

# **CITY OF MURFREESBORO PLANNING COMMISSION AGENDA**

**City Hall, 111 W. Vine Street, Council Chambers**

**MAY 7, 2025  
6:00 PM**

**Kathy Jones  
Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the April 16, 2025 Planning Commission meeting.**
- 5. Old Business:**
  - a. Proposed amendment to the Zoning Ordinance [2025-802] related to regulations for institutional group assembly uses, including school uses, and pertaining to the following sections:
    - Section 7: Site Plan Review;
    - Section 9: Standards for Special Permit Uses;
    - Section 19: Residential Districts;
    - Section 27: Landscaping and Screening;
    - Chart 1: Uses Permitted by Zoning District (and its endnotes); and
    - Endnotes for Chart 2: Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity RatiosCity of Murfreesboro Planning Department applicant. (Project Planner: Matthew Blomeley)
- 6. Public Hearings and Recommendations to Council:**
  - a. Zoning application [2025-406] for approximately 14.81 acres located along Old Lascassas Road to be rezoned from RS-15 (12 acres) and RS-10 (2.81 acres) to PCD (Lascassas Storage PCD), Patterson Company, LLC applicant. (Project Planner: Holly Smyth)
  - b. Annexation petition and plan of services [2025-501] for approximately 13.74 acres located along Yeargan Road, Shane and Dewayne Beard applicants. (Project Planner: Richard Donovan)

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- c. Zoning application [2025-405] for approximately 13.26 acres located along Yeargan Road to be zoned RS-10 simultaneous with annexation, Shane and Dewayne Beard applicants. (Project Planner: Richard Donovan)
- d. Annexation petition and plan of services [2025-502] for approximately 843 acres located along Lebanon Pike and East Jefferson Pike, including an approximately 4,900-foot segment of Landfill Road ingress/egress right-of-way easement, an approximately 8,800-foot segment of Lebanon Pike right-of-way, and an approximately 7,900-foot segment of East Jefferson Pike right-of-way, City of Murfreesboro Administration Department applicant. (Project Planner: Brad Barbee)

### **7. Staff Reports and Other Business:**

- a. Mandatory Referral [2025-704] for the dedication of an electric easement on City-owned property located along Lebanon Pike, Middle Tennessee Electric applicant. (Project Planner: Marc Shackelford-Rowell)
- b. Mandatory Referral [2025-705] for the abandonment of a portion of a detention pond easement on property located along Elmcroft Avenue, Patterson Company, LLC applicant. (Project Planner: Matthew Blomeley)

### **8. Adjourn.**



# MINUTES OF THE MURFREESBORO PLANNING COMMISSION APRIL 16, 2025

**1:00 PM**

**CITY HALL**

**MEMBERS PRESENT**

Kathy Jones, Chair  
Ken Halliburton, Vice-Chair  
Tristan Carroll  
Reggie Harris  
Bryan Prince

**STAFF PRESENT**

Ben Newman, Dir. of Land Mgmt. & Planning  
Matthew Blomeley, Assistant Planning Director  
Holly Smyth, Principal Planner  
Richard Donovan, Principal Planner  
Brad Barbee, Principal Planner  
Marc Shackelford-Rowell, Planner  
Jeremy Grover, Planning Intern  
Carolyn Jaco, Recording Assistant  
John Tully, Assistant City Attorney  
Katie Noel, Project Engineer

**1. Call to order.**

Chair Kathy Jones called the meeting to order at 1:00 p.m.

**2. Determination of a quorum.**

Chair Kathy Jones determined that a quorum was present.

**3. Public Comments.**

Mr. Matthew Blomeley announced that item *7b. Racquet Club, Lot 1 – Phase 2 [2025-3020] site plan for 14 pickleball courts and pro shop on 8.03 acres zoned CH located along River Rock Boulevard and Tommy Bragg Drive, Dill Property Holdings, LLC developer* had been withdrawn by the applicant. Two individuals signed up to speak on this application; one has elected not to speak because this item will not be considered at today's meeting, but one still wishes to speak.

1. **Ms. Sara Sheppard, 2123 Riverchase Drive** – opposes this application until the applicant addresses sound, lights, and fencing on this property.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION APRIL 16, 2025

**4. Approve minutes of the March 19, 2025 and April 9, 2025 Planning Commission meetings.**

Mr. Tristan Carroll made a motion to approve the minutes of the March 19, 2025 and the April 9, 2025 Planning Commission meetings; the motion was seconded by Mr. Reggie Harris and carried by the following vote:

Aye: Tristan Carroll  
Ken Halliburton  
Reggie Harris  
Bryan Prince  
Kathy Jones

Nay: None

**5. Consent Agenda:**

**The Gardens at Three Rivers, Resubdivision of Lots 100 and 106 [2025-2021]** final plat for 6 lots on 0.63 acres zoned PRD located along Ashebrook Court, Patterson Company, LLC developer.

**Salem Towne, Lots 1 & 2 [2025-2022]** final plat for 2 lots on 21.03 acres zoned CF and PRD (Salem Towne PRD) located along New Salem Highway and Salem Creek Drive, Invest Homes, LLC developer.

**Sullivan's Retreat [2025-2025]** final plat for 3 lots on 16.52 acres zoned PCD and PRD (Sullivan's Retreat PCD/PRD) located along Veterans Parkway, Cornerstone Development, LLC developer.

**Graystone Section 1, Phase 2 (2025-2028)** final plat for 25 lots on 62.56 acres zoned PRD located along Veals Road, Meritage Homes developer.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION APRIL 16, 2025

**Victory Station South, Lots 13 & 14 (2025-2026)** final plat for 2 lots on 2.35 acres zoned PUD located along Franklin Road, Swanson Development, LP developer.

**Magnolia Grove, Section 2 [2025-2029]** final plat for 117 lots on 43.15 acres zoned PRD located along Fuji Apple Lane, Pepper Glendale Drive, and Darrell Drive, TVLP Management, LLC developer.

**The Henry King Resubdivision of the Kingwood Heights Subdivision, Resubdivision of Lots 30-33 of Block C [2025-2019]** final plat for 2 lots on 0.35 acres zoned RS-8 located along Chamberlain Drive, Maitland Drive, and Byrd Avenue, Hamid Alviri developer.

**Maymont Estates, Lots 32-B1 & 32-B2 of Section C [2025-2023]** final plat for 2 lots on 0.57 acres zoned RD located along Parkwood Court, Kristy Lee Yadon developer

**The Maples Section 7, Phase 2 [2025-2027]** final plat for 20 lots on 6.51 acres zoned RS-10 located along Flanders Drive, The Maples, Inc. developer.

**Parkway Place Section 5, Lot 15 [2025-2030]** final plat for 1 lot on 26.27 acres zoned PID located along Logistics Way north of Elam Road, Al-Neyer developer.

**River Landing Townhomes, Section 2 and the Resubdivision of Lots T4 & T7 of River Landing [2024-2034]** horizontal property regime plat for 34 units and final plat for 1 lot on 4.9 acres zoned PUD located along Oswin Drive and Feetham Drive, D.R. Horton, Inc. developer.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the Consent Agenda subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Ken Halliburton

Reggie Harris

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION APRIL 16, 2025

Bryan Prince

Kathy Jones

Nay: None

Abstain: Tristan Carroll

## 6. GDO:

### On Motion

**LaQuinta Hawthorn Hotel [2025-3023 & 2025-6003] initial design review for a 64,243 ft<sup>2</sup>, 102-room hotel on 2.31 acres zoned CH and GDO-1 located along Cedar Glades Drive and Manson Crossing Drive, Krishna Patel and Rajendra Patel developers.** Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Bill Huddleston was in attendance representing the application.

The Planning Commission and applicant discussed the air conditioning units built in the window.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the initial design review subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Tristan Carroll

Ken Halliburton

Reggie Harris

Bryan Prince

Kathy Jones

Nay: None

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION APRIL 16, 2025

**Clari Park Townhomes Garden Area, Phase 1 [2025-2017] horizontal property regime plat for 21 single-family detached units and 46 single-family attached units on 17.66 acres zoned PUD, GDO-1, and GDO-2 located along Wilkinson Pike, Ashton Nashville Residential, LLC developer.**

Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the horizontal property regime plat subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Tristan Carroll  
Ken Halliburton  
Reggie Harris  
Bryan Prince  
Kathy Jones

Nay: None

**Clari Park, Lot 19 [2025-2018] final plat for 1 lot on 17.66 acres zoned PUD, GDO-1, and GDO-2 located along Wilkinson Pike and Willowoak Trail, Ashton Nashville Residential, LLC developer.**

Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the final plat subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Tristan Carroll  
Ken Halliburton

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION APRIL 16, 2025

Reggie Harris

Bryan Prince

Kathy Jones

Nay: None

## 7. Plats and Plans:

**YMCA, Resubdivision of Lots 2 & 3 [2025-1003] preliminary plat for 3 lots and right-of-way on 9.51 acres zoned CH located along North Thompson Lane, Green Trails-Triout Thompson Lane, LLC developer.** Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Vice-Chairman Ken Halliburton inquired about the proposed road. Mr. Brad Barbee and Ms. Katie Noel explained that the street is proposed to line up with Sam Walton Drive and connect to the existing Armory Drive.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the preliminary plat subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Tristan Carroll

Ken Halliburton

Reggie Harris

Bryan Prince

Kathy Jones

Nay: None

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION APRIL 16, 2025

**Racquet Club, Lot 1 – Phase 2 [2025-3020] site plan for 14 pickleball courts and pro shop on 8.03 acres zoned CH located along River Rock Boulevard and Tommy Bragg Drive, Dill Property Holdings, LLC developer. WITHDRAWN BY APPLICANT**

**Maddington [2025-1002] preliminary plat for 20 lots on 29.8 acres zoned RS-12 located along Old Salem Road, Alcorn Properties, LLC developer.** Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Vice-Chairman Ken Halliburton made a motion to approve the preliminary plat subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried in favor by the following vote:

Aye: Tristan Carroll  
Ken Halliburton  
Reggie Harris  
Bryan Prince  
Kathy Jones

Nay: None

## **8. New Business:**

**Zoning application [2025-406] for approximately 14.81 acres located along Old Lascassas Road to be rezoned from RS-15 (12 acres) and RS-10 (2.81 acres) to PCD (Lascassas Storage PCD), Patterson Company, LLC applicant.** Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference. Ms. Holly Smyth recommended a public hearing date of May 7, 2025.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION APRIL 16, 2025

Mr. Matt Taylor (design engineer), Mr. Jackson Nichols (developer) and Mr. Wes Patterson (developer) were in attendance representing the application.

Chair Kathy Jones expressed concern regarding phasing and buffering. There was additional discussion regarding phasing and buffering between the Planning Commission members and the applicants. The Planning Commission then discussed concerns about the building architecture with Staff and the applicant.

There being no further discussion, Mr. Reggie Harris made a motion to schedule a public hearing on May 7, 2025; the motion was seconded by Mr. Bryan Prince and carried in favor by the following vote:

Aye: Tristan Carroll

Reggie Harris

Bryan Prince

Kathy Jones

Nay: None

Abstain: Ken Halliburton

## **9. Staff Reports and Other Business:**

None.



MINUTES OF THE MURFREESBORO  
PLANNING COMMISSION  
APRIL 16, 2025

**10. Adjourn.**

There being no further business the meeting adjourned at 2:30 p.m.

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Chair

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Secretary

BN: cj

af

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
MAY 7, 2025  
PROJECT PLANNER: MATTHEW BLOMELEY**

**5.a. Proposed amendment to the Zoning Ordinance [2025-802] related to regulations for institutional group assembly uses, including school uses, and pertaining to the following sections:**

- **Section 7: Site Plan Review;**
- **Section 9: Standards for Special Permit Uses;**
- **Section 19: Residential Districts;**
- **Section 27: Landscaping and Screening;**
- **Chart 1: Uses Permitted by Zoning District (and its endnotes); and**
- **Endnotes for Chart 2: Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios**

**City of Murfreesboro Planning Department applicant.**

The Planning Commission conducted a public hearing on this matter on April 9<sup>th</sup>, after which it voted to defer action. The April 9<sup>th</sup> Planning Commission staff comments have been included in the agenda packet for reference.

Based on the feedback provided by the Planning Commission at that meeting, Staff added to the draft ordinance amendment the following design standard for all school uses, whether allowed by right or via the planned development process:

*Accessory uses to any school where machinery that generates noise is involved (e.g., certain trade classes, "shop" classes, auto repair classes, etc...) shall only be conducted indoors and inside of a building located at least 150' from any property line.*

Also, at the April 9<sup>th</sup> meeting, Staff provided the Planning Commission with a list of school uses that were approved from 2021 to present. In order to provide additional context, Staff has done additional research and is providing a list of approved school uses dating back to 2015. This updated list follows this report.

**Action Needed:**

A draft of the language for the proposed ordinance amendment is included in the agenda packet for the Planning Commission's review. Because a public hearing has already been conducted, no additional public hearing before the Planning Commission is required. City Manager Darren Gore will be making a presentation on this proposed ordinance amendment. After the City Manager's presentation, the Planning Commission should discuss and then formulate a recommendation for City Council.

<u>Year</u>	<u>Project</u>	<u>Square-footage</u>	<u>Require rezoning to a PND under proposed ordinance?</u>
2015	Hobgood Elementary Building Addition	33,864	No
2016	Black Fox Elementary Building Addition	14,830	No
2017	Central Magnet Parking Addition	N/A	No
2017	Siegel High School Softball Building	5,000	No
2017	Siegel High School Building Addition	27,334	No
2017	Oakland Middle Bldg Addition/Athletic Fields	72,294	Yes
2018	PCA Building Additions	73,909	Yes
2019	Franklin Rd Athletic Fields (No Lights or Sound)	N/A	No
2022	MTCS Building Addition	23,551	No
2023	Oakland High School Building Addition	102,000	Yes
2023	Riverdale High School Building Addition	102,000	Yes
2023	MTCS Early Learning Center Building Addition	16,000	No
2023	Mitchell-Neilson Playground	N/A	No
2024	Reeves Rogers Building Addition	3,800	No
2024	Oakland High School Ag Barn	3,800	No
2024	Holloway High School Greenhouse	1,800	No
2024	Riverdale High School Ag Barn	2,280	No
2024	PCA Pre-K/Kindergarten Building	13,552	No

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
APRIL 9, 2025  
PROJECT PLANNER: MATTHEW BLOMELEY**

**5.c. Proposed amendment to the Zoning Ordinance [2025-802] related to regulations for institutional group assembly uses, including school uses, and pertaining to the following sections:**

- **Section 7: Site Plan Review;**
- **Section 9: Standards for Special Permit Uses;**
- **Section 19: Residential Districts;**
- **Section 27: Landscaping and Screening;**
- **Chart 1: Uses Permitted by Zoning District (and its endnotes); and**
- **Endnotes for Chart 2: Minimum Lot Requirements, Minimum Yard Requirements, and Land Use Intensity Ratios**

**City of Murfreesboro Planning Department applicant.**

The Planning Department was tasked with studying the City's review and approval process for new school facilities and expansions thereto in order to determine whether improvements could be made to the regulations and approval process. Staff determined that there were some efficiencies that could be achieved in the approval process via a Zoning Ordinance amendment. In addition, the Zoning Ordinance amendment could address other current gaps in the ordinance pertaining to school uses and institutional group assembly uses. This potential amendment seeks to streamline the school use approval process and create more predictability for the school systems.

Significant changes, as proposed, are identified below:

- 1) Eliminates the special use permit process for all school uses, which effectively eliminates submitting new school facilities and expansions to the Board of Zoning Appeals for review and approval.
- 2) Allows existing school uses and expansions thereto by right in all zoning districts, except P (Park), and sets forth clear design standards to create predictability for all involved, including a Type C buffer when the school use is adjacent to existing single-family residential uses or zoning.
- 3) However, there are several instances where rezoning to a PND (Planned Institutional Development) would be required. Rezoning process is governed by the Planning Commission and City Council, rather than the Board of Zoning Appeals. Such instances are as follows:

## April 9th Planning Commission Staff Comments for Reference

- a) The use has never previously been established on the subject property;
  - b) A building expansion or an accessory structure with a gross floor area of 50,000 ft<sup>2</sup> or greater is proposed; or
  - c) One or more athletic or recreation fields with lighting or amplified sound are proposed.
- 4) Sets forth design requirements for school uses in the PND zone that are consistent with those for school uses in traditional bulk zoning districts, including a Type C buffer when the school use is adjacent to existing single-family residential uses or zoning; however, as with all planned developments, allows the Planning Commission and City Council the flexibility to grant exceptions to the requirements during the planned development review and approval process when warranted and to place any additional conditions on the approval needed to ensure that the use is compatible with the surrounding area.
  - 5) Site plan approval for school uses would predominantly follow an administrative review procedure. However, Planning Commission site plan review and approval would be required in the same instances identified in 3a-3c above.
  - 6) Modifies requirements for other types of institutional group assembly uses to exclude school uses but generally aligns the design standards for such uses with the design standards for school uses.
  - 7) Recommends but does not require irrigation for school uses.
  - 8) Creates additional flexibility for building height for school and church uses after having observed the need for such over the last several years.

This amendment is intended to make the school approval process easier and more predictable to navigate. It is also intended to allow the timelier approval of physical improvements to schools, which will allow for the school systems and private schools to expand facilities in order to meet the educational needs of the community.

As requested at the March 19<sup>th</sup> Planning Commission meeting, Staff will have additional information at the meeting pertaining to sizes of recent school additions.

### **Action Needed:**

A draft of the language for the proposed ordinance amendment is included in the agenda packet for the Planning Commission's review. The Planning Commission should conduct a public hearing and then formulate a recommendation for City Council.

**ORDINANCE 25-O-XX** amending Murfreesboro City Code Appendix A, Zoning, Sections 7, 9, 19, 27, Chart 1, Chart 1 Endnotes and Chart 2 Endnotes, pertaining to school uses, City of Murfreesboro Planning Staff, applicant [2025-802]

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MURFREESBORO, TENNESSEE, AS FOLLOWS:**

SECTION 1. Appendix A, Section 7, Site Plan Review, of the Murfreesboro City Code is hereby amended at subsection (D)(2), by adding the following new subsection (e) as follows:

- (e) all site plans for the use “public or private schools, grades K-12” only when:
  - [1] such use has never previously been established on the subject property;
  - [2] a building expansion or an accessory structure with a gross floor area of 50,000 square feet or greater is proposed;
  - [3] one or more athletic fields with lighting or amplified sound are proposed;
  - [4] there are off-site transportation, traffic, or drainage improvements associated with such site plan either required by the City or offered by the applicant; or
  - [5] new sanitary sewer connections are proposed, in which case the Planning Director shall have the authority to require Planning Commission review of a site plan if he/she determines that the public interest would be served thereby.

SECTION 2. Appendix A, Section 7, Site Plan Review, of the Murfreesboro City Code is hereby amended at subsection (D)(4), by changing the existing subsection (g) to (h) and adding a new subsection (g) as follows:

- (g) all site plans for the use “public or private schools, grades K-12” involving building additions or accessory structures of less than 50,000 square feet and/or other miscellaneous site modifications (e.g. parking lot additions, on-site drainage improvements, athletic fields with no lighting or sound amplification, etc.).

SECTION 3. Appendix A, Section 7, Site Plan Review, of the Murfreesboro City Code is hereby amended by deleting subsection (J) Period of Validity, in its entirety and substituting in lieu thereof:

- (J) *Period of Validity.* The State law regarding vested property rights (T.C.A. 13-4-310, effective June 1, 2024), as it may be amended from time to time, shall govern the period of validity for both Planning Commission and administrative site plan approvals.

SECTION 4. Appendix A, Section 9, Standards for Special Permit Uses, of the Murfreesboro City Code is hereby amended by deleting subsection (D)(2)(zz) in its entirety and substituting in lieu thereof the following:

(zz) Institutional group assembly uses, including recreational fields, public buildings, lodges, country clubs, clubs, churches, and other places of worship, but excluding public or private schools grades K-12, shall be subject to the following additional standards:

- [1] Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on-site. An on-site off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard;
- [2] In all residential districts an institutional group assembly use shall have a lot size not less than three times the minimum lot size permitted in the zoning district where the institutional group assembly use is proposed to be located. In the event the institutional group assembly use is proposed to be located on land that has two or more different zoning classifications, the minimum lot size shall be calculated by applying the larger required minimum lot size;

<u>Examples:</u>				
<u>MINIMUM ZONING DISTRICT</u>	<u>MINIMUM LOT SIZE (SQ. FT.)</u>	<u>LOT SIZE ACRES</u>	<u>X 3</u>	<u>ACRES</u>
RS-15	15,000	0.34	45,000	1.03
RS-12	12,000	0.28	36,000	0.83
RS-10	10,000	0.22	30,000	0.69
RS-8	8,000	0.18	24,000	0.55
RS-4	4,000	0.09	12,000	0.28
R-D	4,000	0.09	12,000	0.28
R-MO	4,000	0.09	12,000	0.28

- [3] On-site lighting for parking areas, fields for athletics, scoreboards, and grounds shall be arranged in such a manner as to minimize intrusion of lighting into areas zoned or used for residential or medical purposes. To this end, a plan depicting the proposed location of on-site exterior lighting fixtures shall be submitted for review by staff and the BZA. Such plan shall depict the arrangement of the lighting fixtures, their height, their specifications, the direction in which lighting will be oriented, and photometrics. Additional information may be required by the staff or the BZA in order to verify whether the lighting will be intrusive into areas zoned or used for residential or medical purposes;
- [4] Applications for an institutional group assembly use shall indicate the proposed locations of garbage dumpsters or receptacles. These facilities shall be located in such a manner as to minimize adverse effects upon neighboring properties and aesthetics from the public right-of-way. The use of dumpsters may be prohibited in the event the BZA determines that such would have a detrimental effect upon the adjacent property;
- [5] A Type C landscape buffer shall be required to screen the proposed use from any property zoned or used for single-family residential purposes (including single-family residential portions of an approved PUD), regardless of the zoning of the institutional group assembly use property. In the event of new building expansions, accessory structures, or other miscellaneous site improvements, the Type C buffer shall only be required in the area of such expansions or improvements. However, the BZA may require additional screening requirements if necessary to mitigate adverse impacts on adjacent residential properties;

- [6] The number of required parking spaces provided on-site shall be in accordance with Chart 4 of this article, provided, however, if the applicant can present evidence satisfactory to the BZA that a substantial portion of the expected users will arrive at the institutional group assembly use by bus, bicycle, walking, or by carpooling or that off-street parking areas on adjacent or nearby properties will be available on a long-term basis, the BZA shall have authority to determine the number of required parking spaces to be provided on-site. The BZA may require that a reserve area be retained on-site for future expansions of the parking area;
- [7] An application for a special use permit for an institutional group assembly use shall be accompanied by a description of uses or activities proposed for the facility which may be subject to separate regulation or which may result in unusual traffic patterns, traffic volumes, or other detrimental impacts upon adjacent properties, including but not necessarily limited to those uses which would require a special permit if not a part of the institutional group assembly use;
- [8] The BZA shall have authority to approve an on-site location with water, sewer, and electric utility connections for accommodations for travel trailers or R.V.s (recreational vehicles) for use by visiting or traveling speakers or guests associated with the institutional group assembly use. Provided, however, such location for travel trailers or R.V.s shall not be permitted for use as a permanent residential dwelling unit;
- [9] The BZA shall have the authority to grant variances to the standards imposed by this subsection for temporary or short-term uses of property for the institutional group assembly use purposes. In such cases, the BZA may impose conditions of approval to ensure the compatibility of the short-term land use with other property in the vicinity of the proposed use;
- [10] The application for a special use permit for an institutional group assembly use shall indicate any intentions for the use of systems for the external broadcast or amplification of speech, music, or other sounds. If such are proposed, the applicant shall indicate the times of day and duration of their proposed use. The BZA shall have the authority to place restrictions upon their use in order to minimize excessive noise from intruding upon neighboring properties especially those zoned or used for residential purposes. In no event shall the BZA approve the use of such which would be in violation of the City Code or ordinances regulating noise. BZA approval does not constitute a waiver of any City Code or ordinances regulating noise;
- [11] The building height of all principal and accessory buildings shall be limited to what is permitted by Chart 2 of the Zoning Ordinance and its endnotes. However, the BZA may approve building height that exceeds the above noted standards as a function of the special use permit, provided it finds that the use will still comply with the Standards of General Applicability in Section 9 of this article. Regardless, no special use permit shall grant authority for such a structure to exceed the maximum height requirements denoted in the Airport Overlay District;
- [12] The development plans for such use shall comply with any requirements set forth by the State Fire Marshal and/or the City Fire Marshal, as applicable; and
- [13] Where existing development on the subject property has failed to comply with conditions set forth in a prior approval or where there are current zoning or code violations on the subject property, such violation shall be grounds for denial of the application for said use.



SECTION 5. Appendix A, Section 19, Residential Districts, of the Murfreesboro City Code is hereby amended by removing all references to “schools”.

SECTION 6. Appendix A, Section 27, Landscaping and Screening, of the Murfreesboro City Code is hereby amended at subsection (M) by adding subsection (3) as follows:

- (3) Irrigation is recommended but not required to ensure the viability of required plantings at uses identified in Chart 1 of this article as “public or private schools, grades K-12.” However, the property owner and successor property owners for such uses shall be responsible for maintaining all required landscaping in perpetuity.

SECTION 7. Appendix A, Chart 1, Uses Permitted, of the Murfreesboro City Code is hereby amended within the “Institutions” section by deleting the line for “School, Public or Private, Grades K-12” in its entirety and substituting in lieu thereof the attached line in its place.

SECTION 8. Appendix A, Chart 1 Endnotes, Uses Permitted, of the Murfreesboro City Code is hereby amended by deleting Endnote 13 in its entirety and substituting in lieu thereof the following:

- 13. Institutional group assembly uses, including recreational fields, public buildings, lodges, country clubs, clubs, churches, and other places of worship but excluding public or private schools grades K-12, and expansions/additions thereto, where permitted by right, shall meet the following standards:
  - (a) Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on-site. An on-site off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard.
  - (b) In all residential districts, institutional group assembly uses shall have a lot size not less than three times the minimum lot size permitted in the zoning district where the institutional group assembly use is proposed to be located. In the event the institutional group assembly use is proposed to be located on land that has two or more different zoning classifications, the minimum lot size shall be calculated by applying the larger required minimum lot size.

<u>Examples:</u>				
<u>ZONING</u>	<u>MINIMUM LOT SIZE</u>	<u>MINIMUM LOT SIZE</u>	<u>X 3</u>	<u>ACRES</u>
RM-12	7,500	0.17	22,500	0.52
RM-16	6,000	0.14	18,000	0.41

- (c) An institutional group assembly use may:
  - (1) conduct a use that is subject to separate definition under this Zoning Ordinance or regulation, e.g., childcare facility or mission for the homeless;
  - (2) use equipment producing noise audible upon residential property, e.g., outdoor speaker system, carillon, chimes, bells; or,

- (3) construct exterior water, sewer, and electric utility connections for trailers or recreational vehicles only after a special use permit to that affect has been granted by the Board of Zoning Appeals.
- (d) A Type C landscape buffer shall be required to screen the proposed use from any property zoned or used for single-family residential purposes (including single-family residential portions of an approved PUD), regardless of the zoning of the institutional group assembly property. In the event of new building expansions, accessory structures, or other miscellaneous site improvements at the institutional group assembly use, the Type C buffer shall only be required in the area of such improvements.
- (e) The development plans for such use shall comply with any requirements set forth by the State Fire Marshal and/or the City Fire Marshal, as applicable.
- (f) Where existing development on the subject property has failed to comply with conditions set forth in a prior approval or where there are current zoning or code violations on the subject property, such violation shall be grounds for denial of the application for said use.
- (g) The building height of all principal and accessory buildings shall be limited to what is permitted by Chart 2 of the Zoning Ordinance and its endnotes and Section 25 of the Zoning Ordinance, respectively. Regardless, no structure shall exceed the maximum height requirements denoted in the Airport Overlay District.

SECTION 9. Appendix A, Chart 1 Endnotes, Uses Permitted, of the Murfreesboro City Code is hereby amended by adding new Endnotes 34 and 35 as follows:

- 34-1. Rezoning to PND or PUD (whichever is more appropriate for the respective situation, as determined by the Zoning Administrator) for the use “public or private schools, grades K-12” shall be required in the following circumstances; otherwise, the use shall be permitted by right:
  - (a) The use has never previously been established on the subject property;
  - (b) A building expansion or an accessory structure with a gross floor area of 50,000 square feet or greater is proposed; or
  - (c) One or more athletic or recreation fields with lighting or amplified sound are proposed.
- 34-2. PND and PUD zoning applications for the use “public or private schools, grades K-12”, shall meet the following standards, in addition to all other applicable standards found elsewhere in this article (but excluding any exceptions to such regulations noted as a part of the approved PND or PUD zoning):
  - (a) Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on-site. An on-site off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard.
  - (b) A Type C landscape buffer shall be required to screen the proposed use from any property zoned or used for single-family residential purposes (including single-family residential portions of an approved PUD). In the event of new building expansions, accessory structures, or other miscellaneous site improvements, the Type C buffer shall only be required in the area of such improvements.
  - (c) An on-site location with water, sewer, and electric utility connections for accommodations for travel trailers or R.V.s (recreational vehicles) for use by visiting or traveling speakers or guests associated with the public and

private school, grades K-12 use may be provided. However, such location for travel trailers or R.V.s shall not be permitted for use as a permanent residential dwelling unit.

- (d) The development plans for such use shall comply with any requirements set forth by the State Fire Marshal and/or the City Fire Marshal, as applicable.
- (e) Where existing development on the subject property has failed to comply with conditions set forth in a prior approval or where there are current zoning or code violations on the subject property, such violation shall be grounds for denial of the application for said use.
- (f) The building height of all principal and accessory buildings, excluding light fixtures accessory to recreation fields, shall be limited to what is permitted by Chart 2 of the Zoning Ordinance and its endnotes and Section 25 of the Zoning Ordinance, respectively. However, exceptions to the maximum building height may be granted as part of the approval of the PND or PUD zoning. Regardless, no approval shall grant authority for such a structure to exceed the maximum height requirements denoted in the Airport Overlay District.
- (g) Light fixtures associated with recreation fields that are accessory to a public or private school, grades K-12 shall not exceed eighty (80) feet in height. However, the maximum height for such light fixtures may be less than eighty (80) feet in height if further restricted by the maximum height requirements of the Airport Overlay District.
- (h) The minimum yard requirements shall be as follows:
  - Front = 40 feet;
  - Sides = 12.5 feet; and
  - Rear = 30 feet.
- (i) If the use has previously been granted a special use permit by the Board of Zoning Appeals on the site, then any conditions placed on the approval of the special use permit shall remain in effect unless the approved PND or PUD contains an exception to such conditions, but only (where applicable) in the area(s) specified in the special use permit. Unless the approved PND or PUD contains an exception, any subsequent development on the property must comply with any such conditions that apply to the entirety of the site, and any other conditions in the special use permit may be extended to the subsequent development area at the discretion of the Planning Commission and/or City Council.
- (j) Prior to the approval of any site plan, the applicant shall enter into a development agreement with the City for any off-site public infrastructure improvements required in conjunction with the application.
- (k) Accessory uses to any school where machinery that generates noise is involved (e.g., certain trade classes, "shop" classes, auto repair classes, etc...) shall only be conducted indoors and inside of a building located at least 150' from any property line.

35. Expansions, building additions, accessory structures, site modifications, and the like for the use "public or private schools, grades K-12", where permitted by right, shall meet the following standards, in addition to all other applicable standards found elsewhere in this article:

- (a) Parking areas shall be designed and arranged so that backing from the site onto a public right-of-way will not be necessary and adequate space will be available for vehicles to turn around on-site. An on-site off-street area shall be provided for vehicles to load and unload passengers. Parking areas shall not be permitted in the required front yard.
- (b) A Type C landscape buffer shall be required to screen the proposed use from any property zoned or used for single-family residential purposes (including single-family residential portions of an approved PUD)

regardless of the zoning of the school property. In the event of new building expansions, accessory structures, or other miscellaneous site improvements, the Type C buffer shall only be required in the area of such improvements.

- (c) An on-site location with water, sewer, and electric utility connections for accommodations for travel trailers or R.V.s (recreational vehicles) for use by visiting or traveling speakers or guests associated with the public and private school, grades K-12 use may be provided. However, such location for travel trailers or R.V.s shall not be permitted for use as a permanent residential dwelling unit.
- (d) The development plans for such use shall comply with any requirements set forth by the State Fire Marshal and/or the City Fire Marshal, as applicable.
- (e) Where existing development on the subject property has failed to comply with conditions set forth in a prior approval or where there are current zoning or code violations on the subject property, such violation shall be grounds for denial of the application for said use.
- (f) The building height of all principal and accessory buildings shall be limited to what is permitted by Chart 2 of the Zoning Ordinance and its endnotes and Section 25 of the Zoning Ordinance, respectively. Regardless, no structure shall exceed the maximum height requirements denoted in the Airport Overlay District.
- (g) If the use has previously been granted a special use permit by the Board of Zoning Appeals on the site, then any such conditions placed on the approval of the special use permit shall remain in effect and any subsequent development on the property must comply with those conditions.
- (h) Prior to the approval of the site plan, the applicant shall enter into a development agreement with the City for any off-site public infrastructure improvements required in conjunction with the application.
- (i) Accessory uses to any school where machinery that generates noise is involved (e.g., certain trade classes, "shop" classes, auto repair classes, etc...) shall only be conducted indoors and inside of a building located at least 150' from any property line.

SECTION 10. Appendix A, Chart 2 Endnotes, Minimum Lot Requirements, Minimum Yard Requirements and Land Use Intensity Ratios, of the Murfreesboro City Code is hereby amended by deleting subsection Endnote 16 in its entirety and substituting in lieu thereof the following:

16. Principal buildings associated with the uses identified in Chart 1 of this article as "church" or "public or private school, grades K-12" in the RS-15, RS-12, RS-10, RS-8, RS-6, RS-4, RS-A, R-D, RM-12, RM-16, R-MO, OG, OG-R, CL, and CF zones shall be permitted up to a maximum height of fifty (50) feet, provided that the use is located on a lot of at least five (5) acres and that any part of such building that exceeds thirty-five (35) feet in height is located at least one-hundred (100) feet from the nearest property zoned or used for single-family residential purposes (including single-family residential portions of an approved PUD). Provided, furthermore, however, that ornamental towers for churches in the RS-15, RS-12, RS-10, RS-8, RS-6, RS-4, RS-A, R-D, RM-12, RM-16, R-MO, CM, CM-R, OG, CL, CF, and CU zones shall be permitted up to a maximum height of seventy (70) feet. Plans for ornamental towers shall be prepared by an engineer registered in the State of Tennessee and designed in accordance with the currently adopted building codes set forth in Murfreesboro City Code Chapter 7.

SECTION 11. That this Ordinance shall take effect fifteen (15) days after its passage upon second and final reading, the public welfare and the welfare of the City requiring it.

Passed:

1<sup>st</sup> reading \_\_\_\_\_

2<sup>nd</sup> reading \_\_\_\_\_

\_\_\_\_\_  
Shane McFarland, Mayor

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Erin Tucker  
City Recorder

\_\_\_\_\_  
Adam F. Tucker  
City Attorney

SEAL

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
MAY 7, 2025  
PROJECT PLANNER: HOLLY SMYTH**

**6.a. Zoning application [2025-406] for approximately 14.81 acres located along Old Lascassas Road to be rezoned from RS-15 (12 acres) and RS-10 (2.81 acres) to PCD (Lascassas Storage PCD), Patterson Company, LLC applicant.**

The subject property is a 14.81-acre portion of an existing 19.02-acre parcel known as Tax Map 090, Parcel 014.00 (aka 1402 Old Lascassas Road). The 14.81-acre area is anticipated to be subdivided into a 0.13-acre site for the existing Geographic Center of Tennessee monument and a 14.68-acre self-storage facility site. The proposed zone change involves 12 acres of the subject property that is zoned RS-15 and 2.81 acres zoned RS-10. The remaining 4.21 acres of the subject parcel, where the existing house with a stone-wall perimeter is located, will remain zoned RS-15 and located on a separate lot of record. Page 3 of the program book provides a visual of these described areas.

**Neighborhood Meeting**

The initial neighborhood meeting took place on December 3, 2024 at the East Main Church of Christ Annex Building at 300 East Main Street. Notification was provided to a 500' radius from the project boundaries by the applicant. Approximately 15 persons attended. The largest concerns were regarding adequate buffering distances and landscape and light pollution. The original plan presented by the applicant at this meeting is different from the plan currently before the Planning Commission. Because the plan presented at the neighborhood meeting included more structures and less open area for boat and RV parking, Staff and the applicant will be holding a second neighborhood meeting before the public hearing. **This second neighborhood meeting has been scheduled for Monday, May 5<sup>th</sup> at 5:30 PM at Fire Station #8 located at 1730 East Northfield Boulevard.** Staff will provide an update regarding this neighborhood meeting at the Planning Commission meeting.

**Adjacent Zoning and Land Uses**

The surrounding area consists of a mixture of zoning types and land uses. The land to the north and east is zoned PRD (Planned Residential District). The land to the south and west is zoned RM-12, RM-16 (Multi-Family Residential District), and RS-15 (Single-Family Residential District), as shown on page 03 of the program book.

The surrounding land uses include single-family detached homes to the north, east, and one-third of the southern boundary. Condominiums and duplexes are located along half of the western boundary across Old Lascassas Road and one-third of the southern boundary. Apartments are located along one-third of the southern boundary near Old Lascassas Road and the Hazelwood Street intersection.

## **Proposed PCD**

The program book and conceptual site plan on page 08 of the program book have been updated since the Planning Commission's last meeting of April 16, 2025, per the direction given at that meeting by the Planning Commission. The program book modifications include:

- Increasing the southerly boundary setback from 25' to 30' across entire property line.
- Additional landscape island near entrance viewshed to help block view of vehicle parking.
- A new tree preservation diagram on page 27 to clarify the areas that are not intended to be disturbed.
- Added enclosure over parking structure over the easternmost parking area to provide better screening.
- Phasing Plan lines modified on page 10 to extend Phase 1 landscape buffer further to the east, move the Phase 1 wooded area that is located to the south of the 3-story building to be a part of phase 3, clarify the area south of the 3-story building will be preserved and updated the statistics table.
- Updated 1-story building architecture for the enclosed and covered vehicles to a) change the metal sections above 6' brick water table to hardi panels, b) add brick columns at corners of building, c) lightened the color of the structure, d) updated southerly building to be almost identical to the one facing the right-of-way, e) modified the roof slope to be 5%, brick material ranges from 23% low along the enclosed storage unit interior to 56% high facing Old Lascassas Road.
- Updated 3-story building architecture a) to include more glazing that ranges from 7% to 59% per façade, b) add sizeable cornice on tower portion of building, c) brought brick columns into the 1<sup>st</sup> floor section in the tower, and d) changed the color of the hardie panels to all be light grey where used.
- Updated the caretaker / office building to remove the roll up doors facing Old Lascassas.
- Added language on page 31 that "final design shall be further developed during site plan review so that additional design improvements can be more fully evaluated and make the area more functional.
- Removed an exception that would have allowed corrugated metal to be used.
- Added an exception to clearly "allow outdoor storage of Rv's, trailers, cars, and boats in Phases 1 and 2 that exceeds 50% of all units in each phase", with the 550 enclosed storage unit building construction tied to Phase 3.

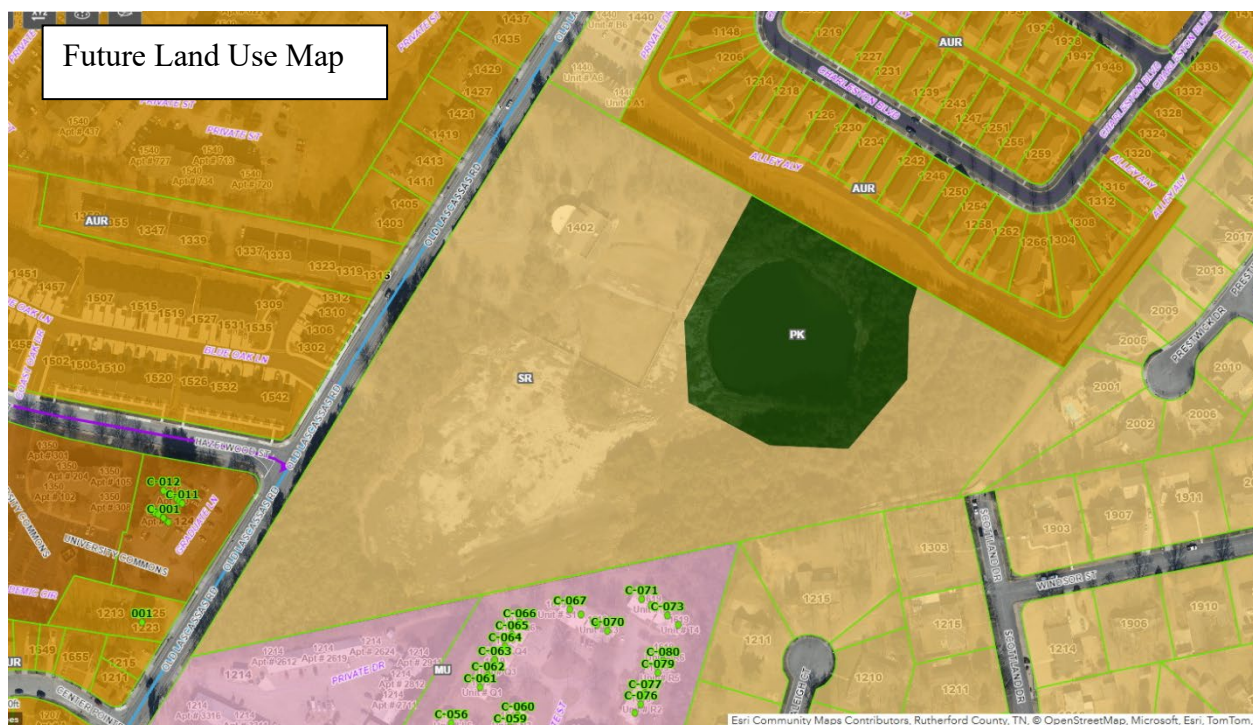
**The updated architectural drawings are attached behind the program book due to timing limitations.**

***Modified Exceptions*** are shown in the updated Program Book page 33 based on the existing RS-15 Zoning and the comparative zone of CF in regards to development standards of setbacks, building height, land use intensity ratios, allowed uses, and the proposed PCD zone. The exceptions for the PCD being requested are as follows:



1. Requesting an exception to Chart 1 End Note 16(e) to allow for self-service storage within 0 feet of an intersection of two collector streets.
2. Requesting an exception to the required setbacks along the shared property lines of the monument parcel to be 17' rear setback to monument parcel line and 20' front setback to storage building behind monument parcel.
3. Requesting an exception to the requirement for formal open space be recognized at the preserved monument space (5,663 SF) in lieu of the required 19,166 SF on site with site improvements determined at site plan review.
4. Requesting an exception to the tree island requirements in the parking storage areas. Trees typically required for these islands will be planted in alternate locations on site.
5. Requesting an exception to the Architectural Design Guidelines to allow the buildings to have less than 35% window or void area on building's facade surface area.
6. Allow outdoor storage of RV's, trailers, cars, and boats in Phases 1 and 2 that exceeds 50% of all units in each phase.

