

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**JUNE 4, 2025
6:00 PM**

**Kathy Jones
Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the May 21, 2025 Planning Commission meeting.**
- 5. Public Hearings and Recommendations to Council:**
 - a. Zoning application [2025-407] to amend the existing PCD zoning (Dejarnette Place PCD) on approximately 23.7 acres located along DeJarnette Lane, Swanson Developments, LP applicant. (Project Planner: Holly Smyth)
- 6. Staff Reports and Other Business:**
 - a. Mandatory Referral [2025-706] for the dedication of an electric easement on City-owned property located along West College Street/Old Nashville Highway, Middle Tennessee Electric applicant. (Project Planner: Marc Shackelford-Rowell)
- 7. Adjourn.**

MINUTES
OF THE CITY OF MURFREESBORO
PLANNING COMMISSION
City Hall, 111 W. Vine Street, Council Chambers
May 21, 2025, 1:00 PM

Members Present:

Kathy Jones, Chair
Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright

Staff Present:

Greg McKnight, Exec. Dir. Dev. Services
Ben Newman, Dir. Of Land Mgmt.& Plan.
Matthew Blomeley, Asst. Planning Dir.
Holly Smyth, Principal Planner
Brad Barbee, Principal Planner
Richard Donovan, Principal Planner
Marc Shackelford-Rowell, Planner
Katie Noel, Project Engineer
John Tully, Assistant City Attorney
Ashley Fulghum, Recording Assistant

1. Call to Order.

Chair Kathy Jones called the meeting to order at 1:00pm.

2. Determination of a quorum.

Chair Kathy Jones determined that a quorum was present.

3. Public Comments.

1. Mr. Eddie Stone, 2106 River Chase Drive- spoke in opposition to item 7f. *Racquet Club, Lot 1- Phase 2 [2025-3020] site plan for 14 pickleball courts and pro shop on 8.03 acres zoned CH located along River Rock Boulevard and Tommy Bragg Drive, Dill Property Holdings, LLC developer.* He requested more of a buffer for sound, an adjustment to the hours of operation, and no loudspeakers.

4. Approve Minutes of the May 7, 2025 Planning Commission meeting.

Ms. Jami Averwater moved to approve the minutes of the May 7, 2025 Planning Commission meeting; the motion was seconded by Mr. Tristan Carroll and carried by the following vote:

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Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

5. Consent Agenda:

Chair Jones announced that item 7.j. East Side Village final plat had been requested to be removed from the consent agenda by Staff and would be discussed during Staff reports and Other Business.

Young Chambers, Lots 3 & 4 and the Resubdivision of Lot 2 [2025-2031] final plat for 3 lots on 0.85 acres zoned RS-8, H-1, & CCO located along East College Street, Brad Chambers and Eben Frizzell developers.

Muirwood, Section 3, Phase 2 [2025- 2036] final plat for 30 lots on 14.92 acres zoned RM (Rutherford County) and served as an outside the City sewer customer located along Rucker Lane, Muirwood Development, LLC developer.

Glenview Farms, Section 4 [2025-2038] final plat for 40 lots on 17.02 acres zoned RS-12 located along Indian Park Drive and Braves Court, Glen Hutchinson developer.

Watkins Glen [2025-2039] final plat for 38 lots on 16.06 acres zoned RS-10 located along Sandstone Circle and Laurelstone Drive, Jeramie Taber developer.

H.R. Swafford Office [2025-2041] final plat for 3 lots on 1.07 acres zoned CH & CCO located along West College Street, Charlotte Swafford developer.

Robinson Meadows, Section 1 [2025-2037] final plat for 36 lots on 18.39 acres zoned PRD located along Veterans Parkway, Ole South Properties developer.

Williams Place, Lot 1 [2025-2044] final plat for 1 lot on 24.05 acres zoned PRD located along Veterans Parkway, Ole South Properties developer.

Kingdom Plaza Commercial, Section 1 [2025-2043] final plat for 1 lot and 1 common area on 4.56 acres zoned CF located along Kingdom Drive and Mooreland Lane, Swanson Developments, LP developer.

East Side Village [2025-1006] preliminary plat for 2 lots on 1.93 acres zoned PCD located along North Rutherford Boulevard, CSC Properties, LLC developer.

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East Side Village, Lot 2 [2025-3036] site plan for a 2,297 ft² restaurant with drive-thru on 1.02 acres zoned PCD located along North Rutherford Boulevard, CSC Properties, LLC developer.

Middle Tennessee Industrial Center [2025-2042] final plat for 4 lots on 87.09 acres zoned H-I and G-I located along South Rutherford Boulevard, Middle TN Industrial Fund II Murfreesboro, LLC developer.

Capital Business Park, Resubdivision of Lot 1 & 2nd Resubdivision of Lot 6 [2025-2033] final plat for 2 lots on 12.31 acres zoned EAC (Rutherford County) and served as an outside the City sewer customer located along Epps Mill Road and Capital Way, GBT Realty Corporation developer.

Westlawn Commercial East, Resubdivision of Lot 6 [2025-2034] final plat for 2 lots on 1.44 acres zoned PUD (Westlawn PUD) located along Veterans Parkway, CSC Properties, LLC developer.

LifePoint Riverdale [2025-3038] site plan for an 11,879 ft² addition to an existing church building on 9 acres zoned RM-16 located along Warrior Drive, LifePoint Riverdale developer.

