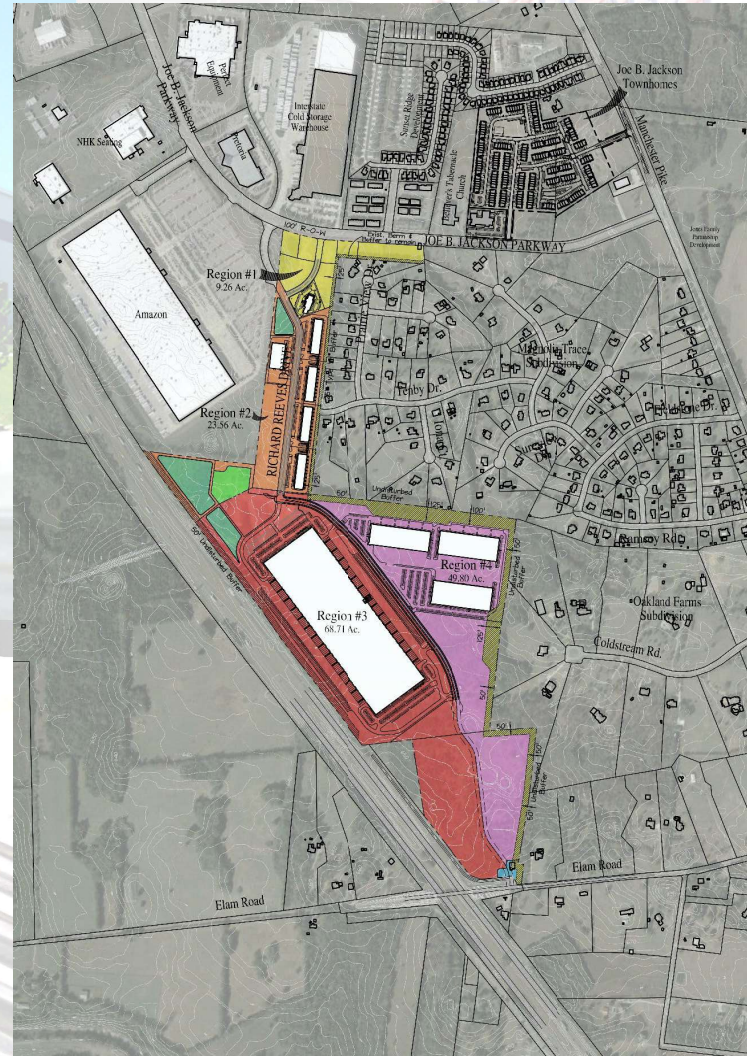
12.) THE NAME, ADDRESS, TELEPHONE NUMBER, AND FACSIMILE NUMBER OF THE APPLICANT AND ANY PROFESSIONAL ENGINEER, ARCHITECT, OR LAND PLANNER RETAINED BY THE APPLICANT TO ASSIST IN THE PREPARATION OF THE PLANNED DEVELOPMENT PLANS. A PRIMARY REPRESENTATIVE SHALL BE DESIGNATED. RESPONSE: THE PRIMARY REPRESENTATIVE IS MATT TAYLOR OF SEC, INC.

PROPOSED ALLOWABLE USES

USES PERMITTED	ZONES			
	Region 1	Region 2	Region 3	Region 4
COMMERCIAL				
Amusements, Commercial Indoor		X	X	
Animal Grooming Facility	X	X	X	
Antique Mall		X		
Antique Shop <3,000 sq. ft.	X	X	X	
Apothecaries (pharmaceuticals only)	X			
Art or Photo Studio or Gallery	X	X	X	
Bakery, Retail	X	X		
Bank, Branch Office	X			
Bank, Drive-Up Electronic Teller	X			
Bank, Main Office	X			
Barber or Beauty Shop	X	X		
Boat Rental, Sales, or Repair			X	
Book or Card Shop	X			
Brewery, Retail	X	X	X	X
Business School	X	X	X	
Business and Communication Service		X	X	X
Catering Establishment		X	X	X
Clothing Store	X	X		
Commercial Center	X			
Convenience Sales and Service, maximum 5,000 sq. ft. floor area	X			
Deli/Catessen	X			
Department or Discount Store	X			
Dry Cleaning	X	X		
Financial Service (Check Cash)	X	X		
Fireworks Retailer		X	X	
Fireworks Seasonal Retailer		X	X	
Flower or Plant Store	X	X	X	
Funeral Home	X			
General Service and Repair Shop		X	X	
Glass-Auto, Plate, and Window		X	X	X
Glass-Stamped and Leaded	X	X		
Group Assembly, <250 persons		X	X	
Health Club	X	X	X	X
Interior Decorator	X	X		
Iron Work		X		
Janitorial Service		X		
Karate, Instruction	X	X		
Keys, Locksmith	X	X		
Laboratories, Medical		X		
Laboratories, Testing	X	X		
Lawn, Tree, and Garden Service		X		
Lumber, Building Material			X	
Music or Dancing Academy	X	X		
Offices	X	X	X	X
Optical Dispensaries	X	X		
Personal Service Establishment	X	X	X	X
Pet Shops, Excluding Overnight Kenneling	X	X		
Pharmacies	X			
Radio, TV, or Recording Studio		X	X	
Reducing and Weight Control Service	X	X		
Restaurant and Carry-Out Restaurant	X			
Restaurant, Drive-In	X			
Restaurant, Specialty	X			
Restaurant, Specialty Limited	X	X		
Retail Shop, other than enumerated elsewhere	X		X	X
Salvage and Surplus Merchandise		X	X	
Sheet Metal Shop		X	X	
Shopping Center, Community		X		
Shopping Center, Neighborhood		X		
Shopping Center, Regional		X	X	
Specialty Shop	X	X		
Towing			X	
Veterinary Office	X	X		
Veterinary Clinic	X	X		
Vehicle Wash		X		
Warehousing, Transporting		X		
Wholesaling		X	X	
X = Permitted Uses				
X* = New Permitted Uses				
X* = Only allowed West of Richard Reeves Drive				

USES PERMITTED	ZONES			
	Region 1	Region 2	Region 3	Region 4
INDUSTRIAL				
Manufacture, Storage, Distribution of:				
Abrasive Products		X	X	X
Automobile Parts and Components Manufacture			X	X
Automobile Seats Manufacture			X	X
Bakery Goods		X	X	X
Bottling Works		X	X	X
Brewery		X	X	X
Candy		X	X	X
Canned Goods			X	X
Contractor's Storage, Indoor		X	X	X
Contractor's Yard or Storage, Outdoor		X*	X	
X* = Only allowed West of Richard Reeves Drive				
Cosmetics			X	
Custom Wood Products		X	X	X
Electrical or Electronic Equipment, Appliances, and Instruments		X	X	X
Fabricated Metal Products and Machinery (indoor)		X	X	X
Food and Beverage Products except animal slaughter, stockyards, rendering, and brewery			X	X
Furniture and Fixtures		X	X	X
Jewelry		X	X	X
Leather and Leather Products except tanning and finishing		X	X	X
Leather and Leather Products, Tanning and Finishing		X		
Lumber and Wood Products		X		
Metal or Rubber Stamps		X		
Musical Instruments		X	X	X
Novelties		X	X	X
Office/Art Supplies		X	X	X
Paints, only storage or distribution		X	X	X
Paper Products excluding paper and pulp mills			X	
Pharmaceuticals			X	X
Photographic Film Manufacture		X		
Pottery, Figurines, and Ceramic Products		X	X	X
Primary Metal Distribution and Storage, Indoor			X	X
Primary Metal Manufacturing			X	
Printing and Publishing		X	X	X
Rubber and Plastic Products except rubber or plastic manufacture		X		
Silverware and Cutlery			X	X
Soap			X	
Sporting Goods			X	X
Stone, Clay, Glass, and Concrete Products		X	X	X
Toiletries			X	X
Toys			X	X
Transportation Equipment, Vehicles			X	
USES PERMITTED				
INSTITUTIONS				
Church		X		
Day-Care Center		X		
Public Building		X		
USES PERMITTED				
TRANSPORTATION AND PUBLIC UTILITIES				
Post Office or Postal Facility		X	X	X
Pump Station			X	
Telephone Service Center		X	X	X
OTHER				
Recycling center			X	
Self-Service Storage Facility			X	X
Warehouse		X	X	X
Wholesale Establishments		X	X	X
X = Permitted Uses				
X* = New Permitted Uses				
X* = Only allowed West of Richard Reeves Drive				

PARKWAY PLACE



The uses for the development were selected and restricted to help protect the existing residents and ensure a successful development. The less intense uses have been placed abutting the residential zones while the more intense uses will be buffered from the residential zones. In addition to considering the abutting residential zones, the allowable uses of each Region inside the development were considered to ensure the long-term success of the development itself. By maintaining appropriate uses within each Region, proper transitions between land uses will occur and keep activities restricted to certain areas therefore protecting each individual site itself as well as the entire development and surrounding region.

City Council 1st Reading 09/01/2022
2nd Reading Approved 09/22/2022
Effective 10/07/2022

N.T.S.

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS PAGE 1

APRIL 9, 2025

PROJECT PLANNER: SLOANE LEWIS

- 5. b. Mandatory Referral [2025-702] to consider the abandonment of a portion of Blackman Road right-of-way located at the intersection of Blackman Road and Hartman Farm Court, SEC, Inc. applicant.**



In this mandatory referral, the Planning Commission is being asked to consider the abandonment of a portion of Blackman Road public right-of-way (ROW). The request for abandonment is depicted on the attached exhibit pages that are included in the agenda materials. Per the attached exhibit, prepared by SEC, Inc., the portion of Blackman Road ROW requested to be abandoned is shown in the hatched area. The segment to be abandoned is the remaining piece of ROW from the realignment of Blackman Road.

Staff has obtained comments from other City departments and utility providers regarding the impact of the proposed ROW abandonment. Their responses are included in the attached memorandum from Planning staff. The report attachments include the map depicting the location of the ROW in question.

Based on the responses received, staff recommends the following conditions of approval be applicable to the ROW abandonment:

1. The applicant shall provide a legal description and exhibits necessary for the City to draft the legal instruments. Such instruments shall be subject to the final approval of the City Legal Department.
2. The applicant shall be responsible for the recording of the legal instruments, including payment of the recording fee.
3. If the abandonment is approved, a subdivision plat combining abandoned ROW with adjacent lot(s) shall be submitted to the Planning Department for review and approval. The quitclaim deed for the ROW abandonment and the companion final plat are to be recorded simultaneously.
4. If the abandonment is approved, then the appropriate easements for existing utility and drainage infrastructure shall be recorded on the subdivision plat.