### **Future Land Use Map**



The future land use map (FLUM) contained in the *Murfreesboro 2035 Comprehensive Plan*, designates the subject site as Suburban Residential (SR) and Park/Open Space (PK) as shown on the map below. The SR character generally anticipates detached residential dwellings with larger front yards with increased front setbacks with densities ranging from 1 to 4 dwelling units per acre. Suggested compatible zoning districts include RS-15, RS-12, RS-10, PRD and potentially public institutional land uses. The PK category anticipates public parks and open space, trails, recreation areas, floodway and public cemeteries. Compatible zoning districts are Park or other zoning districts as evaluated on a case-by-case basis.



The proposed pond portion of the PCD is generally consistent with the pit/pond area remaining in place with the project. PCD zoning is not consistent with the Future Land Use Map (FLUM) SR designation as described above. However, the transition policies may address this type of situation, and this may be an instance where it would be consistent using our transition policies given the adjacent Mixed Use (MU) designation to the south. This is an area where the Planning Commission needs to further discuss if deviation from the FLUM is appropriate or if it believes that the proposed zoning request would be in conformance with the transition policies.

### **Department Recommendation**

In concept, staff is supportive of this rezoning request for the following reasons:

- 1) The 2035 Murfreesboro Comprehensive Plan indicates that where there are unique geographical or environmental conditions the transition policy may apply. The borrow pit and the large expanse of rock on this property lend itself to the development of the type of use that is proposed.
- 2) Renovation to and long-term upkeep of the Monument site is a benefit to the community.
- 3) The preservation of much of the thick landscape areas and wetlands is beneficial to the site and adjacent community.
- 4) Architectural design will be made compatible with surrounding land uses consistent with the Design Guidelines.

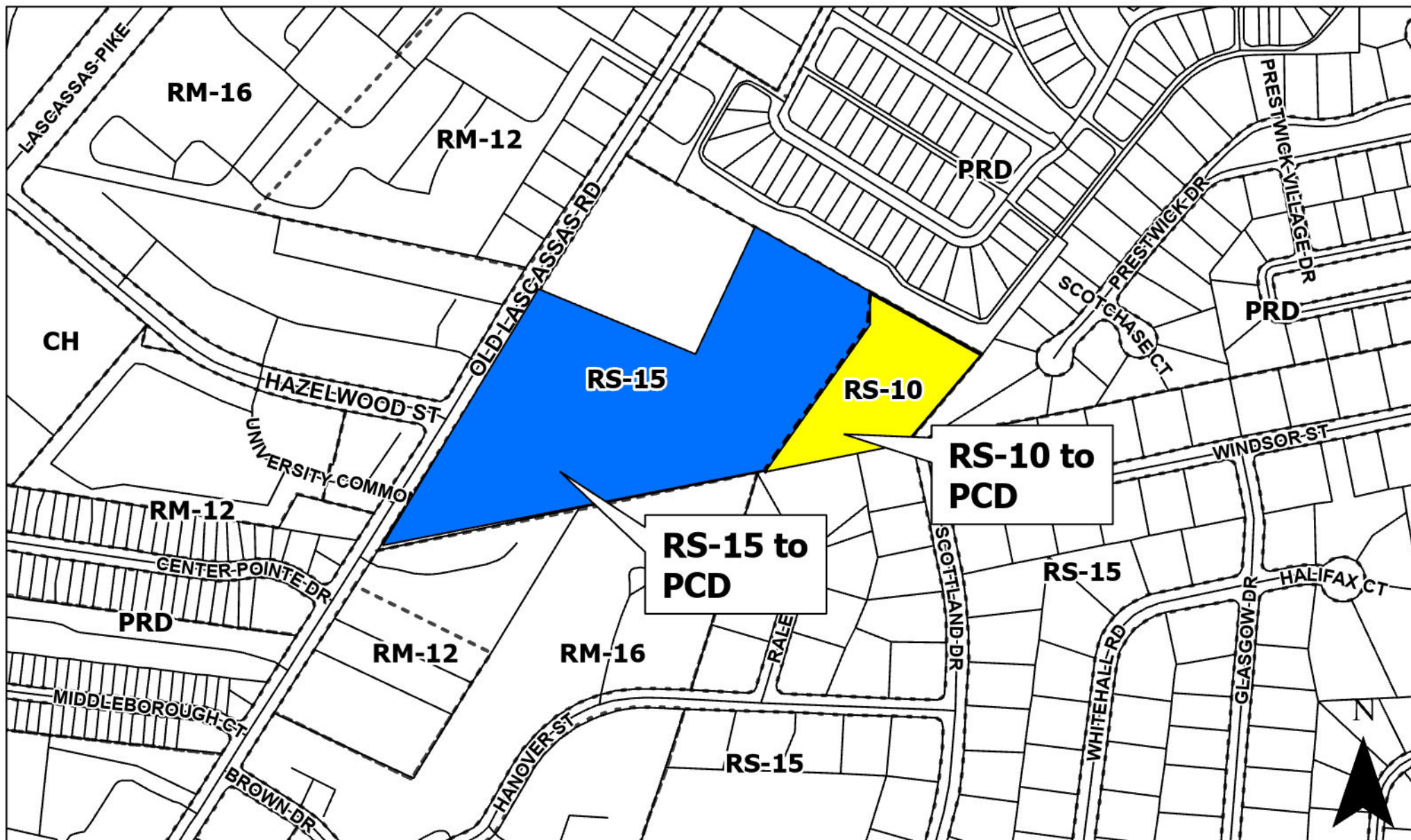
However, staff requests that the Planning Commission discuss any outstanding issues and provide direction to both Staff and the applicant regarding those items.

### **Action Needed**

The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should conduct a public hearing and then formulate a recommendation to City Council.

### **Attachments:**

- NoOrtho Map
- Ortho Map
- Updated Program Book
- Updated Architectural Drawings



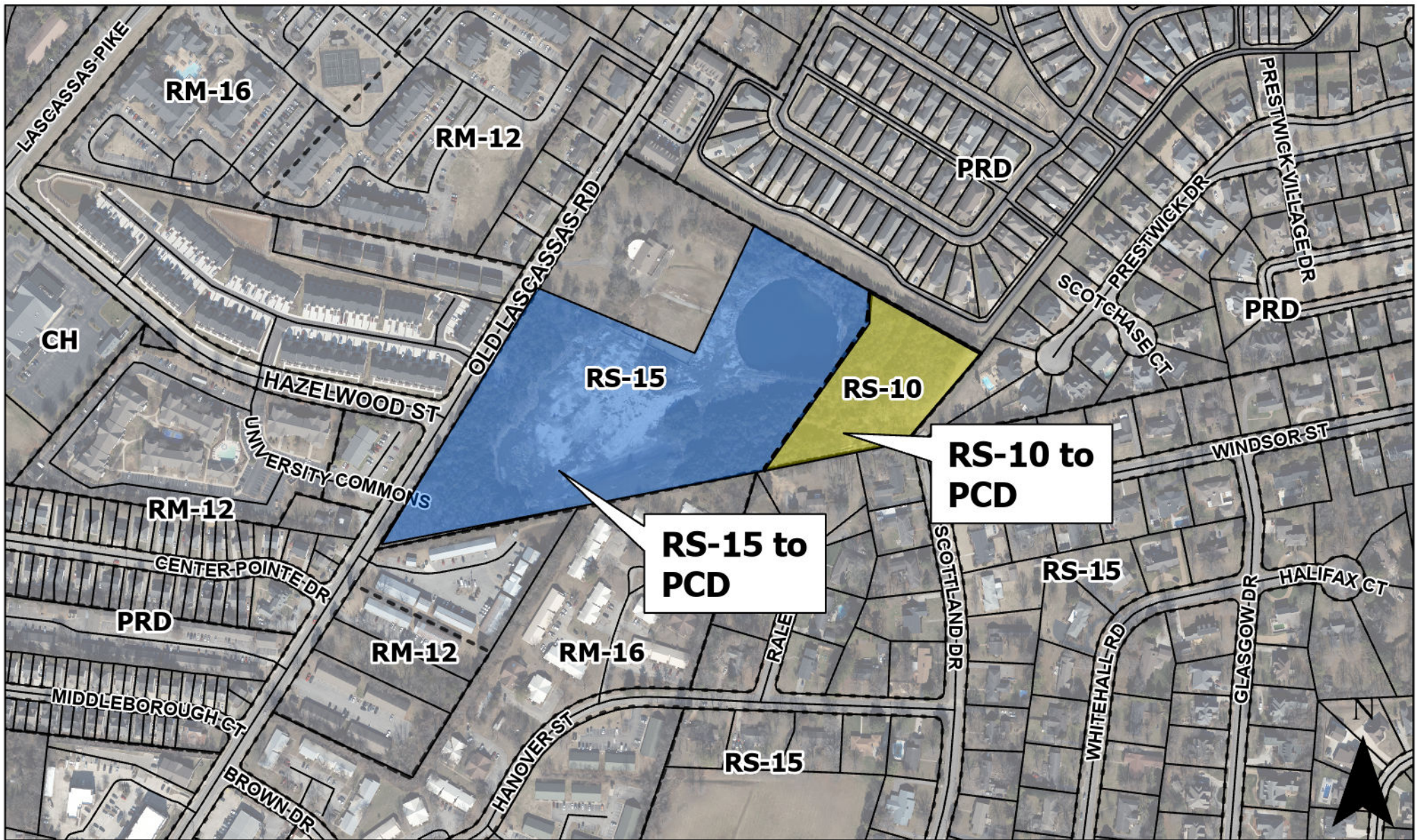
Rezoning Request for property along Old Lascassas Road  
from RS-10 & RS-15 to PCD (Lascassas Storage PCD)



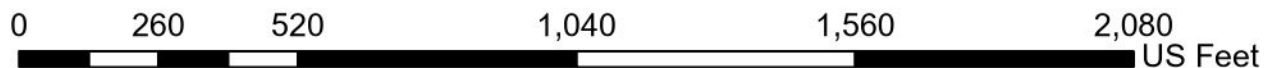
0 260 520 1,040 1,560 2,080 US Feet

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)





Rezoning Request for property along Old Lascassas Road  
from RS-10 & RS-15 to PCD (Lascassas Storage PCD)



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[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



# LASCASSAS STORAGE

A REQUEST FOR REZONING FROM SINGLE-FAMILY RESIDENTIAL (RS-10 & RS-15) TO PLANNED COMMERCIAL DISTRICT (PCD)

Murfreesboro, Tennessee



**SEC, Inc.**

SEC Project #24428

**Initial Submittal**

March 13th, 2025

**Resubmitted**

April 4th, 2025 for the  
April 16th, 2025 Planning Commission Workshop Meeting

**Resubmitted**

May 2nd, 2025 for the May 7th, 2025  
Planning Commission Public Hearing





Company Name: SEC, Inc.  
Profession: Planning.Engineering.Landscape Architecture  
Attn: Rob Molchan / Matt Taylor  
Phone: (615) 890-7901  
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com  
Web: www.sec-civil.com

850 Middle Tennessee Blvd.  
Murfreesboro, Tennessee 37129



Company Name: Patterson Company, LLC  
Profession: Builder/Developer  
Attn: Jackson Nichols  
Phone: (615) 812-9844  
Email: jnichols@buypatterson.com  
Web: www.buypatterson.com

1645 Westgate Circle,  
Brentwood, Tennessee 37027

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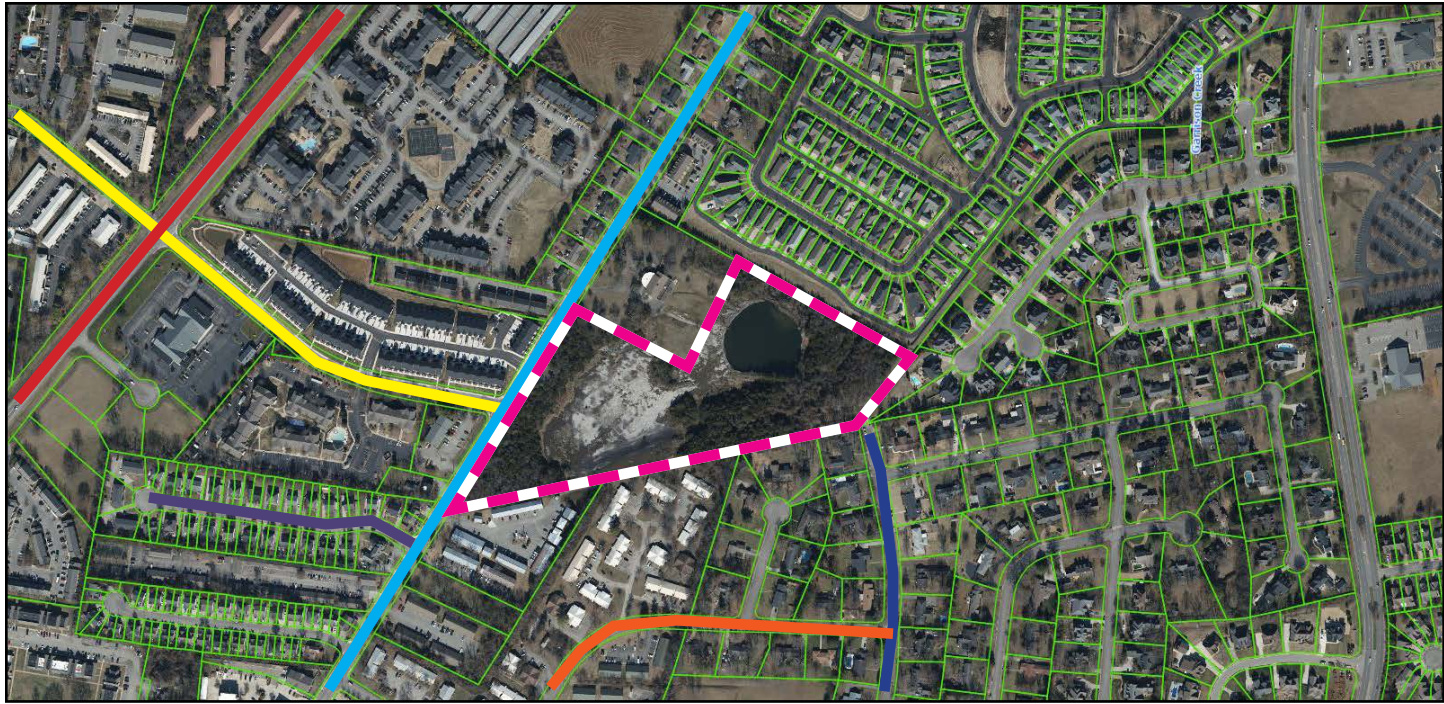
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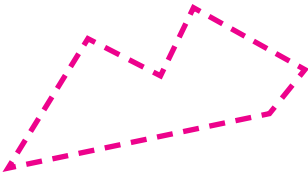




AERIAL PHOTOGRAPH

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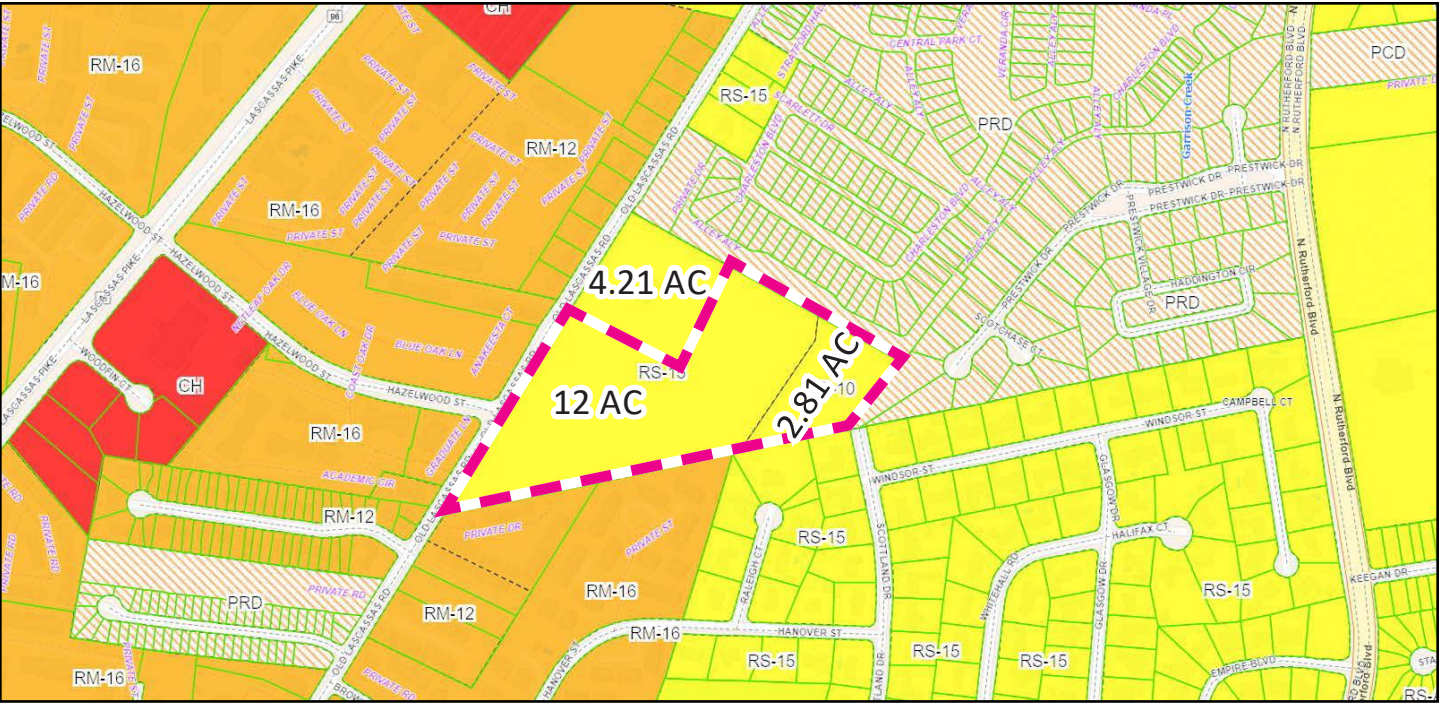
- Old Lascassas Road
- Hazelwood Street
- Lascassas Pike
- Scotland Drive
- Hanover Street
- Center Pointe Drive



Site Boundary

Patterson Company, LLC respectfully requests rezoning of the Cunningham Property at 1402 Old Lascassas Road from Single-Family Residential (RS-10 & RS-15) to Planned Commercial District (PCD) to create Lascassas Storage. The property is located along the eastern side of Old Lascassas Road (designated as a community collector) near the intersection of Hazelwood Street (designated as a commercial collector). The site is identified as Parcel 14.00 of Tax Map 90, and is approximately 19.02 acres. Of this 19.02 acres, approximately 4.21 acres at the northwestern corner of the property along Old Lascassas Road is not included with this rezoning request and shall remain zoned RS-15 for the single family residence. The remaining 14.81 acres of land shall be rezoned to PCD for this development. Of this 14.81 acres, 0.13 acres of land along Old Lascassas Road shall be parceled off to preserve the existing monument marking the geographic center of Tennessee, and shall be maintained by the development. The remaining 14.68 acres of the PCD land shall be utilized as a self-service storage facility.

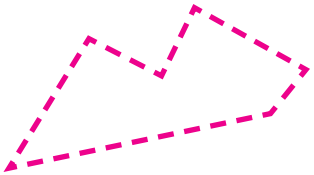
Lascassas Storage will provide self-service storage, RV and boat storage, and climate controlled storage, which caters to a variety of storage needs. Decorative fencing will enhance the entrance at the Old Lascassas Road frontage, while security fencing will secure the remainder of the site. Buildings facing Old Lascassas Road will feature stone or brick facades to ensure a visually appealing streetscape. Efforts will be made to preserve existing perimeter trees, with additional landscape buffers proposed where coverage is sparse and where a lack of proposed buildings will mitigate views into the site. The facility will also preserve the existing monument for Tennessee’s geographical center. This will be accomplished by incorporating bus parking on the storage site and providing a sidewalk for convenient public access to the monument. Security will be a key feature, with a dedicated office/living unit providing additional oversight and access control. Designed with both functionality and aesthetics in mind, this storage facility will integrate seamlessly into the surrounding area, while offering a secure and well-maintained storage solution.



ZONING MAP

Not To Scale

- RS-10 Residential Single-Family (RS-10)
- RS-15 Residential Single-Family (RS-12)
- RM-12 Residential Multi-Family (RM-12)
- RM-16 Residential Multi-Family (RM-16)
- PRD Planned Residential District (PRD)



Site Boundary

The surrounding area consists of a mixture of zoning types and land uses. The land to the north and east is zoned PRD. The land to the south and west is zoned RM-12, RM-16 and RS-12.

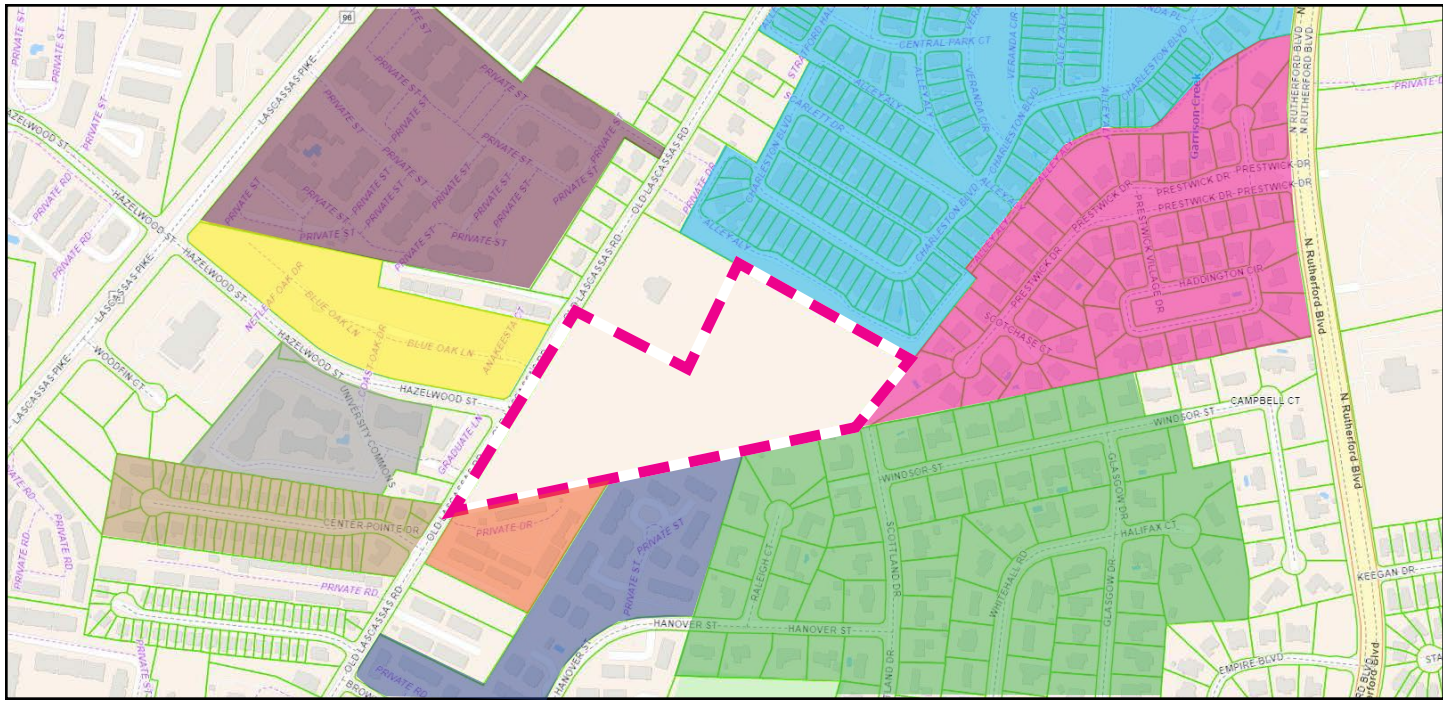


2035 FUTURE LAND USE PLAN

The Murfreesboro Future Land Use Map (FLUM) designates this area as Suburban Residential (SR) and Park/Open Space (PK). The character of the Suburban Residential land-use is a lower density residential. Density for this character type has a maximum of four units per acre. Generally compatible zoning districts include RS-15, RS-12, RS-10, and PRD.

Although the site does not align with the FLUM, the proposed storage facility offers several key benefits that support its consideration. Unlike residential development, which would potentially require extensive blasting due to site conditions, this project eliminates the need for such disruption, preserving the natural landscape. Additionally, the secured facility will help deter ongoing unlawful activity in the area by introducing controlled access, security measures, and regular oversight. This development also generates minimal traffic compared to residential or commercial alternatives, reducing the impact on surrounding roadways. Overall, this project provides a practical and low-impact use of the site while enhancing safety and security for the community.





SUBDIVISION MAP

Not To Scale

- Stratford Hall PRD
- The Cove at Center Pointe
- 1540 PLACE
- Prestwick
- Scotland Terrace Condominiums
- Hazelwood Apartments
- Scotland Acres
- Center Pointe West
- Oakwood Village Townhomes

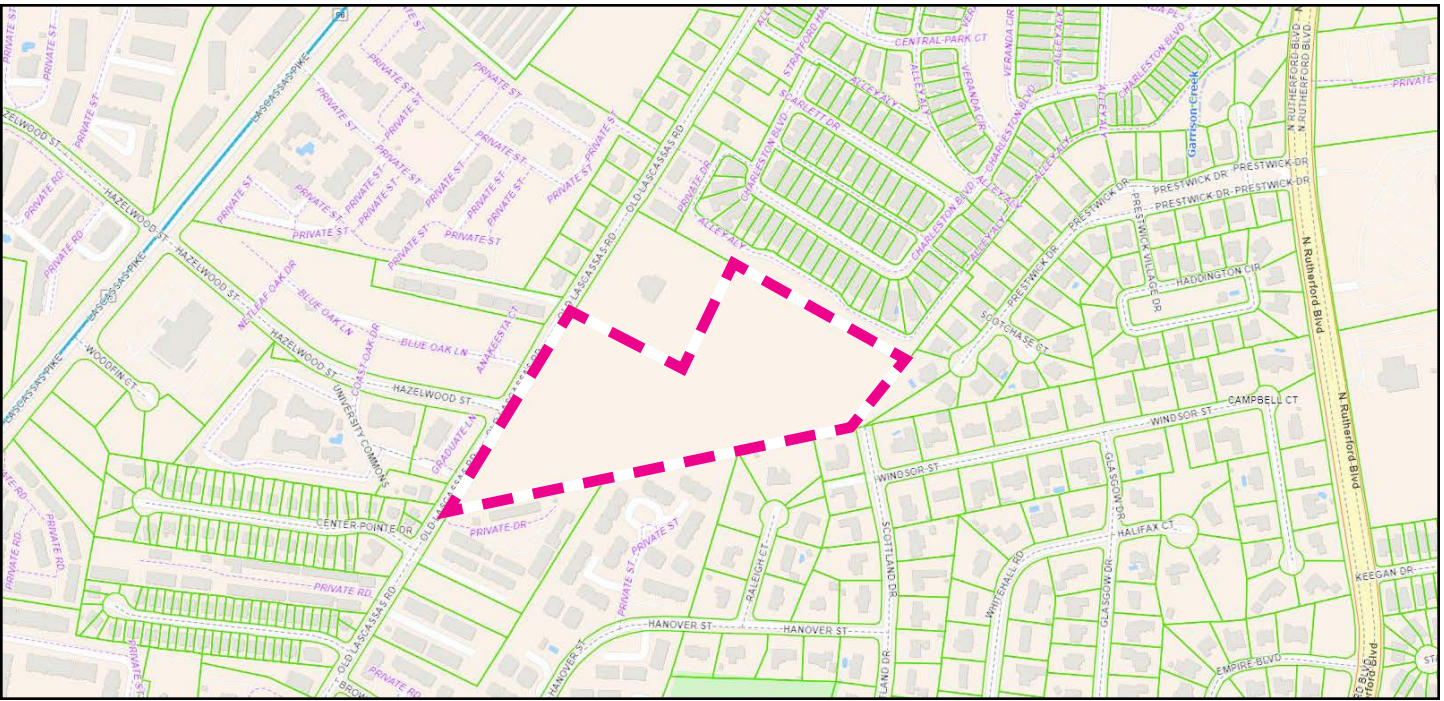
Site Boundary

Lascassas Storage is surrounded by a mixture of residential subdivisions providing both single-family and multi-family developments. Stratford Hall is a residential development to the north consisting of one to two-story single-family detached homes with front-entry garages. The exterior elevations consist of primarily of a mixture of masonry materials along the front elevations with brick and/or hardy board siding along side elevations. There is one primary point of ingress/egress to the development from Gold Valley Drive.

Scotland Acres is a residential development to the south consisting of one to two-story single-family detached homes with front-entry and side-entry garages on 15,000 sqft minimum lots. The exterior elevations consist of primarily of a mixture of masonry materials along the all elevations. There are two primary points of ingress/egress to the development; one from Greenland Drive along Scotland Drive, and one from Hanover Street via Brown street which then goes back to Lascassas Road.

Oakwood Village is a residential development to the west consisting of two-story single-family attached townhomes with front entry garages. The exterior elevations consist primarily of brick along the front and side elevations with hardy board along the rear elevations. There are three points of ingress/egress to the development; one from Old Lascassas Road, and two from Hazelwood Street.

South of the development are the multi-family developments of The Cove at Center Pointe Apartments and Scotland Terrace Condominiums. The Cove at Center Pointe contains one and two story buildings, with exteriors consisting of primarily plywood siding. The development has direct access onto Old Lascassas Road.



2040 MAJOR TRANSPORTATION PLAN

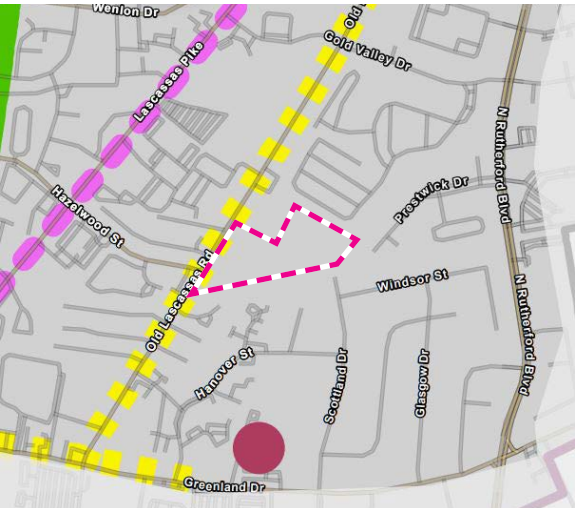
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- 5-Lane Roadway

Site Boundary

The property has/will have access to the existing public right-of-way of Old Lascassas Road through one entrance. The existing entrance to the Tennessee Geographic Center Monument shall remain generally as it is today. No roadways impacted by this development are on the Murfreesboro 2040 Major Transportation Plan. Both Old Lascassas Road and Hazelwood Drive are designated as collector roads. It is anticipated that this project at build out will generate roughly 40 trips per day with a possible 16 peak hours trips per day.

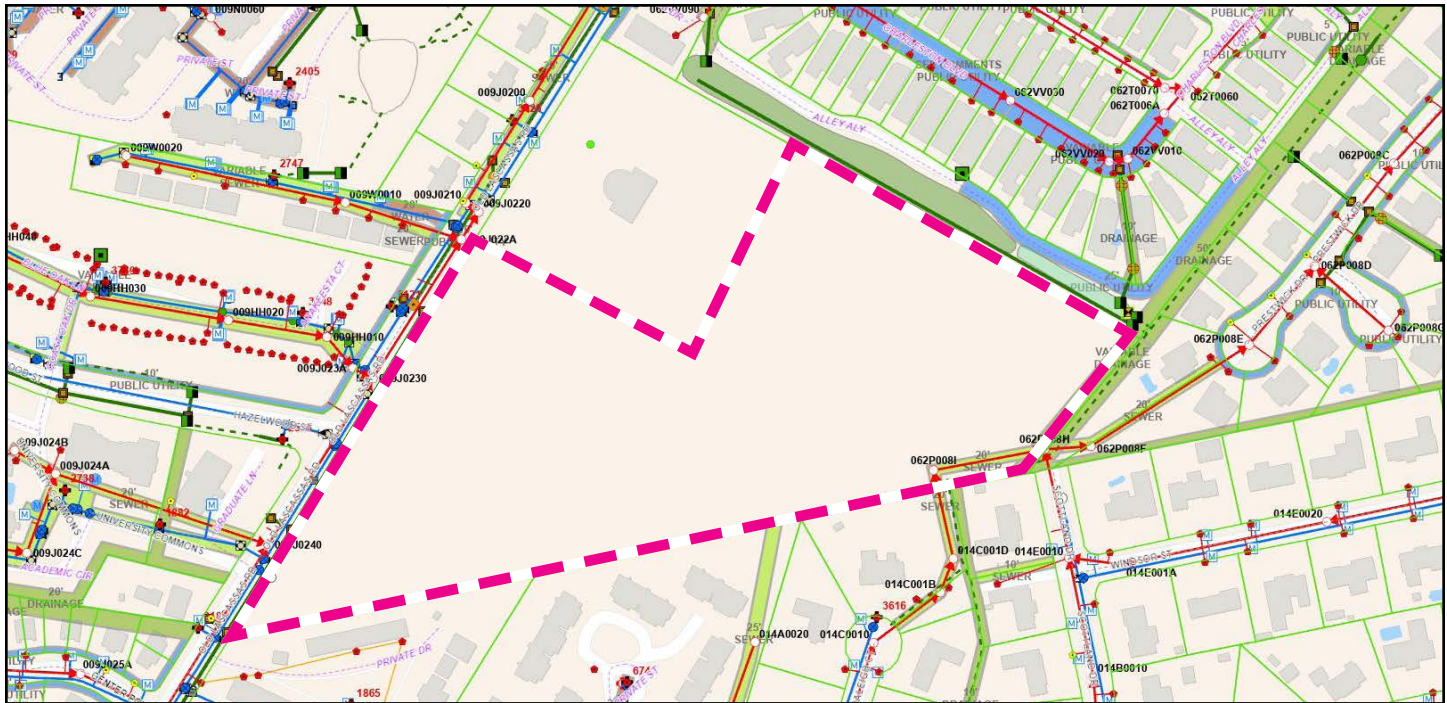
MURFREESBORO GREENWAY, BLUEWAY, AND BIKEWAY MASTER PLAN



The Murfreesboro Greenway, Blueway, and Bikeway Master Plan shows this development located within Network Area C. The plan identifies an existing bike lane along Old Lascassas Road which connects to the existing bike lanes along Greenland Drive to the south, and North Rutherford Boulevard/East Rutherford Boulevard to the north.

The proposed development will not be changing the design or conditions of the existing bike lane along Old Lascassas Road except where necessary for vehicular ingress/egress to the development.





UTILITY MAP

Not To Scale

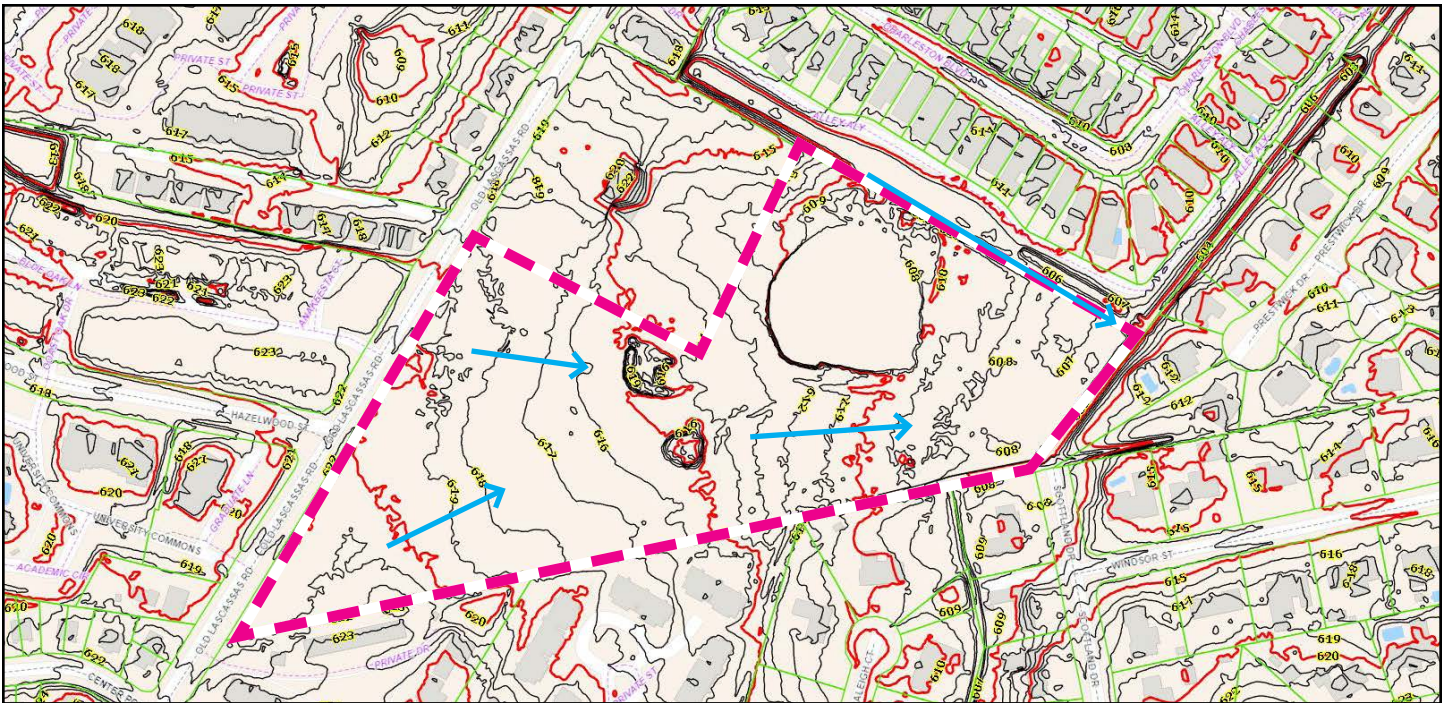


Water service will be provided by the Murfreesboro Water Resources Department. There is an existing 8 inch ductile iron water line along Old Lascassas Road for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.

Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 12" PVC gravity sewer line within the R.O.W. of Old Lascassas Road. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property.



Electric service will be provided by Middle Tennessee Electric. Electric services will be extended from Old Lascassas Road. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY AND TOPOGRAPHY

Not To Scale



The topographic map above shows the site's topographic high point generally at the southwestern corner of the property. From this high point, the property drains towards the north and east. Stormwater on-site flows northeast towards the existing pond before turning and heading east. Stormwater from the site drains into the existing drainage easement along the eastern property line, and then flows north before draining into Garrison Creek.

No portions of this property are within a registered FEMA Floodway or Flood plain per FEMA Flood Panel 47149C0280J eff. 05/09/2023.