Mr. Shawn Wright moved to approve the Consent Agenda (excluding item 7.j. East Side Village final plat) subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried by the following vote:

Aye: Jami Averwater

Reggie Harris

Bryan Prince

Shawn Wright

Kathy Jones

Nay: None

Abstain: Tristan Carroll

6. GDO:

On Motion

LaQuinta Hawthorn Hotel [2025-3023 & 2025-6003] final design review and site plan review for a 64,243 ft², 102-room hotel on 2.31 acres zoned CH and GDO-1 located along Cedar Glades Drive and Manson Crossing Drive, Krishna Patel and Rajendra Patel developers. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

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Mr. Bill Huddleston (design engineer) and Mr. Rajendra Patel (developer) were in attendance representing the application.

Ms. Jami Averwater inquired about the ingress/egress to and from the site. Mr. Barbee showed the Commission where the access drives would be located.

Ms. Averwater asked about the traffic flow on to Fortress Boulevard from Cedar Glades Drive. Ms. Katie Noel stated that there are plans to add a traffic signal at Manson Crossing Drive and Manson Pike. The Commission, Staff and applicant further discussed exiting the site and traffic flow on Cedar Glades Drive, Manson Crossing Drive, Manson Pike, and Fortress Boulevard.

Mr. Bryan Prince moved to approve the final design review and site plan review subject to all staff comments with the addition of signage on the property directing interstate traffic to Manson Crossing Drive and Staff's review of traffic flow; the motion was seconded by Mr. Reggie Harris and carried by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

Volunteer Behavioral Health Canopy Addition [2025-3034 & 2023-6005] initial design review for the addition of an entryway canopy at an existing office building zoned MU and GDO-3 located along Williams Drive, Volunteer Behavioral Health Services developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Ms. Jami Averwater moved to approve the initial and final design review and site plan review subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

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Wells Fargo (Clari Park, Lot 7) [2025-3044 & 2025-6004] initial design review for a 4,020 ft2 bank on 1.7 acres zoned CH and GDO-1 located along Medical Center Parkway and Honeylocust Lane, Wells Fargo Bank, N.A. developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Shawn Wright moved to approve the initial design review subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

Meadowlark Townhomes, Phase 2 [2025-2035] horizontal property regime plat for 47 single-family attached units and 9 single-family detached units on 4.37 acres zoned PRD & GDO-1 located along Wilkinson Pike and Willowoak Trail, Toll Southeast LP Company, Inc. developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Tristan Carroll moved to approve the horizontal property regime plat subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

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Clari Park, Lot 15 (Buona Beef) [2024-3006 & 2024-6002] amendment to the approved site plan review and final design review in order to add solar panels to a 4,706 ft² restaurant with drive-thru on 1.52 acres zoned CH and GDO-1 located along Willowoak Trail and Roby Corlew Lane, Buona Venture I developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Chair Jones inquired about truck clearance in relation to the dumpster. Mr. Tony Vendramin (co-owner) explained how the truck would come in to empty the dumpster.

Ms. Jami Averwater moved to approve the request subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

7. Plats and Plans:

West Point, Lots 29 & 30 [2025-1007] master plan amendment and preliminary plat for 2 lots on 12.54 acres zoned L-I located along Beasie Road, Living Spaces developer. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Eric Parl (design engineer) was present representing the application.

Mr. Shawn Wright moved to approve the master plan amendment and preliminary plat subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

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Living Spaces- Murfreesboro Showroom [2025-3037] site plan for a 125,800 ft2 retail building on 11.02 acres zoned L-I located along Beasie Road, Living Spaces developer. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Eric Parl (design engineer) and Mr. Robert Burns (architect) were present representing the application.

Chair Jones inquired about the use of the concrete tilt-up panel on the walls. Mr. Robert Burns explained the reason behind it. The Planning Commission did not object to its use.

Ms. Jami Averwater moved to approve the site plan subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

Valvoline Instant Oil Change [2025-3041] site plan for a 1,462 ft2 automotive motor vehicle service building on approximately 1.3 acres zoned PCD located along Old Lascassas Road and North Rutherford Boulevard, Valvoline developer. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Shawn Wright moved to approve the site plan subject to all staff comments; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

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Kings Landing Villas, Section 2 [2025-1008] master plan amendment and preliminary plat for 13 lots on 9.18 acres zoned PRD located along West Thompson Lane, Black Diamond Construction, LLC developers. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Tristan Carroll moved to approve the master plan amendment and preliminary plat subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

Thomas Property [2025-2040] final plat for 5 lots on 5.41 acres zoned RS-15 located along North Thompson Lane and East Primm Lane, Anthony James Thomas developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Aws Ahmed (design engineer) was present representing the application.

Mr. Tristan Carroll inquired about the proposed improvements to East Primm Lane. Mr. Blomeley stated that East Primm Lane is substandard and right-of-way would need to be dedicated and improvements constructed. Ms. Noel added that the road would be widened. Staff clarified that those improvements would be tied to the development of Lot 5, if the Planning Commission agrees with Staff's recommendation.

Mr. Tristan Carroll moved to approve the final plat subject to all staff comments, including the alternative to the Subdivision Regulations to allow physical improvements to East Primm Lane to be constructed with the development of Lot 5 and not with the development of Lots 1-4; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

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Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

Racquet Club, Lot 1- Phase 2 [2025-3020] site plan for 14 pickleball courts and pro shop on 8.03 acres zoned CH located along River Rock Boulevard and Tommy Bragg Drive, Dill Property Holdings, LLC developer. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Bill Huddleston (design engineer) and Mr. Eric Dill (developer) were present representing the application.