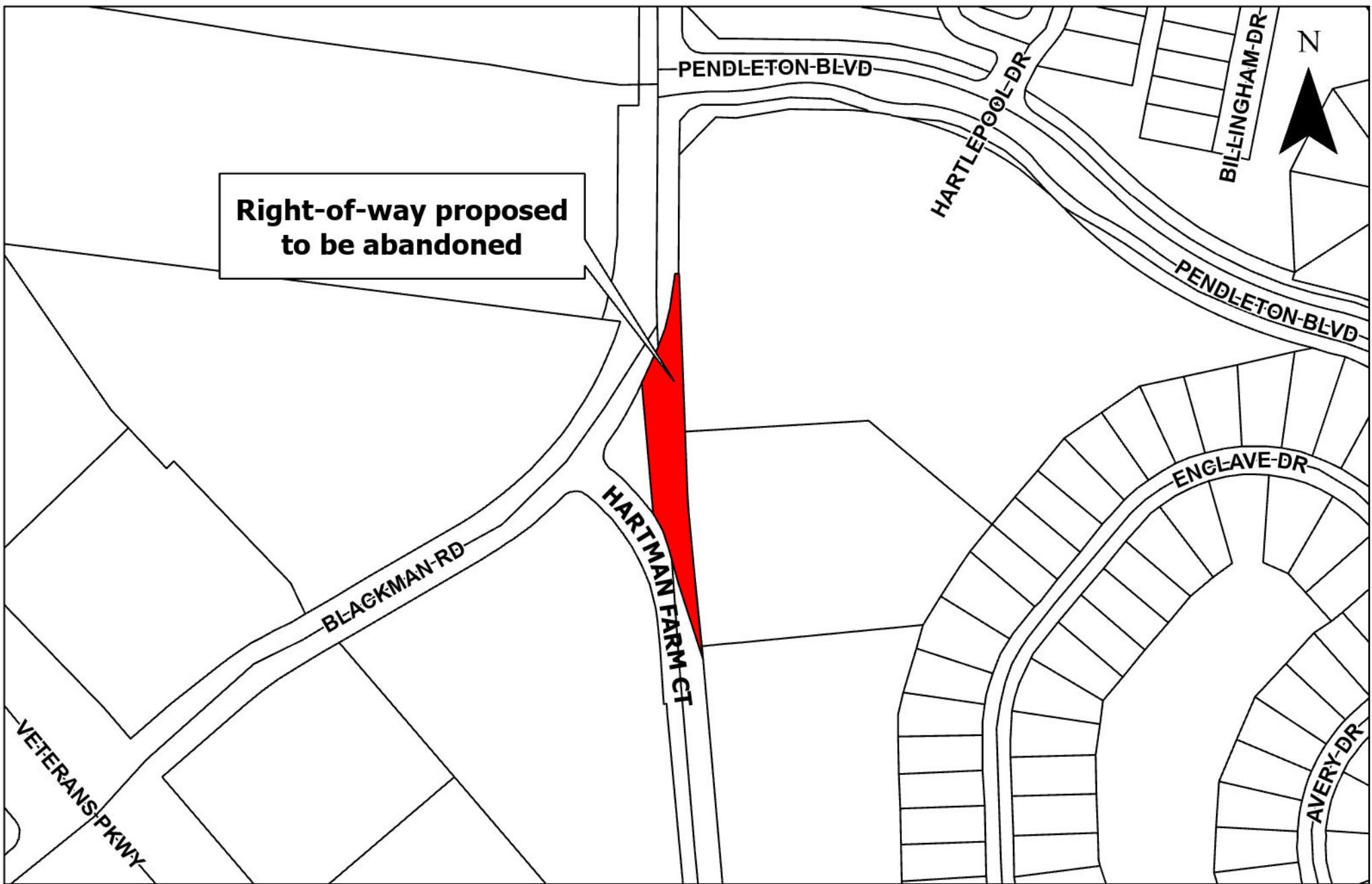
Action

Needed:

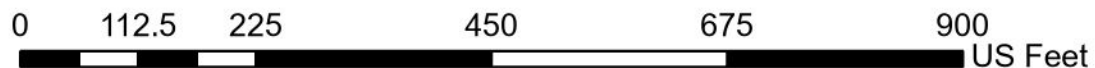
The Planning Commission should conduct a public hearing and then discuss this matter and formulate a recommendation to the City Council regarding the abandonment. Staff recommends that any approval be made subject to the above conditions.

Attachments:

1. Memorandum from Planning Staff regarding responses.
2. Non-ortho and Ortho maps depicting the abandonment area.
3. Applicant Request to Abandon ROW letter, legal descriptions, and engineer map



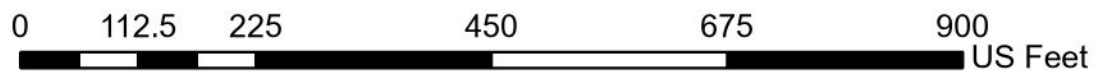
Request to abandon Blackman Road public right-of-way



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Request to abandon Blackman Road public right-of-way



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

Memorandum

To: Ben Newman, Planning Director
Matthew Blomeley, Assistant Planning Director

From: Sloane Lewis, Planner

Date: March 26, 2025

Re: Mandatory Referral [2025-702] for the abandonment of a portion of Blackman Road right-of-way located at the intersection of Blackman Road and Hartman Farm Court

Following is a summary of the City department staff and utility provider comments regarding the requested right-of-way (ROW) abandonment.

Engineering & Streets Department

The request to abandon ROW should be subject to the submission and recording of a subdivision plat that combines the abandoned ROW with adjacent lot(s). A drainage easement should be provided for roadside ditches. The City will need to keep a drainage easement in this area due to sections of road that are not in curb and gutter where water will drain into ditched sections. The recording of the quitclaim deed abandoning the ROW and the final plat should be done simultaneously.

In order to facilitate the abandonment process, the applicant should provide a legal description and exhibits necessary for the City to draft the legal documents as well as any recording fees. In addition, the ROW abandonment should be subject to the final approval of the legal documents by the City Attorney.

Fire and Rescue Department

Fire and Rescue does not have any comments on the abandonment.

Police Department

The Murfreesboro Police Department has no objection to the ROW abandonment.

Solid Waste Department

The Solid Waste Department does not have any comments on the abandonment.

Murfreesboro Water Resources Department (MWRD)

The MWRD does not have any comments on the abandonment.

Consolidated Utility District (CUD)

CUD has (2) existing 8-inch water mains within the area of interest of the proposed abandonment of the Blackman Road ROW. CUD will require that an additional CUD water line easement be dedicated for the existing water mains that are proposed to be on private property prior to or in conjunction with the finalization of the proposed ROW abandonment. CUD will require an amendment plat or survey metes and bounds description with an exhibit to dedicate the necessary easement(s) for the existing 8-inch water lines.

Middle Tennessee Electric Members Cooperative (MTE)

MTE has an existing 3-phase overhead line along this ROW for which an easement will be needed.

AT&T

AT&T has Aerial Copper and fiber facility on MTE pole route.

Atmos Energy

Atmos Energy has not responded to the Planning Department's requests for information regarding this proposed abandonment.

Comcast

Comcast has not responded to the Planning Department's requests for information regarding this proposed abandonment.



Site Engineering Consultants
850 Middle Tennessee Blvd
Murfreesboro, TN 37129
(615)890-7901
www.sec-civil.com

February 11, 2025

Mr. Richard Donovan
City of Murfreesboro Planning Dept.
111 West Vine Street
Murfreesboro, TN 37133-1139

RE: Westlawn East Section 1
ROW Abandonment Mandatory Referral
SEC Project No. 19164

Dear Richard,

Please find the attached supplemental documents to support the mandatory referral request to abandon portions of the Right-Of-Way at the property located along Blackman Road.

Should you need any clarification concerning the request, please feel free to contact me at 615-890-7901.

Sincerely,

Matt Taylor

Matt Taylor, P.E.
SEC, Inc.



City of Murfreesboro

Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, INCLUDING abandonment of right-of-way.....	\$350.00
Mandatory Referral, NOT INCLUDING abandonment of right-of-way.....	\$150.00

Property Information:

Tax Map/Group/Parcel:

Address (if applicable):

Street Name (if abandonment of ROW):

Type of Mandatory Referral:

Applicant Information:

Name of Applicant:

Company Name (if applicable):

Street Address or PO Box:

City:

State:

Zip Code:

Email Address:

Phone Number:

Required Attachments:

- ☐ Letter from applicant detailing the request
- ☐ Exhibit of requested area, drawn to scale
- ☐ Legal description (if applicable)

Applicant Signature

Date

SEC, Inc.

SITE ENGINEERING CONSULTANTS

Engineering • Surveying • Land Planning
850 Middle Tennessee Blvd, Murfreesboro, TN 37129
www.sec-civil.com • 615-890-7901 • fax 615-895-2567

MAP 93, P/O PARCEL 1.07
HARTMAN FARM COURT – R.O.W. EXHIBIT
OSCAR PROPERTIES LLC
P.B. 47, PG. 284 (R.O.R.C., TN)
R.B. 1756, PG. 3170 (R.O.R.C., TN)
± 18,306 SQ. FT., ± 0.420 AC.

A PORTION OF A PARCEL OF LAND LYING IN THE 7TH CIVIL DISTRICT OF RUTHERFORD COUNTY, TENNESSEE AND BOUNDED IN GENERAL ON THE NORTH, SOUTH, EAST AND WEST BY THE SOUTHERLY, NORTHERLY, AND EASTERLY RIGHT OF WAY AND EASTERLY, WESTERLY MARGIN OF HARTMAN FARM COURT, ALSO ON THE EAST BY GROW & LEARN X LLC – (R.B. 2388, PG. 2866), ALSO ON THE EAST BY CORNERSTONE DEVELOPMENT LLC, LOT 1, LEARNING CENTER AT BERKSHIRE SUBDIVISION – (P.B. 42, PG. 206) (R.B. 1745, PG. 2453), AND ALSO ON THE WEST BY OSCAR PROPERTIES LLC, COMMON AREA, WESTLAWN COMMERCIAL EAST SUBDIVISION – (P.B. 47, PG. 284) (R.B. 1756, PG. 3170). BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING FROM AN IRON PIN (SEC) ON THE EASTERLY MARGIN OF HARTMAN FARM COURT, ROAD, SAID PIN BEING THE SOUTHWESTERLY CORNER OF LOT 1, THENCE, LEAVING THE EASTERLY MARGIN OF HARTMAN FARM COURT AND ACROSS THE SOUTHWESTERLY RIGHT OF WAY OF SAID ROAD, WITH A CURVE TURNING TO THE LEFT, WITH AN ARC LENGTH OF 198.37', WITH A RADIUS OF 688.99', WITH A CHORD BEARING OF N 20°32'37" W, AND A CHORD LENGTH OF 197.69' TO A POINT ON THE WESTERLY MARGIN OF HARTMAN FARM COURT, SAID POINT BEING THE SOUTHERLY CORNER OF THE COMMON AREA;
THENCE, ALONG THE WESTERLY MARGIN OF SAID ROAD, N 04°13'06" W FOR A DISTANCE OF 191.59' TO A POINT, SAID POINT BEING THE NORTHERLY CORNER OF SAID COMMON AREA;
THENCE, LEAVING SAID MARGIN AND ACROSS THE NORTHEASTERLY RIGHT OF WAY OF HARTMAN FARM COURT FOR THE FOLLOWING (2) CALLS:
WITH A CURVE TURNING TO THE LEFT, WITH AN ARC LENGTH OF 188.22', WITH A RADIUS OF 563.00', WITH A CHORD BEARING OF N 14°38'19" E, AND A CHORD LENGTH OF 187.34' TO A POINT;
THENCE, S 84°56'20" E FOR A DISTANCE OF 4.47' TO A POINT, SAID POINT BEING THE NORTHWESTERLY CORNER OF GROW & LEARN X LLC AND THE EASTERLY MARGIN OF HARTMAN FARM COURT;
THENCE, ALONG THE EASTERLY MARGIN OF SAID ROAD, FOR THE FOLLOWING (3) CALLS:
WITH A CURVE TURNING TO THE LEFT, WITH AN ARC LENGTH OF 254.56', WITH A RADIUS OF 3,970.00', WITH A CHORD BEARING OF S 01°27'27" E, AND A CHORD LENGTH OF 254.52' TO AN IRON PIN SET (SEC), SAID PIN BEING THE NORTHWESTERLY CORNER OF LOT 1;
THENCE, WITH A COMPOUND CURVE TURNING TO THE LEFT, WITH AN ARC LENGTH OF 128.78', WITH A RADIUS OF 3,970.03', WITH A CHORD BEARING OF S 04°13'25" E, AND A CHORD LENGTH OF 128.77' TO AN IRON PIN SET (SEC);
THENCE, S 05°09'11" E FOR A DISTANCE OF 174.91' TO THE POINT OF BEGINNING. HAVING AN AREA OF ± 18,306 SQUARE FEET, ± 0.420 ACRES.

BEING A PORTION OF THE SAME PROPERTY CONVEYED TO OSCAR PROPERTIES, LLC, BY WARRANTY DEED FROM RHB LLC, RECORDED IN BOOK 1756, PAGE. 3170, RECORDED ON MARCH 20TH, 2019, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

THIS PARCEL IS SUBJECT TO ANY EASEMENTS, RECORDED OR BY PRESCRIPTION, THAT A COMPLETE AND ACCURATE TITLE REPORT MAY REVEAL.