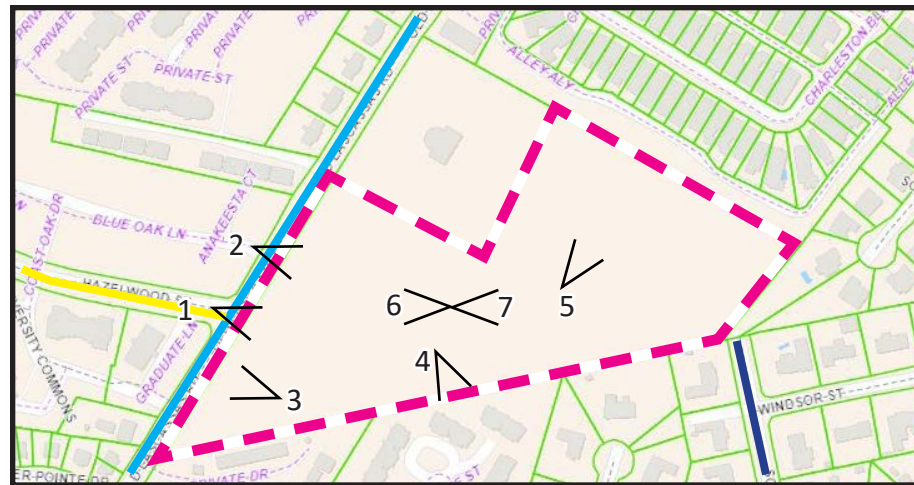
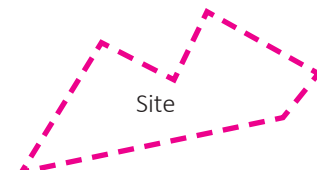


PHOTO DIRECTION MAP

Not To Scale

- Old Lascassas Road
- Hazelwood Street
- Scotland Drive



View of Intersection at Hazelwood Street and Old Lascassas Road  
Looking East Towards Development Entrance



View of Existing Geographic Center Monument Looking East from Old  
Lascassas Road



View of Existing Tree Canopy Along Old Lascassas Road Looking West



View of Existing Treeline Along Southern Property Line Looking South



View of Existing Gravel Quarry Looking Northeast



View from Middle of Site Looking West



View from Middle of Site Looking East



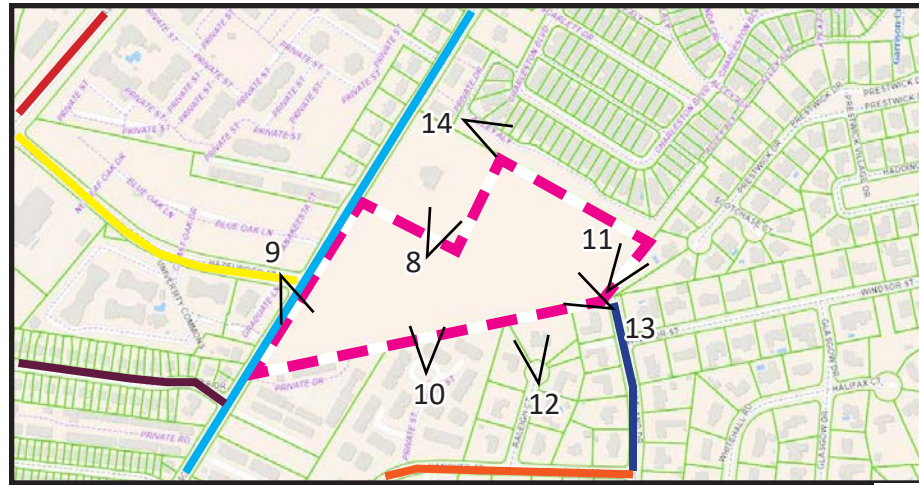
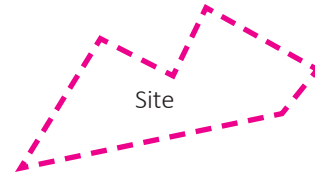


PHOTO DIRECTION MAP

Not To Scale

- Old Lascassas Road
- Hazelwood Street
- Lascassas Pike
- Scotland Drive
- Hanover Street
- Center Pointe Drive



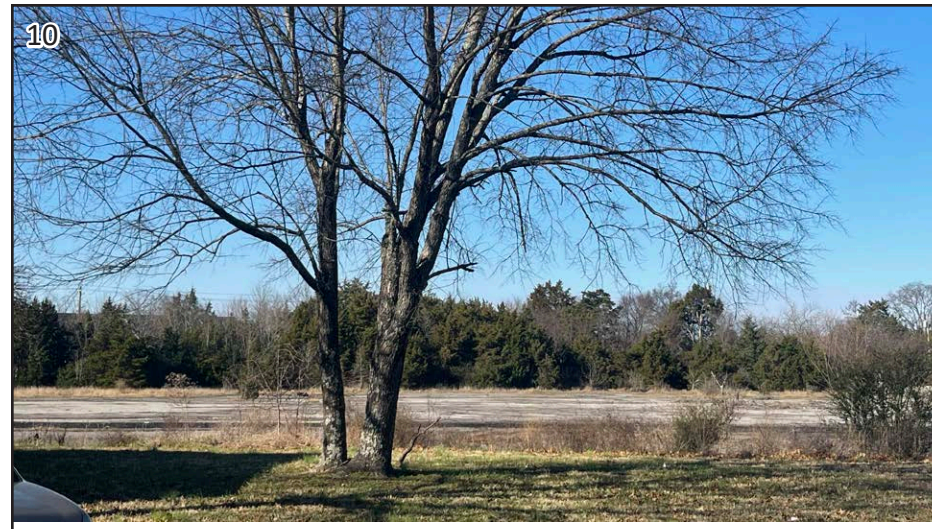
Site



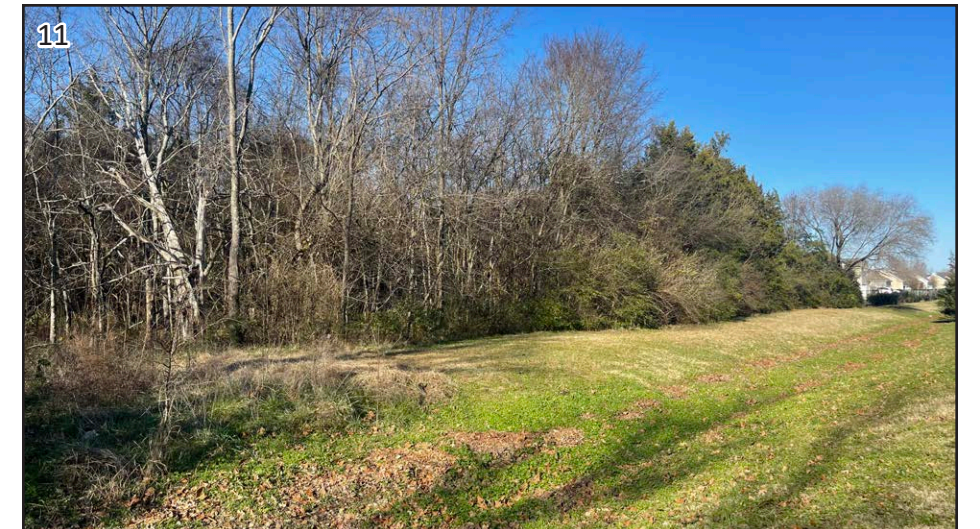
View of Intersection at Hazelwood Street and Old Lascassas Road  
Looking Southeast Towards Development Entrance



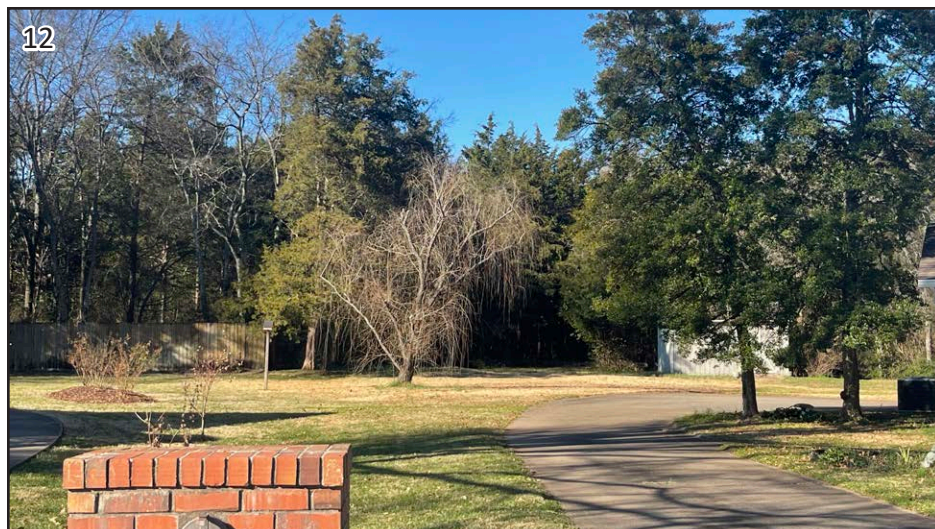
View of Existing Rock Wall Along Residential Outparcel Looking North



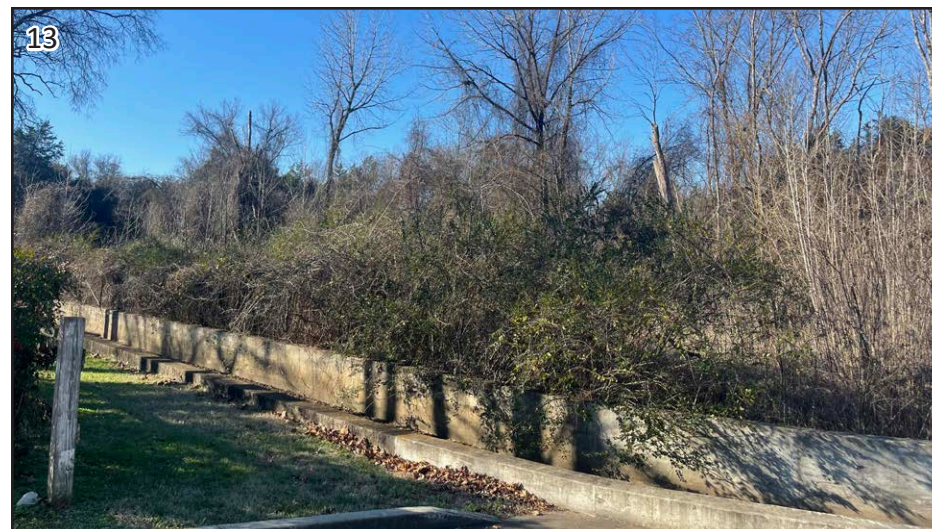
View From Scotland Terrace Condominiums Looking North Towards  
Rear Elevation of Proposed Covered Parking Storage



View from Scotland Drive Dead-End Looking Northeast at Existing Grass  
Drainage Swale along Eastern Perimeter



View From Raleigh Court Cul-De-Sac Looking North at Existing Tree Canopy to Remain



View from Scotland Drive Dead-End Looking Northwest at Existing  
Concrete Drainage Swale along Southern Perimeter



View of Existing Landscape Buffer Along Northern Boundary with  
Stratford Hall PRD Looking Southeast



Total Land Area:	±14.81 Acres
Storage Facility	±14.68 Acres
Monument Parcel	±0.13 Acres
Climate Controlled Units:	550 units
15'x40' Storage Units Provided:	10 units
Total RV & Boat Parking Provided:	238 Spaces
Covered RV & Boat Spaces:	73 Spaces
Uncovered RV & Boat Spaces:	165 Spaces

1 Space per 5,000 sqft of floor area:	12 Spaces
Self-Storage Spaces Provided:	12 Spaces +1 HC
On Site Security Provided:	2 Spaces
Bus Parking Spaces Provided:	1 Space

Provided Minimum Open Space:  ±2.94 Acres (20%)


[illegible]

and Temporary Office

An aerial photograph of a parking lot with several cars. A pink arrow points to a specific spot in the lot.

PROPOSED GATE

40'0" x 4'0"

4'0" x 4'0"

PROPOSED GATE

40'0" x 4'0"

4'0" x 4'0"

PROPOSED

EXISTING

2527 06



THE COVE AT CENTER  
EQUINOX PHASE 2

MAF SUB GROUP

## 08 PROPOSED PLANNED COMMERCIAL DISTRICT CONCEPTUAL SITE AND LANDSCAPE PLAN

ORD HALL

SOCIATION INC.  
B. 1681, PG. 1064



65 150M



2021/1/1

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14'X40'

COVERED IN CONCRETE



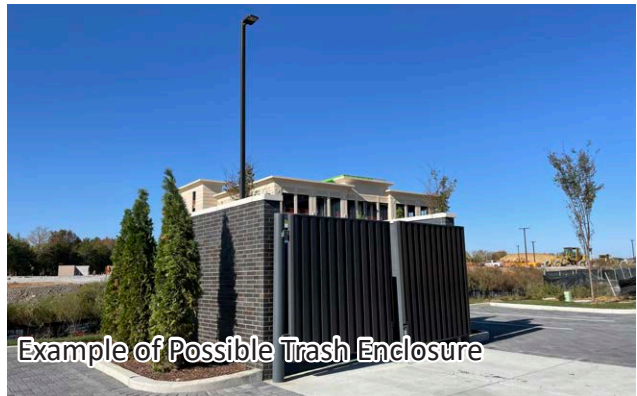


Development Standards

- The development will consist of 14.68 acres for the anticipated use of a self-storage facility and 0.13 acres for the preservation of the existing monument representing the Geographic Center of Tennessee.
- Maintenance and access easements shall be recorded on the 0.13 acres for the current owner of the proposed development to maintain the monument site.
- A maintenance agreement shall be recorded with the development requiring the upkeep of the monument site. Any improvements to the site shall be coordinated with the development.
- The 3-story climate controlled self-storage building shall have a maximum of 60,000 sqft of floor area.
- Building heights shall not exceed 40-feet in height.
- All signage shall have materials consistent with the building architecture, and be accented with landscaping.
- No bannars, promotional materials, or additional signage shall be displayed in a manner that renders them visible through the glazing of the buidling’s exterior.
- Any solid waste enclosures shall be constructed of materials consistent with building architecture and in line with city standards. Enclosures shall be at least 8-feet tall, with opaque gates. Solid waste collection service shall be provided by a private hauler.
- All mechanical equipment located on the ground (i.e. hvac and transformers) or on the roof of buildings and shall be screened from public rights-of-way.
- All on-site utilities will be underground.
- On-site lighting will comply with Murfreesboro Zoning Ordinance performance standards to reduce light pollution while providing safety for employees and patrons.
- Parking for patrons will comply with the Murfreesboro Zoning Ordinance in surface material, number of spaces and size of spaces.
- Office areas of all buildings shall have a minimum 3’ wide planting bed along the foundation.
- All outdoor storage will be screened in accordance with the City of Murfreesboro Zoning Ordinance.
- A Type ‘D’ Landscape Buffer shall be provided between this development and all neighboring RS-15 and PRD properties.
- A Type ‘C’ Landscape Buffer shall be provided between this development and all RM-16 properties.
- Screening and buffering shall provided as seen on Page 21.
- All proposed landscape buffers shall strive to maintain as much of the existing tree canopy as possible. Proposed buffers shall supplement the existing tree canopy in order to meet buffer performance standards.
- Hours of operation shall be from 6am - 10pm, seven days a week. Access shall be via coded entry.



Example of Possible Entrance Sign



Example of Possible Trash Enclosure

Proposed Allowable Uses

The proposed developments primary use shall be that of a self-service storage facility. An accessory residential use shall be allowed to provide housing for the on-site caretaker. Any uses, other then the before mentioned, are prohibited within the storage facility portion of the proposed PCD.

Patrons of the self-storage facility shall adhere to the standards set forth in Chart 1 End Note #16(a) of the Murfreesboro Zoning Ordinance which currently prohibits the following activities within self-storage;

- Auctions; Commercial, wholesale, or retail sales; and miscellaneous or garage sales
- Servicing, repairing, and fabrication of motor vehicles, boats, trailers, lawn mowers, appliances, or other similar equipment
- Operation of power tools, spray painting equipment, table saws, lathes, compressors, welding equipment, kilns, or other similar equipment
- Establishment of a transfer or storage business
- Using, operating, or permitting to be played, used, or operated any radio receiving set, musical instrument, phonograph, live band, amplifiers, loudspeakers, or other machine or device for producing or reproducing sound in such a manner as to disturb the peace, quiet, and comfort of neighboring residents at any time with louder volume than is necessary for convenient hearing for the persons responsible for producing or reproducing such sound.
- Use of individual units for residential purposes, included by not limited to cooking or sleeping
- Any use that is noxious or offensive because of odors, dust, noise, fumes, or vibrations.
- Notwithstanding the prohibited uses, the owner or manager of the self storage facility may conduct actions, repair, and maintain the premises when reasonably required in the usual and customary operation of a self-service storage business.



PHASES	15'X40' STORAGE	12'X45' SPACES	15'X40' COVERED SPACES	14'X40' SPACES	12'X30' SPACES	STANDARD PARKING SPACES	CLIMATE CONTROLLED UNITS	ACRES
PHASE 1	10	88	29	0	12	15	0	8.47 AC
PHASE 2	0	39	44	6	20	0	0	5.76 AC
PHASE 3	0	0	0	0	0	0	550	0.45 AC
TOTAL	10	127	73	6	32	15	550	14.68 AC

Phase 1

Phase 2

Phase 3

- The project is anticipated to be built in 3 phases.
- Construction of Phase 1 is anticipated to begin following their permitting. No building permits shall be issued until infrastructure is installed.
- Phase 1 will include all roadway improvements proposed for this site.
- The remaining phases will be market driven

**Phase 1 Package:**

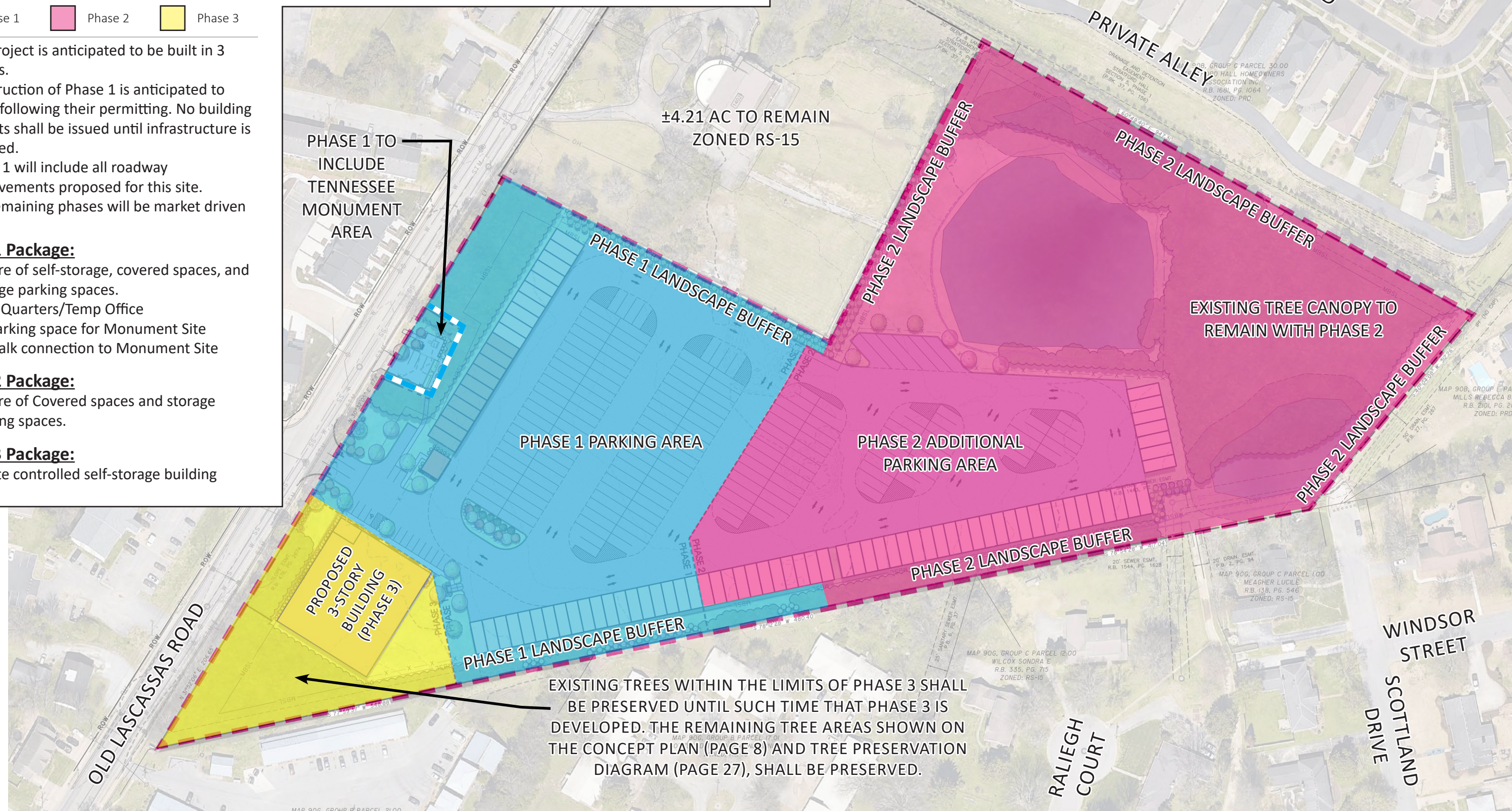
- Mixture of self-storage, covered spaces, and storage parking spaces.
- Living Quarters/Temp Office
- Bus parking space for Monument Site
- Sidewalk connection to Monument Site

**Phase 2 Package:**

- Mixture of Covered spaces and storage parking spaces.

**Phase 3 Package:**

- Climate controlled self-storage building







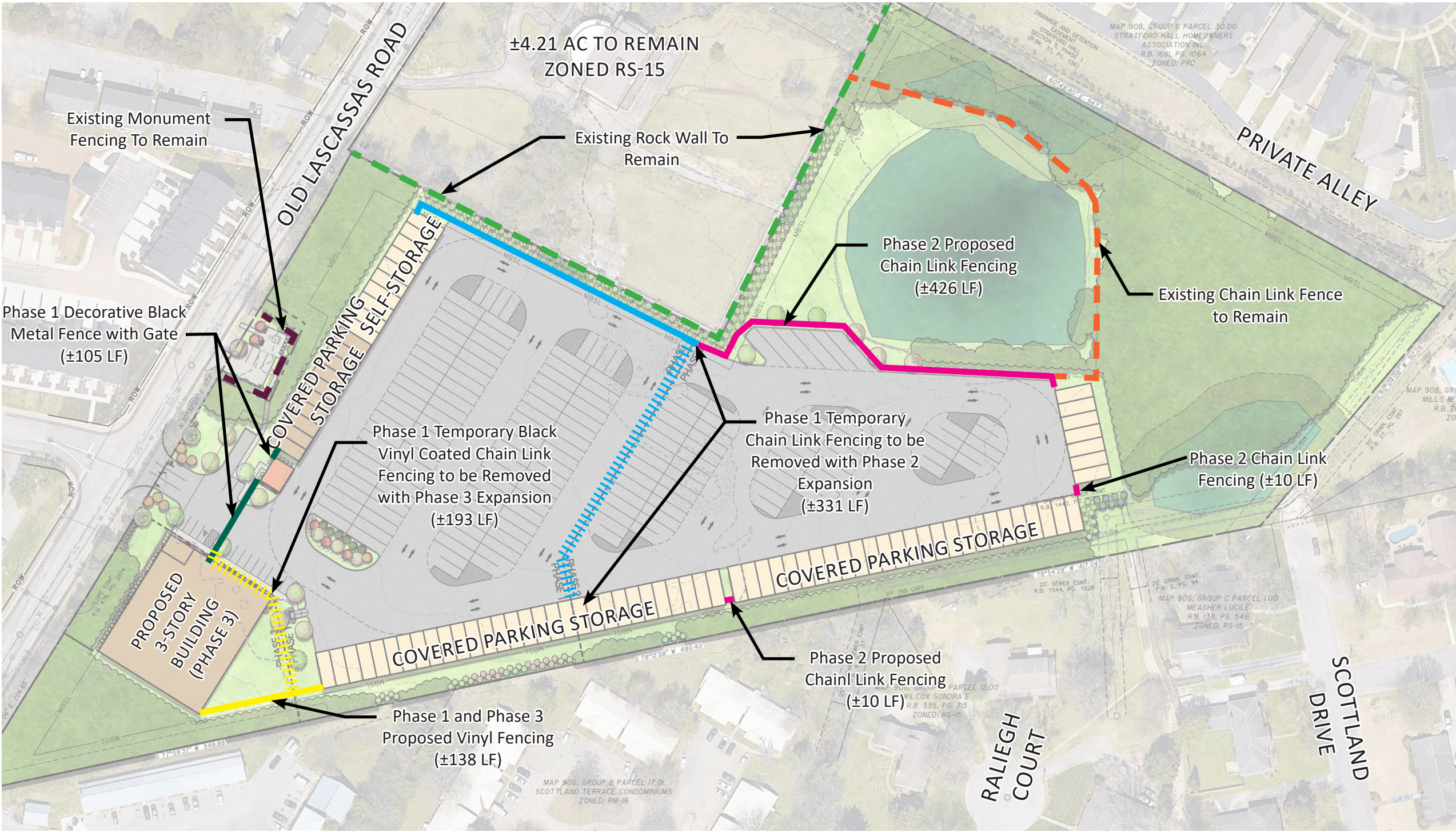
Existing Rock Wall to Remain (±890 LF)



Existing Chain Link Fence to Remain (±552 LF)



Existing Monument Fencing to Remain (±190 LF)



Example of Proposed Decorative Fencing With Gate (±105 LF)



Example of Phase 1 and Phase 3 Proposed Black Vinyl Fencing (±138 LF)



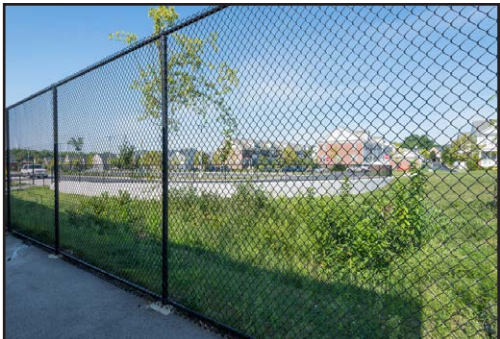
Example of Phase 1 Proposed Chain Link Security Fencing (±378 LF)



Example of Phase 1 Temporary Chain Link Security Fencing (±331 LF)



Example of Phase 2 Proposed Chain Link Security Fencing (±446 LF)



Example of Phase 1 Temporary Black Vinyl Coated Chainlink Fencing (±193 LF)





Architectural Characteristics:

- Primary climate controlled building height shall not exceed 40 feet in height
- Canopies for single story covered storage shall not exceed 16’ in height
- All buildings will be between 1 and 3 stories
- Buildings shall have a well-defined architectural base via different materials, colors, changes in pattern, or a combination of these techniques.
- Main entrances are to be well defined and easily recognizable by the use of; raised roof lines, canopies, glazing, change in materials, change in color, and/or change in building planes.
- Masonry materials (brick, stone, cast stone, synthetic stone) will be the primary building materials with potential cementitious siding accents.
- All buildings shall comply with Murfreesboro Design Guidelines standards.

MATERIAL LEGEND

PRIMARY MATERIALS

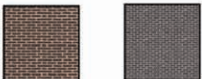
ALUMINUM PANEL CLADDING



Fiber Cement Board



BRICK (RED AND DARK GREY)



GLASS



SECONDARY MATERIALS

ALUMINUM STOREFRONT FRAME, PRE-ENGINEERED METAL AWNING



STANDING SEAM METAL ROOF

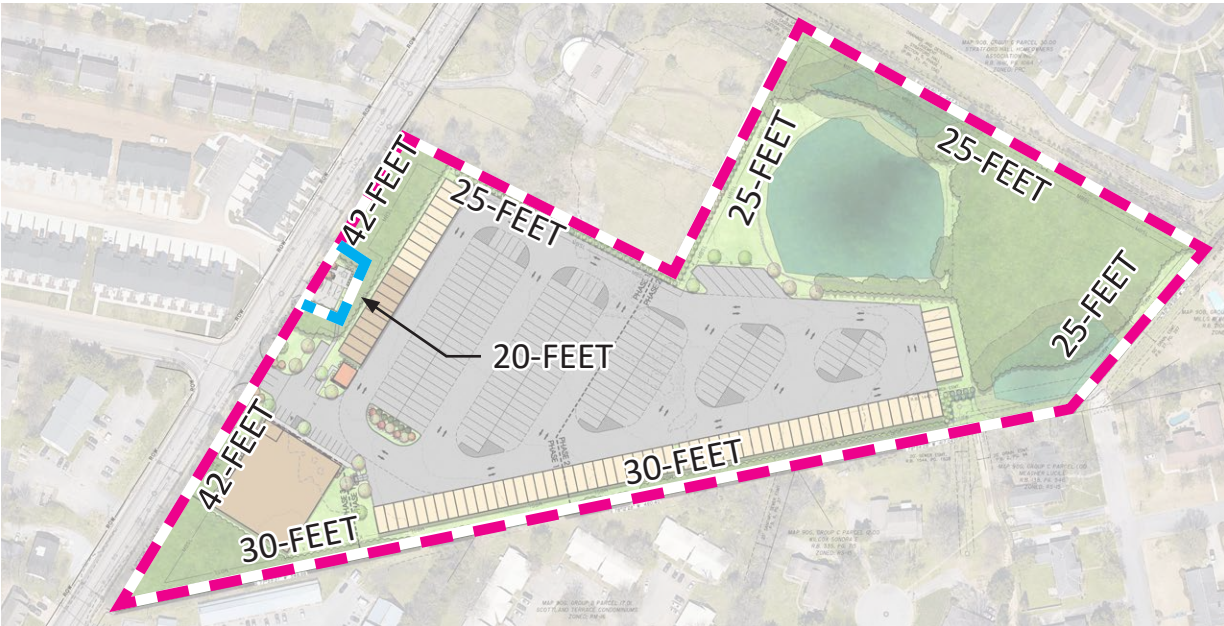


OVERHEAD DOORS



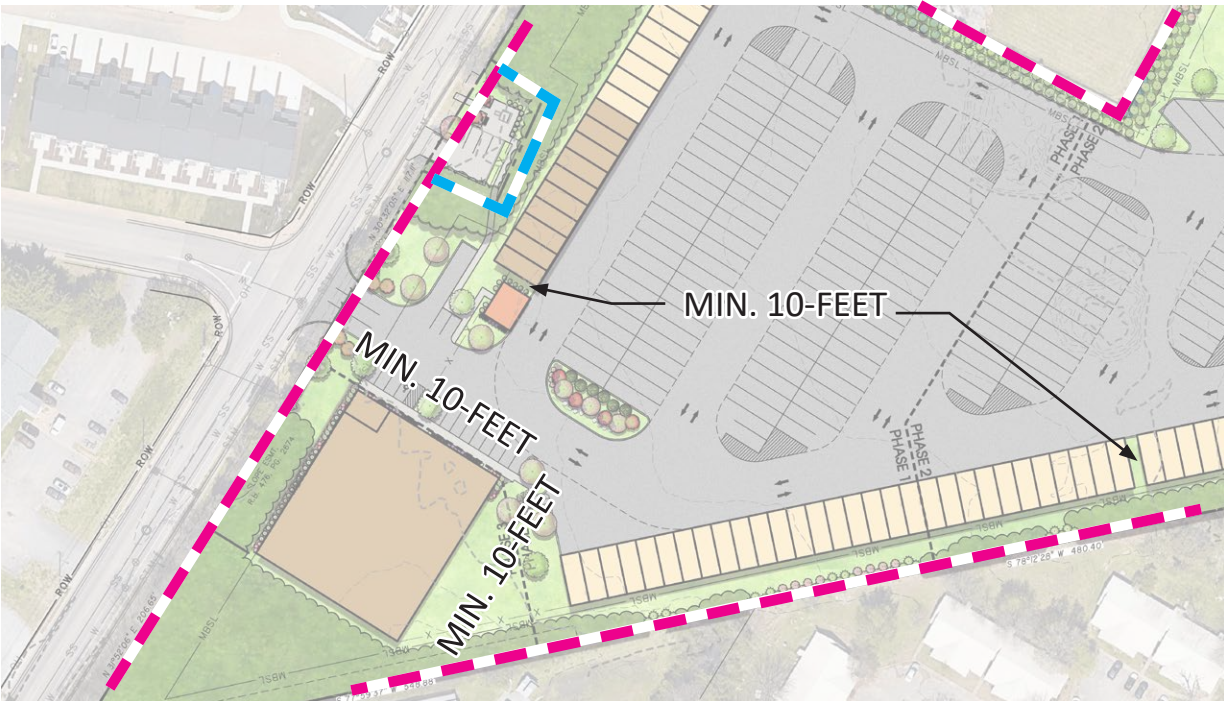
TERTIARY MATERIALS

METAL COPING/TRIM



Setbacks External to the Site

Front:	42-feet
Side: (Covered Storage)	25-feet
Side: (3-Story)	30-feet
Side: (From Monument)	20-feet
Rear:	25-feet



Setbacks Internal to the Site

A minimum 10-ft building separation shall be maintained for all proposed buildings.

Front: Behind monument parcel 20-feet



Setbacks from Monument to Proposed Property Lines

This diagram illustrates the approximate distance the monument will be from the proposed parcel lines. All setbacks for the monument parcel shall be 0’.







FIRST FLOOR PORTION OF COLUMN SHALL HAVE THE OPTION TO MATCH UPPER STORY BRICK COLOR. IF USED, THIS OPTION SHALL BE UTILIZED ACROSS ALL FOUR ELEVATIONS OF THE BUILDING.



3-STORY STORAGE BUILDING ELEVATION - NORTH SIDE

3-Story Storage Materials:  
Brick: 50%  
Hardie Fiber Cement Siding: 17%  
Alucobond Metal Panel: 3%  
Storefront: 30%



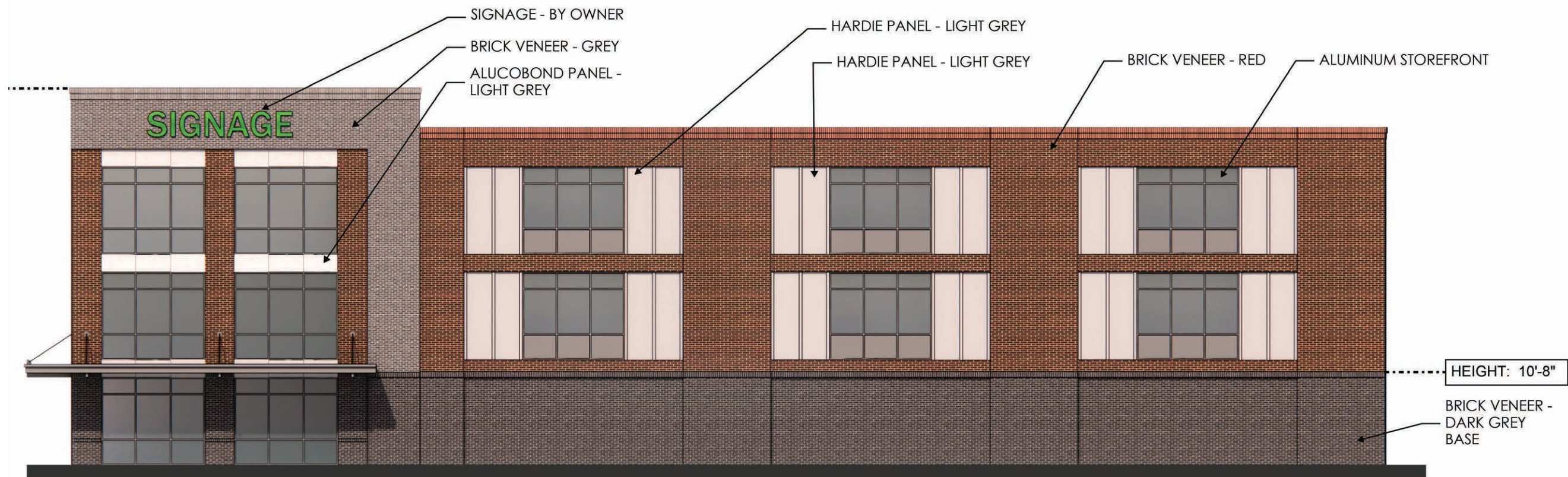
BUILDING CAP EXAMPLE



3-STORY STORAGE BUILDING ELEVATION - EAST SIDE

3-Story Storage Materials:  
Brick: 54%  
Hardie Fiber Cement Siding: 37%  
Storefront: 9%





3-STORY STORAGE BUILDING ELEVATION - OLD LASCASSAS ROAD

3-Story Storage Materials:  
 Brick: 61%  
 Hardie Fiber Cement Siding: 13%  
 Alucobond Metal Panel: 2%  
 Storefront: 24%



3-STORY STORAGE BUILDING ELEVATION - SOUTH SIDE

3-Story Storage Materials:  
 Brick: 58%  
 Hardie Fiber Cement Siding: 35%  
 Storefront: 7%





3-STORY STORAGE BUILDING ELEVATION - OLD LASCASSAS ROAD

\*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.





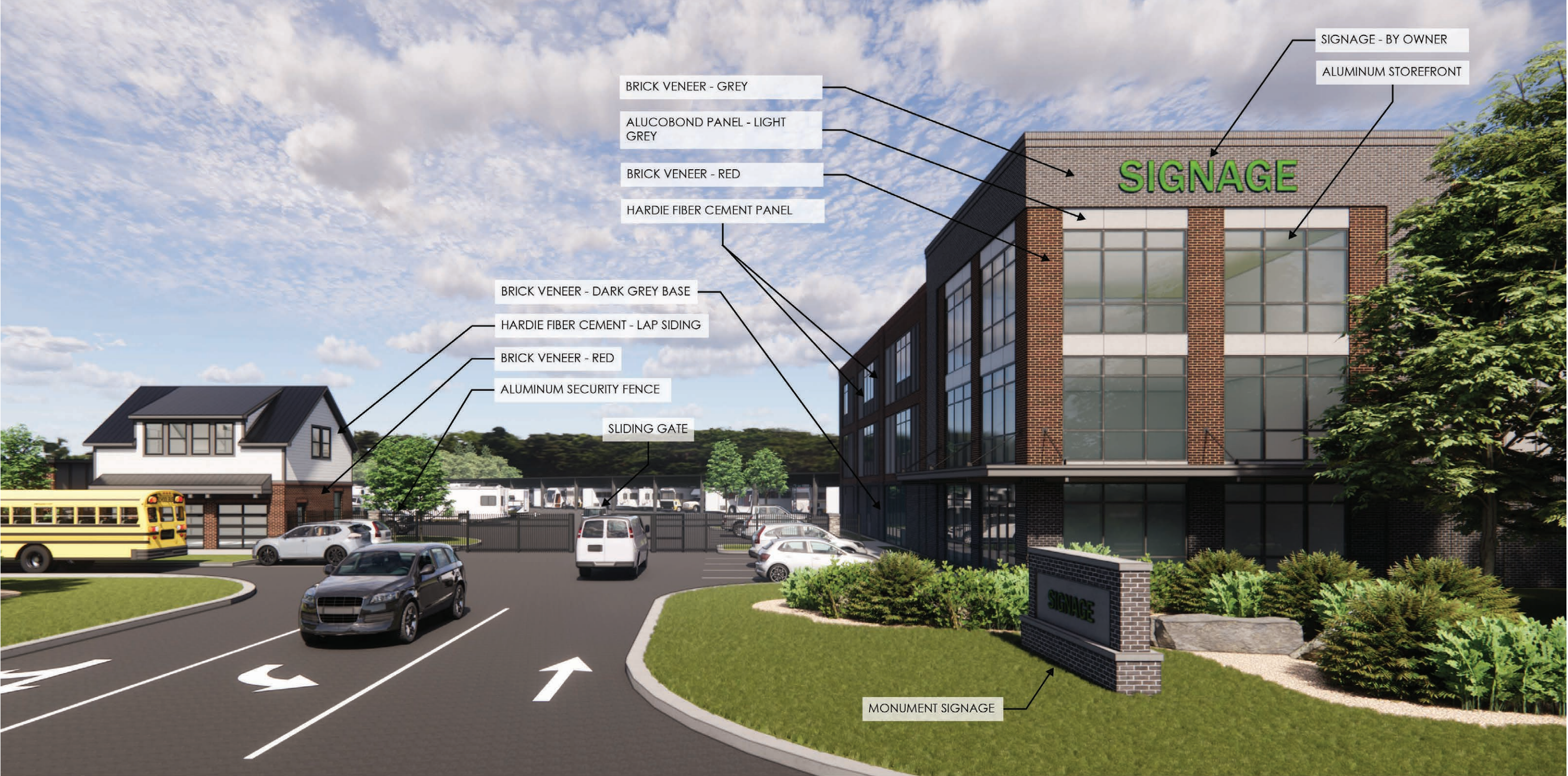
**3-STORY STORAGE BUILDING ELEVATION - NORTH FACING**

\*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.









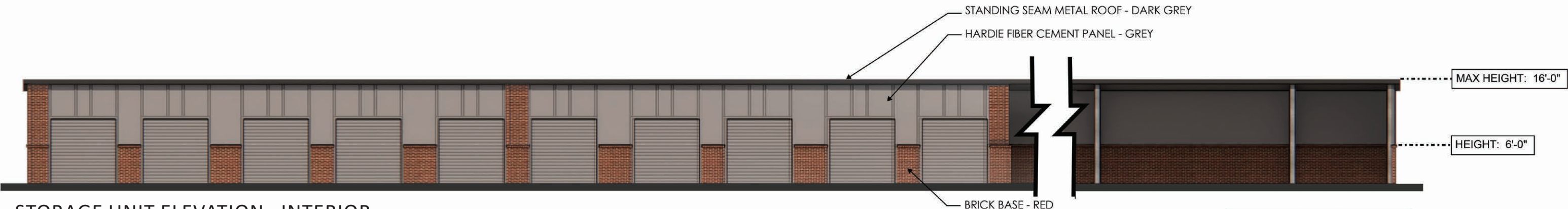
\*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.