Chair Jones asked if landscaping and buffering have been added. Mr. Donovan responded that they have not been installed yet.

The Commission, Staff, and applicants discussed the previously-existing tennis courts, landscape buffering, fencing, noise pollution, operating hours, lighting, and overflow parking.

Mr. Shawn Wright moved to approve the site plan subject to all staff comments with the addition of a decibel reader and an 8-foot solid vinyl fence across the northern property line adjacent to the Phase 2 area; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Jami Averwater
Tristan Carroll
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None
Abstain: Reggie Harris

8. New Business:

Zoning application [2025-407] to amend the existing PCD zoning (DeJarnette Place PCD) on approximately 23.7 acres located along DeJarnette Lane, Swanson Developments, LP applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department

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and incorporated into these Minutes by reference. Ms. Holly Smyth recommended a public hearing date of June 4, 2025.

Mr. Chris Maguire (design engineer) was present representing the application.

Mr. Shawn Wright moved to schedule a public hearing on June 4, 2025; the motion was seconded by Mr. Tristan Carroll and carried by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

9. Staff Reports and Other Business:

East Side Village [2025-2032] final plat for 2 lots on 1.93 acres zoned PCD located along North Rutherford Boulevard, CSC Properties, LLC developer. Mr. Matthew Blomeley presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference. Mr. Blomeley stated that Planning staff comment #3 should read “prior to the issuance of the first C of O” rather than “before Final Plat map recordation.”

Mr. Shawn Wright moved to approve the final plat subject to all staff comments, including the revised Planning staff comment #3; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Shawn Wright
Kathy Jones
Nay: None

Mr. Ben Newman then presented a monthly update on the efforts of the Planning Department.

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10. Adjourn

There being no further business, the meeting adjourned at 3:20pm.

Chair

Secretary

BN: af

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS – JUNE 4, 2025
PROJECT PLANNER: HOLLY SMYTH**

5.a. Zoning application [2025-407] to amend the existing PCD zoning (Dejarnette Place PCD) on approximately 23.7 acres located along DeJarnette Lane, Swanson Developments, LP applicant.

The subject area is part of the existing Dejarnette Place Planned Commercial District (Dejarnette Place PCD - file #2007-415) located on the north side of Dejarnette Lane east of Memorial Boulevard. Access to the lots in the development will be through the center of the PCD through the recently constructed Sword Court and Lido Court, which are both public streets. Several excerpted pages of the 2007 PCD are attached to the end of the staff report for reference. The grading, drainage, and public street improvements for the development are generally complete but no site plans have been submitted for the individual lots and they remain vacant.

The new PCD still includes 5 distinct developable lot areas and a common area for regional drainage. Each zone detailed in the pattern book includes use tables, building height limitations, and landscape modifications that will help adequately protect potential future airspace should the Murfreesboro Municipal Airport runway be expanded to be 5,000' in the future. Included uses are generally from the CH- Commercial Highway zone listings such as retail, restaurants, grocery, various offices and artisan uses less than 3,000 square feet with the removal of several uses that may conflict with the airport as discussed further below in Areas A, B, C & D. Area E has a far more limited list that is a smaller sub-set of those allowed in the other 4 areas but then includes self-service storage (both indoor and outdoor) which the 2007 PCD allows.

Modified permitted use tables are incorporated into the program book on pages 13, 14, and 15. Previously allowed uses are not highlighted but the new proposed uses are highlighted in yellow and include the following: artisan use <3,000 ft², artisan brewery, fitness studio <3,000 ft², grocery stores, drive-in restaurant, specialty restaurant, specialty-limited restaurant, specialty shop, and artisan winery. Prohibited uses include Institutional group assembly (which includes institutional uses with 50 or more persons) and gas stations to help limit exposure should an airplane crash near the take-off zone impacting high levels of persons or potentially explosive uses. Of note, no commercial "group assembly" uses are included in any of the use tables. Lastly, vape shops are also proposed to be prohibited given the proximity to adjacent residential uses.

Maximum building heights for those areas closest to Dejarnette Lane labeled areas A and B are lower given their closer proximity to the airport, while those areas in the PCD further to the north and further from the runway allowing some increased maximum building heights. Incorporation of maximum heights for buildings (which include any roof-mounted equipment), landscaping, and lighting poles are also incorporated. Maximum building heights in areas A and B are limited to 30', areas C and D are limited to 35', and area E is limited to 45'. Landscape buffers will have the same height limitations and will be based on CH standards depending upon the adjacent uses.

Design layout standards and conceptual architectural facades have been removed from the pattern book, as the development proposes to instead simply follow the Citywide Design Guidelines and utilize the building setbacks of CH (Highway Commercial) zoning district.

Aviation-related issues have been incorporated into a new page 18 in the program book to focus on airport and aircraft protection. The program book also proposes that an aviation easement be recorded in this development along the DeJarnette Lane frontage.

Adjacent Zoning and Land Uses

The PCD is directly north of DeJarnette Lane and areas zoned P (Park) containing McKnight Park, SportsCom, and the Murfreesboro Municipal Airport, east of a vacant parcel zoned RS-15 (Single-Family Residential) which is adjacent to the State Farm complex zoned PCD (Planned Commercial District), west of a single-family subdivision named Bradford Place zoned PUD (Planned Unit District) and a single-family home on an RS-15 zoned lot, and south of a few single family homes on RS-15 and RS-12 (Single-Family Residential) zoned lots located along Osborne Lane.