SEC, Inc.

WWW.SEC-CIVIL.COM

850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129

PHONE: (615) 890-7901 • FAX: (615) 895-2567

SITE ENGINEERING CONSULTANTS

ENGINEERING • SURVEYING • LAND PLANNING

LANDSCAPE ARCHITECTURE

HARTMAN FARM COURT - R.O.W. EXHIBIT:

MAP 93, PARCEL 1.07

OSCAR PROPERTIES LLC

COMMON AREA

WESTLAWN COMMERCIAL EAST S/D

P.B. 47, PG. 284, R.B. 1756, PG. 3170 (R.O.R.C., TN)

MAP 93, PARCEL 1.01
GROW & LEARN X LLC
R.B. 2388, PG. 2866

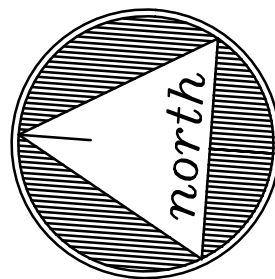
MAP 93, PARCEL 1.18
CORNERSTONE DEVELOPMENT LLC
LOT I, THE LEARNING
CENTER AT BERKSHIRE S/D
P.B. 42, PG. 206, R.B. 1745, PG. 2453

REMAINING R.O.W.
± 0.420 AC.
± 18,306 SQ. FT.

MAP 93, PARCEL 1.07
OSCAR PROPERTIES LLC
COMMON AREA
WESTLAWN COMMERCIAL EAST S/D
P.B. 47, PG. 284,
R.B. 1756, PG. 3170

HARTMAN FARM COURT
R.O.W. VARIES (MINOR ARTERIAL)

BLACKMAN ROAD
R.O.W. VARIES (MINOR ARTERIAL)



S.E.C. #: 19164.91

DRAWN BY: MHM

SCALE: 1" = 50'

DATE: 2/11/25

REV: 2/12/25

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 04°13'06" W	191.59'
L2	S 84°56'20" E	4.47'
L3	S 05°09'11" E	174.91'

CURVE TABLE

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	688.99'	16°29'47"	198.37'	N 20°32'37" W	197.69'
C2	563.00'	19°09'18"	188.22'	N 14°38'19" E	187.34'
C3	3970.00'	3°40'26"	254.56'	S 01°27'27" E	254.52'
C4	3970.03'	1°51'31"	128.78'	S 04°13'25" E	128.77'

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
APRIL 9, 2025
PROJECT PLANNER: MATTHEW BLOMELEY**

5.c. Proposed amendment to the Zoning Ordinance [2025-802] related to regulations for institutional group assembly uses, including school uses, and pertaining to the following sections:

- **Section 7: Site Plan Review;**
- **Section 9: Standards for Special Permit Uses;**
- **Section 19: Residential Districts;**
- **Section 27: Landscaping and Screening;**
- **Chart 1: Uses Permitted by Zoning District (and its endnotes); and**
- **Endnotes for Chart 2: Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios**

City of Murfreesboro Planning Department applicant.

The Planning Department was tasked with studying the City's review and approval process for new school facilities and expansions thereto in order to determine whether improvements could be made to the regulations and approval process. Staff determined that there were some efficiencies that could be achieved in the approval process via a Zoning Ordinance amendment. In addition, the Zoning Ordinance amendment could address other current gaps in the ordinance pertaining to school uses and institutional group assembly uses. This potential amendment seeks to streamline the school use approval process and create more predictability for the school systems.

Significant changes, as proposed, are identified below:

- 1) Eliminates the special use permit process for all school uses, which effectively eliminates submitting new school facilities and expansions to the Board of Zoning Appeals for review and approval.
- 2) Allows existing school uses and expansions thereto by right in all zoning districts, except P (Park), and sets forth clear design standards to create predictability for all involved, including a Type C buffer when the school use is adjacent to existing single-family residential uses or zoning.
- 3) However, there are several instances where rezoning to a PND (Planned Institutional Development) would be required. Rezoning process is governed by the Planning Commission and City Council, rather than the Board of Zoning Appeals. Such instances are as follows:

- a) The use has never previously been established on the subject property;
 - b) A building expansion or an accessory structure with a gross floor area of 50,000 ft² or greater is proposed; or
 - c) One or more athletic or recreation fields with lighting or amplified sound are proposed.
- 4) Sets forth design requirements for school uses in the PND zone that are consistent with those for school uses in traditional bulk zoning districts, including a Type C buffer when the school use is adjacent to existing single-family residential uses or zoning; however, as with all planned developments, allows the Planning Commission and City Council the flexibility to grant exceptions to the requirements during the planned development review and approval process when warranted and to place any additional conditions on the approval needed to ensure that the use is compatible with the surrounding area.
 - 5) Site plan approval for school uses would predominantly follow an administrative review procedure. However, Planning Commission site plan review and approval would be required in the same instances identified in 3a-3c above.
 - 6) Modifies requirements for other types of institutional group assembly uses to exclude school uses but generally aligns the design standards for such uses with the design standards for school uses.
 - 7) Recommends but does not require irrigation for school uses.
 - 8) Creates additional flexibility for building height for school and church uses after having observed the need for such over the last several years.

This amendment is intended to make the school approval process easier and more predictable to navigate. It is also intended to allow the timelier approval of physical improvements to schools, which will allow for the school systems and private schools to expand facilities in order to meet the educational needs of the community.

As requested at the March 19th Planning Commission meeting, Staff will have additional information at the meeting pertaining to sizes of recent school additions.

Action Needed:

A draft of the language for the proposed ordinance amendment is included in the agenda packet for the Planning Commission's review. The Planning Commission should conduct a public hearing and then formulate a recommendation for City Council.

ORDINANCE 25-O-XX amending Murfreesboro City Code Appendix A, Zoning, Sections 7, 9, 19, 27, Chart 1, Chart 1 Endnotes and Chart 2 Endnotes, pertaining to school uses, City of Murfreesboro Planning Staff, applicant [2025-802]

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MURFREESBORO, TENNESSEE, AS FOLLOWS:

SECTION 1. Appendix A, Section 7, Site Plan Review, of the Murfreesboro City Code is hereby amended at subsection (D)(2), by adding the following new subsection (e) as follows:

- (e) all site plans for the use “public or private schools, grades K-12” only when:
 - [1] such use has never previously been established on the subject property;
 - [2] a building expansion or an accessory structure with a gross floor area of 50,000 square feet or greater is proposed;
 - [3] one or more athletic fields with lighting or amplified sound are proposed;
 - [4] there are off-site transportation, traffic, or drainage improvements associated with such site plan either required by the City or offered by the applicant; or
 - [5] new sanitary sewer connections are proposed, in which case the Planning Director shall have the authority to require Planning Commission review of a site plan if he/she determines that the public interest would be served thereby.

SECTION 2. Appendix A, Section 7, Site Plan Review, of the Murfreesboro City Code is hereby amended at subsection (D)(4), by changing the existing subsection (g) to (h) and adding a new subsection (g) as follows:

- (g) all site plans for the use “public or private schools, grades K-12” involving building additions or accessory structures of less than 50,000 square feet and/or other miscellaneous site modifications (e.g. parking lot additions, on-site drainage improvements, athletic fields with no lighting or sound amplification, etc.).

SECTION 3. Appendix A, Section 7, Site Plan Review, of the Murfreesboro City Code is hereby amended by deleting subsection (J) Period of Validity, in its entirety and substituting in lieu thereof:

- (J) *Period of Validity.* The State law regarding vested property rights (T.C.A. 13-4-310, effective June 1, 2024), as it may be amended from time to time, shall govern the period of validity for both Planning Commission and administrative site plan approvals.

SECTION 4. Appendix A, Section 9, Standards for Special Permit Uses, of the Murfreesboro City Code is hereby amended by deleting subsection (D)(2)(zz) in its entirety and substituting in lieu thereof the following:

(zz) Institutional group assembly uses, including recreational fields, public buildings, lodges, country clubs, clubs, churches, and other places of worship, but excluding public or private schools grades K-12, shall be subject to the following additional standards:

- [1] Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on-site. An on-site off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard;
- [2] In all residential districts an institutional group assembly use shall have a lot size not less than three times the minimum lot size permitted in the zoning district where the institutional group assembly use is proposed to be located. In the event the institutional group assembly use is proposed to be located on land that has two or more different zoning classifications, the minimum lot size shall be calculated by applying the larger required minimum lot size;

<u>Examples:</u>				
<u>MINIMUM ZONING DISTRICT</u>	<u>MINIMUM LOT SIZE (SQ. FT.)</u>	<u>LOT SIZE ACRES</u>	<u>X 3</u>	<u>ACRES</u>
RS-15	15,000	0.34	45,000	1.03
RS-12	12,000	0.28	36,000	0.83
RS-10	10,000	0.22	30,000	0.69
RS-8	8,000	0.18	24,000	0.55
RS-4	4,000	0.09	12,000	0.28
R-D	4,000	0.09	12,000	0.28
R-MO	4,000	0.09	12,000	0.28

- [3] On-site lighting for parking areas, fields for athletics, scoreboards, and grounds shall be arranged in such a manner as to minimize intrusion of lighting into areas zoned or used for residential or medical purposes. To this end, a plan depicting the proposed location of on-site exterior lighting fixtures shall be submitted for review by staff and the BZA. Such plan shall depict the arrangement of the lighting fixtures, their height, their specifications, the direction in which lighting will be oriented, and photometrics. Additional information may be required by the staff or the BZA in order to verify whether the lighting will be intrusive into areas zoned or used for residential or medical purposes;
- [4] Applications for an institutional group assembly use shall indicate the proposed locations of garbage dumpsters or receptacles. These facilities shall be located in such a manner as to minimize adverse effects upon neighboring properties and aesthetics from the public right-of-way. The use of dumpsters may be prohibited in the event the BZA determines that such would have a detrimental effect upon the adjacent property;
- [5] A Type C landscape buffer shall be required to screen the proposed use from any property zoned or used for single-family residential purposes (including single-family residential portions of an approved PUD), regardless of the zoning of the institutional group assembly use property. In the event of new building expansions, accessory structures, or other miscellaneous site improvements, the Type C buffer shall only be required in the area of such expansions or improvements. However, the BZA may require additional screening requirements if necessary to mitigate adverse impacts on adjacent residential properties;

- [6] The number of required parking spaces provided on-site shall be in accordance with Chart 4 of this article, provided, however, if the applicant can present evidence satisfactory to the BZA that a substantial portion of the expected users will arrive at the institutional group assembly use by bus, bicycle, walking, or by carpooling or that off-street parking areas on adjacent or nearby properties will be available on a long-term basis, the BZA shall have authority to determine the number of required parking spaces to be provided on-site. The BZA may require that a reserve area be retained on-site for future expansions of the parking area;
- [7] An application for a special use permit for an institutional group assembly use shall be accompanied by a description of uses or activities proposed for the facility which may be subject to separate regulation or which may result in unusual traffic patterns, traffic volumes, or other detrimental impacts upon adjacent properties, including but not necessarily limited to those uses which would require a special permit if not a part of the institutional group assembly use;
- [8] The BZA shall have authority to approve an on-site location with water, sewer, and electric utility connections for accommodations for travel trailers or R.V.s (recreational vehicles) for use by visiting or traveling speakers or guests associated with the institutional group assembly use. Provided, however, such location for travel trailers or R.V.s shall not be permitted for use as a permanent residential dwelling unit;
- [9] The BZA shall have the authority to grant variances to the standards imposed by this subsection for temporary or short-term uses of property for the institutional group assembly use purposes. In such cases, the BZA may impose conditions of approval to ensure the compatibility of the short-term land use with other property in the vicinity of the proposed use;
- [10] The application for a special use permit for an institutional group assembly use shall indicate any intentions for the use of systems for the external broadcast or amplification of speech, music, or other sounds. If such are proposed, the applicant shall indicate the times of day and duration of their proposed use. The BZA shall have the authority to place restrictions upon their use in order to minimize excessive noise from intruding upon neighboring properties especially those zoned or used for residential purposes. In no event shall the BZA approve the use of such which would be in violation of the City Code or ordinances regulating noise. BZA approval does not constitute a waiver of any City Code or ordinances regulating noise;
- [11] The building height of all principal and accessory buildings shall be limited to what is permitted by Chart 2 of the Zoning Ordinance and its endnotes. However, the BZA may approve building height that exceeds the above noted standards as a function of the special use permit, provided it finds that the use will still comply with the Standards of General Applicability in Section 9 of this article. Regardless, no special use permit shall grant authority for such a structure to exceed the maximum height requirements denoted in the Airport Overlay District;
- [12] The development plans for such use shall comply with any requirements set forth by the State Fire Marshal and/or the City Fire Marshal, as applicable; and
- [13] Where existing development on the subject property has failed to comply with conditions set forth in a prior approval or where there are current zoning or code violations on the subject property, such violation shall be grounds for denial of the application for said use.