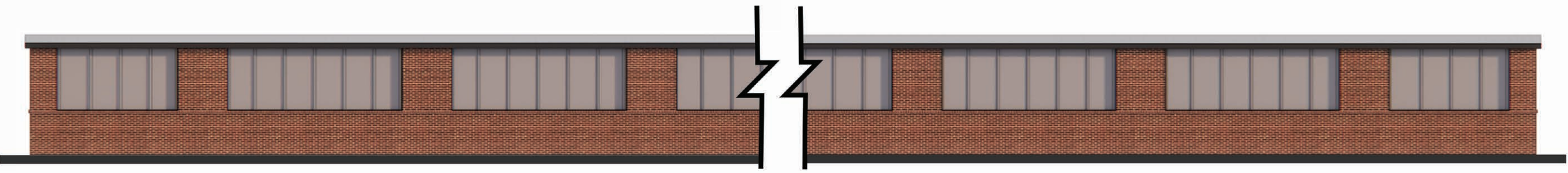
COVERED STORAGE BUILDING SIDE ELEVATIONS

Open Storage Materials:  
Brick: 38%  
Hardie Fiber Cement Panel: 62%



STORAGE UNIT ELEVATION - INTERIOR

Open Storage Materials:  
Brick: 23%  
Hardie Fiber Cement Panel: 57%  
Garage Door: 20%



COVERED STORAGE BUILDINGS ELEVATION - REAR (FACING OLD LASCASSASROAD )

Open Storage Materials:  
Brick: 63%  
Hardie Fiber Cement Panel: 37%



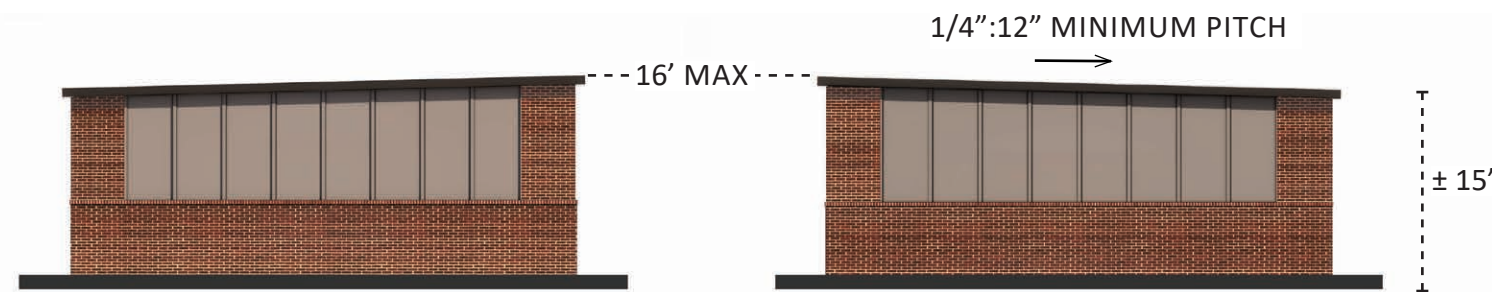


EXAMPLE OF CARETAKER AND SINGLE-STORY STORAGE UNITS/COVERED PARKING ALONG LASCASSAS ROAD



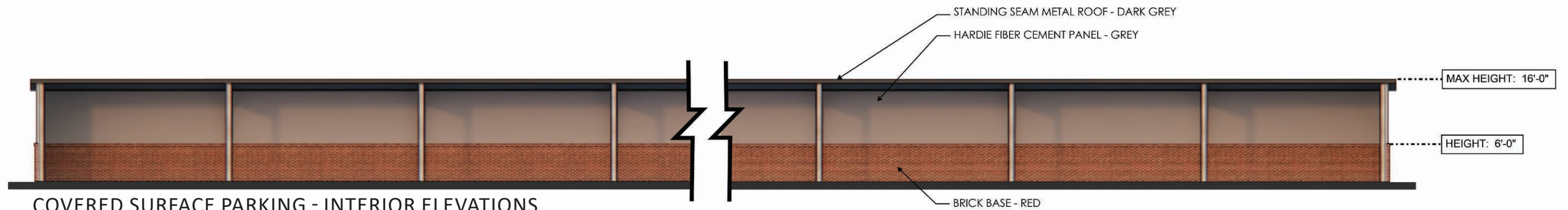
SINGLE-STORY STORAGE UNITS/COVERED PARKING ALONG LASCASSAS ROAD





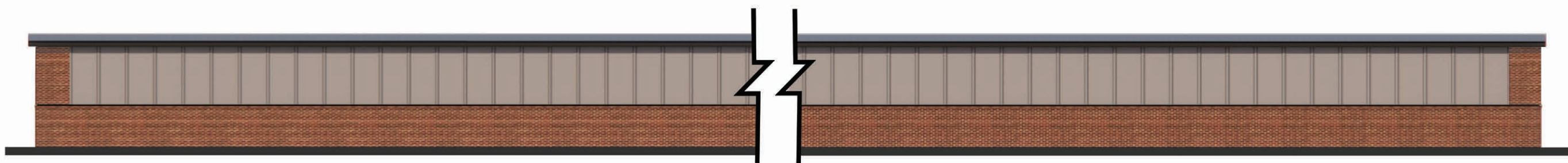
COVERED SURFACE PARKING - SIDE ELEVATIONS

One-Story Storage  
Materials:  
Brick: 40%  
Hardie Fiber Cement  
Panel: 60%



COVERED SURFACE PARKING - INTERIOR ELEVATIONS

One - Story Storage Materials:  
Brick: 40%  
Hardie Fiber Cement Panel: 60%



COVERED SURFACE PARKING - REAR (FACING RESIDENTIAL)

One-Story Storage Materials:  
Brick: 42%  
Hardie Fiber Cement Panel: 58%





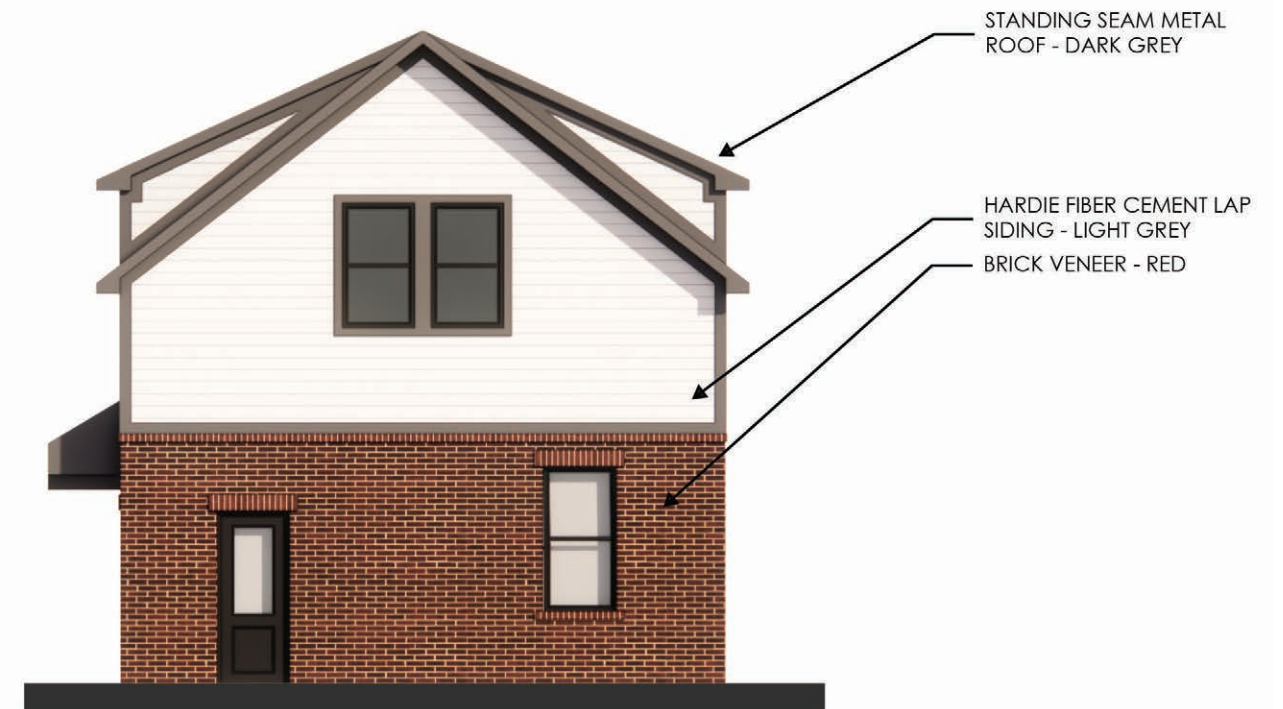
EXAMPLE OF COVERED PARKING ALONG RESIDENTIAL PROPERTY LINE





OFFICE BUILDING  
WINDOWS ON  
GROUND FLOOR  
SHALL PROVIDE  
A MINIMUM 8"  
MULLION.

OFFICE BUILDING - WEST ELEVATION



STANDING SEAM METAL  
ROOF - DARK GREY

HARDIE FIBER CEMENT LAP  
SIDING - LIGHT GREY

BRICK VENEER - RED

OFFICE BUILDING - SOUTH ELEVATION



OFFICE BUILDING - NORTH ELEVATION



HEIGHT: 27'-0"

OFFICE BUILDING - EAST ELEVATION







Pursuant to the City of Murfreesboro’s 2040 Major Transportation Plan (MTP), none of the roadways in this development are slated for improvements. Old Lascassas Road is a community collector road where the majority of vehicular trips generated by this development will impact. It is currently built as a 3 lane cross-section with curb and gutter along with sidewalks on both sides of the roadway.

As stated above, the primary means of ingress/egress from this site will be onto Old Lascassas Road. The entrance is proposed to incorporate three travel lanes for proper circulation into and out of the development. There will be a dedicated left and right out of the development, as well as single lane for traffic entering the development. The existing entrance to the Tennessee Geographic Center Monument shall be retained at its currently location on Old Lascassas Road. The illustration below shows the proposed pedestrian circulation through the site, and the illustration to the right shows the proposed vehicular circulation through the site.



- ● ● ● PEDESTRIAN CIRCULATION
- ● ● ● SIDEWALK TO MONUMENT



- ● ● ● VEHICULAR CIRCULATION



- Existing Rock Wall (±890 LF)
- Existing Chain Link Fence (±552 LF)
- Existing Monument Fence (±190 LF)
- Proposed Decorative Fencing (±105 LF)
- Proposed Black Vinyl Fencing (±138 LF)
- Proposed Chain Link Security Fencing (±824 LF)

\*See Page 11 For Examples of Fencing



FINAL DEVELOPMENT FENCING PLAN



TREE PRESERVATION DIAGRAM



- 12-FT WIDE TYPE 'C' LANDSCAPE BUFFER UTILIZING EXISTING VEGETATION
- 15-FT WIDE TYPE 'D' LANDSCAPE BUFFER TO BE INSTALLED
- 15-FT WIDE TYPE 'D' LANDSCAPE BUFFER UTILIZING EXISTING VEGETATION
- BUILDING ELEVATION TO BE USED AS PART OF BUFFER IN CONJUNCTION WITH PRESERVED TREES AND SUPPLEMENTAL BUFFER PLANTINGS TO FILL IN GAPS IN PRESERVED TREES.



The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the leasors, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

**Landscaping Characteristics:**

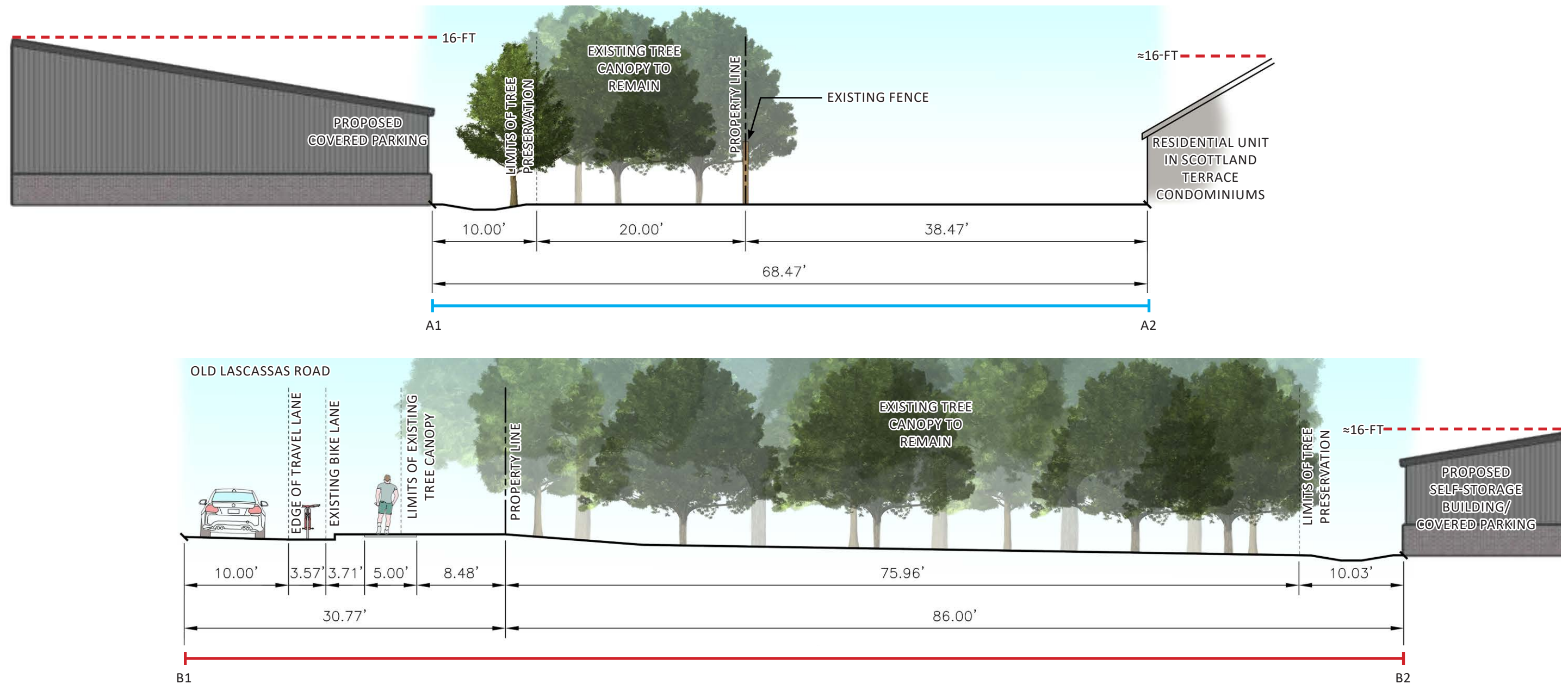
- A minimum 10 feet of landscape area between parking and all property lines.
- Public rights-of-way screened from parking by use of landscaping and/or berming.
- A Type 'D' Landscape Buffer Planting shall be provided between this development and all RS-15 and PRD residential properties.
- A Type 'C' Landscape Buffer Planting shall be provided between this development and all RM-16 properties.
- All proposed landscape buffers shall strive to maintain as much of the existing tree canopy as possible. Proposed buffers shall supplement the existing tree canopy in order to meet minimum required landscape buffer standards.
- The proposed covered parking building elevations will be utilized, in conjunction with preserved existing trees and supplemental plantings to fill in gaps in existing trees preserved, as the buffer for portions of the site.
- All above ground utilities and mechanical equipment screened with landscaping and/or walls.
- Solid waste enclosures shall be screened with a masonry wall and enhanced with landscaping.

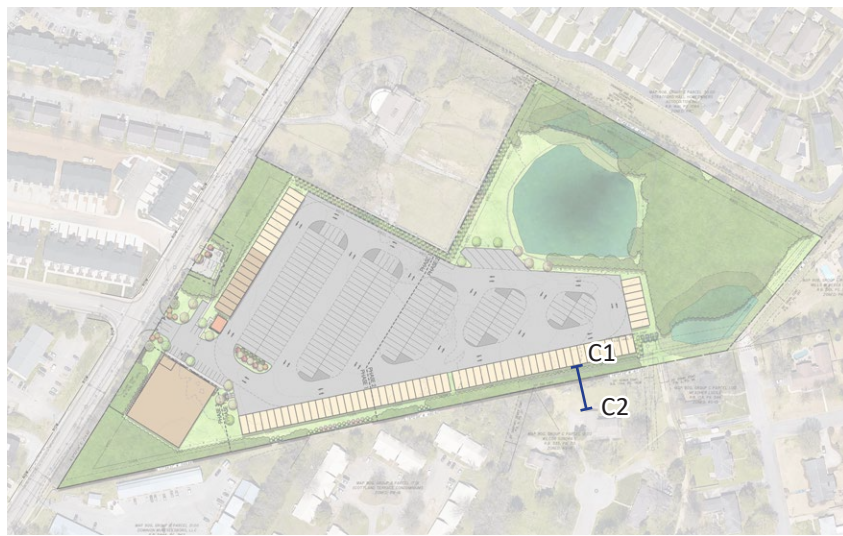




SITE KEY

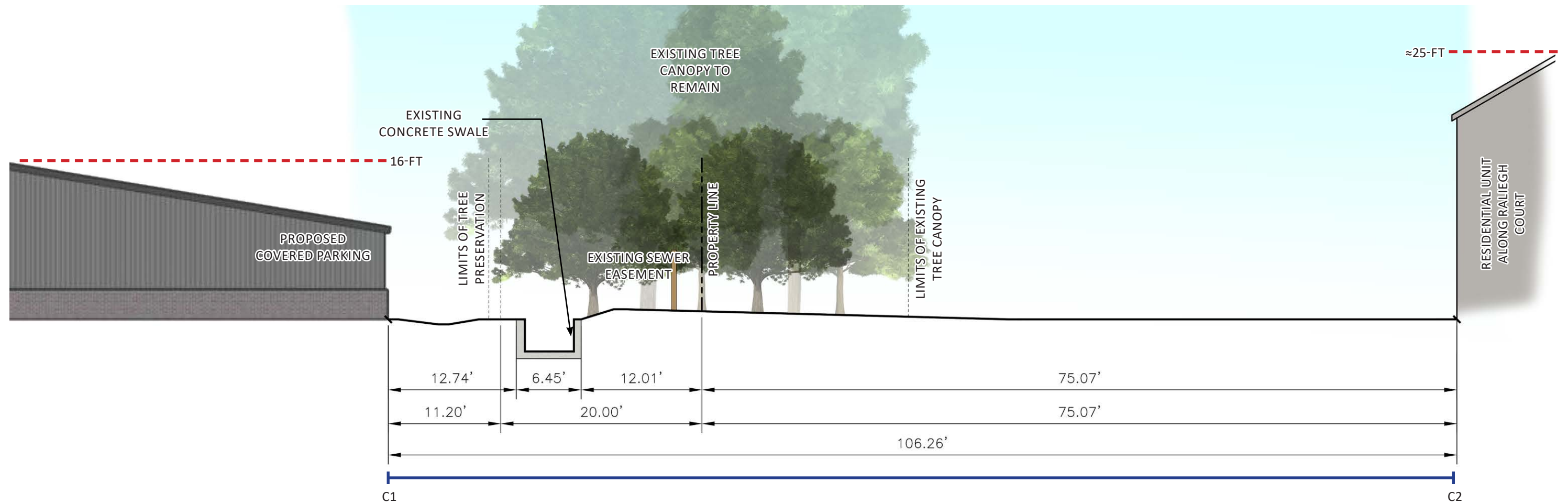
N.T.S. 





KEY MAP

N.T.S. 

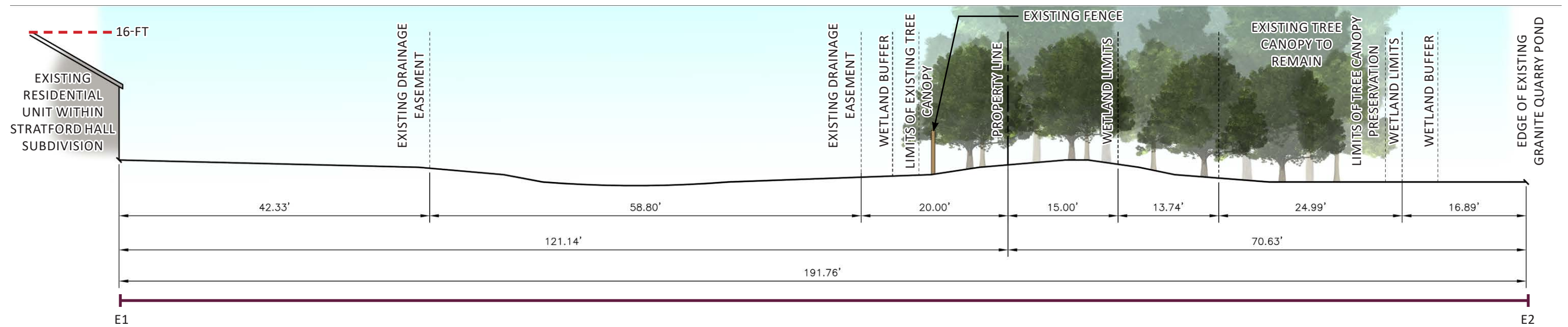
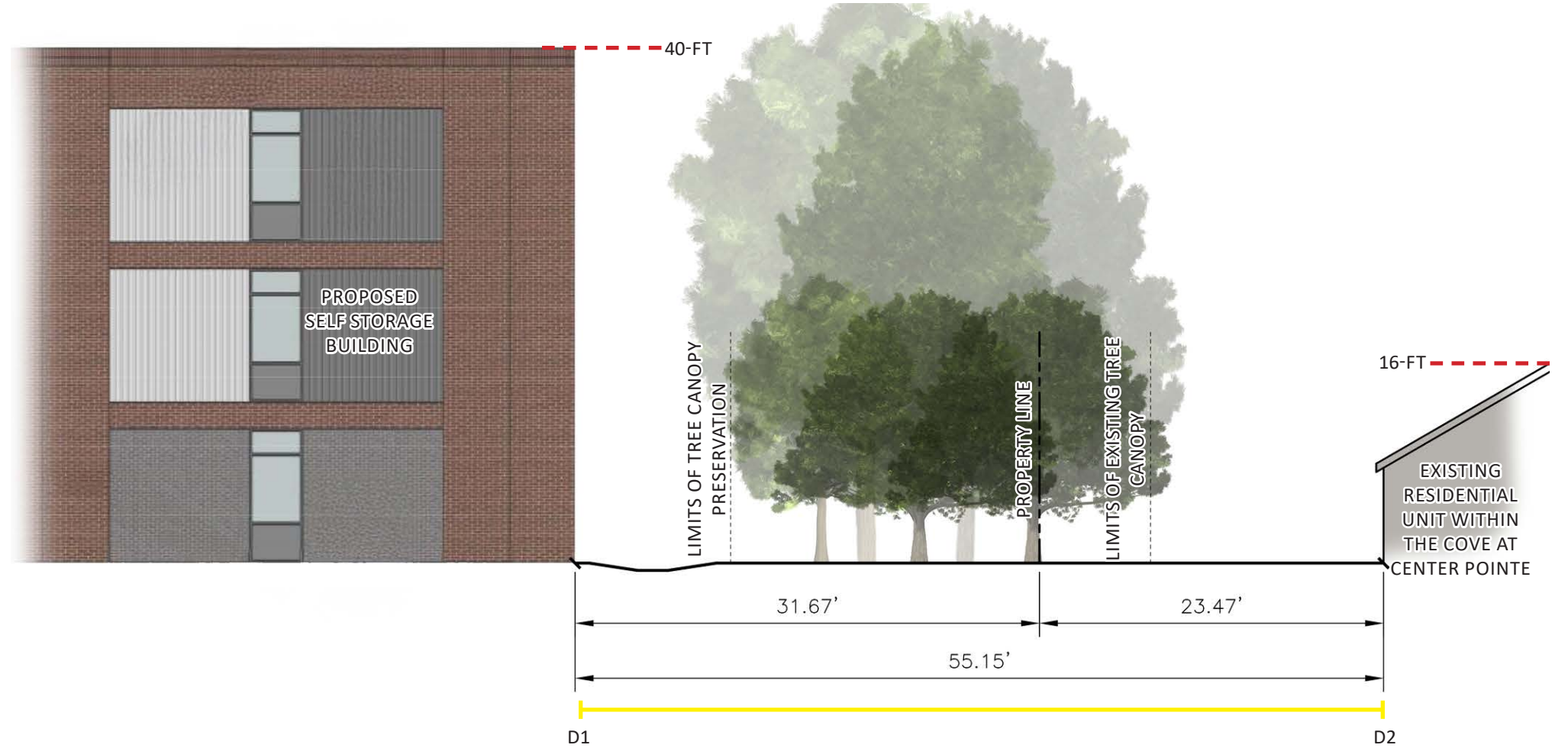






SITE KEY

N.T.S.







**Existing Monument Formal Open Space:**

A monument marking the geographic center of the state of Tennessee resides on the property along Old Lascassas Road. The monument has an existing parking lot and is currently fenced off from the rest of the property and is approximately 0.13 acres in size. With this rezoning, a bus parking space is being provided to help remediate the current on-street bus parking. A sidewalk will be provided from the proposed bus parking space to the monument site. A Maintenance and Access Easement shall be recorded on this lot with the development owner becoming responsible for the maintenance and upkeep of the monument area. Additional signage shall be installed to direct bus traffic to the storage facility. The existing wrought iron fence shall remain, receiving proper maintenance. The development will be providing new curbs, parking striping, and parking island trees to the existing parking lot configuration, final design shall be further developed during site plan review.



EXISTING MONUMENT



VIEW OF MONUMENT SITE FROM OLD LASCASSAS ROAD



EXAMPLE OF SEATING



**1.)** A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

**Response:** The exhibits given on Pages 3-7 meet this requirement.

**2.)** A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

**Response:** The exhibits given on Pages 3-7 meet this requirement.

**3.)** A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

**Response:** The exhibits given on Pages 3-7 meet this requirement.

**4.)** A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

**Response:** Pages 8-9 provide exhibits and standards that provides the required materials.

**5.)** A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.

**Response:** Pages 4 & 20 provide exhibits and standards that provides the required materials.

**6.)** If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

- (AA): The approximate date when construction of the project can be expected to begin.
- (BB): The order in which the phases of the project will be built.
- (CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage
- (DD): A breakdown by phase for subsections (5) and (6) above.

**Response:** The project is anticipated to be developed in one phase. Development is anticipated to begin within 180 days of rezoning approval, and will include all public infrastructure.

**7.)** A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

**Response:** The property is currently zoned RS-10 and RS-15. The surrounding area has a mixture of single-family and multi-family residential subdivisions. The concept plan and development standards combined with the architectural requirements of the buildings shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complement existing and future development in this area.

**8.)** A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property

**Response:** See Page 27 for requested exceptions and setbacks.

**9.)** A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio) and the O.S.R. (Open Space Ratio). These tabulations are for the PCD.

**Response:** This requirement has been addressed in the chart below.

TOTAL SITE AREA	639,823 s.f.	14.69 AC	100.00%
TOTAL MAXIMUM FLOOR AREA	66,000 s.f.	1.52 AC	10.32%
TOTAL LOT AREA	639,823 s.f.	14.69 AC	100.00%
TOTAL BUILDING COVERAGE	65,852 s.f.	1.51 AC	10.29%
TOTAL DRIVE/ PARKING AREA	280,578 s.f.	6.44 AC	43.85%
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC	0.00%
TOTAL LIVABLE SPACE	359,245 s.f.	8.25 AC	26.15%
TOTAL OPEN SPACE	127,964 s.f.	2.94 AC	20.00%
TOTAL FORMAL OPEN SPACE	5,663 s.f.	0.13 AC	0.89%
FLOOR AREA RATIO (F.A.R.)	N/A	N/A	N/A
LIVABILITY SPACE RATIO (L.S.R.)	N/A	N/A	N/A
OPEN SPACE RATIO (O.S.R.)	N/A	N/A	N/A

**10.)** The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

**Response:** This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portions of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0280J eff. 5/9/2023.

**11.)** The location and proposed improvements of any street depicted on the Murfreesboro 2040 Major Transportation Plan as adopted and as it may be amended from time to time.

**Response:** Pages 4 & 20 discusses the 2040 Major Transportation Plan.

**12.)** The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

**Response:** The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is The Parks Group Commercial Real Estate. contact info for both is provided on cover.

**13.)** Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

**Response:** Pages 12-18 show the architectural character of the proposed building and building materials listed.

**14.)** If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

**Response:** Examples of entrance signage are located on Page 9.

Land Use Parameters and Building Setbacks				
Zoning (Existing vs Proposed)	RS-15 (Existing)	CF (Most Relevant)	Proposed PCD	Difference
Residential Density				
Maximum Dwelling Units Multi-Family	2.9 D.U./Acre	None	None	N/A
Minimum Lot Area	15,000 SF	None	None	N/A
Minimum Lot Width	75'	None	None	N/A
Storage Facility Minimum Setback Requirements				
Minimum Front Setback (From Old Lascassas Road)	40'	42'	42'	0'
Minimum Front Setback (From Monument Property)	40'	42'	20'	-22'
Minimum Side Setback (3 - Story Building)	12.5'	*(10') 25'	30'	+5'
Minimum Side Setback (From Monument Property Line)	12.5'	*(10') 25'	20'	+10'
Minimum Side Setback (Covered Storage -Single Story)	12.5'	*(10') 25'	30'	+5'
Minimum Rear Setback	30'	*(20') 25'	30'	+5'
Land Use Intensity Ratios				
MAX F.A.R.	None	None	None	None
Minimum Livable Space Ratio	None	None	None	None
Minimum Open Space Requirement	20%	20%	20%	0%
Minimum Formal Open Space Requirement	None	19,166 SF (3%)	Limits of Monument Parcel: 5,663 SF (.13AC)	-13,503 SF
Max Height	35'	45'	40'	-5

\*Murfreesboro Zoning Ordinance Chart 2 Footnote #15: In the CF district, the minimum side yard or rear yard setback shall be as specified in Chart 2 unless the property abuts property in the RS, RD, RS-A, or PRD classification or the residential portion of land zoned in the PUD classification, in which case, the minimum setback shall be twenty-five feet from the common property line of the property in the RS, RD, RS-A, or PRD classification or the residential portion of land zoned in the PUD classification.

REQUESTED EXCEPTIONS:

- 1. Requesting an exception to Chart 1 End Note 16(e) to allow for self-service storage within 0-ft of a major intersection, a 300-ft reduction.
- 2. Requesting an exception to the shared property lines of the monument parcel to be a 20’ front sebatck to storage building behind monument parcel.
- 3. Requesting an exception to the requirement for formal open space be recognized at the preserved monument space (5,663 SF) in lieu of the required 19,166 SF on site, with site improvements determined at site plan review.
- 4. Requesting an exception to the tree island requirements in the parking storage areas. Trees typically required for these islands will be planted in an alternate locations on site.
- 5. Requesting an exception to the Architectural Design Guidelines to allow the buildings to have less than 35% window or void area on building’s facade surface area.
- 6. Requesting an exception to allow outdoor storage of Rv’s, trailers, cars, and boats in Phases 1 and 2 that exceeds 50% of all units in each phase.





OLD LASCASSAS MINI STORAGE - AERIAL VIEW



OLD LASCASSAS MINI STORAGE - NORTH ELEVATION

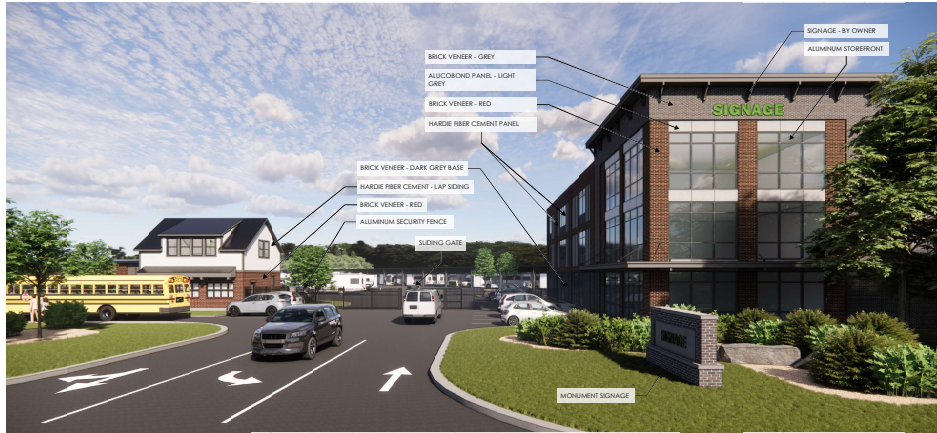


3-STORY STORAGE BUILDING - WEST ELEVATION - OLD LASCASSAS RD. - EXISTING TREES NOT SHOWN FOR CLARITY



3-STORY STORAGE BUILDING - WEST ELEVATION - OLD LASCASSAS RD. - WITH EXISTING TREES

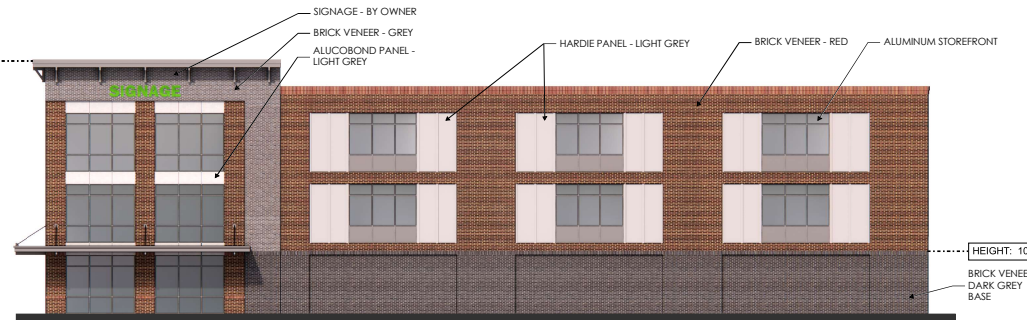




3-STORY STORAGE BUILDING - NORTH ELEVATION

Scale: 1" = 10'-0"

3-Story Storage Materials:  
Brick: 50%  
Hardie Fiber Cement Siding: 17%  
Alucobond Metal Panel: 3%  
Storefront: 30%



3-STORY STORAGE BUILDING - WEST ELEVATION - OLD LASCASSAS RD.

Scale: 1" = 10'-0"

3-Story Storage Materials:  
Brick: 50%  
Hardie Fiber Cement Siding: 15%  
Alucobond Metal Panel: 2%  
Storefront: 24%



3-STORY STORAGE BUILDING - EAST ELEVATION

Scale: 1" = 10'-0"

3-Story Storage Materials:  
Brick: 54%  
Hardie Fiber Cement Siding: 37%  
Storefront: 9%



3-STORY STORAGE BUILDING - SOUTH ELEVATION

Scale: 1" = 10'-0"

3-Story Storage Materials:  
Brick: 58%  
Hardie Fiber Cement Siding: 35%  
Storefront: 7%

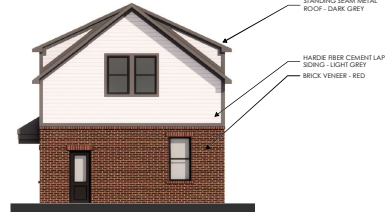




OFFICE BUILDING - WEST ELEVATION

Scale: 1/8" = 1'-0"

Office Materials:  
Brick: 41%  
Hardie Fiber Cement Siding: 27%  
Glazing: 32%



OFFICE BUILDING - SOUTH ELEVATION

Scale 1/8" = 1'-0"

Office Materials:  
Brick: 40%  
Hardie Fiber Cement Siding: 45%  
Glazing: 15%



OFFICE BUILDING - NORTH ELEVATION

Scale 1/8" = 1'-0"

Office Materials:  
Brick: 48%  
Hardie Fiber Cement Siding: 44%  
Glazing: 8%

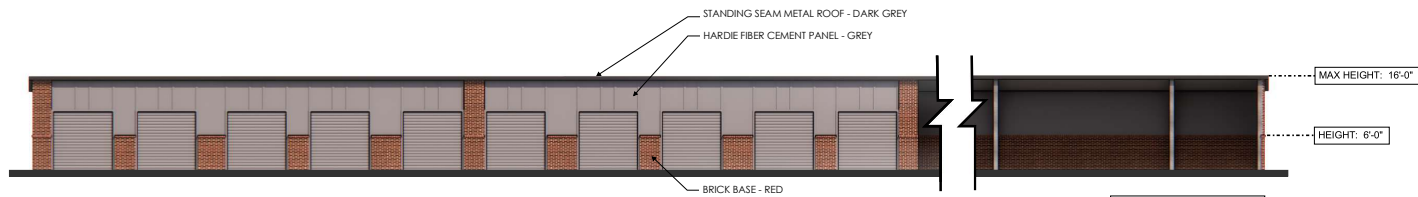


OFFICE BUILDING - EAST ELEVATION

Scale 1/8" = 1'-0"

Office Materials:  
Brick: 56%  
Hardie Fiber Cement Siding: 29%  
Glazing: 15%

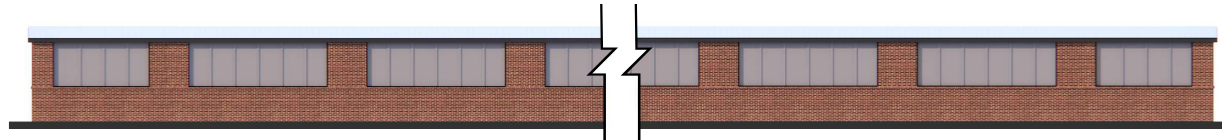




1-STORY STORAGE BUILDING - EAST ELEVATION

Scale: 1" = 10'-0"

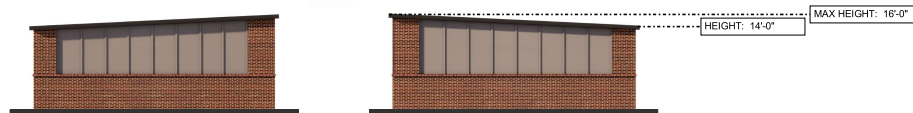
Open Storage Materials:  
Brick: 23%  
Hardie Fiber Cement Panel: 43%  
Garage Door: 20%



1-STORY STORAGE BUILDING - WEST ELEVATION

Scale: 1" = 10'-0"

Open Storage Materials:  
Brick: 56%  
Hardie Fiber Cement Panel: 44%



1-STORY STORAGE BUILDING - NORTH AND SOUTH ELEVATIONS

Scale: 1" = 10'-0"

Open Storage Materials:  
Brick: 54%  
Hardie Fiber Cement Panel: 46%





## PROJECT MATERIAL LEGEND

### PRIMARY MATERIALS

METAL INFILL PANEL - LIGHT GREY

HARDIE FIBER CEMENT PANEL - GREY

BRICK (RED, LIGHT GREY, AND DARK GREY)

GLAZING

HARDIE FIBER CEMENT LAP SIDING - LIGHT GREY (OFFICE ONLY)

### SECONDARY MATERIALS

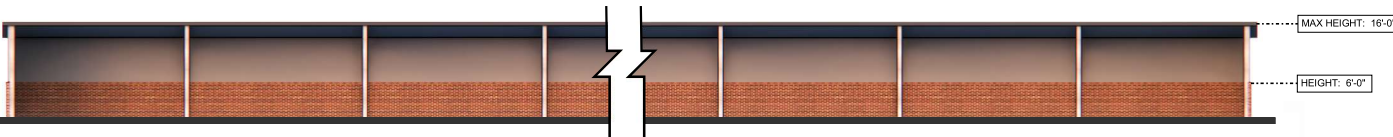
ALUMINUM STOREFRONT FRAME, PRE-ENGINEERED METAL AWNING

STANDING SEAM METAL ROOF

OVERHEAD DOORS

### TERTIARY MATERIALS

METAL COPING/TRIM



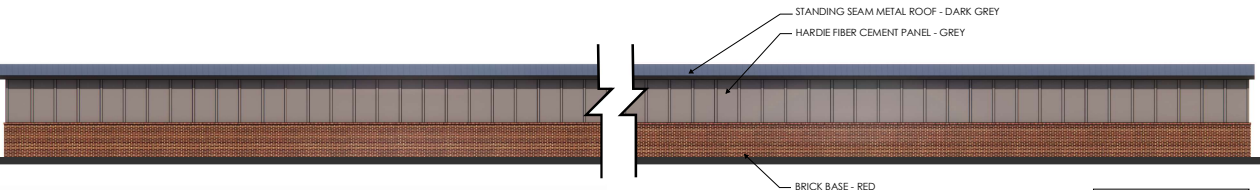
1-STORY OPEN STORAGE BUILDING - NORTH ELEVATION

Scale: 1" = 10'-0"

Open Storage Materials:

Brick: 45%

Hardie Fiber Cement Panel: 55%



1-STORY OPEN STORAGE BUILDING - SOUTH ELEVATION

Scale: 1" = 10'-0"

Open Storage Materials:

Brick: 45%

Hardie Fiber Cement Panel: 55%



1-STORY OPEN STORAGE BUILDING - EAST AND WEST ELEVATIONS

Scale: 1" = 10'-0"

Open Storage Materials:

Brick: 43%

Hardie Fiber Cement Panel: 57%



**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
MAY 7, 2025  
PROJECT PLANNER: RICHARD DONOVAN**

**6.b. Annexation petition and plan of services [2025-501] for approximately 13.74 acres located along Yeargan Road, Shane and Dewayne Beard applicants.**

Shane and Dewayne Beard have submitted a petition requesting annexation of their property into the City of Murfreesboro. The annexation area includes one parcel located on the north side of Yeargan Road. The annexation area also includes approximately 610 linear feet of Yeargan Road right-of-way. The Rutherford County Highway Commission reviewed and consented to the annexation of the right-of-way segment of Yeargan Road at its March 3, 2025 meeting. The parcel is currently vacant. The total annexation study area is approximately 13.74 acres.

The annexation study area includes the following areas:

- Tax Map 124, Parcel 035.08 (13.26 acres)
- Yeargan Road right-of-way (0.48 acres)

The applicant has submitted a companion zoning application to rezone the subject property to an RS-10 designation. This rezoning would permit the 13.26 acres to be subdivided further potentially into twenty-one lots as shown on the provided concept plan. It should be noted that the concept plan submitted is for illustrative purposes only and approval of the annexation and zoning does not convey any type of approval of the concept plan.

The annexation study area is located within the City of Murfreesboro's Urban Growth Boundary. The annexation area is contiguous with the City Limits along its northern and western boundaries. The Murfreesboro 2035 Comprehensive Plan, Chapter 4: Future Land Use Map identifies a "Service Infill Line"; this line is to help facilitate growth and development in the City in an orderly, planned, and sustainable manner and to help plan for future City services. This annexation study area is located within the Service Infill area.

Staff has drafted a plan of services, which is included in the agenda packet. It details how and when services can be extended to the property, if annexed. Due to its close proximity to the existing City limits, it will be relatively easy to extend services to the subject property, except for sanitary sewer service. The property seeking annexation will need to work with neighboring developments, Magnolia Grove or Prater Farms, to extend sanitary sewer to the subject property. The timeline for the gravity sewer



to reach the proposed development is currently unknown, and all main line extensions are the financial responsibility of the developer.

**Staff recommendation:**

Staff is supportive of this annexation request for the following reasons:

- 1) The subject property is contiguous with the existing City Limits.
- 2) It is located within the Urban Growth Boundary and within the Service Infill Area.
- 3) Services can be extended to the subject property upon annexation.