Future Land Use Map



The Murfreesboro 2035 Comprehensive Plan Future Land Use Map indicates that Business Office Park (BP) is the most appropriate land use character for the subject property. The purpose of BP is to foster stability and growth of high-quality office, technology, research and development centers, and similar industries that provide desirable employment opportunities for the general welfare of the community. Business Parks are suburban in character, are typically developed in a campus-style setting that features reduced site coverage and increased open space; and may include offices and associated administrative, executive professional uses, and specified institutional and

limited commercial uses. Characteristics include open space ranging from 20-30% of the site and extensive perimeter plantings. Site operations are conducted indoors with no outdoor storage or display. Suggested zoning districts include the various office districts or PCD.

The original PCD and the amended PCD have always included opportunities for both retail and office areas as well as potential interior and exterior storage options. Given these specifics it seems that the amended PCD is mostly consistent with the future land use map while providing new protections to the adjacent airport.

Recommendation

Staff is supportive of this zoning request as mentioned above for the following reasons:

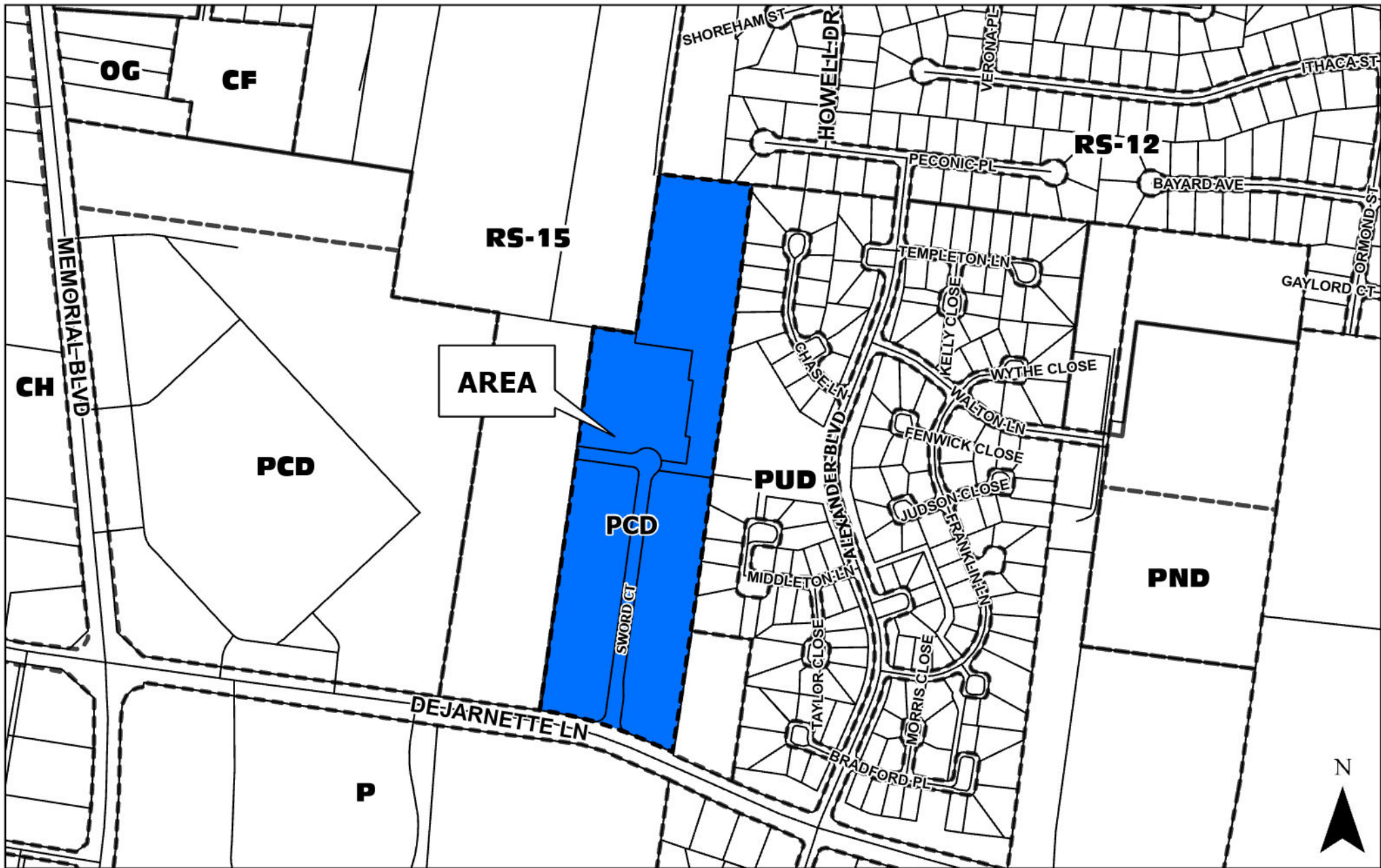
- The newly-added uses are compatible to adjacent single-family residential uses.
- Adding prohibited uses of institutional group assembly and gas fueling reduces potential risk exposure should there be an airport-related accident north of the runway.
- Limiting building, landscape, and utility heights on the various lots based on their proximity to the airport supports potential future runway expansion in line with FAA standards.
- Creation of an aviation easement within the front of Lots A & B guarantees height limitations tied to the land as soon as the first development moves forward.
- The new PCD requires the filing of Part 7460-1 form with the FAA prior to permit issuance for any building construction or use of cranes to ensure that the height limitations are implemented.
- The 2007 PCD did not specify if internal streets should be city right-of-way and the proposed amendment clarifies that the circulation is through City right of way with potential connectivity through the State Farm site if it redevelops back to Memorial Boulevard.
- Defaulting to the use of the Design Guidelines and the site plan review process allows the developer more flexibility as specific tenants are identified.