SECTION 5. Appendix A, Section 19, Residential Districts, of the Murfreesboro City Code is hereby amended by removing all references to “schools”.

SECTION 6. Appendix A, Section 27, Landscaping and Screening, of the Murfreesboro City Code is hereby amended at subsection (M) by adding subsection (3) as follows:

- (3) Irrigation is recommended but not required to ensure the viability of required plantings at uses identified in Chart 1 of this article as “public or private schools, grades K-12.” However, the property owner and successor property owners for such uses shall be responsible for maintaining all required landscaping in perpetuity.

SECTION 7. Appendix A, Chart 1, Uses Permitted, of the Murfreesboro City Code is hereby amended within the “Institutions” section by deleting the line for “School, Public or Private, Grades K-12” in its entirety and substituting in lieu thereof the attached line in its place.

SECTION 8. Appendix A, Chart 1 Endnotes, Uses Permitted, of the Murfreesboro City Code is hereby amended by deleting Endnote 13 in its entirety and substituting in lieu thereof the following:

13. Institutional group assembly uses, including recreational fields, public buildings, lodges, country clubs, clubs, churches, and other places of worship but excluding public or private schools grades K-12, and expansions/additions thereto, where permitted by right, shall meet the following standards:
- (a) Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on-site. An on-site off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard.
- (b) In all residential districts, institutional group assembly uses shall have a lot size not less than three times the minimum lot size permitted in the zoning district where the institutional group assembly use is proposed to be located. In the event the institutional group assembly use is proposed to be located on land that has two or more different zoning classifications, the minimum lot size shall be calculated by applying the larger required minimum lot size.

<u>Examples:</u>				
<u>ZONING</u>	<u>MINIMUM LOT SIZE</u>	<u>MINIMUM LOT SIZE</u>	<u>X 3</u>	<u>ACRES</u>
RM-12	7,500	0.17	22,500	0.52
RM-16	6,000	0.14	18,000	0.41

- (c) An institutional group assembly use may:
- (1) conduct a use that is subject to separate definition under this Zoning Ordinance or regulation, e.g., childcare facility or mission for the homeless;
- (2) use equipment producing noise audible upon residential property, e.g., outdoor speaker system, carillon, chimes, bells; or,

- (3) construct exterior water, sewer, and electric utility connections for trailers or recreational vehicles only after a special use permit to that affect has been granted by the Board of Zoning Appeals.
- (d) A Type C landscape buffer shall be required to screen the proposed use from any property zoned or used for single-family residential purposes (including single-family residential portions of an approved PUD), regardless of the zoning of the institutional group assembly property. In the event of new building expansions, accessory structures, or other miscellaneous site improvements at the institutional group assembly use, the Type C buffer shall only be required in the area of such improvements.
- (e) The development plans for such use shall comply with any requirements set forth by the State Fire Marshal and/or the City Fire Marshal, as applicable.
- (f) Where existing development on the subject property has failed to comply with conditions set forth in a prior approval or where there are current zoning or code violations on the subject property, such violation shall be grounds for denial of the application for said use.
- (g) The building height of all principal and accessory buildings shall be limited to what is permitted by Chart 2 of the Zoning Ordinance and its endnotes and Section 25 of the Zoning Ordinance, respectively. Regardless, no structure shall exceed the maximum height requirements denoted in the Airport Overlay District.

SECTION 9. Appendix A, Chart 1 Endnotes, Uses Permitted, of the Murfreesboro City Code is hereby amended by adding new Endnotes 34 and 35 as follows:

- 34-1. Rezoning to PND or PUD (whichever is more appropriate for the respective situation, as determined by the Zoning Administrator) for the use “public or private schools, grades K-12” shall be required in the following circumstances; otherwise, the use shall be permitted by right:
 - (a) The use has never previously been established on the subject property;
 - (b) A building expansion or an accessory structure with a gross floor area of 50,000 square feet or greater is proposed; or
 - (c) One or more athletic or recreation fields with lighting or amplified sound are proposed.
- 34-2. PND and PUD zoning applications for the use “public or private schools, grades K-12”, shall meet the following standards, in addition to all other applicable standards found elsewhere in this article (but excluding any exceptions to such regulations noted as a part of the approved PND or PUD zoning):
 - (a) Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on-site. An on-site off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard.
 - (b) A Type C landscape buffer shall be required to screen the proposed use from any property zoned or used for single-family residential purposes (including single-family residential portions of an approved PUD). In the event of new building expansions, accessory structures, or other miscellaneous site improvements, the Type C buffer shall only be required in the area of such improvements.
 - (c) An on-site location with water, sewer, and electric utility connections for accommodations for travel trailers or R.V.s (recreational vehicles) for use by visiting or traveling speakers or guests associated with the public and

- private school, grades K-12 use may be provided. However, such location for travel trailers or R.V.s shall not be permitted for use as a permanent residential dwelling unit.
- (d) The development plans for such use shall comply with any requirements set forth by the State Fire Marshal and/or the City Fire Marshal, as applicable.
 - (e) Where existing development on the subject property has failed to comply with conditions set forth in a prior approval or where there are current zoning or code violations on the subject property, such violation shall be grounds for denial of the application for said use.
 - (f) The building height of all principal and accessory buildings, excluding light fixtures accessory to recreation fields, shall be limited to what is permitted by Chart 2 of the Zoning Ordinance and its endnotes and Section 25 of the Zoning Ordinance, respectively. However, exceptions to the maximum building height may be granted as part of the approval of the PND or PUD zoning. Regardless, no approval shall grant authority for such a structure to exceed the maximum height requirements denoted in the Airport Overlay District.
 - (g) Light fixtures associated with recreation fields that are accessory to a public or private school, grades K-12 shall not exceed eighty (80) feet in height. However, the maximum height for such light fixtures may be less than eighty (80) feet in height if further restricted by the maximum height requirements of the Airport Overlay District.
 - (h) The minimum yard requirements shall be as follows:
 - Front = 40 feet;
 - Sides = 12.5 feet; and
 - Rear = 30 feet.
 - (i) If the use has previously been granted a special use permit by the Board of Zoning Appeals on the site, then any conditions placed on the approval of the special use permit shall remain in effect unless the approved PND or PUD contains an exception to such conditions, but only (where applicable) in the area(s) specified in the special use permit. Unless the approved PND or PUD contains an exception, any subsequent development on the property must comply with any such conditions that apply to the entirety of the site, and any other conditions in the special use permit may be extended to the subsequent development area at the discretion of the Planning Commission and/or City Council.
 - (j) Prior to the approval of any site plan, the applicant shall enter into a development agreement with the City for any off-site public infrastructure improvements required in conjunction with the application.
35. Expansions, building additions, accessory structures, site modifications, and the like for the use “public or private schools, grades K-12”, where permitted by right, shall meet the following standards, in addition to all other applicable standards found elsewhere in this article:
- (a) Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on-site. An on-site off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard.
 - (b) A Type C landscape buffer shall be required to screen the proposed use from any property zoned or used for single-family residential purposes (including single-family residential portions of an approved PUD) regardless of the zoning of the school property. In the event of new building expansions, accessory structures, or other miscellaneous site improvements, the Type C buffer shall only be required in the area of such improvements.

- (c) An on-site location with water, sewer, and electric utility connections for accommodations for travel trailers or R.V.s (recreational vehicles) for use by visiting or traveling speakers or guests associated with the public and private school, grades K-12 use may be provided. However, such location for travel trailers or R.V.s shall not be permitted for use as a permanent residential dwelling unit.
- (d) The development plans for such use shall comply with any requirements set forth by the State Fire Marshal and/or the City Fire Marshal, as applicable.
- (e) Where existing development on the subject property has failed to comply with conditions set forth in a prior approval or where there are current zoning or code violations on the subject property, such violation shall be grounds for denial of the application for said use.
- (f) The building height of all principal and accessory buildings shall be limited to what is permitted by Chart 2 of the Zoning Ordinance and its endnotes and Section 25 of the Zoning Ordinance, respectively. Regardless, no structure shall exceed the maximum height requirements denoted in the Airport Overlay District.
- (g) If the use has previously been granted a special use permit by the Board of Zoning Appeals on the site, then any such conditions placed on the approval of the special use permit shall remain in effect and any subsequent development on the property must comply with those conditions.
- (h) Prior to the approval of the site plan, the applicant shall enter into a development agreement with the City for any off-site public infrastructure improvements required in conjunction with the application.

SECTION 10. Appendix A, Chart 2 Endnotes, Minimum Lot Requirements, Minimum Yard Requirements and Land Use Intensity Ratios, of the Murfreesboro City Code is hereby amended by deleting subsection Endnote 16 in its entirety and substituting in lieu thereof the following:

- 16. Principal buildings associated with the uses identified in Chart 1 of this article as “church” or “public or private school, grades K-12” in the RS-15, RS-12, RS-10, RS-8, RS-6, RS-4, RS-A, R-D, RM-12, RM-16, R-MO, OG, OG-R, CL, and CF zones shall be permitted up to a maximum height of fifty (50) feet, provided that the use is located on a lot of at least five (5) acres and that any part of such building that exceeds thirty-five (35) feet in height is located at least one-hundred (100) feet from the nearest property zoned or used for single-family residential purposes (including single-family residential portions of an approved PUD). Provided, furthermore, however, that ornamental towers for churches in the RS-15, RS-12, RS-10, RS-8, RS-6, RS-4, RS-A, R-D, RM-12, RM-16, R-MO, CM, CM-R, OG, CL, CF, and CU zones shall be permitted up to a maximum height of seventy (70) feet. Plans for ornamental towers shall be prepared by an engineer registered in the State of Tennessee and designed in accordance with the currently adopted building codes set forth in Murfreesboro City Code Chapter 7.

SECTION 11. That this Ordinance shall take effect fifteen (15) days after its passage upon second and final reading, the public welfare and the welfare of the City requiring it.

Passed:

1st reading

2nd reading

Shane McFarland, Mayor

ATTEST:

APPROVED AS TO FORM:

Erin Tucker
City Recorder

Adam F. Tucker
City Attorney

SEAL

Ordinance 25-O-XX Attachment regarding Appendix A, Chart 1, School Uses

[illegible]

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
APRIL 9, 2025
PROJECT PLANNER: RICHARD DONOVAN**

6.a. Outside the City sewer service [2024-507] request to amend the conditions of approval for an outside the City sewer customer on approximately 46 acres located along Epps Mill Road and Capital Way, Towery Development applicant.