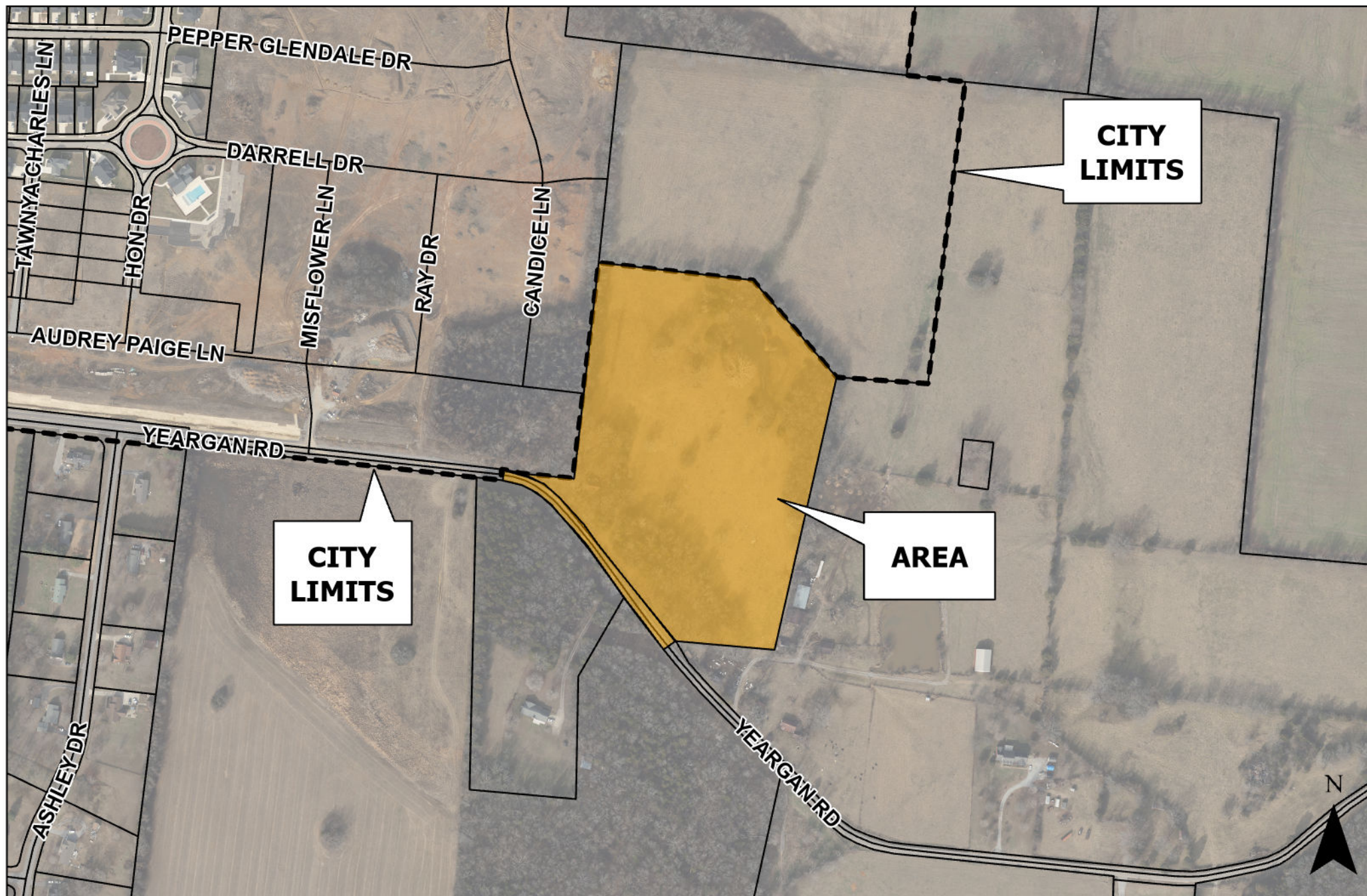
**Action Needed:**

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

**Attachments:**

Ortho Map  
Non-ortho maps  
Annexation Petition  
Plan of Services



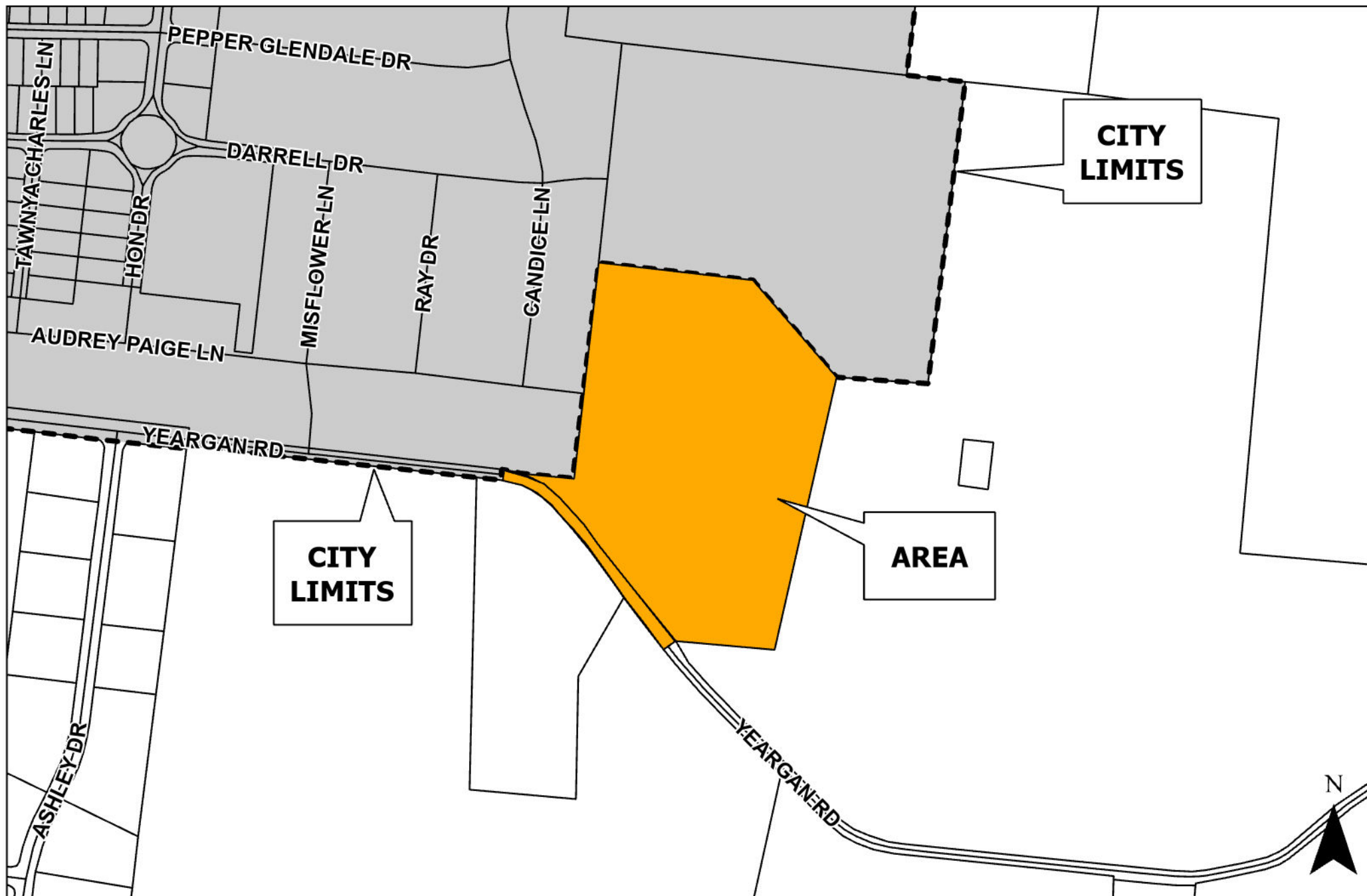


## Annexation Request for property along Yeargan Road

0 240 480 960 1,440 1,920 US Feet

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)





## Annexation Request for property along Yeargan Road



0 240 480 960 1,440 1,920 US Feet

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



## PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

**Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.**

1. DONALD DWAYNE BEARD OWNER

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: [Signature] Status: \_\_\_\_\_ Date: 2-12-25

2434 MEADOWHILL DR, Murfreesboro, TN  
Mailing Address (if not address of property to be annexed)

2. DONALD SHANE BEARD OWNER

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: [Signature] Status: \_\_\_\_\_ Date: 2-12-25

308 PARAGON DR, Bull Buckle, TN  
Mailing Address (if not address of property to be annexed)

3.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: \_\_\_\_\_ Status: \_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_  
Mailing Address (if not address of property to be annexed)

4.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: \_\_\_\_\_ Status: \_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_  
Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: ✓ Yes

Power of Attorney applies and is attached: \_\_\_\_\_ Yes ✓ No



## Consent for Annexation of Public Right-of-Way by the City of Murfreesboro

The City of Murfreesboro, Tennessee has initiated an annexation study of public right-of-way as shown on the attached Exhibit, which specifically includes that segment of Yeargan Road directly in front of Tax Map 124, Parcel 03508 (i.e., from the eastern boundary of the Magnolia Grove Subdivision tract to the western boundary of the property identified as 3650 Yeargan Road) totaling approximately 610 linear feet ("County Right-of-Way"), such section being a portion of the prescriptive/platted right-of-way for Yeargan Road shown in the current Rutherford County Highway Department Road Book. The undersigned, a duly authorized official of Rutherford County, Tennessee, hereby certifies that, at a public meeting held on March 3, 2025 and in furtherance of the requirements set forth in Tenn.Code Ann. § 6-51-1014, the Rutherford County Highway Commission consented to the annexation of the County Right-of-Way by the City of Murfreesboro, Tennessee.

WITNESS MY HAND this 3 day of March 2025.



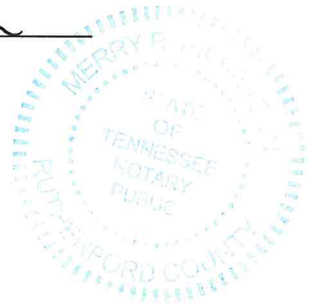
Greg Brooks

Rutherford County Road Superintendent

Sworn to and subscribed before me, a notary public in and for said county and state in Murfreesboro, Tennessee on the 3 day of March 2025.

  
NOTARY PUBLIC

My Commission Expires: 4-15-2028







## ELKINS SURVEYING COMPANY

520 WEST LYTTLE ST. SUITE B  
MURFREESBORO, TN 37130

### Legal Description

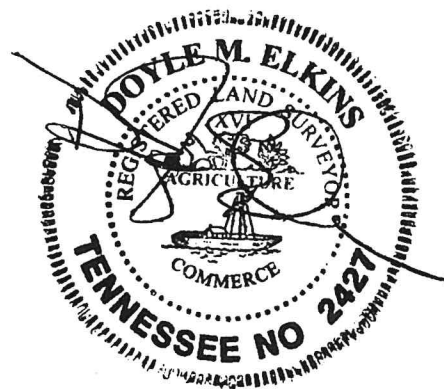
Part of RUTHERFORD COUNTY TAX MAP 124, PARCEL 035.02

Yeargan Road, Murfreesboro, TN 37128

13.26 ACRES +/-

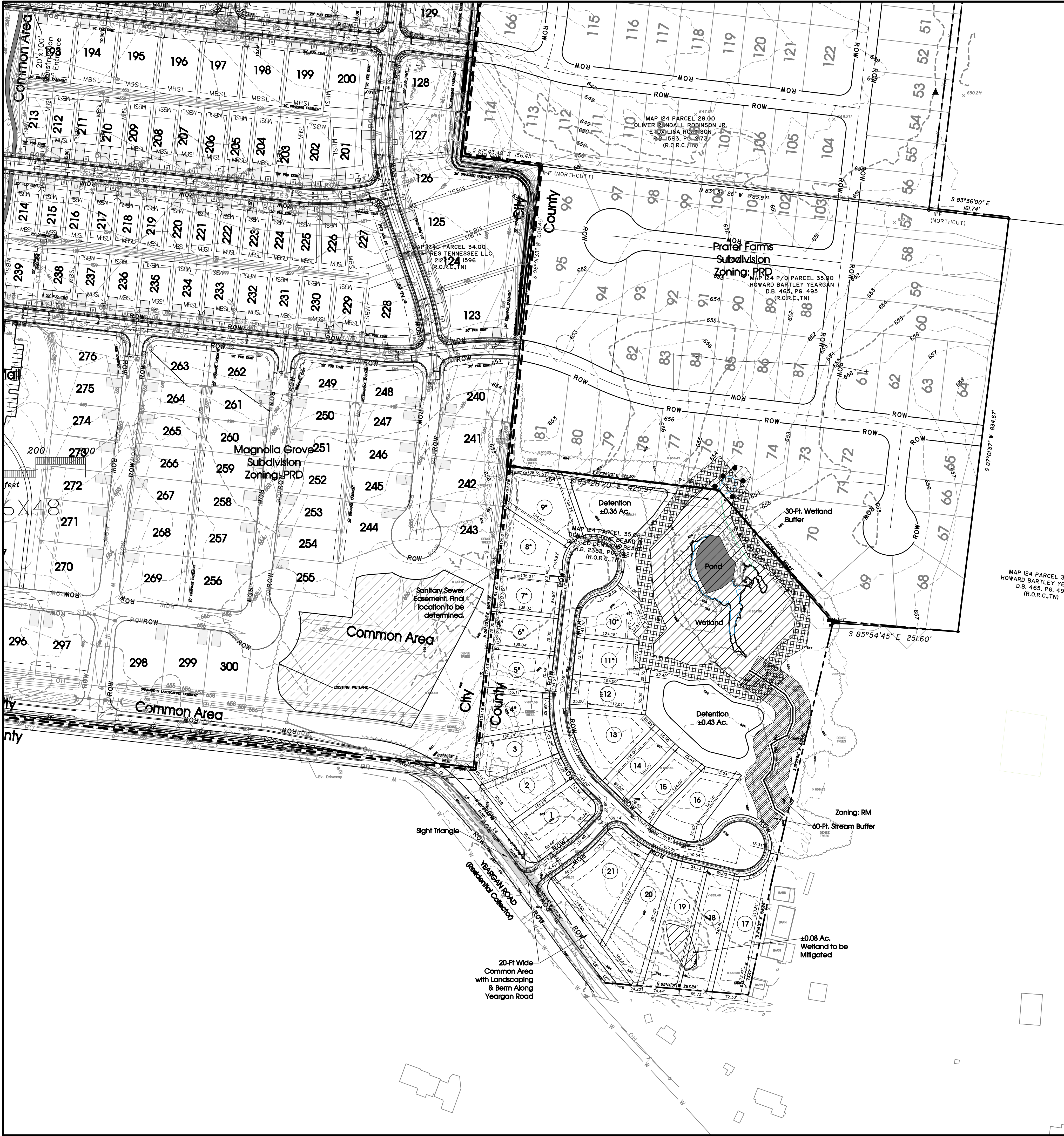
**THIS CERTAIN PARCEL OF REAL ESTATE SITUATED AND LOCATED IN RUTHERFORD COUNTY, STATE OF TENNESSEE, AND BEING DESCRIBED AS FOLLOWS TO-WIT:**

Beginning at a IPS Elkins RLS #2427, being the farthest Western point of this property, ~15' from the C/L of Yeargan Road and a point in line with Dalmar Homes, LLC M/P: 124 034.00, DB: 1660/3216. Then following Dalmar Homes, LLC for the next two (2) calls - S 84°30'02" E a distance of 144.06' to an IPS - Elkins RLS #2427; thence N 06°31'03" E a distance of 596.98' to an IPF - NO CAP, being the NWC of this property and a SWC of YEARGAN - M/P: 124 035.00, DB: 1072/2573. Then leaving DALMAR HOMES, LLC and following YEARGAN for the next four (4) call - S 83°27'29" E a distance of 425.78' to an IPF - NO CAP, being a NEC of this property; thence S 40°45'37" E a distance of 351.69' to an IPS - Elkins RLS #2427, being a NEC of this property; thence S 12°49'46" W a distance of 767.28' to an IPS - Elkins RLS #2427, being the SEC of this property; thence ON 84°56'57" W a distance of 271.96' to an IPS - Elkins RLS #2427, being a SWC of this property, a NWC of YEARGAN and ~25' from the C/L of YEARGAN ROAD. Then leaving YEARGAN and following YEARGAN ROAD for the next two (2) calls - N 39°01'20" W a distance of 503.81' to an IPS - Elkins RLS #2427; thence with a curve turning to the left with an arc length of 126.65', with a radius of 274.24', with a chord bearing of N 57°00'24" W, with a chord length of 125.53', to an IPS - Elkins RLS #2427 which is the point of beginning, having an area of 577488 square feet, 13.257 acres more or less according to a survey performed by Elkins Surveying Company, dated May 17, 2023.



DOYLE ELKINS  
6/12/2023

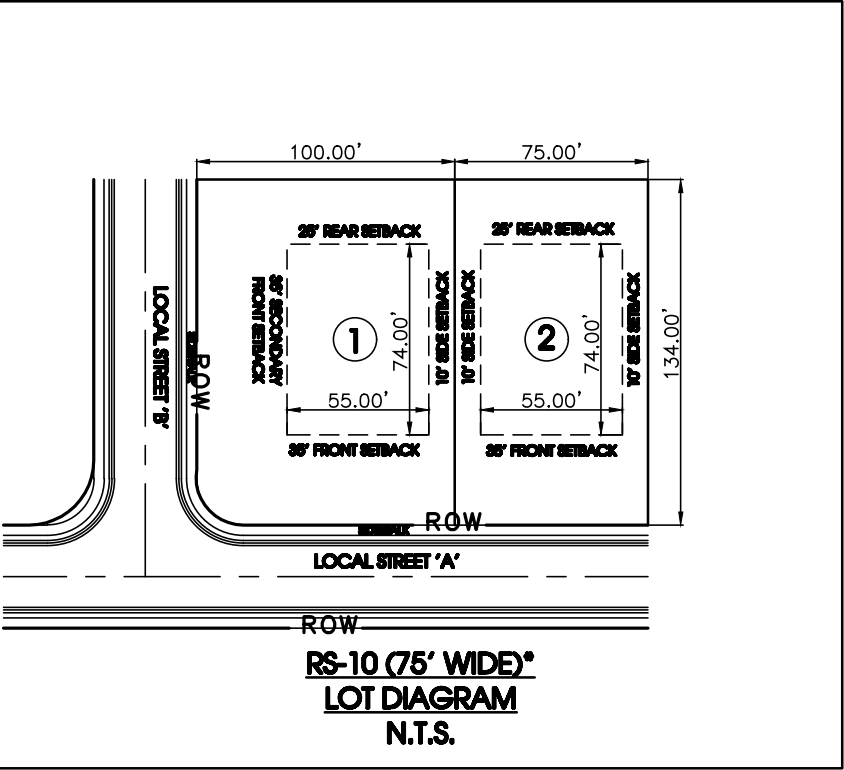
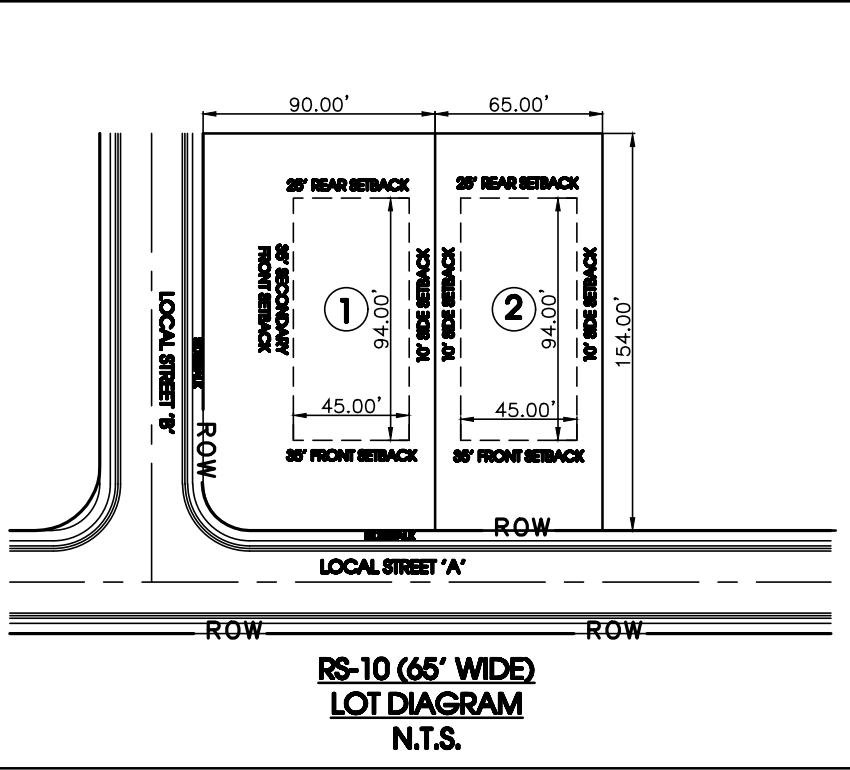




**YEARGAN ROAD PROPERTY**  
**CONCEPTUAL SITE PLAN**

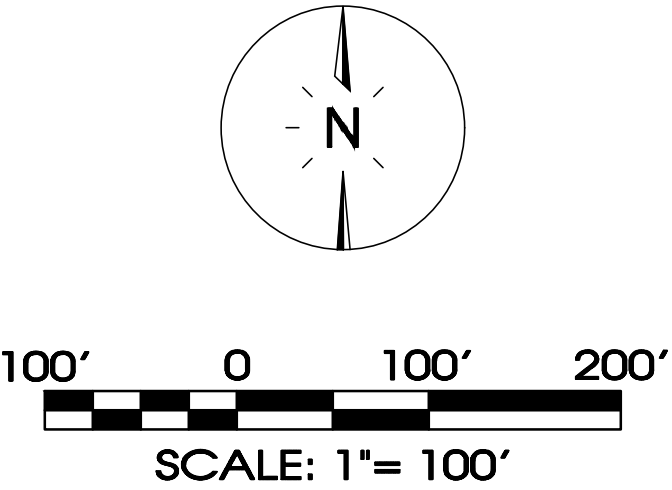
LAND USE DATA:  
EXISTING ZONING: RM (COUNTY)  
PROPOSED ZONING: RS-10  
TOTAL LAND AREA: ±13.21 ACRES  
TOTAL NUMBER OF LOTS: 21 LOTS  
DENSITY: 21 LOTS/13.21 ACRES= 1.59 UNITS/ACRES

STORMWATER: ±0.79 AC (5.98%)  
MINIMUM LOT SIZE: 10,000 SF  
MINIMUM LOT WIDTH AT FRONT SETBACK: 65 FEET  
LENGTH OF NEW ROADWAY: ±1,100 LF

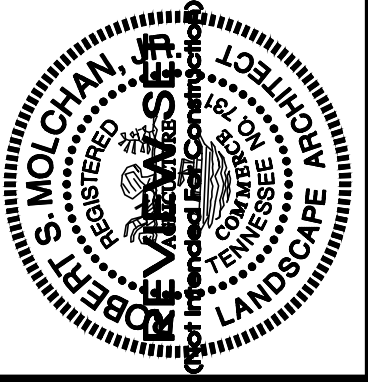


**LOT TABLE DATA:**

Lot #	Lot Sq. Ft.
1	14,797 SF
2	12,256 SF
3	12,772 SF
4	11,846 SF
5	10,292 SF
6	10,128 SF
7	11,463 SF
8	12,613 SF
9	16,073 SF
10	11,770 SF
11	10,091 SF
12	10,089 SF
13	14,563 SF
14	10,010 SF
15	10,345 SF
16	12,865 SF
17	17,860 SF
18	15,840 SF
19	17,531 SF
20	20,705 SF
21	22,619 SF



**SEC, Inc.**  
SITE ENGINEERING CONSULTANTS  
ENGINEERING • SURVEYING • LAND PLANNING  
LANDSCAPE ARCHITECTURE  
850 MIDDLE TENNESSEE BOULEVARD  
MURFREESBORO, TENNESSEE 37129  
PHONE: (615) 890-7901 WWW.SEC-CIVIL.COM FAX: (615) 895-2567  
NO PORTION OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF SEC, INC.  
The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the sole responsibility of the owner/developer to ensure that the construction of the site shown on these construction drawings is in total accordance with the design as noted, described and shown on these drawings. The site is constructed in accordance with the construction plans.



**Beard Property**  
**Yeargan Road**  
**Murfreesboro, TN**

**Concept Plan**  
CP 'E'  
REVISIONS:  
DRAWN: KMG  
DATE: 01-31-2025  
CHECKED: RSM  
FILE NAME: 24066Yeargan Rd\_CP E  
SCALE: 1" = 100'  
JOB NO. 24066  
SHEET:

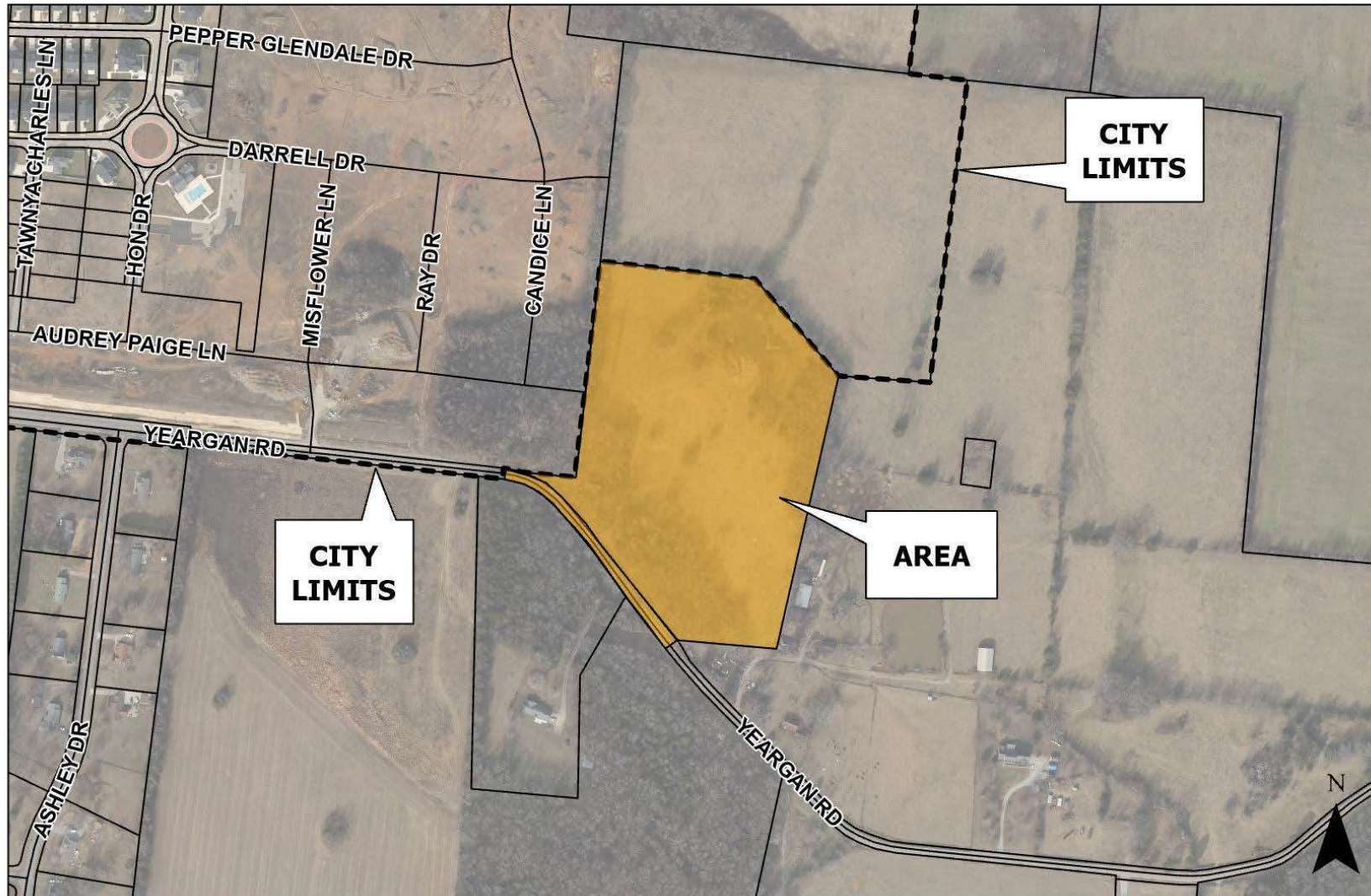


**ANNEXATION REPORT FOR PROPERTY  
LOCATED ALONG YEARGAN ROAD  
INCLUDING PLAN OF SERVICES  
(FILE 2025-501)**

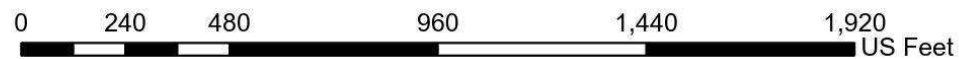


**PREPARED FOR THE  
MURFREESBORO PLANNING COMMISSION  
May 7, 2025**





### Annexation Request for property along Yeargan Road



Planning Department  
 City of Murfreesboro  
 111 West Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



# INTRODUCTION

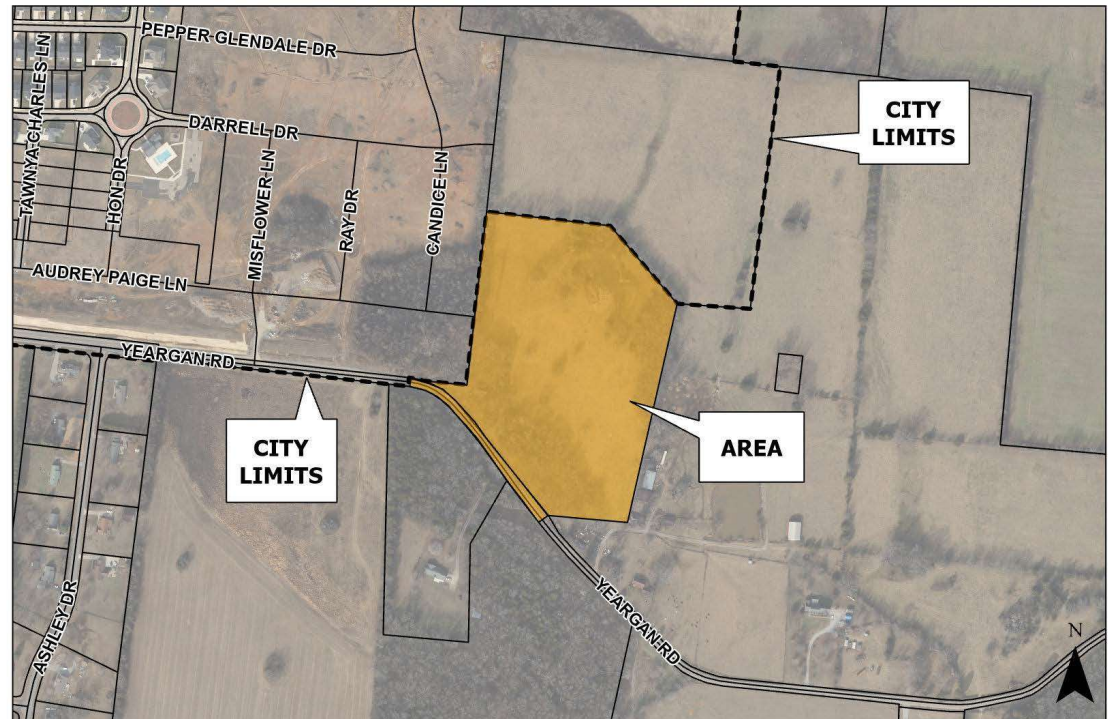


## **OVERVIEW**

The property owners, Shane and Dewayne Beard, submitted a petition requesting their property be annexed into the City of Murfreesboro. Their property totals approximately 13.26 acres and is located along the north side of Yeargan Road. In addition, included in the annexation study area is approximately 675 linear feet of Yeargan Road right-of-way (ROW) (or approximately 0.48 acres). At its March 3, 2025 regular meeting, the Rutherford County Road Board voted to grant consent to the City to annex this segment of ROW. The total annexation study area is approximately 13.74 acres. The annexation study area includes the following properties:

- Tax Map 124, Parcel 35.08 (13.26 acres)
- Yeargan Road right-of-way (0.48 acres)

The annexation study area is located within the City's Urban Growth Boundary and is contiguous to the existing City limits along its northern and western boundaries, as depicted on the adjacent map.



Annexation Request for property along Yeargan Road

0 240 480 960 1,440 1,920 US Feet

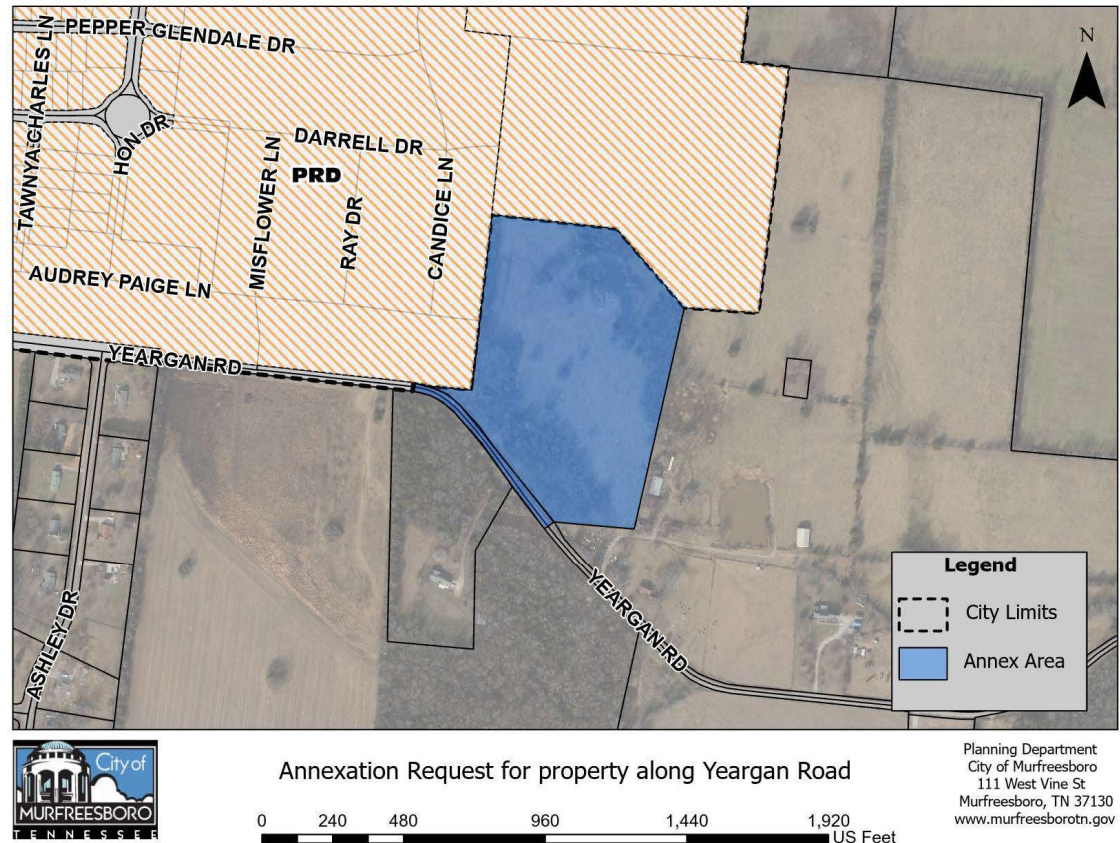
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City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
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## SURROUNDING ZONING

The study area consists of one parcel located on the north side of Yeargan Road. The subject parcel is currently vacant. The annexation petition has a companion zoning application for Residential Single Family with a 10,000 ft<sup>2</sup> minimum lot size (RS-10).

The properties surrounding the annexation study area consists exclusively of residential zoning types. The property to the north is in the City and part of the Prater Farms PRD (Planned Residential District), to the east and south is zoned RM (Residential Medium Density) in unincorporated Rutherford County, and to the west is the Magnolia Grove PRD. Prater Farms and Magnolia Grove both consist of single-family residential detached homes on individual lots with lot sizes ranging from 6,000ft<sup>2</sup> to 10,000ft<sup>2</sup>.

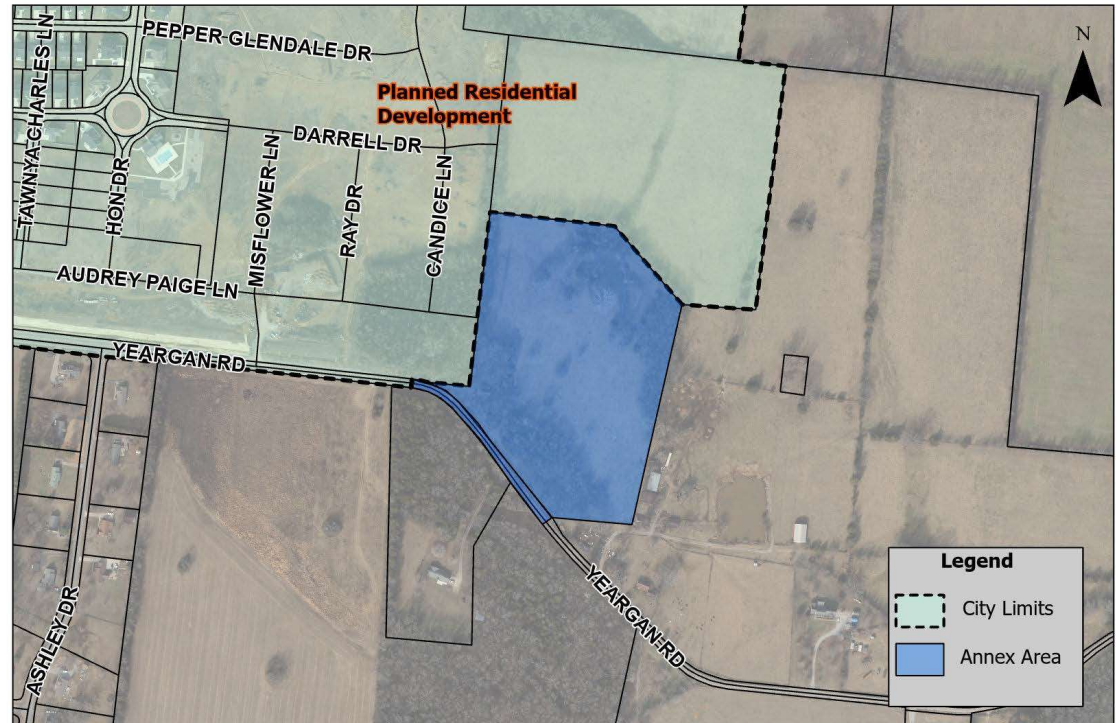




## SURROUNDING LAND USE

The area being considered for annexation consists of a single parcel totaling 13.26 acres and approximately 610 linear feet of Yeargan Road right-of-way. The subject parcel is currently vacant.

The surrounding area consists exclusively of residential uses. The property to the north is in the City and part of the Prater Farms PRD which is under construction, to the east and south is large lot single family residential, and to the west is the Magnolia Grove single-family residential subdivision, which is under construction.



Annexation Request for property along Yeargan Road

0 240 480 960 1,440 1,920 US Feet

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## **TAXES AND REVENUE**

The first City tax bill for all property annexed during the calendar year of 2025 will be due on December 31, 2026. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9526/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

***Table I***  
***Estimated Taxes from Site***

<b>Owner of Record</b>	<b>Tax Map and Parcel</b>	<b>Acres</b>	<b>Land Value</b>	<b>Improvements Value</b>	<b>Total Assessment</b>	<b>Estimated City Taxes</b>
Dewayne & Shane Beard	125-035.08	13.26	\$318,000	\$0	\$79,500	\$757.32

These figures are for the property in its current state and assessed at the residential rate of 25 percent.



## **PLAN OF SERVICES**



### **POLICE PROTECTION**

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department could begin providing services that include patrol-related functions, criminal investigations, and community engagement initiatives. These services would be provided immediately upon the effective date of annexation. The current police zone that borders the study area is Zone 7.

Police staffing numbers are assessed based upon residential population numbers cumulatively. This development should be assessed with future population projections for the City for staffing considerations in the future.

### **ELECTRIC SERVICE**

The study area is currently served by Middle Tennessee Electric (MTE). MTE has existing overhead electric lines along Yeargan Road to serve the study area.

### **STREET LIGHTING**

Streetlights do not currently exist along the Yeargan Road right-of-way. Streetlights will be installed within the development if new public streets are constructed. If the City of Murfreesboro wishes to add streetlights along the Yeargan Road public right-of-way, the Transportation Department would need to make the request to MTE.

### **SOLID WASTE COLLECTION**

The Solid Waste Department can provide services to the study area. In its current state, no additional equipment or manpower will be needed to serve the study area. Upon development as a residential subdivision, a solid waste cart for each dwelling (\$69.66 each) will be needed to serve the study area.

### **RECREATION**

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.



## **CITY SCHOOLS**

According to Murfreesboro City Schools (MCS), this parcel of land currently resides outside of the **Salem Elementary School** zone, and it would become part of this school's zoned area. Any elementary school-aged children residing on the property once developed will be eligible to attend Murfreesboro City Schools. In the property's present state, it would have no impact on the school system, since it is currently undeveloped. If the land were developed to include approximately 21 single-family residential homes, MCS would anticipate this would add between 5 and 7 students to the school population. The capacity for Salem Elementary is 960 and the current school enrollment is 955. MCS and the City will continue to monitor new growth in the district, including the Salem school zone, in order to evaluate the need for a new elementary school in the future.



## **BUILDING AND CODES**

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

## **PLANNING, ENGINEERING, AND ZONING SERVICES**

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

## **GEOGRAPHIC INFORMATION SYSTEMS**

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

## **STREETS AND ACCESS**

The annexation study area includes approximately 610 linear feet of Yeargan Road ROW. Upon annexation, the roadway will become the responsibility of the City of Murfreesboro, including all routine maintenance. Based on an estimated 15-year repavement cycle the annualized roadway maintenance costs are estimated at \$1,000 for this roadway. Capital cost for the annexation of the portion of roadway are estimated to be \$200. As a substandard street, any development along Yeargan Road will need to dedicate appropriate ROW and participate in the upgrade of the roadway to current City standards. Any new connections must be approved by the City Engineer.

No additional public roadways are included in the study area. Any future public roadway facilities to serve the study area must be constructed to City standards.

## **REGIONAL TRAFFIC & TRANSPORTATION**

The study area is served by Yeargan Road as the major roadway facility. The 2014 Level of Service Model in the 2040 Major Transportation Plan shows Yeargan Road to be operating at a Level of Service A in the study area using average daily traffic (ADT) counts. Without the recommended improvements in the 2040 Major Transportation Plan, Level of Service on Yeargan Road becomes LOS D.

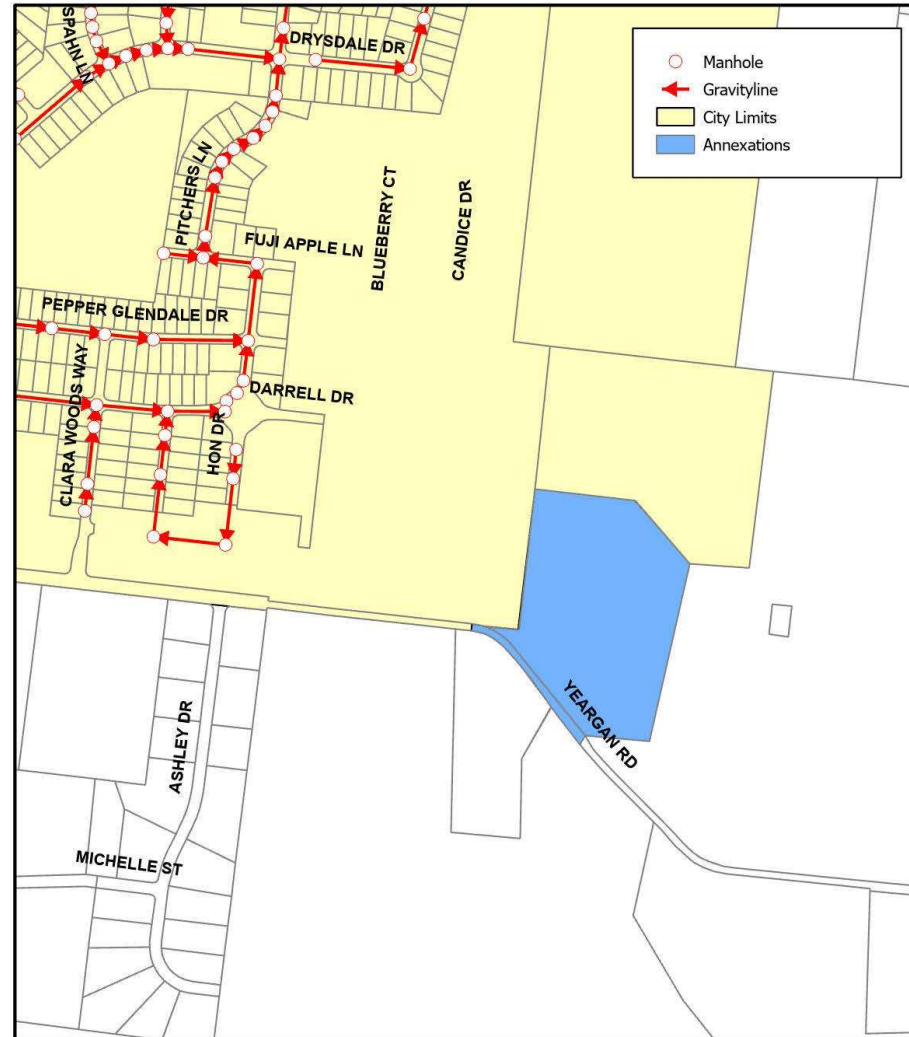


## **SANITARY SEWER SERVICE**

Currently sewer is not available to the property. This development would connect to gravity sewer through either the Magnolia Grove or the Prater Farms Subdivisions currently under construction. The timeline that the gravity sewer will reach the proposed development is unknown.