Action Needed

The applicant will be available at the Planning Commission meeting to make a presentation regarding this proposed PCD amendment and to answer any questions. The Planning Commission will need to conduct a public hearing prior to making a recommendation to the City Council.

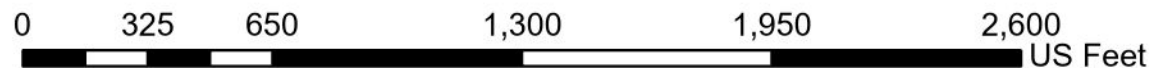
Attachments

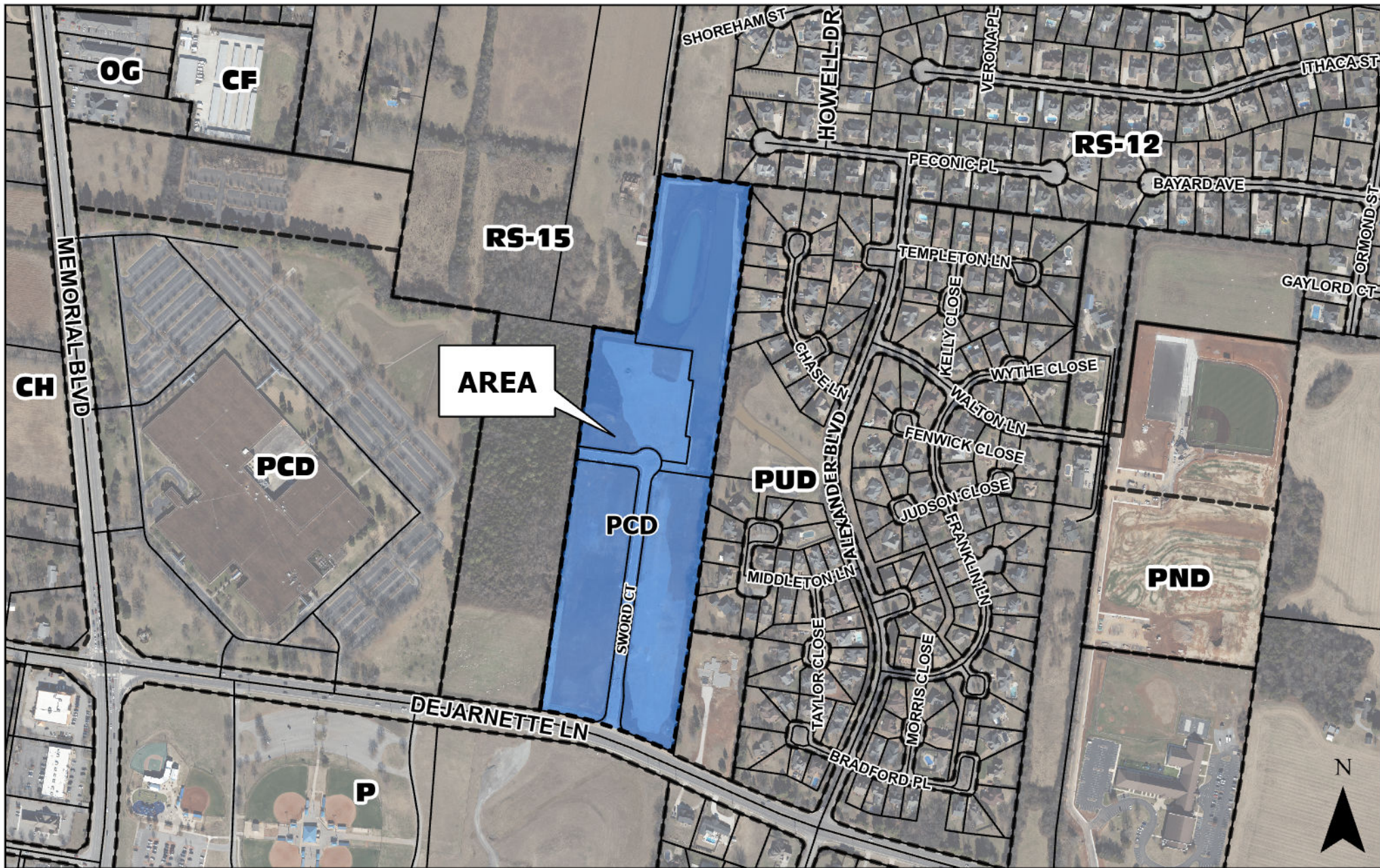
- Non-Ortho Map
- Ortho Map
- Amended Program Book
- Currently Approved PCD #2007-415



Zoning request for property along DeJarnette Lane PCD Amendment (DeJarnette Place PCD)

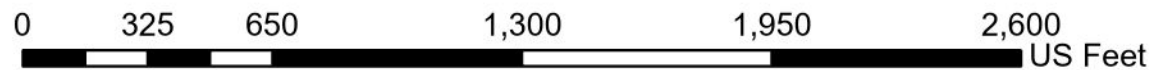
Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov





Zoning request for property along DeJarnette Lane PCD Amendment (DeJarnette Place PCD)