The subject property is located on the north side of Epps Mill Road at 5595 Epps Mill Road, west of I-24, within the unincorporated portion of Rutherford County. The property is identified on the County tax maps as:

- Tax Map 156, Parcel 00201 (37.56 acres)
- Tax Map 156, Parcel 02700 (8.69 acres)

Towery Development has submitted a request to amend the conditions of approval for an outside-City sewer customer. Specifically, the applicant is seeking to reclassify the City-equivalent zoning designation for the subject property from L-I (Light Industrial) to G-I (General Industrial). This request is intended to allow *Motor Vehicle: Sales, Rental, and Repair (Medium & Heavy Duty Commercial Vehicles)*, a use not permitted under the current L-I zoning equivalent. Additional details are provided in the applicant's attached letter. The original L-I classification was recommended based on the adjacent Capital Business Park Subdivision to the east, which was assigned the same zoning designation.

The Planning Commission and City Council previously approved outside-City sewer service for Parcel 2.01, along with the equivalent L-I zoning, during their respective meetings on September 18, 2024, and October 3, 2024. Parcel 27.00 was approved in 2005 with the remainder of the Capital Business Park tract. In 2005, the use *Motor Vehicle: Sales, Rental, and Repair (Medium & Heavy Duty Commercial Vehicles)* was not a listed use in the Zoning Ordinance. This request does not affect the currently allocated sewer capacity of 9,100 gallons per day but would expand the range of allowable uses on the site.

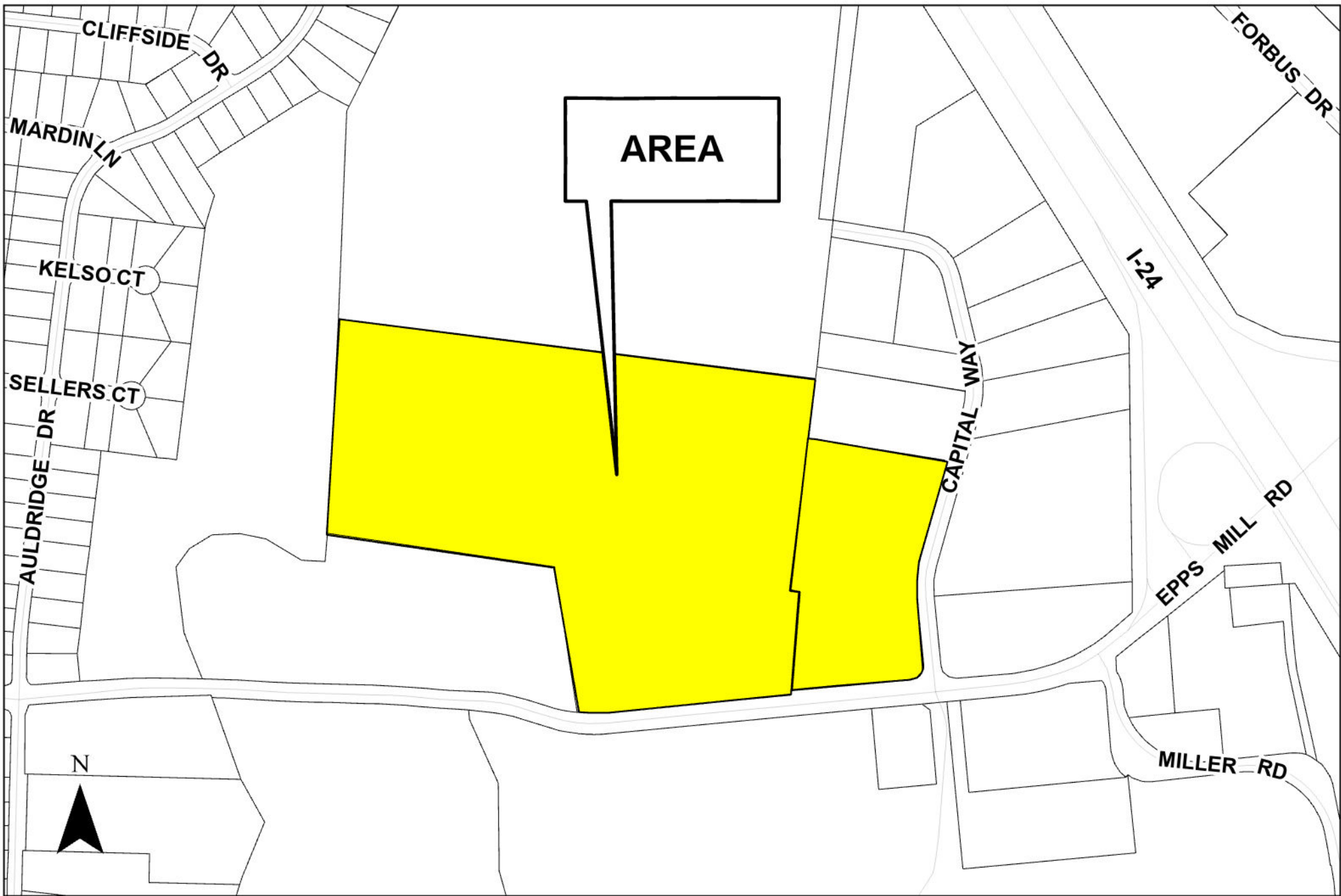
The conditions of approval from 2024, as proposed to be amended, are below:

1. The total allocation of sanitary sewer to the two parcels combined shall not exceed the amount of sanitary sewer capacity allocated to Parcel 27.00.
2. A City equivalent zoning classification of G-I (General Industrial) shall be assigned to the property.
3. Parcel 27.00 was deemed as "grandfathered" for sewer service in November 2019 by the Water Resources Department as it had an executed development contract with the City.

A copy of Chart 1 is attached, showing permitted uses in yellow for L-I and in green for G-I. The section of the City Code pertaining to outside the City sewer customers was recently amended. Because both of these parcels were approved under the previous ordinance and the applicant simply seeks to amend the previous conditions of approval, Staff is taking this item back through the same process that these parcels were originally approved under.

Action Needed:

The Planning Commission will need to discuss this matter, after which it will need to formulate a recommendation for City Council.

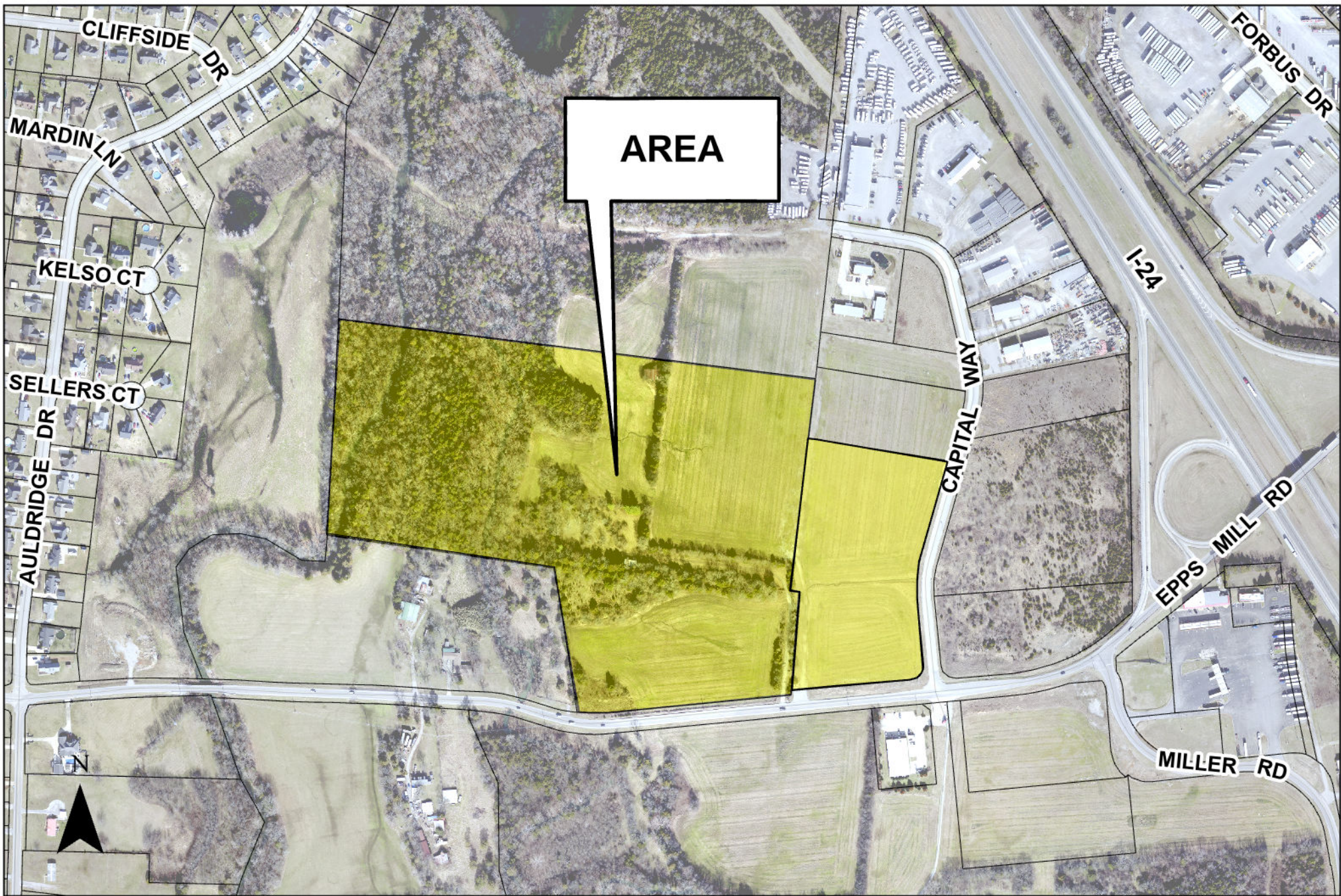


Annexation request for property along Epps Mill Road
or service as an outside the city sewer customer



0 305 610 1,220 1,830 US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Annexation request for property along Epps Mill Road
or service as an outside the city sewer customer



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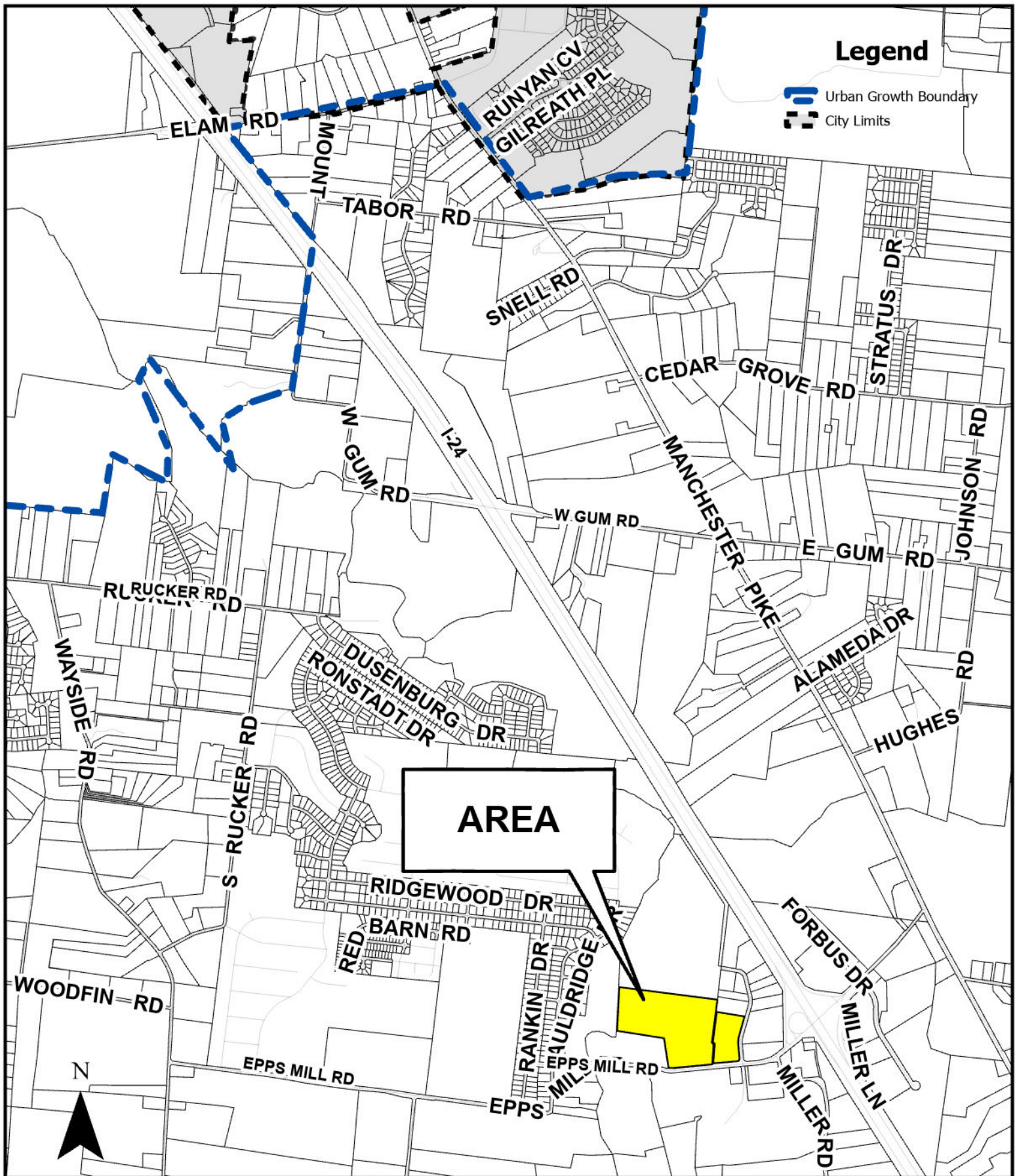
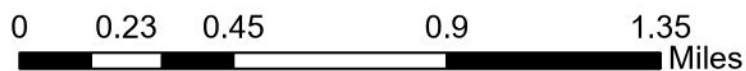