This property is within the Salem Barfield and Basin "D" Sanitary Sewer Assessment Districts and will be charged \$3,150 and \$925 per single-family unit (sfu) respectively in addition to the standard connection fee of \$2550 per sfu.

All main line extensions are the financial responsibility of the developer and must be extended in accordance with the Development Policies and Procedures of the Murfreesboro Water Resources Department.



MURFREESBORO WATER RESOURCES DEPARTMENT

### **Annexation Request for Yeargan Road**



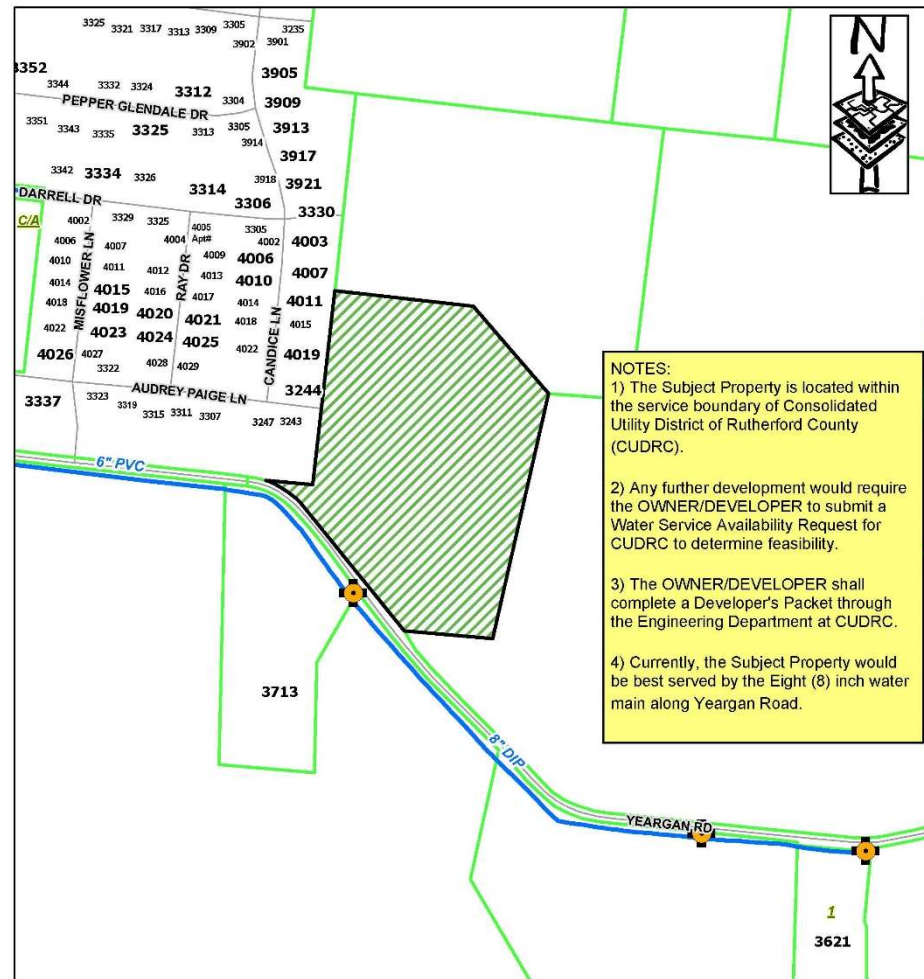


## WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUDRC) service area. Currently, the subject property would be best served by the Eight (8)-inch water main along Yeargan Road.

Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUDRC's Developer Packet through CUDRC's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUDRC's development policies and procedures.

### Rezoning Request Yeargan Road Tax Map 124 Parcel 35.08



**SUBJECT PROPERTY**  
 **CUD HYDRANT**  
 **CUD WATER MAIN**

February 26, 2025

TAX MAP: 124  
PARCEL: 35.08



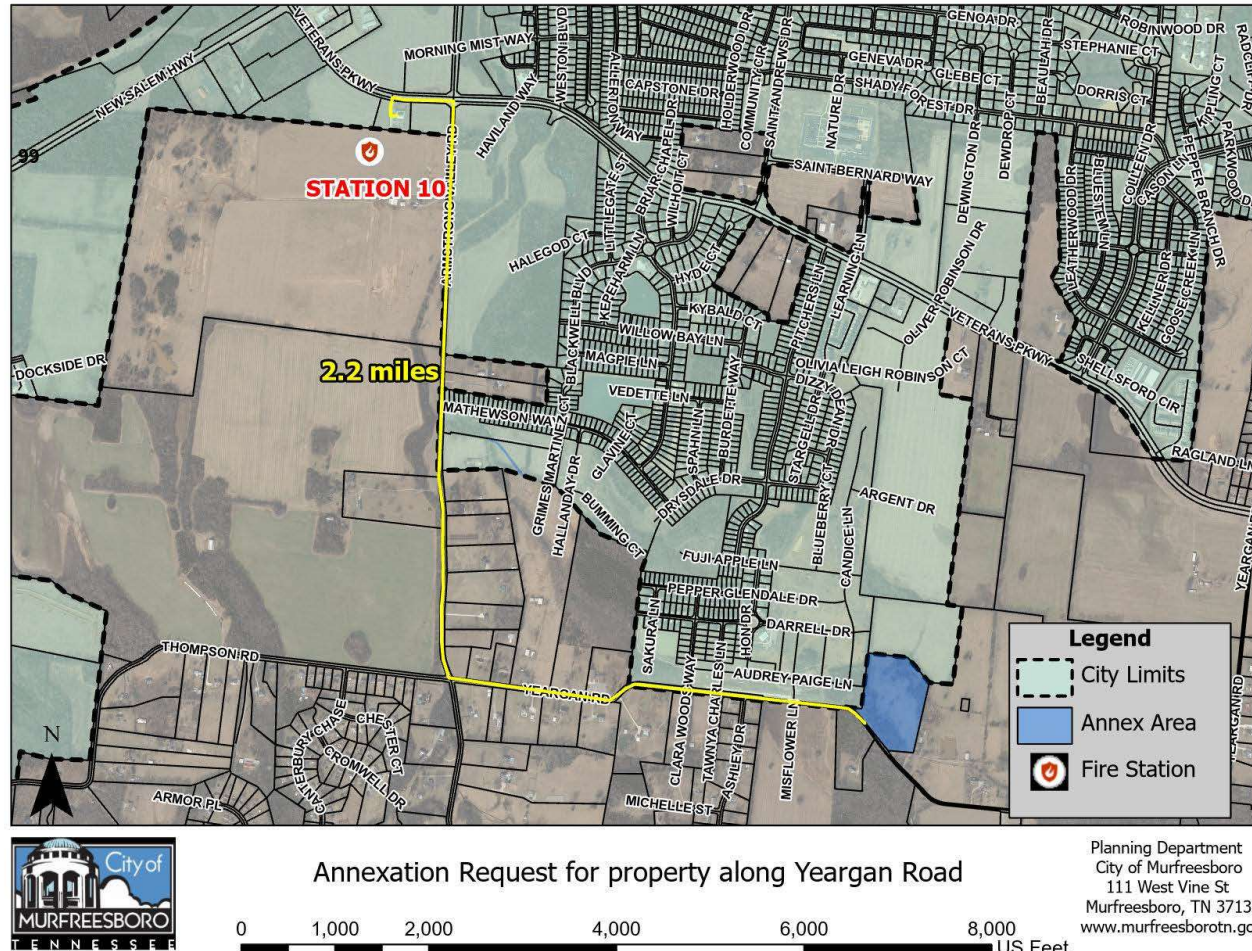
0 250 500 750 1,000  
Feet



## FIRE AND EMERGENCY SERVICE

The study area contains vacant land. The Murfreesboro Fire and Rescue Department (MFRD) can provide emergency services and fire protection to the study area immediately upon the effective date of annexation at no additional expense.

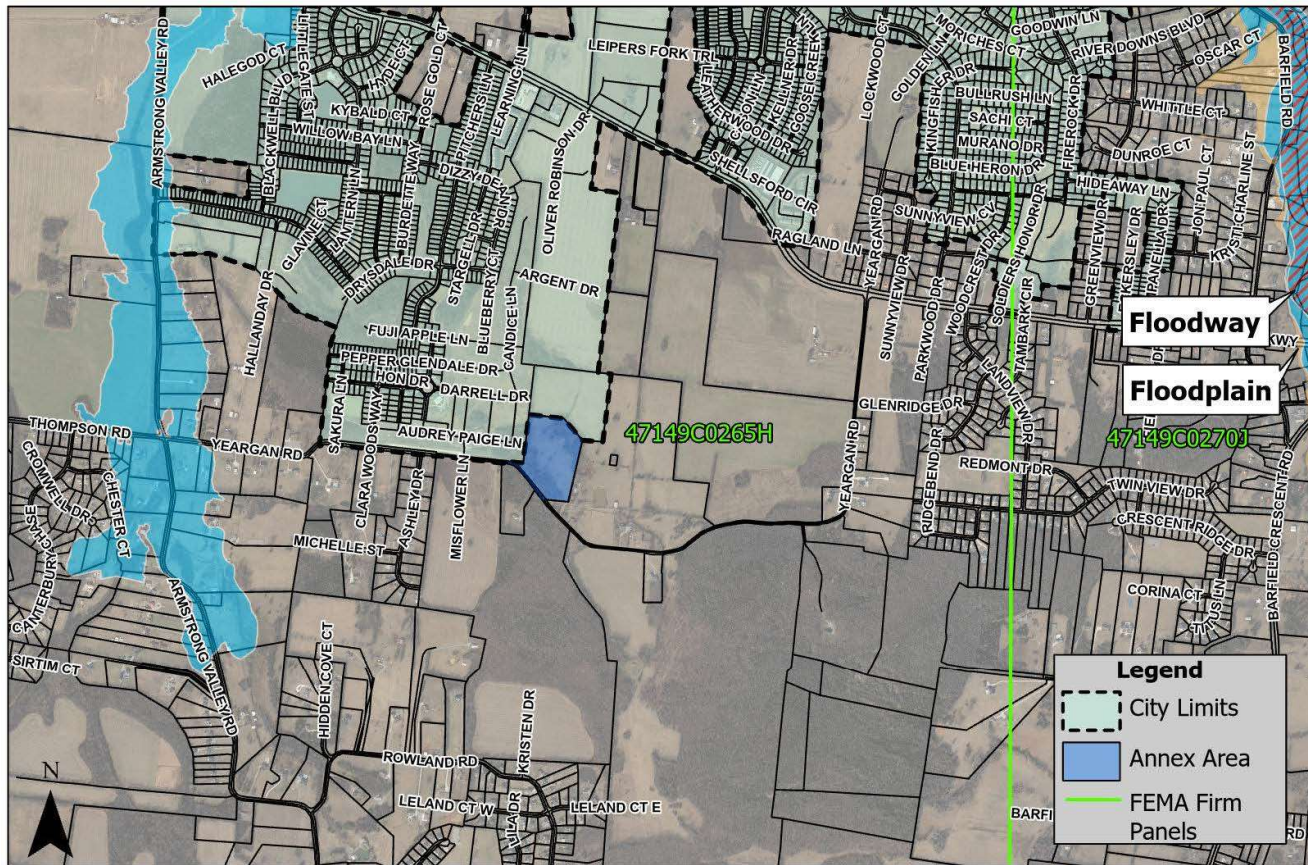
Currently the study area is located 2.2 miles from Fire Station #10 (2563 Veterans Parkway). The yellow line on the adjacent map represents the linear distance range from the nearest fire station.



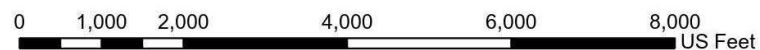


## FLOODWAY

The study area is not located within the 100-year floodplain nor within the regulatory floodway as delineated on the Flood Insurance Rate Map (FIRM) developed by the Federal Emergency Management Agency (FEMA).



### Annexation Request for property along Yeargan Road



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## **DRAINAGE**

### **Public Drainage System**

Public drainage facilities available to the study area are located within the ROW of Yeargan Road. The drainage facility within Yeargan Road will be the responsibility of the City, if the ROW is annexed.

No additional public drainage facilities are included in the study area. Any new public drainage facilities proposed to serve the study area in the future must meet City standards. New connections to the public drainage system must be approved by the City Engineer.

### **Regional Drainage Conditions**

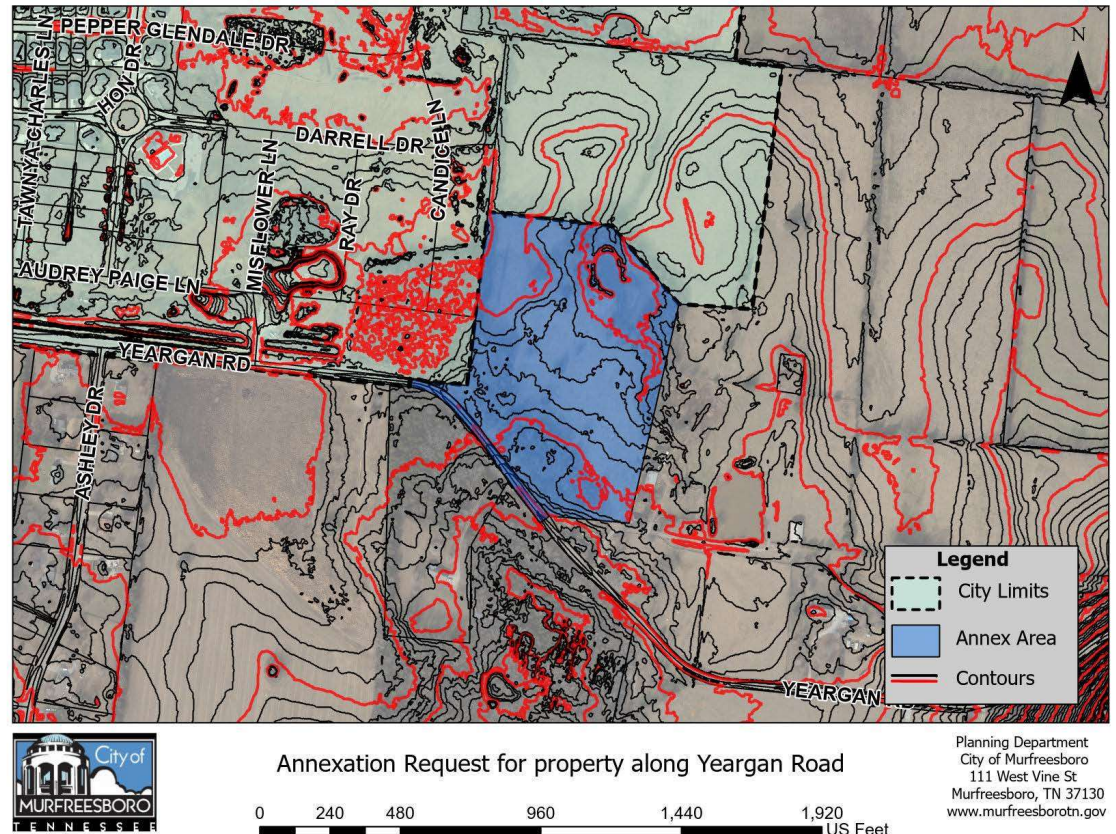
The study area drains to closed depressions at rear of property. It is possible there could be wetlands located within the study area.

### **Stormwater Management and Utility Fees**

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area. The study area currently is vacant and will not generate any revenue for the Stormwater Utility Fee.

The subject property is proposed to be developed with 21 dwelling units. Based on

this development scenario, it is anticipated that the site will generate approximately \$800 annually in revenue for the Stormwater Utility Fund upon full build-out.





## **PROPERTY AND DEVELOPMENT**

New development should comply with the City's Stormwater Quality Regulations by providing stormwater quality, streambank protection, and detention.

Receiving closed depressions and sinkholes may be subject to flooding which could impact function of potential stormwater controls.

Yeargan Road is a substandard roadway. Developments along Yeargan Road will be required to dedicate appropriate ROW and participate in the upgrade of the roadway to current City standards.

## **ANNEXATION FOLLOW-UP**

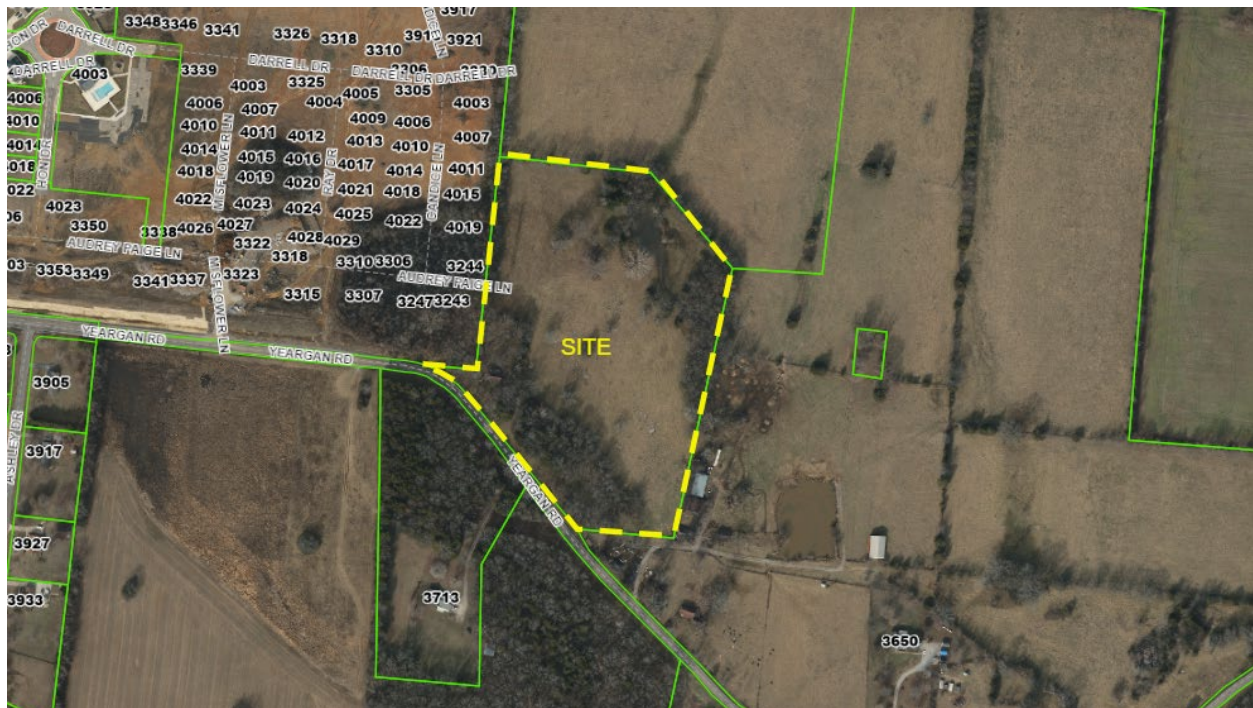
The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.



**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
MAY 7, 2025  
PROJECT PLANNER: RICHARD DONOVAN**

**6.c. Zoning application [2025-405] for approximately 13.26 acres located along Yeargan Road to be zoned RS-10 simultaneous with annexation, Shane and Dewayne Beard applicants.**

The applicants, Shane and Dewayne Beard, are requesting to rezone the subject property to Residential Single-Family with a minimum lot size of 10,000 ft<sup>2</sup> (RS-10) simultaneous with annexation. The subject property is located on the north side of Yeargan Road. The site is identified as Tax Map 124, Parcel 35.08 (13.26 acres) and is currently vacant. The applicant has provided a concept plan that contemplates the subdivision of the property into twenty-one single-family lots. It should be noted that the concept plan submitted is for illustrative purposes only and approval of the annexation and zoning does not convey any type of approval of the concept plan.



**Adjacent Land Use and Zoning**

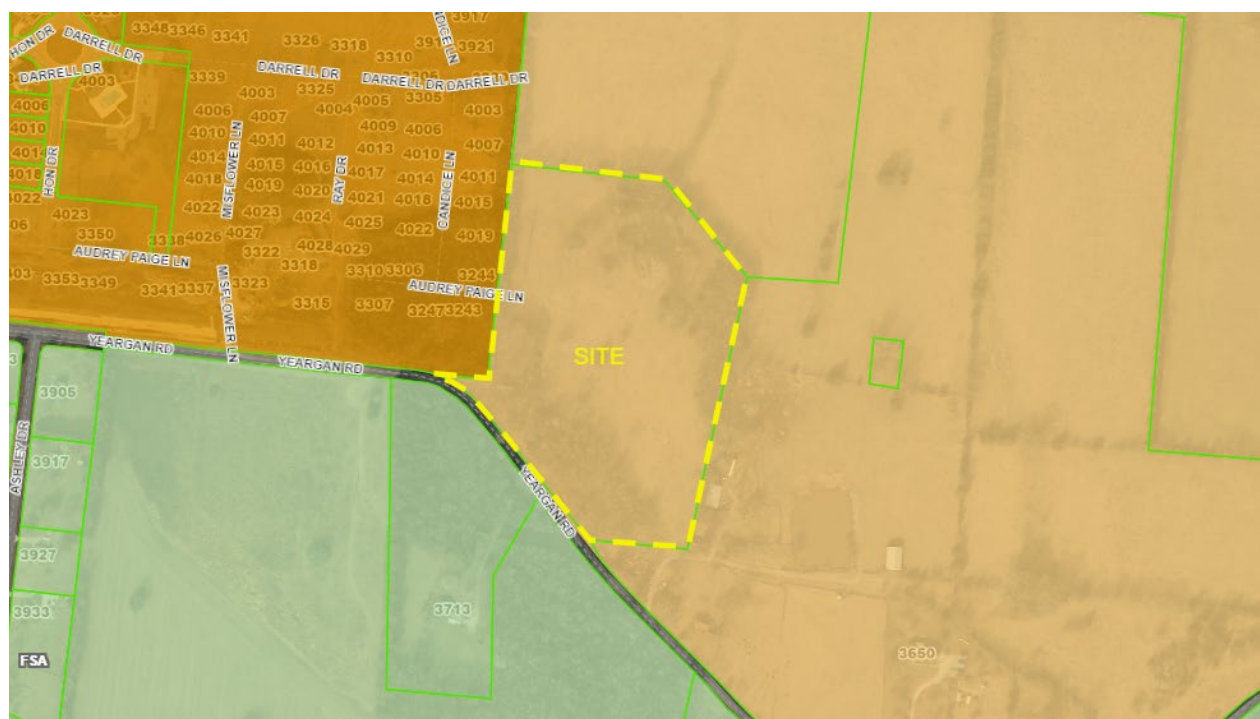
The subject property is currently zoned Medium Density Residential (RM) in Rutherford County. The surrounding area consists exclusively of residential uses and zoning types. The property to the north is in the City and part of the Prater

Farms PRD which is currently under construction; to the east and south is large lot single-family residential zoned RM in Rutherford County; and to the west is the Magnolia Grove single-family residential subdivision, which is under construction. Prater Farms and Magnolia Grove both consist of single-family residential detached homes on individual lots with lot sizes ranging from 6,000 ft<sup>2</sup> to 10,000 ft<sup>2</sup>.

### **Future Land Use Map:**

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan designates the project area as 'Suburban Residential' (SR), which is considered the most appropriate land use character, as indicated on the map below. The SR designation supports a density range of 1.0 to 4.0 dwelling units per acre. The Comprehensive Plan recommends RS-15, RS-12, RS-10, and PRD zoning for the SR designation. The requested RS-10 zoning is consistent with the 'Suburban Residential' land use designation and allows minimum lots sizes of 10,000.

### **Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)**



### **Staff recommendation:**

Staff is supportive of this rezoning request for the following reasons:

- 1) The proposed RS-10 zoning aligns with the Murfreesboro 2035 Comprehensive Plan's "Suburban Residential" designation, promoting



residential densities of 1.0 to 4.0 dwelling units per acre.

- 2) The proposed single-family detached dwellings allowed by the RS-10 zoning would be compatible with single-family residential land uses and lot sizes in the vicinity and would provide a transition from smaller lot sizes in Magnolia Grove and Prater Farms to large lot residential in the County.
- 3) The subject property is currently vacant and situated in an area of active residential growth, making it well-positioned to complement ongoing development trends and meet housing demand.

**Action Needed:**

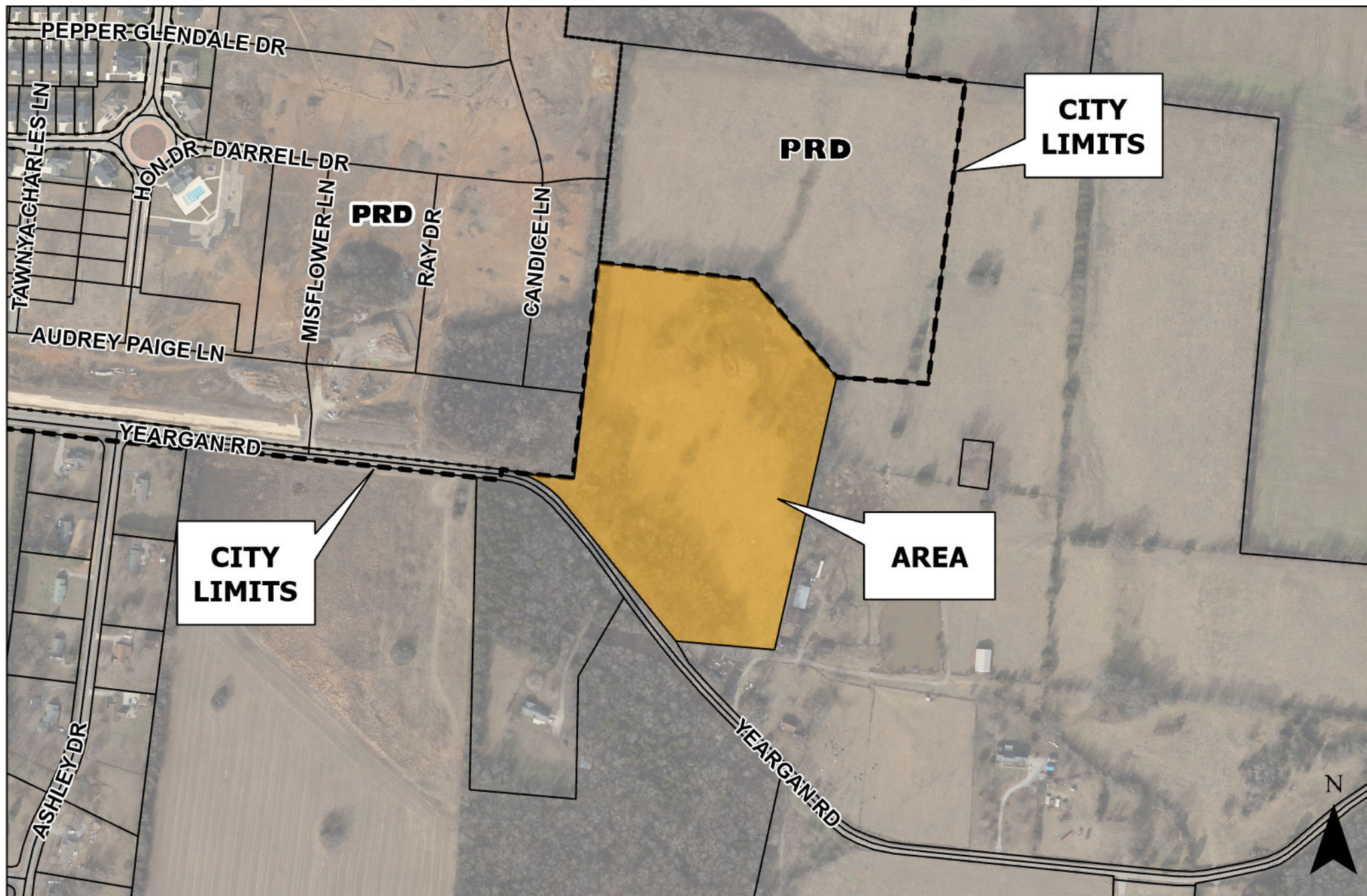
The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

**Attachments:**

Ortho Map

Non-ortho maps

Rezoning Application

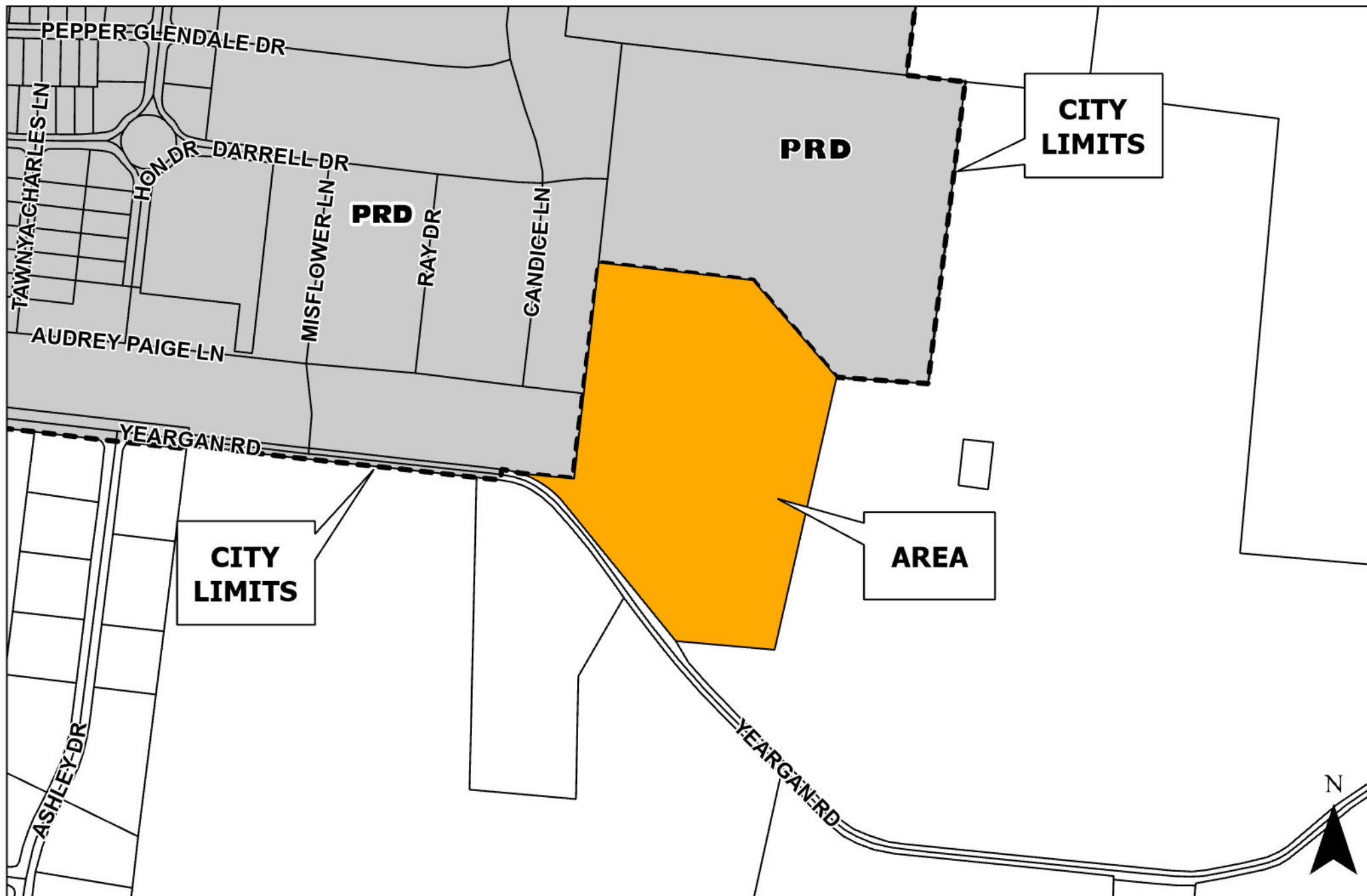


Zoning Request for property along Yeargan Road  
RS-10 Zone Simultaneous with Annexation

0 240 480 960 1,440 1,920 US Feet

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## Zoning Request for property along Yeargan Road RS-10 Zone Simultaneous with Annexation

0 240 480 960 1,440 1,920 US Feet

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City of Murfreesboro  
Planning and Engineering Department  
111 W. Vine Street, P.O. Box 1139  
Murfreesboro, TN 37133-1139  
(615) 893-6441 Fax (615) 849-2606  
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Creating a better quality of life

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

**Procedure for applicant:**

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

**To be completed by applicant:**

APPLICANT: Shane & Dewayne Beard (Property Buyz LLC)

Address: 3434 Meadowhill DR City/State/Zip: Murfreesboro, TN 37130

Phone: 615.668.7448 E-mail address: [REDACTED]

PROPERTY OWNER: Shane & Dewayne Beard

Street Address or property description: 13.26 ACRES off YEAGAN RD

and/or Tax map #: 124 Group: \_\_\_\_\_ Parcel (s): 035.02

Existing zoning classification: Rutherford County RM

Proposed zoning classification: RS-10 Acreage: 13.26

Contact name & phone number for publication and notifications to the public (if different from the applicant): Property Buyz LLC

E-mail: [REDACTED]

APPLICANT'S SIGNATURE (required): [Signature]

DATE: 2-12-15

\*\*\*\*\*For Office Use Only\*\*\*\*\*

Date received: \_\_\_\_\_ MPC YR.: \_\_\_\_\_ MPC #: 2025-408

Amount paid: \$ 700.00 Receipt #: 310277



**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
MAY 7, 2025  
PROJECT PLANNER: BRAD BARBEE**

- 6.d. Annexation petition and plan of services [2025-502] for approximately 843 acres located along Lebanon Pike and East Jefferson Pike, including an approximately 4,900-foot segment of Landfill Road ingress/egress right-of-way easement, an approximately 8,800-foot segment of Lebanon Pike right-of-way, and an approximately 7,900-foot segment of East Jefferson Pike right-of-way, City of Murfreesboro Administration Department applicant.**

The annexation study area includes one parcel located on the south side of East Jefferson Pike. The site is identified as Tax Map 46, Parcel 34.03 (809.09 acres) and is currently owned by BFI Waste Systems of Tennessee, LLC and developed with the Middle Point Landfill, some recreation fields, and the Rutherford County Convenience Center. Mayor and Council directed Staff to study its annexation. In 1995, after receiving a request for annexation from BFI, the City executed an agreement to serve BFI as an outside-the-City sewer customer and accept the leachate generated by Middle Point Landfill ("Leachate Agreement"). As a condition of extending sewer service to BFI, BFI agreed not to oppose annexation of its property in the future. Also included in the study area is an approximately 4,900-foot segment of Landfill Road ingress/egress right-of-way easement; an approximately 8,800-foot segment of Lebanon Pike right-of-way; and an approximately 7,900-foot segment of East Jefferson Pike right-of-way. TDOT has issued a statement of no objection to the annexation of its rights-of-way. The study area is located within the Urban Growth Boundary and is contiguous with the existing City limits.

**Adjacent Land Use and Zoning:**

The western half of the subject property is currently zoned H-I (Heavy Industrial) and the eastern half is zoned RM (Residential Medium Density) in unincorporated Rutherford County. No companion zoning request is included with this study. If annexed, the portion of the study area zoned H-I in the County would receive an interim zoning classification of L-I (Light Industrial) in the City, and the portion of the study area zoned RM would receive an interim zoning classification of RS-15 (Single-Family Residential).

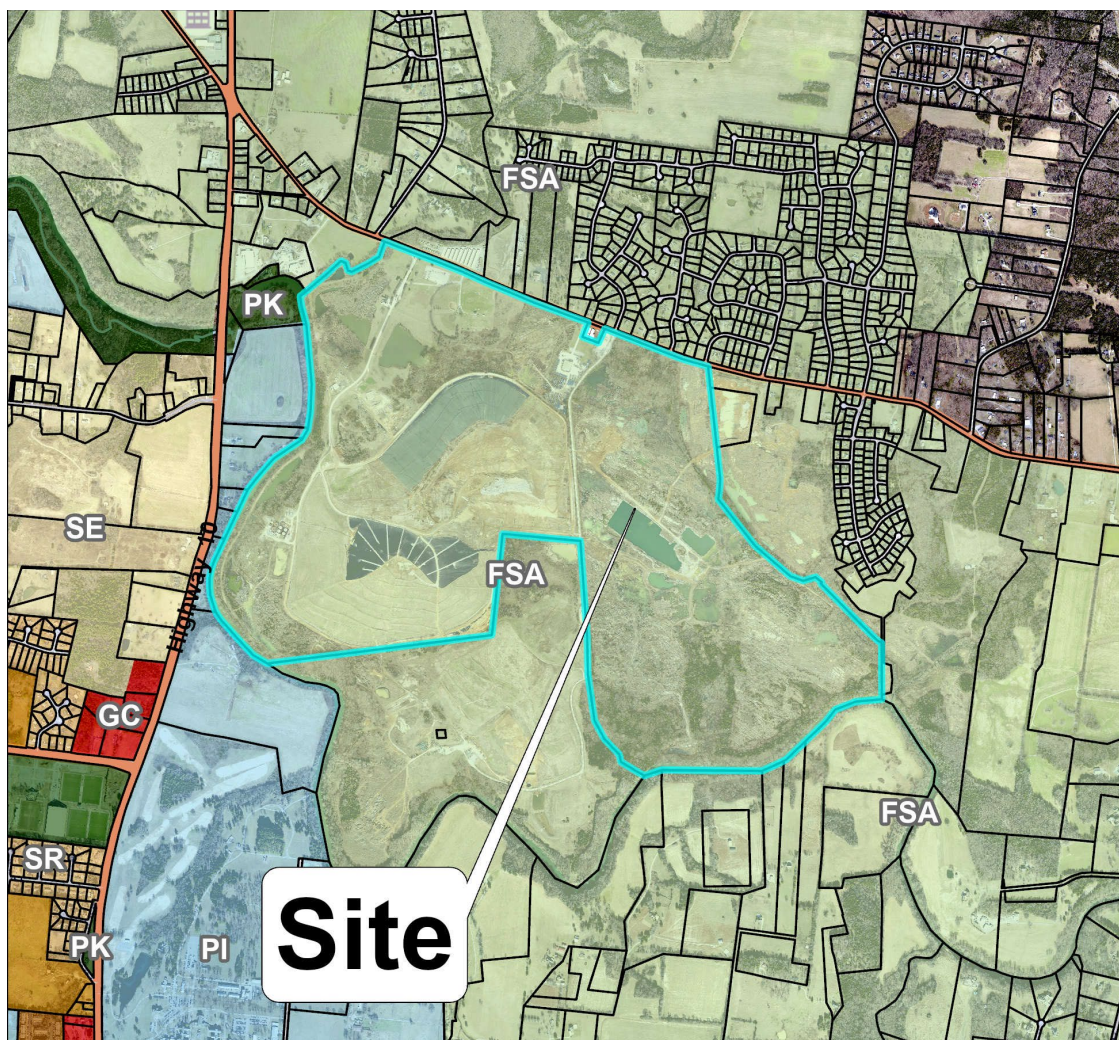
The surrounding area consists of a mixture of residential, commercial, and industrial zoning types and uses. The property to the north is located outside of the City limits of Murfreesboro and is developed as single-family residences, a

commercial self-storage facility, and a church. The area to the east is also located outside the City limits of Murfreesboro and is undeveloped but has been excavated. To the south is the Rutherford County landfill owned by Rutherford County Government. To the west there is a mixture of vacant land, single-family homes, and commercially developed properties.

### **Future Land Use Map:**

The Future Land Use Map (FLUM) of the *Murfreesboro 2035 Comprehensive Plan* identifies the subject property as Future Study Area (FSA) and located outside of the service infill line, as shown on the map below. The Comprehensive Plan states that “the service infill line” is included “to help facilitate growth and development in an orderly, planned, and sustainable manner.” It further states that “City growth beyond this line could occur if the area undergoes a study and it is determined that it would be beneficial to include it within the City limits.”

### **Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)**





Staff has prepared a Plan of Services for the proposed annexation to study the annexation of the property in its current state. The Plan of Services has been provided to the Planning Commission for the public hearing agenda report. Services will be able to be provided as indicated in the plan of services. Of note, however, the Murfreesboro Water Resources Department has indicated that sanitary sewer is not currently available to the subject property except for a private sewer pump station that collects the leachate from the landfill. In addition, the Murfreesboro Fire and Rescue Department has indicated that, due to the existing conditions on the site, it would recommend the purchase of a 4x4 mini pumper/rescue truck to ensure its ability to provide fire protection and emergency services in hard-to-reach areas of the subject property.

**Staff Recommendation:**

Staff is supportive of the annexation request for the following reasons:

1. The subject property is contiguous with the existing City Limits.
2. The subject property is located within the City's adopted Urban Growth Boundary.
3. Services can be extended to the subject property upon annexation.

The City of Murfreesboro Transportation Department has recommended reducing the study area by removing all proposed public right-of-way that is located north of the Walter Hill Park, including all of the right-of-way of East Jefferson Pike in the study area and a portion of the Lebanon Pike right-of-way in the study area, in order to avoid annexing the skewed intersection of Lebanon Pike and East Jefferson Pike and the school zone that serves Walter Hill Elementary. The Planning Commission should consider whether to modify the study area in accordance with the Transportation Department's recommendation.