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

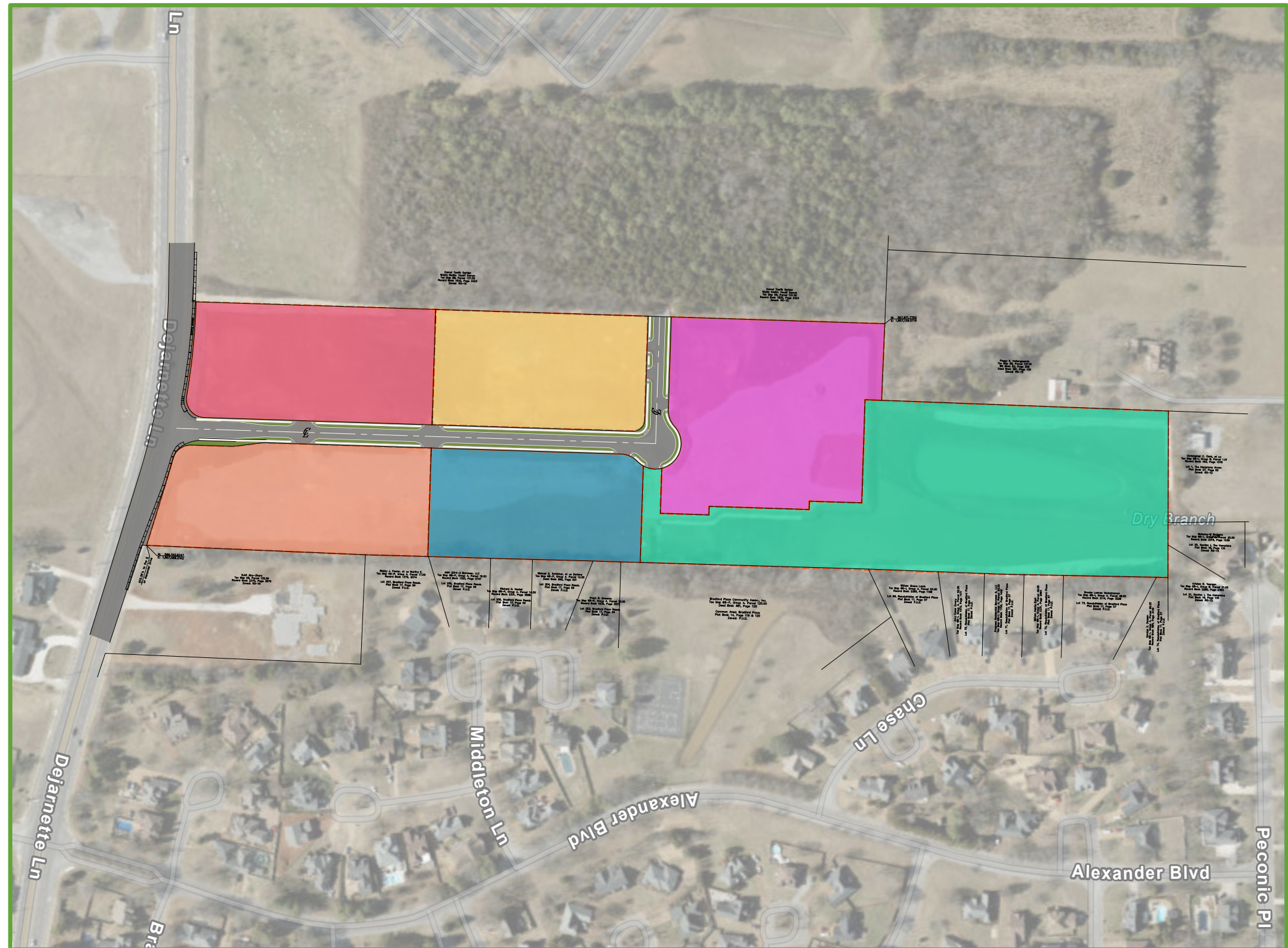


Dejarnette Place

Request for Rezoning to
Planned Commercial
Development (PCD).

PROGRAM BOOK SUBMITTED FOR THE
JUNE 4, 2025, PLANNING COMMISSION
PUBLIC HEARING.

Plans Prepared By:



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| GENERAL SITE INFORMATION | | | | | |
|--------------------------|--|-----------|------|----------------------|--------|
| ADDRESS | Dejarnette Ln, Murfreesboro, TN, 37130 | | | | |
| TAX MAP | 68 | GROUP | - | PARCEL NUMBER | 137.02 |
| R. Book | 550 | PAGE | 2389 | LOT SIZE (ACREAGE) | 23.7± |
| ZONING | PCD | REZONE TO | PCD | NO. OF UNITS OR LOTS | 8 Lots |

PROJECT SUMMARY

DeJarnette Place is a commercial development located in the rapidly growing region of North Murfreesboro, directly north of the City of Murfreesboro Airport. The Site was previously approved as a PCD in 2008. The 23.7+/- acre site will encompass five distinct commercial zones, with each area supporting an approved list of commercial uses. The subject property will be accessed from Dejarnette Lane and will be served by a primary public street. Property to the west is vacant but zoned for single-family residential use, and to the east are single-family detached residential homes.