Exhibit for Rhodes Development with City Limits and Urban Growth Boundary



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

CHART 1.

USES PERMITTED BY ZONING DISTRICT.

APPENDIX A - ZONING

USES PERMITTED ³	ZONING DISTRICTS																			OVERLAY
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	CH	MU	CBD	HI	
																				eco
DWELLINGS																				
Single-Family detached	X	X	X	X	X	X	X	X	X	X ²⁷		X		X						
Single-Family attached or detached, zero-lot line (max. 2 units attached) ²³							X	X	X	X ²⁴		X		X						
Single-Family attached, townhouse ^{25, 26, 28}								X	X	X										
Two-Family							X	X	X			X		X						
Three-Family								X	X			X		X						
Four-Family								X	X			X		X						
Multiple-Family								X ²¹	X ²¹								X ²¹	X ²¹		
OTHER HOUSING																				
Accessory Apartment ⁸	S ⁸	S ⁸	S ⁸	S ⁸	S ⁸	S ⁸				S ⁸										
Accessory Dwelling Unit												X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	X ¹	
Assisted-Care Living Facility ¹⁵							S	X	X	X		X	X	X	X	X	X	X	X	S
Bed-and-Breakfast Homestay	S	S	S	S	S		S	S	X	S		S		X	X	X		X		
Bed-and-Breakfast Inn	S	S	S	S	S		S	S	S	S		S		S	X	X		X		
Boarding House ¹⁵							S	S	X	X		S		X	X	X		X		
Class I Home for the Aged ¹⁵	S	S	S	S	S	S	S	X	X	X		X		X	X	X		X		
Class II Home for the Aged ¹⁵	S	S	S	S	S		S	S	S	S		S		X	X	X		X		
Class III Home for the Aged ¹⁵								S	S			S		S	X	X	X	X		
Emergency Shelter	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Extended Stay Hotel/Motel																X	X			
Family Crisis Shelter												S		S	S	S			S	
Family Violence Shelter								S	S			S	S	S	X	X			X	S
Fraternity/Sorority												S		S	S	S			S	S
Group Shelter								S	S			S		S	S	S			S	
Hotel												S		S	S	S	X	X	X	
Home Occupations ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹		X ¹¹			X ¹¹			
Mission																			S	
Mobile Homes											X									
Motel																X	X		X	
Rooming House							S	S	S									X		
Student Dormitory									S											X
Transitional Home							S	S	S			S	S							

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf

Chart 1
Page 2 of 8

Revised by: Ordinance 24-O-40 passed 12/05/2024

USES PERMITTED ³	ZONING DISTRICTS																				OVERLAY
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	CH	MU	CBD	HI	GI	
INSTITUTIONS																					
Adult Day Care Center	S	S	S	S	S	S	S	S	S	S		X	X	X	X	X	X		X	X	
Adult Day Care Home	S	S	S	S	S	S	S	S	S	S	S	X	S	X	X	X		X	X	X	
Airport, Heliport ²	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S		S	S	N
Cemetery, Mausoleum	S	S	S	S	S	S	S	S	S	S	S	S	S			S			S	S	
Church ¹³	S	S	S	S	S	S	S	X	X	S	S	S	X	X	X	X	X	X	X	X	
College, University												X	X			X	X			X	
Day-Care Center							S	S	S		S	S	S	X	X	X	X	X	X	X	
Family Day-Care Home	S	S	S	S	S	S	S	S	S	S	S	S		X	X	X		X	X	X	
Group Day-Care Home	S	S	S	S	S	S	S	S	S	S	S			X	X	X		X	X	X	
Hospital												X	X			X	X	X	X	X	
Lodge, Club, Country Club ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X	X	X	
Mental Health Facility												X	X	X		X	X		X	X	
Morgue																X	X		X	X	N
Museum							S	S	S			S	S	S	X	X	X	X	X	X	
Nursery School							S	S	S		S	S	S	S	S	S	X		S	S	
Nursing Home												X	X	S	S	S	X		X	X	
Park	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
Pet Cemetery	S	S	S												S	S			S	S	N
Philanthropic Institution							S	S	S			X	X	X	X	X	X	X	X	X	
Public Building ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X	X	X	X	
Recreation Field ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X	X	X	X	
Senior Citizens Center	S	S	S	S	S	S	S	X	X	S		X	X	X	X	X	X	X	X	X	
School, Public or Private, Grades K - 12 ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X	X	X	X	
Student Center								S	S			S	S	S	S	S	X			S	
Technology/Vocation School (indoor)													X		X	X	X		X	X	
Trade School (includes outdoor)																		X	X	S	
AGRICULTURAL USES																					
Customary General Farming	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X	X	X	X ⁶	X	X	X	X	X	
Crop, Soil Preparation Agricultural Services	S	S	S	S	S	S	S	S	S	S	S				X	X			X	X	
Farm Labor and Management Services												X	X	X	X	X		X	X	X	
Fish Hatcheries and Preserves																		X	X	X	
Grain, Fruit, Field Crop and Vegetable Cultivation and Storage	X	X	X	X	X	X	X	X	X	X	X							X	X	X	
Livestock, Horse, Dairy, Poultry, and Egg Products	S	S	S	S	S	S	S	S	S	S								X	X	X	
Timber Tracts, Forest Nursery, Gathering of Forest Products	S	S	S	S	S	S	S	S	S	S	S							X	X	X	

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf

USES PERMITTED ³	ZONING DISTRICTS																														OVERLAY
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	CH	MU	CBD	HI	GI	LI	CM-RS-8	CM-R	CM	CU	P	CCO				
COMMERCIAL																															
Adult Cabaret																			X ⁹												
Adult Entertainment Center																			X ⁹												
Adult Motel																			X ⁹												
Adults-Only Bookstore																			X ⁹												
Adults-Only Motion Picture Theater																			X ⁹												
Amusements, Commercial Indoor															X	X	X	X	X	X	X	X				S					
Amusements, Commercial Outdoor excluding Motorized																X	X		X	X	X				S	S	N				
Amusements, Commercial Outdoor Motorized except Carnivals																			S	S	S						N				
Animal Grooming Facility															X	X	X		X	X	X										
Antique Mall															X	X	X	X	X	X	X										
Antique Shop <3,000 sq. ft.												X	X	X	X	X	X	X	X	X	X		X								
Art or Photo Studio or Gallery												X	X	X	X	X	X	X	X	X	X		X		X						
Artisan Use < 3,000 sf, other than enumerated elsewhere														X	X	X	X	X	X	X	X										
Automobile Body Shop ¹²																			X	X							N				
Automobile Parts Retail Hybrid/Retail Hub equal to or greater than 10,000 sq. ft.															S ³³	S ³³			X ³³	X ³³	X ³³						N				
Automotive/Motor Vehicle Repair ¹²																			X	X	X						N				
Automotive/Motor Vehicle Service															S	X	X		X	X	X										
Bakery, Retail														X	X	X	X	X	X	X	X										
Bank or Credit Union, Branch Office or Main Office												X	X	X	X	X	X	X	X	X	X										
Bank, Drive-Up Electronic Teller												X	X	X	X	X	X	X	X	X	X	X	X	X							
Barber or Beauty Shop												X	X	X	X	X	X	X	X	X	X		X	X							
Beer, Packaged														X	X	X		X	X	X	X										
Boat Rental, Sales, or Repair																			X	X	X						N				
Book or Card Shop												X	X	X	X	X	X	X	X	X	X		X								
Brewery, Artisan ²⁹														X	X	X		X	X	X	X										
Brewery, Micro ²⁹																	X		X	X	X										
Brewpub ³⁰														X	X	X	X	X	X	X	X										
Business and Communication Service												X	X	X	X	X	X	X	X	X	X										
Business School												X	X		X	X	X	X	X	X	X										
Campground, Travel-Trailer Park																			S	S	S						N				

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Chart 1
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Revised by: Ordinance 24-O-40 passed 12/05/2024

APPENDIX A - ZONING

USES PERMITTED ³	ZONING DISTRICTS																			OVERLAY
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R	OG	CL	CF ¹⁴	CH	MU	CBD	HI	
Carnivals																S				N
Catering Establishment												X	X	X	X	X	X	X	X	
Cigar Lounge																S	S	S	X	
Clothing Store														X	X	X	X	X	X	
Coffee, Food, or Beverage Kiosk														X	X	X	X	X	X	
Commercial Center (≤25,000 SF)														X	X	X	X	X	X	
Convenience Store, ≤5,000 SF														X	X	X	X	X	X	
Convenience Store > 5,000 SF																X	X			N
Crematory																	S			N
Data Center ≤15,000 SF													X		X	X			X	N
Department or Discount Store															X	X	X	X	X	
Distillery, Artisan ²⁹																X		X	X	
Drive-In Theater																X		X	X	N
Dry Cleaner ≤3,000 SF (No On-Site Cleaning)														X	X	X	X	X	X	
Financial Service												X	X	X	X	X	X	X	X	
Fireworks Public Display																				X
Fireworks Retailer																S				N
Fireworks Seasonal Retailer														S	S	S				N
Fitness/ Health Club Facility >5,000 SF														X	X	X	X	X	X	
Fitness studio/ personal instruction ≤5,000 SF												X	X	X	X	X	X	X	X	
Flower or Plant Store												X	X	X	X	X	X	X	X	
Funeral Home														S		X	X	X	X	
Garden and Lawn Supplies															S	X	X	X	X	
Gas--Liquified Petroleum, Bottled and Bulk																X		X	X	
Gasoline Sales														X	X	X	X	X	X	N
General Service and Repair Shop																X		X	X	
Glass--Auto, Plate, and Window																X	X	X	X	
Glass--Stained and Leaded														X	X	X	X	X	X	
Greenhouse or Nursery																X	X	X	X	N
Grocery Store														X	X	X	X	X	X	
Group Assembly, <250 persons												S	S		X	X	X	X	X	
Group Assembly, >250 persons												S	S		S	S	S	S	S	
Ice Kiosk, Automated																X	X	X	X	N
Interior Decorator												X	X	X	X	X	X	X	X	
Iron Work																X		X	X	N*
Janitorial Service																X	X	X	X	
Kennels																X		X	X	N