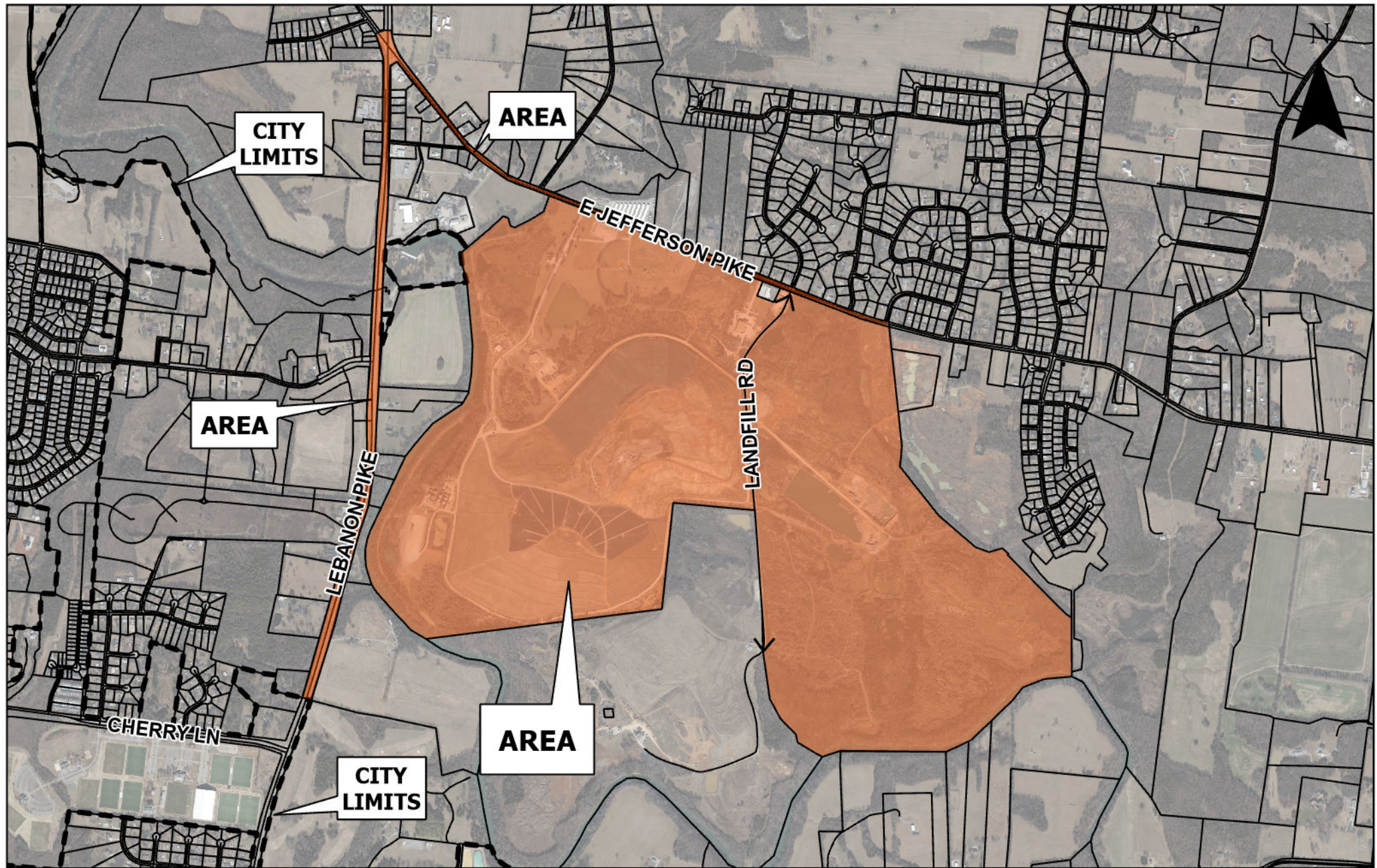
**Action Needed:**

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

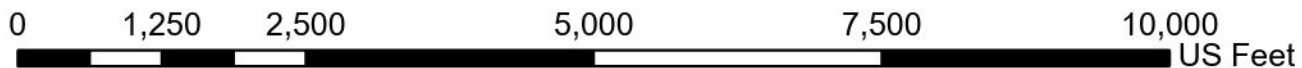
**Attachments:**

Ortho Map  
Non-ortho Maps  
Plan of Services





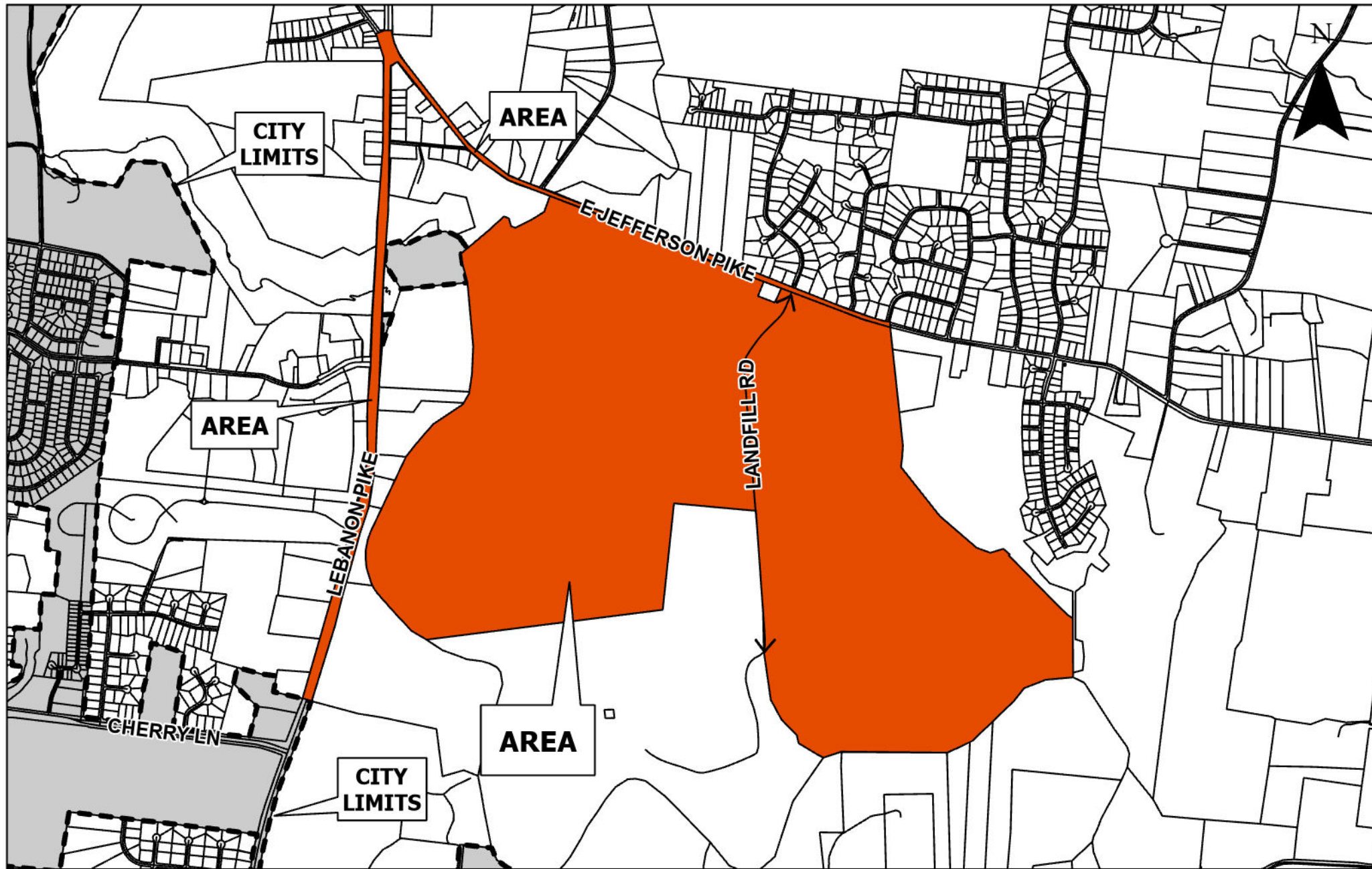
Annexation Study Area for property along  
E Jefferson Pike & Lebanon Pike



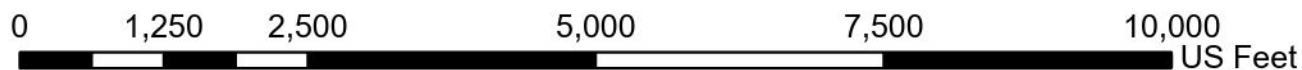
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Annexation Study Area for property along  
E Jefferson Pike & Lebanon Pike



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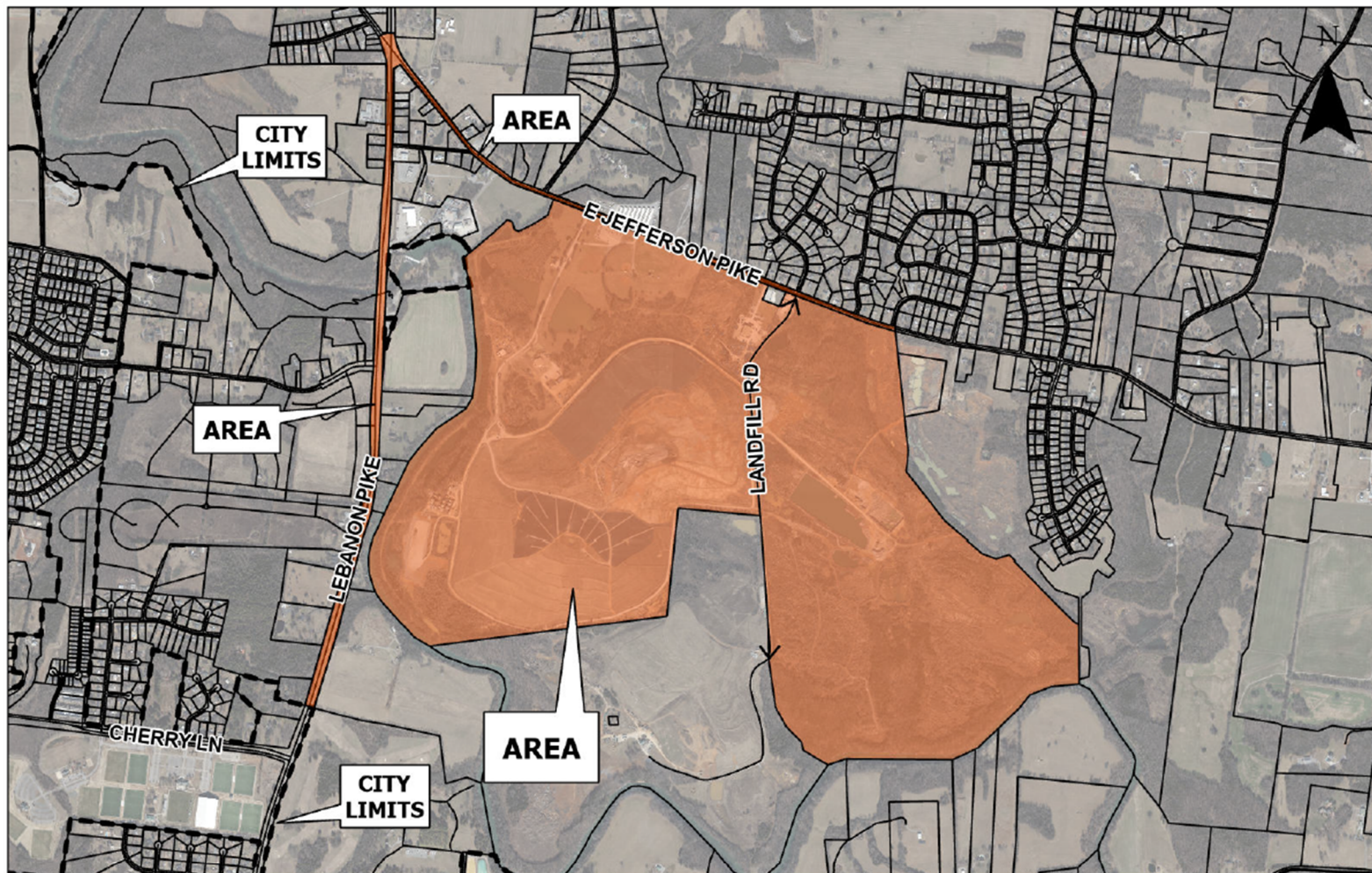


**ANNEXATION REPORT FOR PROPERTY  
LOCATED ALONG LEBANON PIKE AND  
EAST JEFFERSON PIKE  
INCLUDING PLAN OF SERVICES  
(FILE 2025-502)**

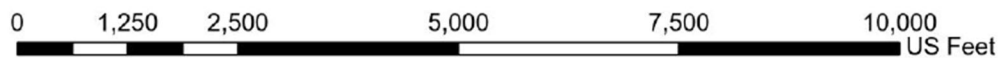


**PREPARED FOR THE  
MURFREESBORO PLANNING COMMISSION  
MAY 7, 2025**





Annexation Study Area for property along  
E Jefferson Pike & Lebanon Pike



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# INTRODUCTION

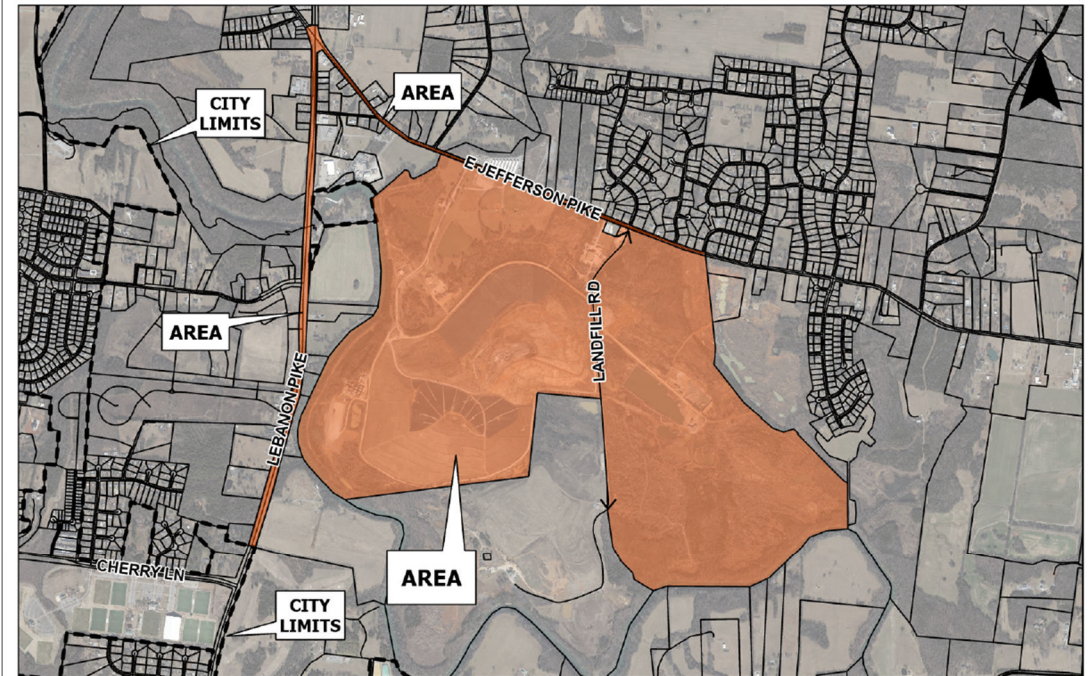


## **OVERVIEW**

The annexation study area includes one parcel located on the south side of East Jefferson Pike that is currently owned by BFI Waste Systems of Tennessee, LLC and developed with the Middle Point Landfill, waste management and collection facilities, gas and leachate management facilities, some recreation fields, and the Rutherford County Convenience Center. Mayor and Council directed Staff to study its annexation. In 1995, the City executed an agreement to serve BFI as an outside-the-City sewer customer and accept the leachate generated by Middle Point Landfill (“Leachate Agreement”). As a condition of extending sewer service to BFI, BFI agreed not to oppose annexation of its property in the future. The annexation study area includes the following properties:

- Tax Map 46, Parcel 34.03 (809.09 acres)
- Landfill Road ingress/egress right-of-way easement ~4,900 feet
- Lebanon Pike (US 231/SR10) right-of-way ~8,800 feet
- E Jefferson Pike (SR 266) right-of-way ~7,900 feet

The annexation study area is located within the City’s Urban Growth Boundary and is contiguous with the existing City limits.



Annexation Study Area for property along  
E Jefferson Pike & Lebanon Pike

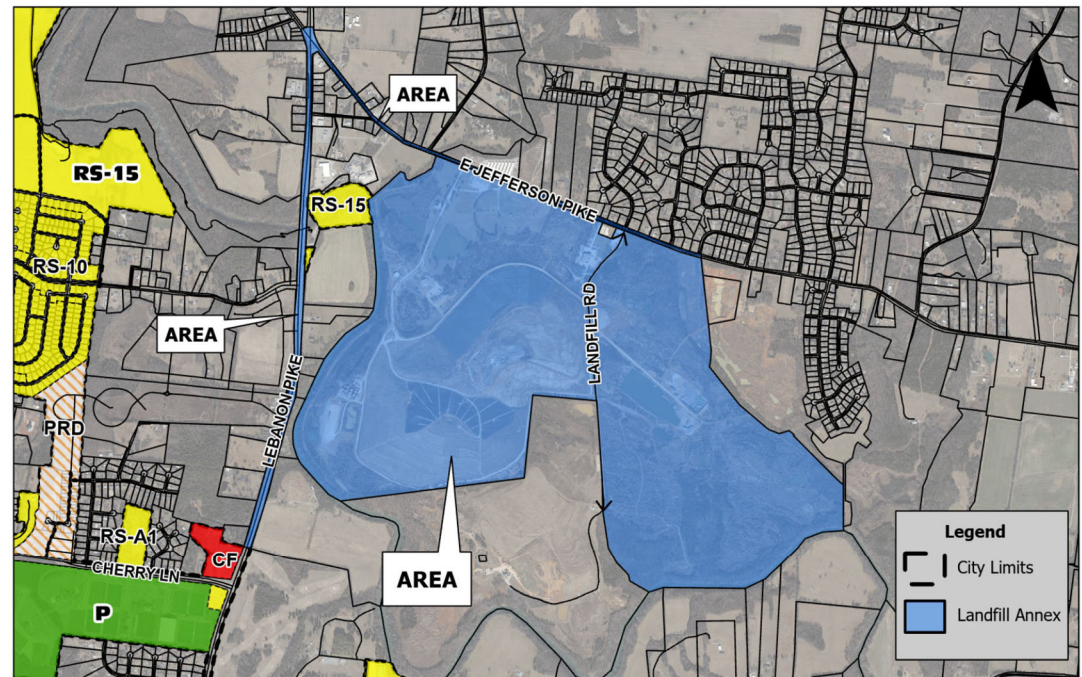
0 1,250 2,500 5,000 7,500 10,000  
US Feet

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

## **SURROUNDING ZONING**

The study area consists of one parcel located to the east of Lebanon Pike and south of East Jefferson Pike. The parcel is currently developed as the Middle Point Landfill. The parcel is currently zoned both RM (Residential Medium Density – eastern half) and H-I (Heavy Industrial – western half) in the unincorporated areas of Rutherford County. If annexed into the City the property would receive a zoning of RS-15 (Residential Single Family) for the portion currently zoned RM in the County and L-I (Light Industrial) for the portion zoned H-I in the County, respectively.

The surrounding area to the north, east, and south is located in the unincorporated portions of Rutherford County. Properties to the north are mostly zoned RM (Residential Medium Density), with an area of (CG) Commercial General, and L-I (Light Industrial) located across from the subject property. Areas to the east are zoned RM. The properties to the south are zoned RM, H-I (Heavy Industrial), and IN (Institutional). Land to the west is also located in the unincorporated areas of Rutherford County and is zoned RM and CS. There are two parcels to the west along Lebanon Pike that are located inside the City limits (Walter Hill Park) and zoned RS-15 (Residential Single-Family).



Annexation Study Area for property along  
E Jefferson Pike & Lebanon Pike

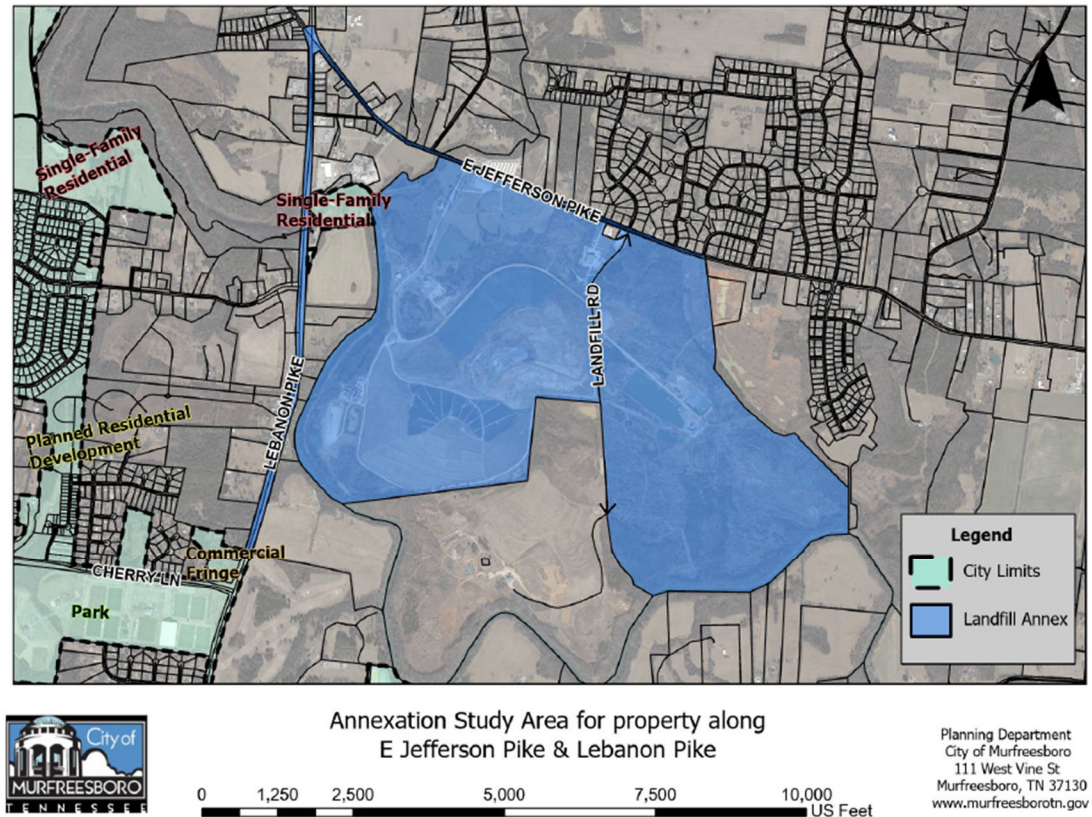
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## SURROUNDING LAND USE

The study area consists of one parcel located to the east of Lebanon Pike and south of East Jefferson Pike. The parcel is currently developed as the Middle Point Landfill.

The surrounding area consists of a mixture of residential, commercial, and industrial zoning types and uses. The property to the north is located outside of the City limits of Murfreesboro and is developed as single-family residences, a commercial self-storage facility, and a church. The area to the east is also located outside the City limits of Murfreesboro and is undeveloped but has been excavated. To the west is a mixture of vacant land, single-family homes, a park, and commercially developed properties.



## **TAXES AND REVENUE**

The first City tax bill for all property annexed during the calendar year of 2025 will be due on December 31, 2026. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9526/\$100.00 assessed value. Commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

*Table I*  
*Estimated Taxes from Site*

<b>Owner of Record</b>	<b>Tax Map and Parcel</b>	<b>Acres</b>	<b>Land Value</b>	<b>Improvements Value</b>	<b>Total Assessment</b>	<b>Estimated City Taxes</b>
BFI Waste Systems of Tennessee, LLC.	45-034.03	809.09	\$9,052,000	\$1,248,000	\$4,120,000	\$39,247.12

These figures are for the property in its current state and assessed at the commercial rate of 40 percent.

Sales tax currently collected, if any, will be reserved for Rutherford County at a base amount for 15 years. Sales tax collected above the base rate during the 15 years of reservation will be remitted to the City by the State. The City, County, and State must coordinate information on the annexation, businesses impacted by annexation, and amounts of sales tax collected for the base year and future years.



## **PLAN OF SERVICES**

### **POLICE PROTECTION**

At present, the study area receives police services through the Rutherford County Sheriff's Department and Tennessee Highway Patrol. If annexed, the Murfreesboro Police Department could begin providing services that include patrol-related functions, criminal investigations, and community engagement initiatives. These services would be provided immediately upon the effective date of annexation. The current police zone that borders the study area is Zone 3. Traffic enforcement and responding to incidents on the public roads would place additional demands on Zone 3 patrols.

### **ELECTRIC SERVICE**

The study area is currently served by and will continue to be served by Middle Tennessee Electric (MTE) if annexed.

### **STREET LIGHTING**

No streetlights are currently in place along Lebanon Pike or East Jefferson Pike. Street lighting would not be installed as part of the annexation. Any new development would need to provide appropriate street lighting along any new public streets at the developer's expense.

### **SOLID WASTE COLLECTION**

In its current state developed as a landfill, the Solid Waste Department will not serve the subject property, and no additional equipment or manpower will be needed to serve the study area.

### **RECREATION**

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro attend Murfreesboro Elementary Schools and receive free or reduced lunches also receive free or reduced recreational fees. The existing recreational facility on the subject parcel will remain privately-owned and will have no impact on the City's Recreation Department.

### **CITY SCHOOLS**

The Murfreesboro City Schools (MCS) system serves kindergarten grades through sixth and is offered to students who reside within the City of Murfreesboro. Currently the annexation study area is developed as a landfill. The property is located outside the Erma Siegel Elementary School zone and would become part of this school's zoned area if annexed. Since the study area does not include any residential dwellings, this annexation would have no impact on Erma Siegel or the school system as a whole.



## **BUILDING AND CODES**

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

## **PLANNING, ENGINEERING, AND ZONING SERVICES**

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. If new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

## **GEOGRAPHIC INFORMATION SYSTEMS**

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

## **STREETS AND ACCESS**

The annexation study area includes approximately 8,800 linear feet of Lebanon Pike (US 231/SR 10) right-of-way and 7,900 linear feet of Jefferson Pike (SR 266) right-of-way including a wide and skewed intersection where these two roadways cross. Currently, the intersection of Lebanon Pike and Jefferson Pike is signal controlled and maintained by Rutherford County. The traffic signal does not meet the current City of Murfreesboro standards.

It appears from the layout of the landfill property, there will be no new public connections or access driveways to Lebanon Pike.

Any future public roadway facilities to serve the study area must be constructed to City standards.

## **REGIONAL TRAFFIC & TRANSPORTATION**

The 2014 Level of Service Model in the 2040 Major Transportation Plan (MTP) indicates that both Jefferson Pike and Lebanon Pike are operating at a Level of Service C in the study area based on average daily traffic (ADT). The 2040 Level of Service Model shows that Jefferson Pike falls to a level of service of D without the proposed improvements recommended in the 2040 MTP and Lebanon Pike falls to a level of service F without the proposed improvements recommended in the 2040 MTP.

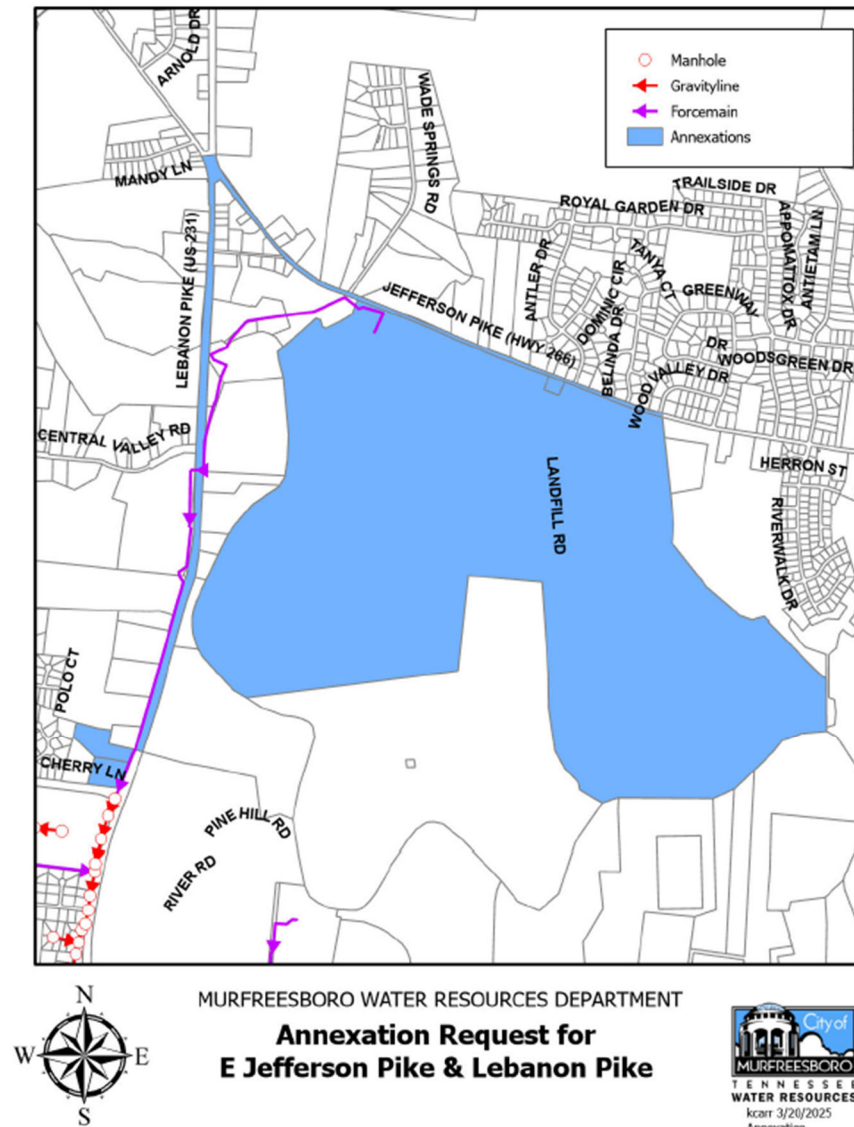
There is a County School and Public Health & Safety Center just north of the signalized intersection. The area is heavily congested with multiple driveways and inadequate left-hand turning capabilities. There are several other existing commercial establishments north and south of the intersection with no left turning lanes causing delays along Lebanon Pike and at the signalized intersection. Upon annexation, the operational

issues and traffic congestion along Lebanon Pike and Jefferson Pike will become the responsibility of the City of Murfreesboro to manage; and since the school and commercial establishments are not part of the City, the City will have no control of their activities and traffic operations.

The section of Lebanon Pike between Jefferson Pike and Cherry Lane is heavily congested during morning and evening peak hours. Motorists at the unsignalized intersection of Central Valley Road and Lebanon Pike currently experience excessive delays and, upon annexation, the traffic operations at the intersection will become the responsibility for the City of Murfreesboro.

### **SANITARY SEWER SERVICE**

Currently, sanitary sewer is not available to the property except for a private sewer pump station that collects the leachate from the Middle Point Landfill. The sewer pump station is privately owned, but the off-site sewer force main is owned and maintained by the Murfreesboro Water Resources Department (MWRD), which connects and discharges into a sewer manhole at the intersection of Cherry Lane and Memorial Boulevard. There are no other connections to this sewer force main and to MWRD's knowledge, there isn't a connection for domestic sanitary waste from the landfill, the park, or the Rutherford County convenience center.

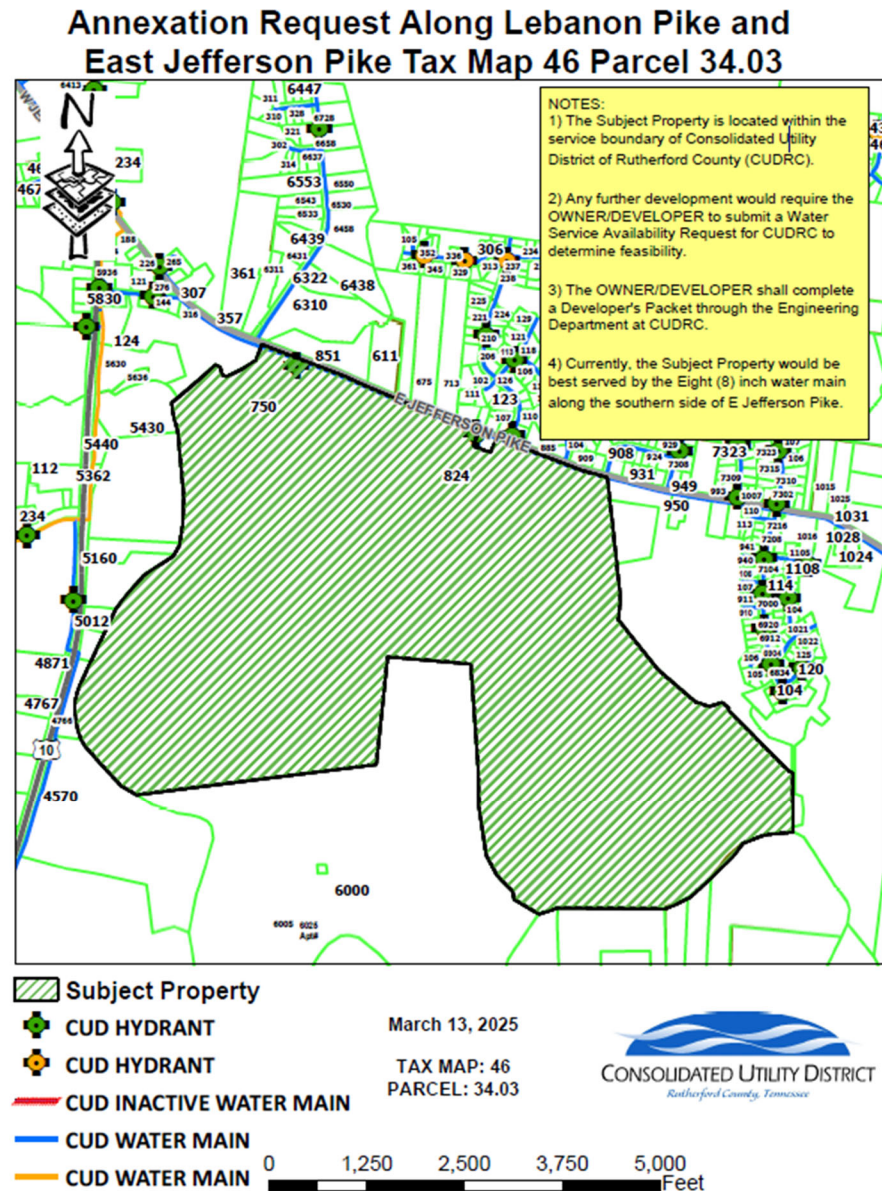




## WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUDRC) service area. The study area is presently served by an 8-inch water main located along the southern side of East Jefferson Pike.

Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUDRC's Developer Packet through CUDRC's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUDRC's development policies and procedures.



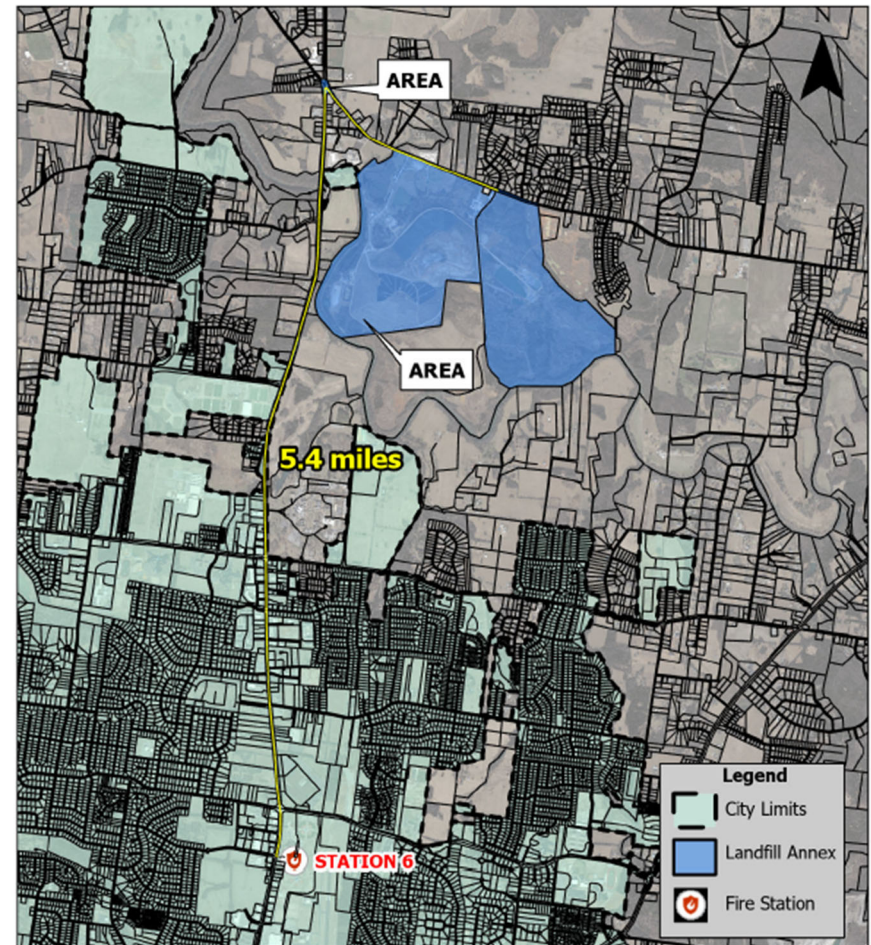
## **FIRE AND EMERGENCY SERVICE**

The Murfreesboro Fire Rescue Department (MFRD) will be able to provide fire protection and emergency services to the study area immediately upon annexation.

**Response Time:** The first vehicle on site will arrive in 8 minutes, second in 10 minutes, third in 11 minutes, fourth in 15 minutes. The extended response times would place additional demands on coverage for Stations 6 and 7 territories when responding units from these stations are responding to calls in the study area. Additional first responder calls for accidents and incidents on the public roadways will place additional demand on the responding districts.

**Equipment:** Certain areas of the property may be difficult to reach, including areas that contain several large chemical tanks. If the annexation is approved, then MFRD must consider purchasing a 4x4 mini pumper/rescue truck to ensure adequate protection, especially in hard-to-reach areas its equipment cannot reach due to road conditions and terrain.

**Fire Marshal Office Impact:** The impact on the Fire Marshal's office for routine inspections is expected to be minimal.



Annexion Study Area for property along  
E Jefferson Pike & Lebanon Pike

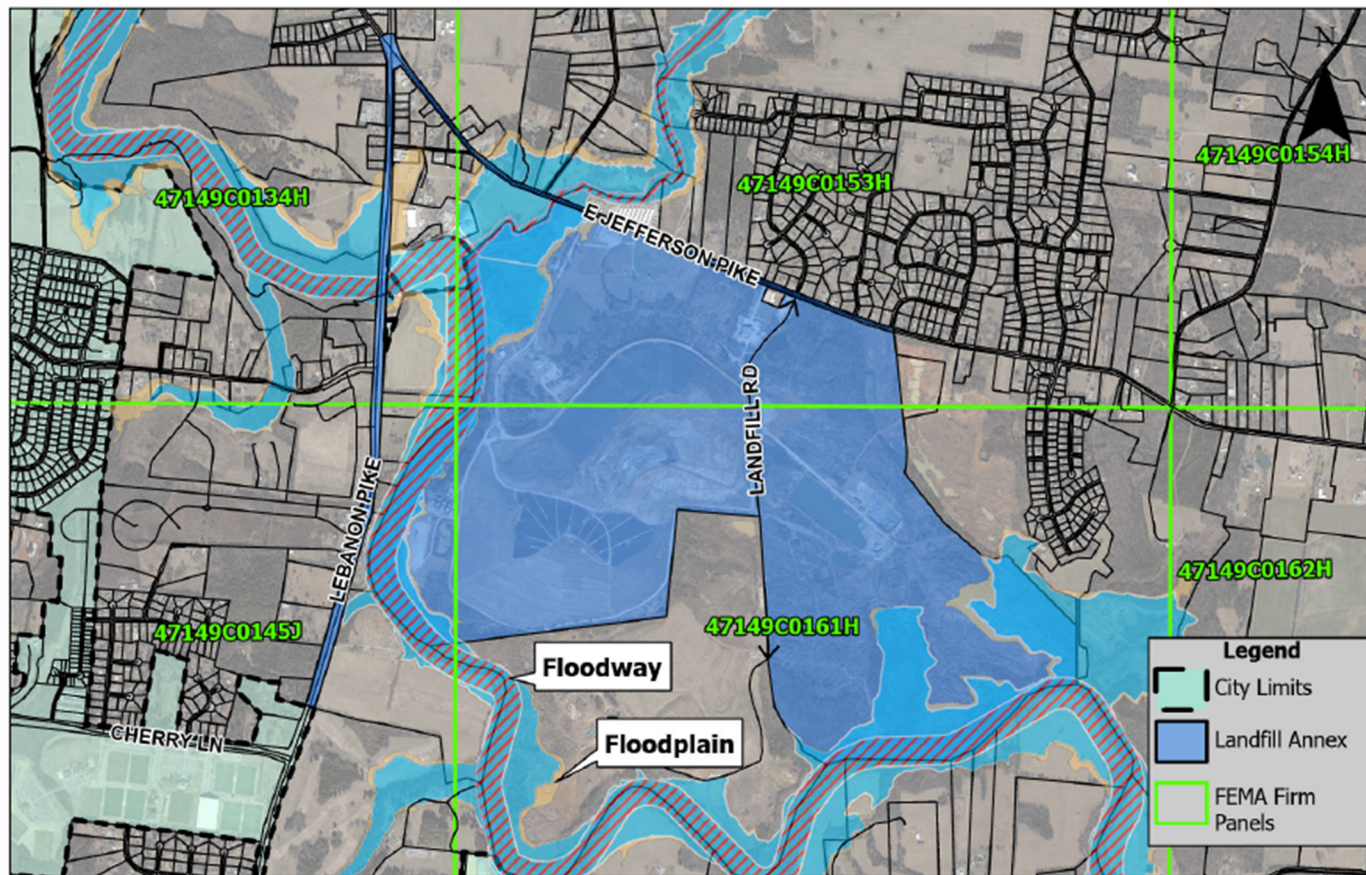
0 0.3 0.6 1.2 1.8 2.4  
Miles

Planning Department  
City of Murfreesboro  
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Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



## FLOODWAY

Portions of the study area are located within the 100-year floodplain (light blue on the map below) and within the regulatory floodway (red hatch marks on the map below) as delineated on the Flood Insurance Rate Map (FIRM) developed by the Federal Emergency Management Agency (FEMA).