SITE LOCATION



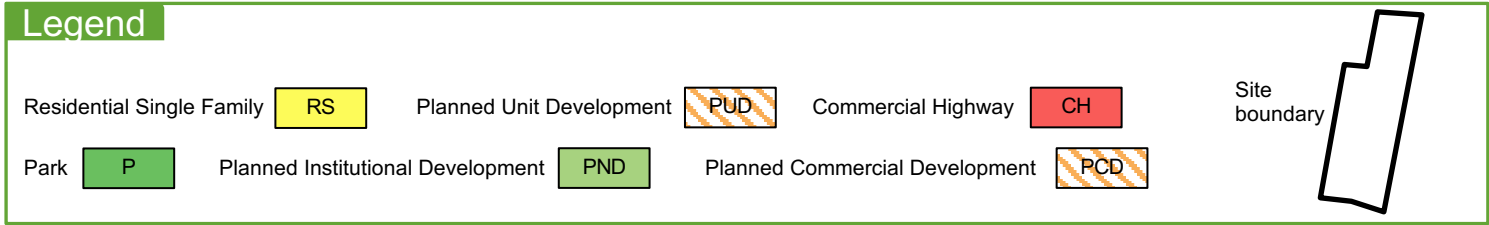
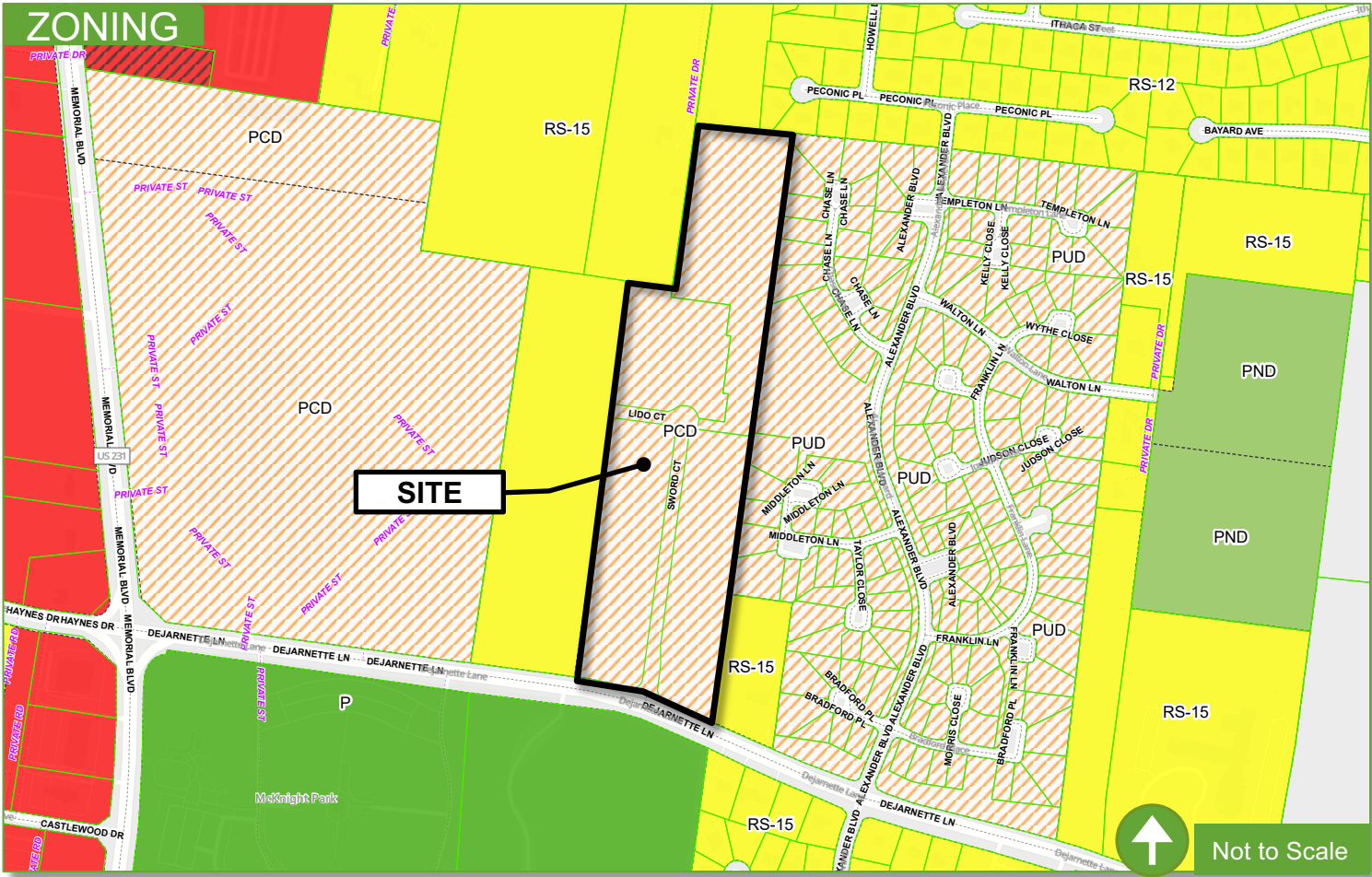
DEVELOPMENT TEAM

| OWNER/ DEVELOPER | | | |
|------------------|---|-------|----------------------------|
| COMPANY | Swanson Developments, L.P. | ATTN | Joe Swanson Jr |
| ADDRESS | 1188 Park Avenue, Murfreesboro, TN 37219 | PHONE | 615.896.0000 |
| | | EMAIL | joejr@swansoncompanies.com |

| PLANNING | | | |
|----------|--|-------|-------------------------------|
| COMPANY | Huddleston-Steele Engineering Inc. | ATTN | Clyde Rountree, RLA |
| ADDRESS | 2115 N.W. Broad Street, Murfreesboro, TN, 37129 | PHONE | 615.509.5930 |
| | | EMAIL | rountree.associates@yahoo.com |