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Sauna																			X ⁹																									
Self-Service Storage Facility ¹⁶															S	X	S		X	X	X							N																
Sheet Metal Shop																X			X	X	X							N																
Shopping Center, Community (150-300K SF)																X	X		X	X	X							N																
Shopping Center, Neighborhood (25-150K SF)															X	X	X	X	X	X	X							N																
Shopping Center, Regional (>300,000 SF)																X	X		X	X	X							N																
Specialty Shop												X	X	X	X	X	X	X	X	X	X		X																					
Tavern																X		X	X	X	X																							
Taxidermy Studio																S			S	S	S							N																
Veterinary Clinic															X	X	X		X	X	X																							
Veterinary Hospital																X	X		X	X	X							N																
Veterinary Office												X	X	X	X	X	X		X	X	X		X																					
Vehicle Wash														X		X			X	X	X							N																
Wholesaling, Wholesale Establishments																X			X	X	X							N																
Winery, Artisan ²⁹															X	X	X	X	X	X	X																							
Wireless Telecommunications Towers, Antennas ¹⁷	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S		S	S	S	S	S	S	S	S	S	N																
Wrecker/Towing Service, Wrecker Storage Yard ¹²																			X	X	X							N																
INDUSTRIAL																																												
Manufacture, Storage, Distribution and/or Fulfillment of:																																												
Abrasive Products																			X	X								N																
Asbestos Products																			S									N																
Automobile Dismantlers and Recyclers ^{7 & 12}																			S									N																
Automobile Manufacture																			X	X								N																
Automobile Parts and Components Manufacture																			X	X								N																
Automobile Seats Manufacture																			X	X								N																
Bakery Goods, Candy																			X	X	X							N*																
Boat Manufacture																			X	X								N																
Bottling Works																			X	X	X							N																
Brewery ²⁰																			X	X	X							N																
Canned Goods																			X	X								N																
Chemicals																			X									N																
Composting Facility																			S						S			N																
Contractor's Storage, Indoor																	X		X	X	X							N																
Contractor's Yard or Storage, Outdoor ³²																			X	X	X							N																
Contractor's/Construction Equipment: Sales, Rental, Repair ³²																			X	X	X																							
Cosmetics																			X	X	X							N																

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X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf

Chart 1
Page 8 of 8

Revised by: Ordinance 24-O-40 passed 12/05/2024

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S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

N = Not Allowed, if N* = Not Allowed if > 3,000 sf



Towery Development
Real Estate Development & Investments

McClain Towery
Towery Development, LLC
3201 Trevor Street, Suite #200
Nashville, TN 37209

March 4, 2025
Matthew T. Blomeley, AICP
Assistant Planning Director
City of Murfreesboro Planning Department
111 W. Vine St.
Murfreesboro, TN 37130

Subject: Request for Zoning Classification Revision – Outside City Sewer Customer

Dear Matthew,

We are writing to request formal reconsideration of the zoning equivalent classification for two parcels located at 5595 Epps Mill Road in Christiana. The primary 8.75 acre parcel at the corner of Capital Way and Epps Mill Road was approved as an outside-the-City sewer customer in 2005 with an L-I (Light Industrial) zoning equivalent. The larger secondary parcel totaling 37.66 acres was more recently approved in 2024 as an outside-the-City sewer customer with an L-I zoning equivalent. We are requesting modification to G-I (General Industrial) zoning equivalent instead for both parcels.

The G-I zoning classification is relatively new. When the primary parcel was approved as an outside-the-City sewer customer, G-I did not exist. Prior to the adoption of the G-I zoning classification, the L-I zoning classification was most aligned with the County's EAC zoning classification. However, post G-I adoption by the City, G-I is now more closely aligned with the County's EAC zoning classification, which is the basis for this request.

Specific to our project and intended uses, medium and large fleet service centers are only permitted under G-I. Fleet centers were previously permitted under L-I at the time primary parcel was approved as an outside-the-City sewer customer. Medium and large fleet-oriented businesses (service, sales, rental) are no longer permitted under the current L-I classification. Examples of these uses may include moving truck rentals, tree service companies, larger contractors with in-house fleet service, truck sales centers, RV dealerships, and logistics service centers, several of which currently operate on Capital Way (namely A&L RV Sales, J&S Logistics and Driller's Service). Such uses that would have been allowed in the



Towery Development
Real Estate Development & Investments

previous L-I classification, are allowed in the County's EAC classification, and we feel they would be appropriate for this location.

We appreciate your guidance through this process and look forward to working with the Planning Commission and City Council on this matter. Please let me know if any additional information or documentation is required. Thank you for your time and consideration.

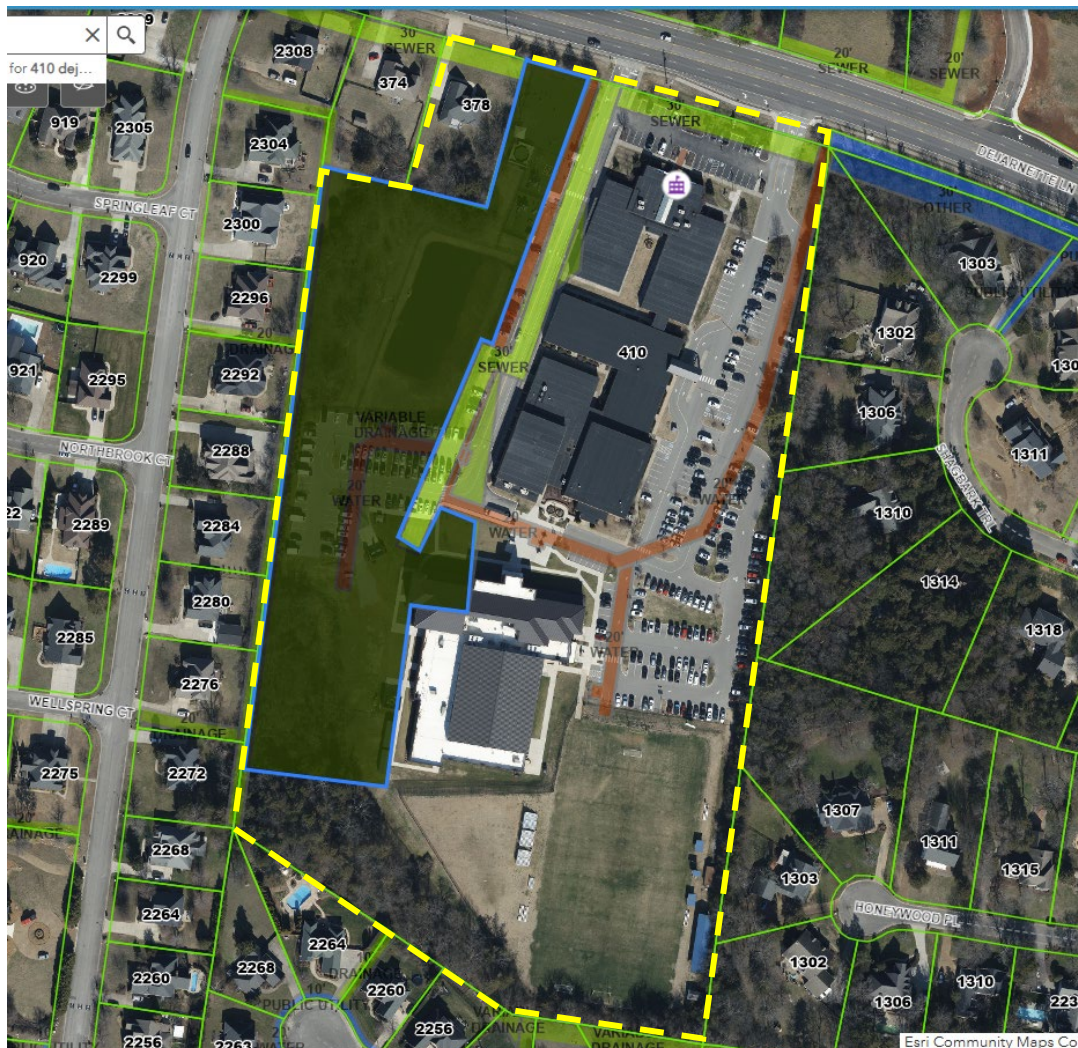
Sincerely,

W. McClain Towery
President

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
APRIL 9, 2025
PROJECT PLANNER: HOLLY SMYTH**

6.b. Mandatory Referral [2025-703] to consider the abandonment of portions of a drainage easement on property located along Dejarnette Lane, SEC, Inc. on behalf of Providence Christian Academy applicant.

The subject property is located at 410 DeJarnette Lane, along the south side of DeJarnette Lane east of Alexander Boulevard. It is currently developed with Providence Christian Academy (PCA) private school. December 19, 2024 BZA approved PCA's special use permit for a parking lot expansion as well as a new building for preK and kindergarten and relocation of existing playground along the west side of the property, where there is an existing drainage easement. Their site plan review was submitted concurrently with this mandatory referral and is anticipated to be presented to the Planning Commission at their April 16, 2025 meeting. The adjacent



Northsprings Subdivision designated approximately 4.71 acres (as measured on GIS) as a drainage easement for their subdivision through Plat Book 21, Page 51 on August 25, 1998 (generally shown within the blue outlined area of the project site above). Later, the PCA school site was developed and more formalized drainage facilities were installed to continue serving the adjacent subdivision and their own site. Now the school is looking at relocating some of the drainage facilities and constructing some new underground drainage storage areas as they further develop out their site.

The attached exhibit shows the existing drainage easement as darkly shaded, adds angled hatching pattern overlay to those areas anticipated to be abandon, and a chicken wire hatch is used to show new proposed new drainage easements. Grey shaded areas with no patterns incorporated are anticipated to remain in place. The full construction plans for improvements to the site have not been finalized and are still being modified based on permitting with TDAC required on a portion of the site.

The City Engineer has reviewed the request and requires that the abandonments be subject to submission of new stormwater calculations and the recording of a subdivision plat that relocates the easement. The drainage easement abandonment and final plat recording should be done simultaneously.

Therefore, Planning Staff recommends that the Planning Commission vote to recommend approval of the request to City Council subject to the following conditions:

- 1) Final design and new stormwater calculations for the replacement drainage system shall be subject to the review and approval of the City Engineer.
- 2) The applicant shall submit a final plat to the City for review and approval combining the two PCA lots. The abandoned easement areas shall be referenced on the final plat and new drainage easements dedicated and recorded with the final plat.
- 3) The applicant will be responsible for providing the information, such as legal descriptions and exhibits, necessary for the Legal Department to prepare the legal documents for the easement abandonment. Said legal documents will be subject to the final approval of the City Legal Department.
- 4) The applicant will be responsible for recording the aforementioned documents, including payment of any recording fees.

If approved by the City Council, then the Mayor will be authorized to sign the necessary documents to convey the City's interest back to the owner.



Site Engineering Consultants
850 Middle Tennessee Blvd
Murfreesboro, TN 37129
(615)890-7901
[REDACTED]

March 12, 2025

RE: Providence Christian Academy
Easement Abandonment Mandatory Referral
SEC Project No. 18114

Dear Holly,

Please find the attached supplemental documents to support the mandatory referral request to abandon portions of the easement located on PCA property along DeJarnette Lane.

Should you need any clarification concerning the request, please feel free to contact me at 615-890-7901 or [REDACTED]

Sincerely,

Aws Ahmed, P.E.
SEC, Inc.



City of Murfreesboro
Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, INCLUDING abandonment of right-of-way.....	\$350.00
Mandatory Referral, NOT INCLUDING abandonment of right-of-way.....	\$150.00

Property Information:

Tax Map/Group/Parcel: Map 81, Parcel 2.00 | Address (if applicable): 410 DEJARNETTE LN

Street Name (if abandonment of ROW): N/A

Type of Mandatory Referral: Abandon an existing drainage easement for the purpose of relocating the drainage infrastructure.

Applicant Information:

Name of Applicant: Aws Ahmed

Company Name (if applicable): SEC, Inc.

Street Address or PO Box: 850 Middle TN Blvd.