Annexation Study Area for property along  
E Jefferson Pike & Lebanon Pike

0 1,250 2,500 5,000 7,500 10,000 US Feet

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## **DRAINAGE**

### **Public Drainage System**

Public drainage facilities available in the study area include facilities in Lebanon Pike and Jefferson Pike. This drainage system is the responsibility of TDOT for routine maintenance.

No additional public drainage systems are in the study area. Any new public drainage facilities must meet City standards

### **Regional Drainage Conditions**

The East Fork of the Stones River runs along the west and south property lines of the landfill property.

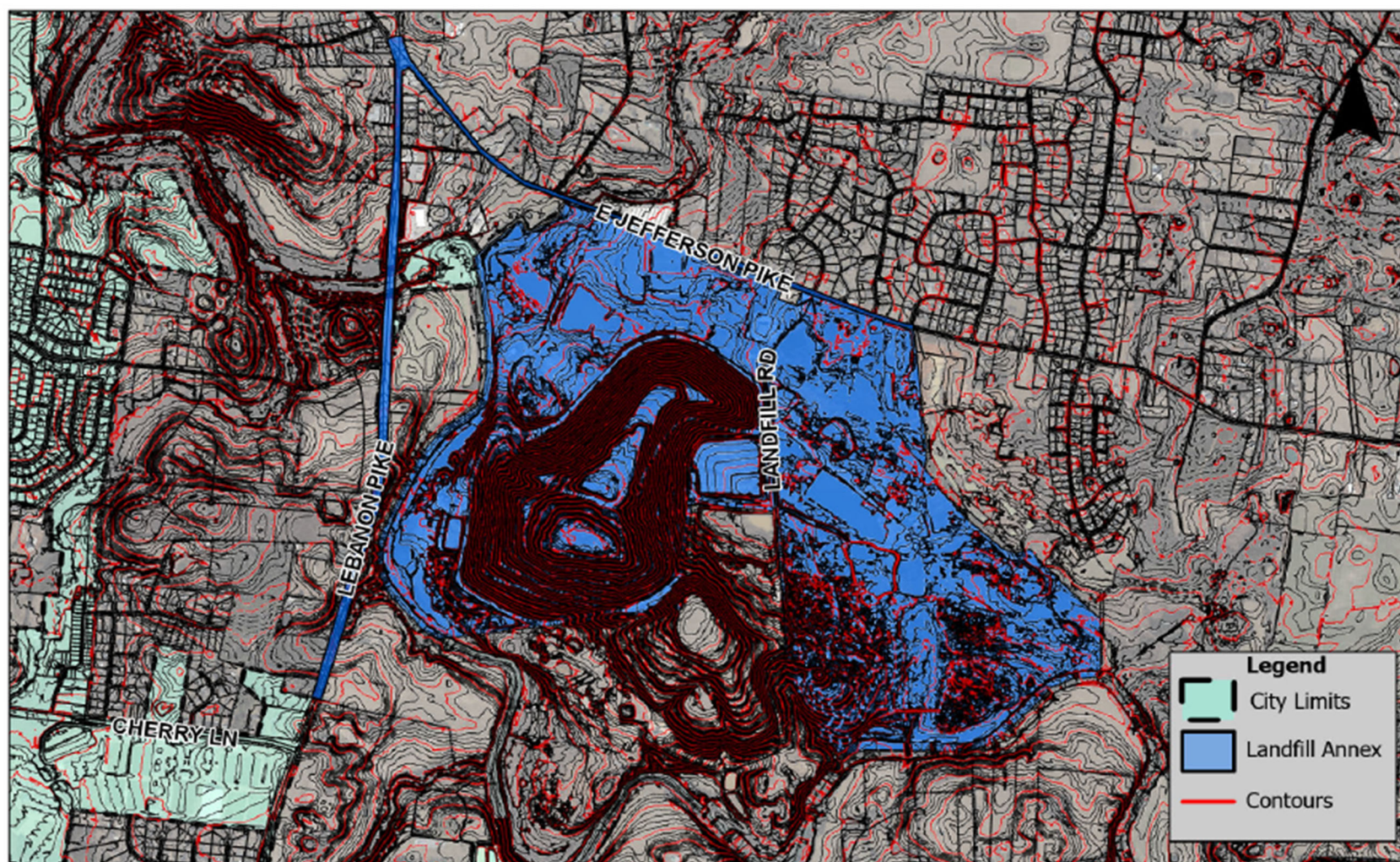
### **Stormwater Management and Utility Fees**

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area.

The annexation study area will generate stormwater fees of approximately \$500 per month based on an estimate of impervious area of over 600,000 square feet. A Stormwater Customer Profile would be completed upon annexation to determine the actual fee.

The topographical map below shows the change in elevation across the property. The distance between each line represents an increase, or decrease, of 1 foot and traces the contours of the land in order to create a three-dimensional representation of the site conditions.





Annexation Study Area for property along  
E Jefferson Pike & Lebanon Pike

0 1,250 2,500 5,000 7,500 10,000  
US Feet

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### **PROPERTY AND DEVELOPMENT**

Any new connections to Jefferson Pike or Lebanon Pike must be approved by TDOT and also the City Engineer if the subject rights-of-way are annexed.

Developments along these roadways will require participation in improvements to upgrade the roadways and ROW/easement dedication in accordance with the City's Substandard Street policy requirements.

Both Lebanon Pike and Jefferson Pike are on the City's Major Transportation Plan and are planned to be widened by TDOT to a 5-lane roadway section.

### **ANNEXATION FOLLOW-UP**

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.



**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
MAY 7, 2025  
PROJECT PLANNER: MARC SHACKELFORD-ROWELL**

7. a. Mandatory Referral [2025-704] to consider the dedication of an electric easement on City-owned property located along Lebanon Pike, Middle Tennessee Electric applicant.



In this mandatory referral, the Planning Commission is being asked to consider the dedication of an electric easement for Middle Tennessee Electric (MTE) on City-owned property along Lebanon Pike. The subject property is developed with the Walter Hill Park and the Walter Hill Dam. The proposed easement will support electrical infrastructure upgrades on the property, located at 5430 Lebanon Pike.

According to MTE, the purpose of this upgrade is to provide power to a meter pedestal that will support cameras and lighting for the City of Murfreesboro. This electrical easement will specifically serve the City-owned property developed with Walter Hill Park.

An exhibit showing the location of the proposed power line and easement is included in the agenda materials.

Staff recommends that the Planning Commission forward a recommendation of approval to the City Council, subject to the following conditions:

- 1) If approved by City Council, Middle Tennessee Electric will be responsible for providing the information necessary (including, but not limited to, any exhibits and legal descriptions) for the Legal Department to prepare legal instruments to formally dedicate the proposed easement in question. The legal instruments will be subject to final review and approval of the Legal Department.
- 2) Middle Tennessee Electric will also be responsible for recording these instruments, including payment of the recording fee.





City of Murfreesboro  
Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, <b>INCLUDING</b> abandonment of right-of-way.....	\$350.00
Mandatory Referral, <b>NOT INCLUDING</b> abandonment of right-of-way.....	\$150.00

Property Information:

Tax Map/Group/Parcel: 046/03700

Address (if applicable): 5430 Lebanon Rd

Street Name (if abandonment of ROW):

Type of Mandatory Referral: Electric easement needed

Applicant Information:

Name of Applicant: Ben Martin

Company Name (if applicable): Middle Tennessee Electric

Street Address or PO Box: 810 Commercial Ct

City: Murfreesboro

State: TN

Zip Code: 37129

Email Address:

Phone Number: 615-476-6117

Required Attachments:

- ☐ Letter from applicant detailing the request
- ☐ Exhibit of requested area, drawn to scale
- ☐ Legal description (if applicable)

*Ben Martin*

Applicant Signature

4/2/2025  
Date

April 2, 2025

RE: City of Murfreesboro Property located at 5430 Lebanon Rd

To whom it may concern,

Middle Tennessee Electric is planning to energize power to a meter pedestal that will serve cameras/lights for the City of Murfreesboro located at the Walter Hill dam at 5430 Lebanon Rd on the City property.

MTE is requesting a signed easement for these new facilities.

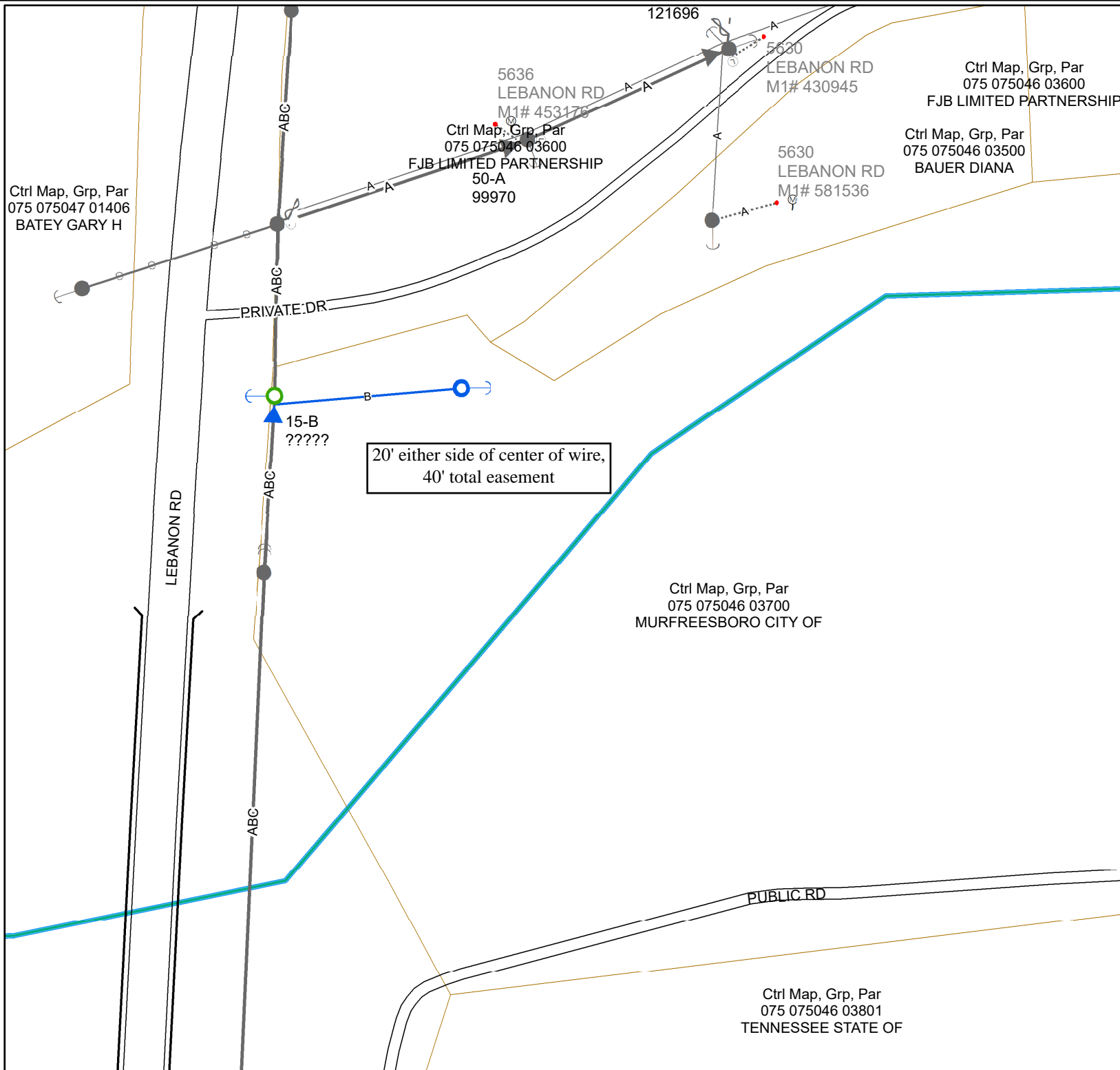
Please let me know if you have any questions or need additional information for this request.

Sincerely,

*Ben Martin*

Ben Martin  
Development Engineer









# Right-of-Way

## Easement

This instrument prepared by: MTE  
555 New Salem Highway, Murfreesboro, TN 37129  
\_\_\_\_ Employee Initials



Service Location # \_\_\_\_\_ Meter Set SO # \_\_\_\_\_ WO# \_\_\_\_\_

Grantor: \_\_\_\_\_ And/by \_\_\_\_\_

**Select one of the following:** ☐unmarried ☐married ☐business entity

FOR GOOD AND VALUABLE CONSIDERATION, the receipt and sufficiency of which are hereby acknowledged, the Grantor, whether one or more, does hereby grant unto Middle Tennessee Electric Membership Corporation, a Tennessee not-for-profit corporation ("Grantee" or "MTE"), its affiliates, successors or assigns, a perpetual easement (the "Easement") that, except as may be otherwise indicated on Exhibit 1, if attached, shall be twenty feet (20') from the centerline (total of 40') for any overhead transmission and/or distribution line or system, including anchoring, and ten feet (10') from the centerline (total of 20') for any underground transmission and/or distribution line or system with the right to:

- install, construct, reconstruct, rephase, operate and maintain an electric transmission and/or distribution line or system;
- inspect and make such repairs, changes, alterations, improvements, removals from, substitutions and additions to its facilities as Grantee may from time to time deem advisable, including, by way of example and not by way of limitation, the right to increase or decrease the number of conduits, wires, cables, poles, guy wire and anchors, hand holes, manholes, connection boxes, transformers and transformer enclosures;
- cut, trim and control the growth by chemical means, machinery or otherwise of trees and shrubbery within the Easement, or any tree that may interfere with or threaten to endanger the operation and maintenance of said line or system;
- prohibit, prevent and restrict the planting and/or maintenance of any trees, shrubbery or vegetation not approved in writing by Grantee (except those trees that appear on MTE's approved standard planting guide) which approval may be withheld by Grantee in its sole discretion if it determines said trees, shrubbery or vegetation may in the future interfere with or threaten to endanger the operation and maintenance of said line or system;
- prohibit the planting of any trees, shrubbery or vegetation within 15' of a pole or pad-mounted equipment;
- keep the Easement clear of all buildings, structures or other obstructions;
- license, permit or otherwise agree to the joint use or occupancy of the lines, system or, if any of said system is placed underground, of the trench and related underground facilities, by any other person, association or corporation for electrification, for other utility or commercial purposes;
- install and maintain guy additions to overhead lines if any portion of the lines or system is placed underground;

over, across; and through the land owned by Grantor as further described below (the "Property");

County \_\_\_\_\_ State of Tennessee Tax Map: \_\_\_\_\_ Group: \_\_\_\_\_ Parcel: \_\_\_\_\_

Address \_\_\_\_\_  
House/building# \_\_\_\_\_ Street/Road Name \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

and such Property being of record in Deed Book \_\_\_\_\_, Page \_\_\_\_\_, Register's Office of the above-named county, and as may be further described according to Exhibit 1 attached hereto and incorporated herein by reference, if attached, together with the right of ingress and egress over adjacent lands of the Grantor, and Grantor's successors and assigns for the purposes of this Easement.

The Grantor agrees that all poles, wires, and other facilities, including any main service entrance equipment, installed in, upon or under the Property at Grantee's expense shall remain the property of the Grantee and removable at the option of the Grantee. The Grantor hereby expressly releases any claims, demands, actions, or causes of action for trespass related to the Grantee's use of this Easement as described herein. The grant and other provisions of this Easement shall run with the land for the benefit of the Grantee, its affiliates, successor and assigns.

IN WITNESS WHEREOF, the Grantor has executed this instrument this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_.

Print Name/Title of Authorized Signatory

Print Name/Title of Authorized Signatory

Legal Signature

Legal Signature

STATE OF \_\_\_\_\_

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

On the \_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_, personally appeared before me, the within named bargainor(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

On the \_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_, personally appeared before me, the within named bargainor(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

Notary Signature

My Commission Expires

Notary Signature

My Commission Expires

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
MAY 7, 2025  
PROJECT PLANNER: MATTHEW BLOMELEY**

**5.b. Mandatory Referral [2025-705] for the abandonment of a portion of a detention pond easement on property located along Elmcroft Avenue, Patterson Company, LLC applicant.**

This easement abandonment request is from SEC, Inc. on behalf of Patterson Company, who is the developer of the Gardens of Three Rivers residential subdivision located east of Cason Lane. The applicant is asking to abandon a portion of a detention pond easement that is located within one of the common areas of the subdivision. The easement in question was recorded with the Gardens of Three Rivers, Section 1 plat in 2020.

The developer is preparing to record the plat for the final phase of the development (Section 2, Phase 2). This plat proposes to resubdivide this common area, giving a portion of it to one of the new lots (Lot 57). However, since the portion of the common area in question also contains a detention pond easement, the easement must be abandoned in order for a structure to be built on that portion of the proposed Lot 57.

According to the applicant's letter, the portion of the easement in question is located outside of the physical limits of the detention pond, so removing the easement and transferring this area to Lot 57 will have no impact on the storage capacity of the pond. The City Engineer has reviewed the request and concurs that "the easement appears to be in excess" and that there are "no facilities within the easement." She does not object to the approval of this request, as long as a 20' drainage easement is retained along the entire rear of Lot 57. .

Staff recommends that the Planning Commission recommend approval of this request to the City Council subject to the following conditions:

- 1) The applicant must provide to the City Legal Department all the necessary documentation (including any needed legal descriptions and exhibits) required to prepare and record the legal instrument.
- 2) The drainage easement abandonment should be subject to the final review and approval of the legal documents by the City Legal Department.
- 3) The applicant will be responsible for recording the legal instrument and for paying any recording fees.
- 4) The recording of the legal instrument abandoning the easement in question and the subdivision plat creating the new 20' drainage easement shall be done simultaneously.





## City of Murfreesboro Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

### Mandatory Referral Fees:

Mandatory Referral, <b>INCLUDING</b> abandonment of right-of-way.....	\$350.00
Mandatory Referral, <b>NOT INCLUDING</b> abandonment of right-of-way.....	\$150.00

### Property Information:

Tax Map/Group/Parcel: 114 Parcel 15.11 Address (if applicable): South of Audubon Ln. & Barringer Ln.

Street Name (if abandonment of ROW): N/A

Type of Mandatory Referral: Detention Pond Easement abandonment

### Applicant Information:

Name of Applicant: John Miner

Company Name (if applicable): SEC, Inc

Street Address or PO Box: 850 Middle TN Blvd

City: Murfreesboro

State: TN

Zip Code: 37129

Email Address: [REDACTED]

Phone Number: 615-890-7901

### Required Attachments:

- ☒ Letter from applicant detailing the request
- ☒ Exhibit of requested area, drawn to scale
- ☐ Legal description (if applicable)

  
Applicant Signature

04/28/2025

Date

April 28, 2025

Mr. Matthew Blomeley  
City of Murfreesboro Planning Dept.  
111 West Vine Street  
Murfreesboro, TN 37133-1139

RE: The Gardens of Three Rivers Section 2, Phase 2  
Detention Pond Easement Abandonment Mandatory Referral  
SEC Project No. 18150

Dear Matthew,

The portion of the detention pond easement that is being requested to be abandoned is to acquire a greater buildable area for the proposed Lot 57. This abandonment will not affect the drainage of the detention pond, as the proposed abandonment does not fall within the storage area of the detention pond.

Please find the attached supplemental documents to support the mandatory referral request to abandon the highlighted portion of the detention pond easement at the property located south of the Audubon Lane and Barringer Lane intersection.

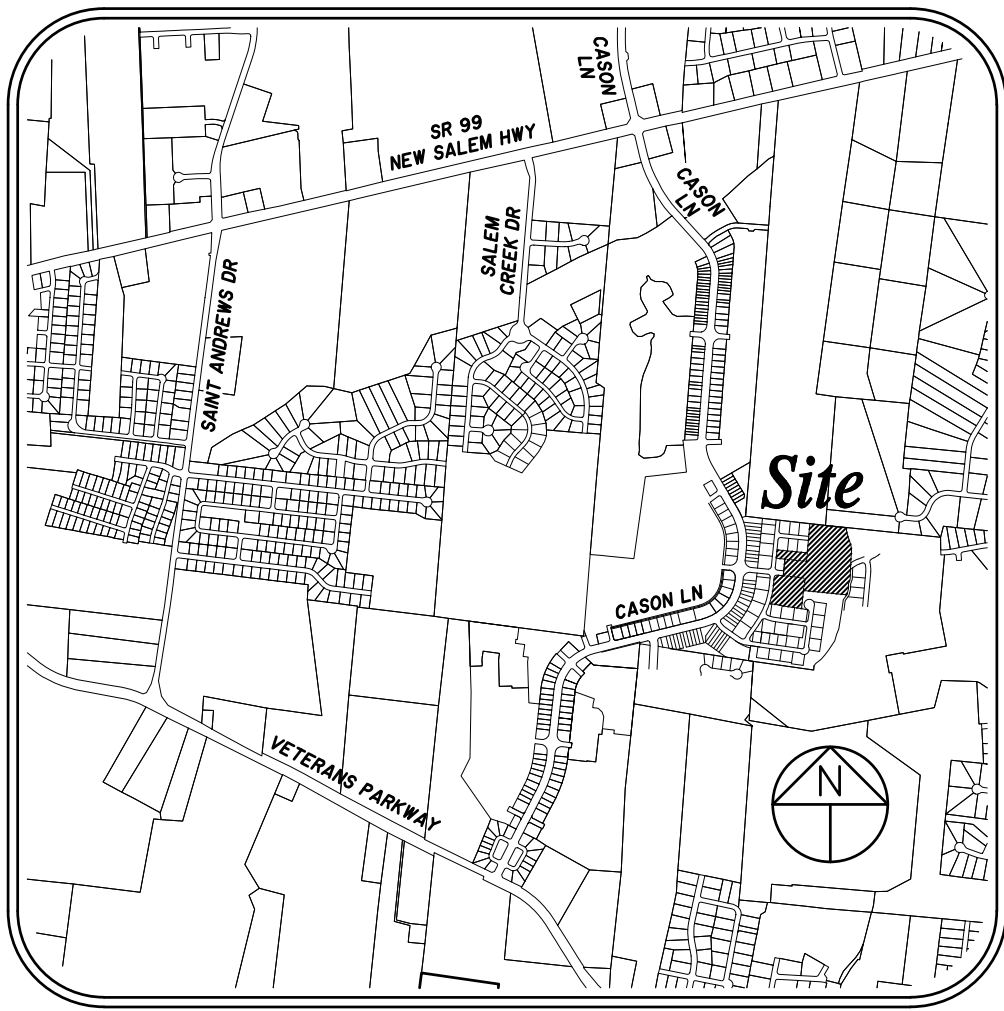
Should you need any clarification concerning the request, please feel free to contact me at 615-890-7901 or [REDACTED].

Sincerely,

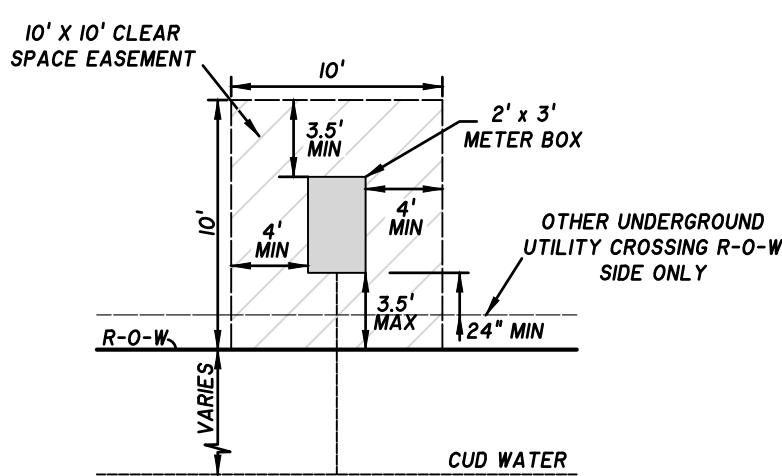


John Miner, P.E.  
SEC, Inc.





LOCATION MAP N.T.S.

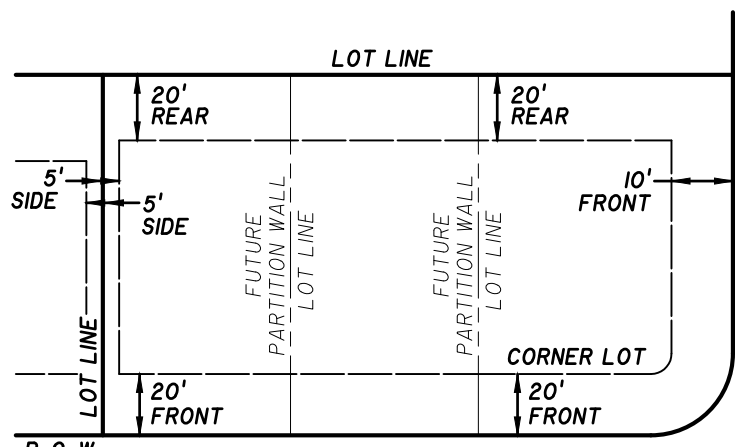


CONSOLIDATED UTILITY DISTRICT SINGLE FAMILY RESIDENTIAL METER CLEAR SPACE REQUIREMENT N.T.S.

1. CLEAR SPACE TO BE VOID OF DRAINAGE FACILITIES, STRUCTURES, DRIVEWAYS, MAILBOXES, SIDEWALKS, TREES, PUBLIC UTILITIES, AND UTILITY SERVICE CONNECTIONS.
2. SEWER SERVICES, TREES, AND BUILDINGS TO BE LOCATED A MINIMUM 10 FT. AWAY FROM WATER SERVICE AND VALU.
3. OTHER UNDERGROUND UTILITY CROSSINGS SHALL COMPLY WITH SEPARATION REQUIREMENTS OUTLINED IN C.U.D. TECHNICAL SPECIFICATIONS.

CURVE TABLE

CURVE DATA	ANGLE	RADIUS	ARC LENGTH	TANGENT	CRD BEARING	CRD LENGTH
C1	12°44'32"	805.00'	175.03'	175.03'	N 12°44'32" E	178.66'
C2	8°58'52"	250.00'	37.66'	18.97'	N 32°13'30" E	37.89'
C3	7°43'58"	209.00'	28.54'	14.29'	N 32°38'02" E	28.52'
C4	8°58'52"	17.00'	26.47'	16.77'	N 39°34'27" W	23.87'
C5	23°41'00"	209.00'	66.42'	43.64'	N 65°12'53" E	65.61'
C6	90°47'28"	17.00'	26.94'	17.84'	N 50°25'53" E	24.21'
C7	2°20'23"	250.00'	10.25'	5.13'	S 35°22'35" W	10.25'
C8	2°20'23"	209.00'	3.96'	1.98'	S 36°00'14" W	3.96'
C9	10°38'10"	255.00'	47.34'	23.74'	S 6°36'26" W	47.27'
C10	32°14'54"	25.00'	14.07'	7.23'	N 22°38'37" E	13.85'
C11	2°23'03"	250.00'	93.68'	47.39'	N 10°12'42" E	93.14'
C12	10°46'07"	250.00'	86.60'	43.74'	N 24°19'20" E	86.77'
C13	9°24'25"	250.00'	41.21'	20.65'	N 09°44'02" E	41.17'
C14	37°03'14"	25.00'	24.89'	13.39'	S 67°17'41" W	23.88'
C15	30°00'00"	25.00'	39.27'	20.00'	N 04°49'18" W	35.36'
C16	2°51'07"	255.00'	12.69'	6.35'	S 85°36'16" E	12.69'
C17	2°51'07"	255.00'	12.69'	6.35'	S 85°36'16" E	12.69'
C18	2°51'07"	255.00'	12.69'	6.35'	S 85°36'16" E	12.69'
C19	2°51'07"	255.00'	12.69'	6.35'	S 85°36'16" E	12.69'
C20	2°51'07"	255.00'	12.69'	6.35'	S 85°36'16" E	12.69'
C21	2°51'07"	255.00'	12.69'	6.35'	S 85°36'16" E	12.69'
C22	2°51'07"	255.00'	12.69'	6.35'	S 85°36'16" E	12.69'



TYPICAL MINIMUM BUILDING SETBACKS (VILLAS LOTS - ALL) N.T.S.

THE RECORDING OF THIS PLAT VOIDS, VACATES AND SUPERSEDES THE RECORDING OF THE COMMON AREAS ON A FINAL PLAT ENTITLED "SECTION I, THE GARDENS OF THREE RIVERS SUBDIVISION" AS RECORDED IN PLAT BOOK 43, PAGE 260, R.O.C., TN. ALL OTHER INFORMATION ON SAID PLAT, INCLUDING THE RECORDING OF RIGHTS-OF-WAY AND EASEMENTS, SHALL REMAIN THE SAME.

LEGEND

- IRON PIN (FOUND)
- IRON PIN SET (NEW)

R.O.C., TN. REGISTERS OFFICE, RUTHERFORD COUNTY, TENNESSEE

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC. INC.

DATE REGISTERED SURVEYOR

TENN. R.L.S. No. 2381

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION AND WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE

RECORD BOOK 2195, PAGE 3687  
DEED CORRECTED BY  
RECORD BOOK 2346, PAGE 1837

PATTERSON COMPANY, LLC  
C/O WESLEY K. PATTERSON, PRESIDENT/OWNER

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BYLAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEB SITE AT WWW.MTEMC.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.

DATE

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORP. OFFICIAL

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY WATER SERVICE JURISDICTION  
I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE

CONSOLIDATED UTILITY DISTRICT  
OF RUTHERFORD COUNTY OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE

MURFREESBORO WATER RESOURCES OFFICIAL

CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE

I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS; OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE

CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE

PLANNING COMMISSION SECRETARY

GENERAL NOTES

1. THE PURPOSE OF THIS PLAT IS TO CREATE 11 LOTS OF RECORD AND TO RECORD RIGHT OF WAY, COMMON AREA, AND EASEMENTS, AS SHOWN AND TO RESUBDIVIDE 2 COMMON AREAS PREVIOUSLY RECORDED.
2. BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENT UG802-484 (NAD 83-96).
3. THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. 4749C0265 H, EFFECTIVE DATE JANUARY 5, 2007.
4. ANY MINIMUM FINISHED FLOOR ELEVATION (MIN. FFE) SHOWN INCLUDES THE MAIN BUILDING, GARAGES AND ACCESSORY STRUCTURES.
5. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
6. NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR. THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
7. SUBJECT PROPERTY IS ZONED PRO. MINIMUM BUILDING SETBACKS FOR THIS SITE ARE: FRONT - 20 FT. SIDE - 5 FT-0' ON ATTACHED SIDE / SIDE ON RIGHT-OF-WAY (ROW) - 10 FT-CORNER SIDE REAR - 20 FT.
8. THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
9. IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
10. PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MIDDLE TENNESSEE ELECTRIC, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES AND OTHERS.
11. UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNITY/ CATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
12. ANY STREET IN THIS SUBDIVISION MAY BE EXTENDED INTO ADJOINING PROPERTY AT ANY TIME WITHOUT ADDITIONAL NOTICE OR CONSULTATION.
13. THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
14. EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
15. A MANDATORY OWNERS ASSOCIATION IS REQUIRED AS A CONDITION OF APPROVAL IN ORDER TO MEET OBLIGATIONS ESTABLISHED BY THE DEVELOPER.
16. ALL COMMON AREAS IN THE SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN.
17. A HOMEOWNERS ASSOCIATION WAS CREATED IN R.B.K. 592, PG. 1029, AND THE LATEST DECLARATION OF COVENANTS & RESTRICTIONS AMENDED IN THE FOLLOWING: R.B.K. 500, PG. 1626, R.B.K. 574, PG. 1009, R.B.K. 794, PG. 2501, R.B.K. 894, PG. 2410, R.B.K. 1283, PG. 3126, R.B.K. 1853, PG. 2306, AND R.B.K. 1937, PG. 2082. A RATIFICATION IS ALSO RECORDED IN R.B.K. 1046, PG. 2095. FURTHER AMENDED IN R.B.K. 1285, PG. 3837, R.B.K. 1955, PG. 3604.
18. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION, THE OWNER SHALL POST A BUILDING PERMIT SURETY IN AN AMOUNT TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRAINAGE IMPROVEMENTS, OR CONSTRUCTION OF WATER QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
19. THIS SITE CONTAINS POST-CONSTRUCTION BEST MANAGEMENT PRACTICES UTILIZED IN TREATING STORMWATER RUNOFF IN ORDER TO COMPLY WITH MURFREESBORO CITY CODE. A STORMWATER MAINTENANCE AGREEMENT IS RECORDED WITH THIS PROPERTY AND OBLIGATES ALL SUBSEQUENT OWNERS TO ADHERE TO THE STORMWATER MAINTENANCE PLAN ON FILE WITH THE CITY OF MURFREESBORO.
20. THIS PROPERTY IS WITHIN THE SALEM/BARFIELD ASSESSMENT DISTRICT.
21. PERMITTED EXTERIOR MATERIALS FOR THE PROPOSED HOMES ARE BRICK, STONE, AND CEMENT BOARD SIDING. VINYL WILL ONLY BE ALLOWED IN THE TRIM AND SOFFITS.
22. PER THE APPROVED PRO, EACH BUILDING ADJACENT TO AN ALLEY WILL BE REQUIRED TO PROVIDE AUTOMATIC LIGHTING FOR THE ALLEY. IN ADDITION, PER THE APPROVED PRO, ALL YARDS MUST BE SOODED.
23. GARAGES ARE RESTRICTED TO THE PARKING OF CARS, NO STORAGE IS PERMITTED.
24. CUD ACCESS TO THE DESIGNATED METER LOCATION AREA SHALL BE UNENCUMBERED BY DRIVEWAYS, SIDEWALKS, FENCING OR LANDSCAPING. A PERMANENT ACCESS EASEMENT EXISTS ON EACH LOT AT THE METER VAULT LOCATION. THIS EASEMENT IS INTENDED TO ASSURE SERVICE AND REPAIR ACCESS TO THE METER(S) AND SERVICE LINE(S). CUD WILL NOT BE LIABLE TO REPAIR OR REPLACE ANY REMOVED OR DAMAGED ENCROACHMENTS WITHIN THE EASEMENT AND WILL NOT BE FINANCIALLY LIABLE FOR DAMAGES TO ANY ENCROACHMENTS. (SEE CUD CLEAR SPACE DETAIL).
25. CUD WILL REQUIRE A SET TAP EASEMENT TO BE SHOWN ON THE FUTURE RE-SUB FINAL PLATS FOR ANY LOTS THAT REQUIRE THE WATER METER TO BE LOCATED ON AN ADJACENT LOT.
26. PLOT PLANS PREPARED BY A LICENSED SURVEYOR MUST BE PROVIDED FOR PLANNING DEPARTMENT REVIEW AND APPROVAL FOR ALL LOTS AT THE TIME BUILDING PERMIT APPLICATION. IN ADDITION, A LICENSED SURVEYOR WILL BE REQUIRED TO LAY OUT THE FOOTING FOR THESE LOTS AND PROVIDE WRITTEN CONFIRMATION THAT THERE ARE NO ENCROACHMENTS INTO ANY EASEMENTS OR BUILDING SETBACKS.

FINAL PLAT

# THE GARDENS OF THREE RIVERS SECTION TWO, PHASE TWO AND THE RESUBDIVISION OF COMMON AREA LOTS SECTION ONE, THE GARDENS OF THREE RIVERS SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE  
12th CIVIL DISTRICT OF RUTHERFORD COUNTY

SEC, Inc.

SITE ENGINEERING CONSULTANTS

ENGINEERING • SURVEYING • LAND PLANNING

850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129  
PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. #

18150

DATE:

10-17-24

REV: 4-25-25

FILE:

G3RIVERS\_2-2

DRAWN BY:

ATS

SCALE:

1" = 50'

SHEET

1 OF 1





Outfall

#### FINAL OUTFALLS

NUMBER	DESCRIPTION	ACRES	% SLOPES
1	PROPOSED DETENTION POND/SEDIMENT BASIN	6.97	1-2%
2	EXISTING DETENTION POND/SEDIMENT BASIN	4.69	1-2%
3	SOUTH CORNER OF THE SITE	0.38	1-2%

**Note:**  
100 Year Flood Elevations are based on information provided by Neel-Schaffer. This is being used as best available information and has not been adopted yet. These are provisional at this time. This stream has no floodway designated, but is limited to 1.0' rise in BFE. The Floodway shown will insure the 1.0' limit is not exceeded.

3-15' Wide x 4.25' High  
100' Standard Slab Bridge  
With Open Bottom (See  
Detail). Slab Shall Have  
1.5" Min Asphalt Driving  
Surface On Top of Slab  
w/ Pedestrian Safety Rail  
(See Detail).  
\*\*SLAB SHALL BE SET ON  
BEDROCK OR SIT ON  
OTHERWISE USE BOX  
BRIDGE EQUIV.\*\*

#### Notes:

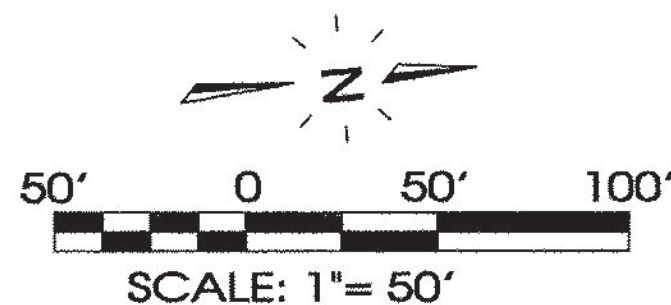
- All cut and fill work shown on lots must be completed prior to release of building permits.
- Compaction reports must be submitted on all fill lots prior to the issuance of any building permits.
- The Lots must be stabilized or EPSC protected along with public infrastructure prior to final plat being signed.
- MPE's are set for local drainage.

#### \*NOTES:

- Final SWPPP Plan Requires Individual Homebuilder To Sign Onto NOI & SWPPP. City Of Murfreesboro homebuilder SWPPP Has Been Included In Overall Development's SWPPP For Reference & Use On Sheet 11.
- Final EPSC Measures Shown Here On Shall Be Enacted As Early As Practical During Construction. Stabilization Timing Criteria Has Been Established In The SWPPP and TNCGP.
- Sediment Trap(s) Shall Remain In Service Until Infrastructure Construction Is Completed And Upstream Areas Stabilized. At Time Of Removing Sediment Trap From Service, Contractor Shall Dewater Per TNCGP Approved Method, Demuck Pond Area, Fine Grade Per Plan, Install Pond Outlet, And Stabilize Detention Pond.

See Sheet 11 For Pipe & Structure Tables

Legend:			
<input type="checkbox"/>	EXIST. CONCRETE MONUMENT		BENCHMARK
<input type="checkbox"/>	IRON PIN SET (I.P.S.)		HANDICAP PARKING SYMBOL
<input type="checkbox"/>	IRON PIN FOUND (I.P.F.)		VAN ACCESSIBLE HANDICAP DESIGNATION
	EXIST. SIGN POST		HC SIGN
	EXIST. SEWER CLEANOUT		PROPOSED SIGN POST
	EXIST. MANHOLE (SEWER & PHONE)		CONCRETE BOLLARD
	EXIST. CATCH BASIN (STORM SEWER)		WHEEL STOP
	EXIST. WATER/GAS VALVE		CONCRETE SIDEWALK
	EXIST. TELEPHONE RISER		EXTRUDED CURB
	EXIST. GAS RISER		CURB & GUTTER
	ELECTRICAL ENCLOSURE		TRAFFIC ARROW
	EXIST. WATER METER		TURN LANE ARROWS
	EXIST. UTILITY POLE		REVISION NUMBER
	EXIST. FIRE HYDRANT		DRAINAGE STRUCTURE DESIGNATION
	POST INDICATOR VALVE		DRAINAGE PIPE DESIGNATION
	BLOW OFF VALVE		RIP RAP
	REDUCER		RUNOFF FLOW ARROW
	REMOTE FIRE DEPT. CONNECTION		INLET FILTER PROTECTION
	CONCRETE THRUST BLOCK		PROPOSED SPOT ELEVATION
	DOUBLE DETECTOR CHECK VALVE		EXIST. SPOT ELEVATION
	FIRE DEPT. CONNECTION		SEWER/STORM FLOW DIRECTION
	FIRE HYDRANT		CATCH BASIN
	GATE VALVE & BOX		CURB INLET
	WATER METER		AREA DRAIN
	GAS METER		HEADWALL
	GREASE TRAP		WINGED HEADWALL
	EXTERIOR CLEANOUT ECO		CONCRETE SWALE
	MANHOLE		TYPE-X- HEADWALL
EXISTING PHONE PH _____			
EXISTING ELECTRIC OH _____			
PROPERTY LINE _____			
EASEMENTS _____			
RIGHT OF WAY _____			
EROSION CONTROL SILT FENCE _____			
EROSION EEL _____			
EXISTING TREELINE _____			
EXISTING FENCELINE _____			
MINIMUM BUILDING SETBACK LINE _____			
PHASE BOUNDARY _____			
EXISTING GAS LINE _____			
PROPOSED GAS LINE _____			
EXISTING STORM _____			
PROPOSED STORM _____			
EXISTING CONTOUR LINES _____			
PROPOSED CONTOUR LINES _____			
EXISTING SANITARY SEWER _____			
PROPOSED SANITARY SEWER _____			
EXISTING WATER _____			
PROPOSED WATER _____			



**SEC, Inc.**  
ENGINEERING • SURVEYING • LAND PLANNING  
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PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 896-2567  
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**The Gardens Of Three**  
**Rivers Section 2, Phase 2**  
Murfreesboro, Tennessee

Grading & Drainage &  
Final EPSC/SWPPP Plan

10 of 17





*... creating a better quality of life.*

## MEMORANDUM

**DATE:** April 29, 2025  
**TO:** Matthew Blomeley  
**FROM:** Michele Emerson  
**RE:** Detention Pond Easement Abandonment for Gardens of Three Rivers Lot 57

---

In response to your April 28, 2025 request, we have reviewed the drainage easement abandonment request for Gardens of Three Rivers Lot 57 and offer the following comments on behalf of the Engineering Department.

The request to abandon a portion of the detention pond easement should be subject to submission and recording of a final plat that records a 20' drainage easement on the rear property line of lot 57. The detention pond easement abandonment and final plat recording should be done simultaneously. The easement appears to be in excess and has no facilities within the easement.

In order to facilitate the abandonment process, the applicant should be prepared to provide legal descriptions and exhibits necessary for the City to draft the necessary legal documents as well as any recording fees. In addition, the drainage easement abandonment should be subject to the final approval of the legal documents by the City Attorney.

C: Chris Griffith  
John Tully  
Josh Upham  
Katie Noel  
Matt Fasig