City: Murfreesboro

State: TN

Zip Code: 37129

Email Address: [REDACTED]

Phone Number: 615-890-7901

Required Attachments:

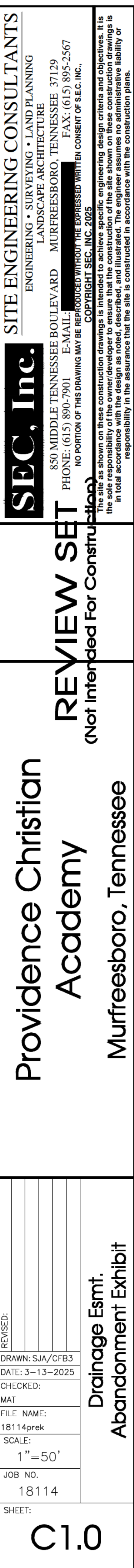
- ☒ Letter from applicant detailing the request
- ☒ Exhibit of requested area, drawn to scale
- ☒ Legal description (if applicable)

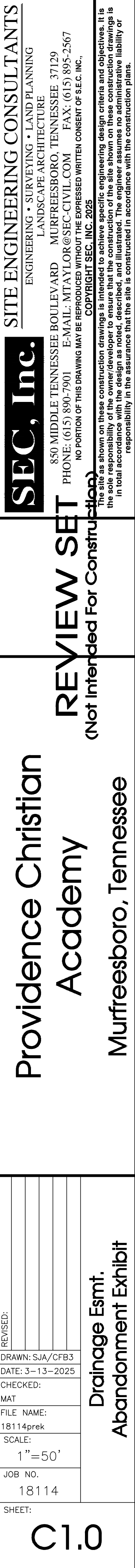
Aws L. Ahmed

3-13-2025

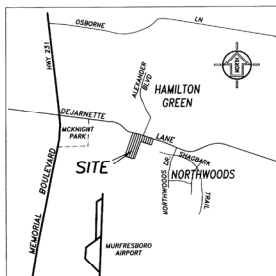
Applicant Signature

Date



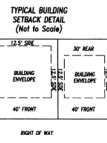
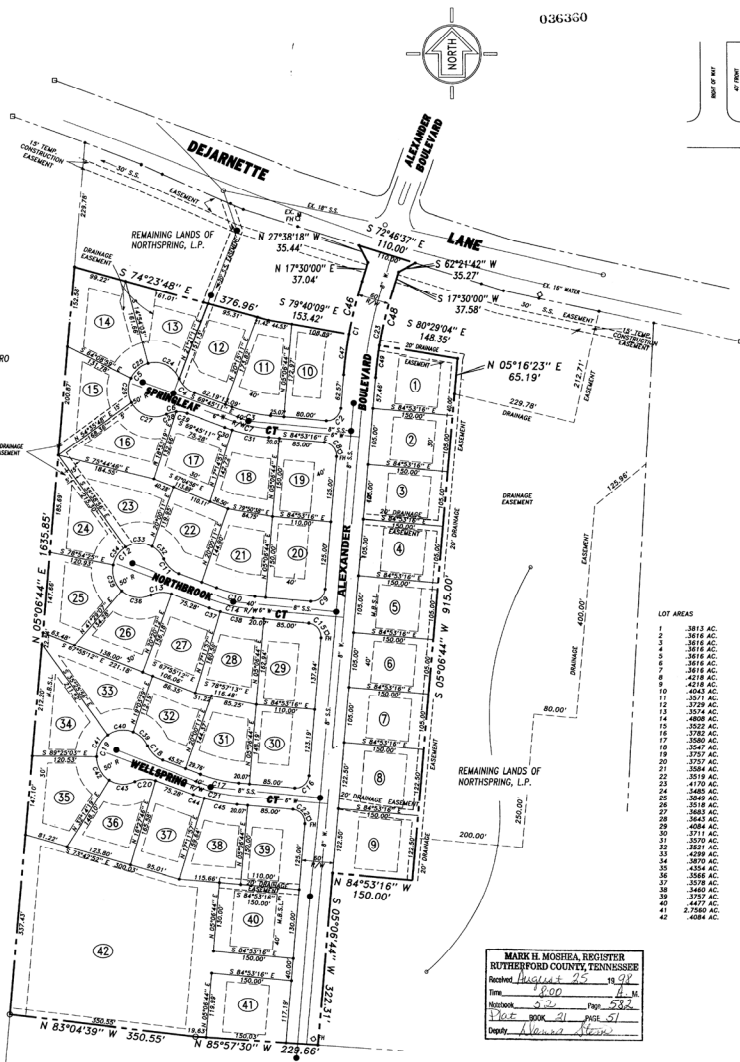


For Resubdivision of Lots 14 + 15, see Plat Book 20, page 168.
 For Resubdivision of Lots 40, 41, + 42, see Plat Book 20, page 236.
 For Second Resubdivision of Lots 14 + 15, see Plat Book 20, page 265.



Curve	Delta	Radius	Length	Bearing	Chord	Tangent
C1	12°12'16"	400.00	129.43	S 11°16'22" E	129.16	86.06
C2	15°00'00"	200.00	52.36	S 20°00'00" E	52.36	37.26
C3	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C4	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C5	27°15'46"	50.00	236.62	S 20°14'46" E	236.62	170.00
C6	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C7	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C8	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C9	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C10	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C11	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C12	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C13	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C14	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C15	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C16	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C17	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C18	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C19	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C20	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C21	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C22	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C23	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C24	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C25	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C26	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C27	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C28	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C29	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C30	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C31	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C32	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C33	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C34	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C35	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C36	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C37	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C38	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C39	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C40	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C41	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C42	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C43	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C44	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C45	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C46	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C47	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C48	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26
C49	15°00'00"	200.00	52.36	N 7°19'13" W	52.36	37.26

CITY OF MURFREESBORO
 MAP 69, PAGE 69



036350



OWNER/DEVELOPER:
 NORTHSPRING, L.P.
 MURFREESBORO, TN 37133-4109

DEED REFERENCE:
 DEED BOOK 576, PAGE 747, R.D.B.C., TN.
 TAX MAP 81, PARCEL 1

42 LOTS ON 21.78 ACRES
 AREA IN LOTS: 18.10 ACRES
 AREA IN R/W: 1.68 ACRES
 MILES NEW ROAD: 0.31

- LEGEND
- EXISTING IRON PIN
 - SET IRON PIN
 - PROPOSED 5.5' MARKER
 - IN ○ PROPOSED FIRE HYDRANT
 - UTILITY POLE
 - R/W MONUMENT

RECORDING FEE \$2.00
 STATE TAX \$2.00
 TOTAL FEE \$4.00
 RECEIVED \$4.00

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

DATE 20-9-98

John S. Bennett

CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM (WE) AND THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION AND DEDICATE THE SAME TO THE PUBLIC USE AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

DATE 8-24-98
 NORTHSPRING, L.P.
 OWNER/REPRESENTATIVE
 DEED BOOK 576, PAGE 747

CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE

I HEREBY CERTIFY THAT STREETS, DRAINAGE STRUCTURES, AND DRAINAGE IMPROVEMENTS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE 8-24-98
 R. M. Hays
 CITY ENGINEER

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME AND THAT THE LAND SHOWN TO BE SUBDIVIDED HEREON IS WITHIN THE WATER SERVICE JURISDICTION OF MURFREESBORO.

DATE 8-24-98
 MURFREESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME AND THAT THE LAND SHOWN TO BE SUBDIVIDED HEREON IS WITHIN THE WATER SERVICE JURISDICTION OF MURFREESBORO.

DATE 8-24-98
 MURFREESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO CONFORM WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED BY THE PLANNING COMMISSION OF THE CITY OF MURFREESBORO.

DATE 8-24-98
 Joseph G. Appleby
 PLANNING COMMISSION SECRETARY

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT (MED) FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OWNER COMPLYING WITH THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MEET REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.

DATE 8-20-98
 Electric Power System Official



FINAL PLAT

NORTHSPRING SUBDIVISION
 SECTION ONE
 CITY OF MURFREESBORO,
 13TH CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE

SEC. Inc. SITE ENGINEERING CONSULTANTS

ENGINEERING • SURVEYING • LAND PLANNING
 123 SANSBERRY BOULEVARD • MURFREESBORO, TENNESSEE 37129
 PHONE (615) 895-7501 FAX (615) 895-2567

PROJ. # 98158 DATE 8-20-98 FILE NORTHSPRING, TN DRAWN BY: HSP/TJR SCALE: 1" = 100' SHEET 1 OF 1

OF OWNERSHIP AND DEDICATION

I, the undersigned, do hereby certify that I am (we are) the owner(s) of the property described herein and that I (we hereby) dedicate this plan (plans) with my (our) free consent, establish the minimum description lines, and dedicate all streets, alleys, walks, ponds, and other areas to public or private use as noted.

26 _____ 2005
Date _____
Page: 336 _____
26 _____ 2005
Date _____
Page: 336 _____
26 _____ 2005
Date _____
Page: 336 _____

OF APPROVAL FOR RECORDING

I/We certify that the subdivision plan shown herein has been found to conform with the subdivision regulations for the City of Marlborough, in the execution of said various covenants. My/Our duties as the planning commission member(s) that has/have been assigned to review and approve this plan for recording in the office of the County Registry of Deeds are hereby fulfilled.

05 _____ 2005
Date _____
Page: 336 _____

SECRETARY, PLANNING COMMISSION



herby certify that: (1) the sewer lines and appurtenances for the sewer system of the subdivision shown herein have been installed in accordance with City codes and specifications and the Tennessee Department of Transportation's Standard Specifications for Design Criteria for Sewage Works; (2) that a surety for these improvements has been obtained from a surety company licensed in the State of Tennessee; and (3) that a subsurface sewage system will be permitted subject to the approval of the local health department.

8/23/05 _____ 2005
Date _____
MAYOR/SEWER OFFICIAL

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

I hereby certify that the subdivision shown herein has been approved by the Tennessee Department of Transportation and the Tennessee Department of Environment and Conservation within the service area of MCO, and that MCO is able to provide electric power service to the subdivision. No electric power service will be provided until MCO's requirements for electric power service have been met.

7/26 _____ 2005
Date _____
MCO POWER SERVICE OFFICIAL

It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from its structure to the drainage system constructed in accordance with the following provisions:

2. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.

Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, installation, and maintenance of public utilities and drainageways, including, but not limited to, water, sewer, gas, telephone, electric, telephone signal conduits, electric conduits, drainage pipes, and natural gas pipes.

In Tennessee, it is a requirement per "The underground utility Damage Prevention Act" that anyone who engages in excavation or drilling of any known underground utility shall be liable for three or more than ten working days of their intent to excavate or drill. The penalties may be assessed by the Tennessee Department of Revenues. Those utilities that participate in the Tennessee One-Call program are notified by the Tennessee Department of Revenues.

(B.S.T. M.D., M.W.S.D., & U.C.C. Easements) = Beltsouth Telecom, Sewer, Gas, Electric, and Cable TV Easements. The Sewer & Water Department, and United Cities Gas Easements.

MIN. FLOOR ELEV. 588.0

OWNER: PROVIDENCE CHRISTIAN AC
ADDRESS: 410 DEJUNNETTE LN
MURFREESBORO, TN 37130

TAX MAP: 81 PART OF PARCEL 2
TAX MAP: 68 PART OF PARCEL 1
DEED BOOK: 630 PAGE: 13
DEED BOOK: 640 PAGE: 230

FLOOD MAP DATED 04/19/0139
FLOOD MAP DATED: NOVEMBER 8, 1954

WILLIAM R. HUDDLESTON
STATE OF TENNESSEE
LICENSE NO. 167

W. R. Huddleston

W. R. HUDDLESTON-STEEL
ENGINEERING, INC.

2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
615-892-2663

COMBINATION PLAT
**PROVIDENCE CHURCH
 ACADEMY**
 13th CIVIL DISTRICT - RUTHERFORD