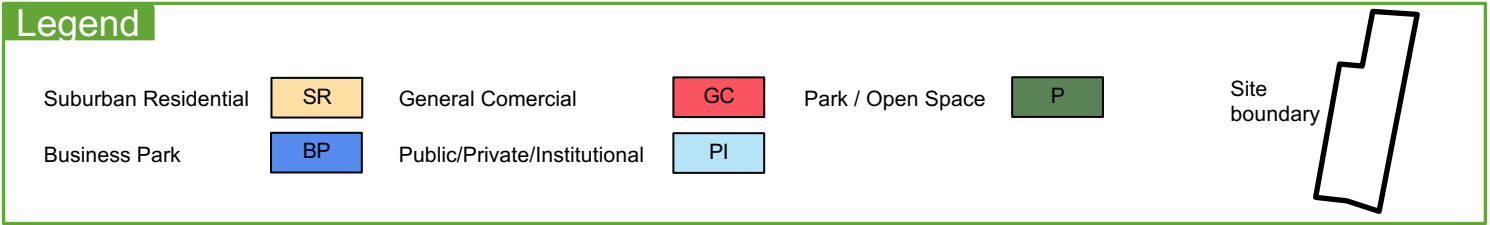
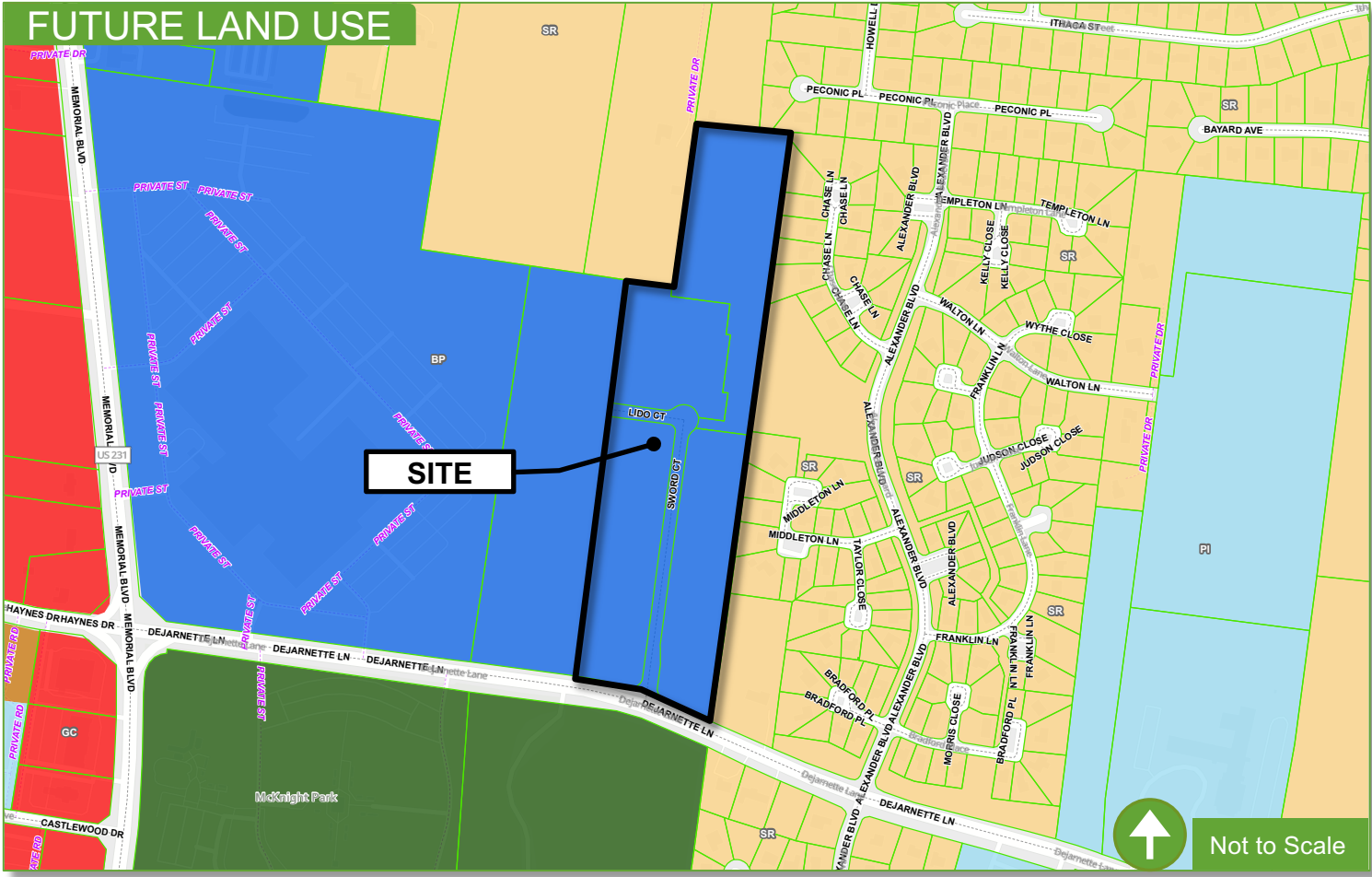
| ENGINEERING | | | |
|-------------|--|-------|----------------------------|
| COMPANY | Huddleston-Steele Engineering Inc. | ATTN | Chris Maguire, P.E. R.L.S. |
| ADDRESS | 2115 N.W. Broad Street, Murfreesboro, TN, 37129 | PHONE | 615.893.4084 |
| | | EMAIL | cmaguire@hsengr.com |





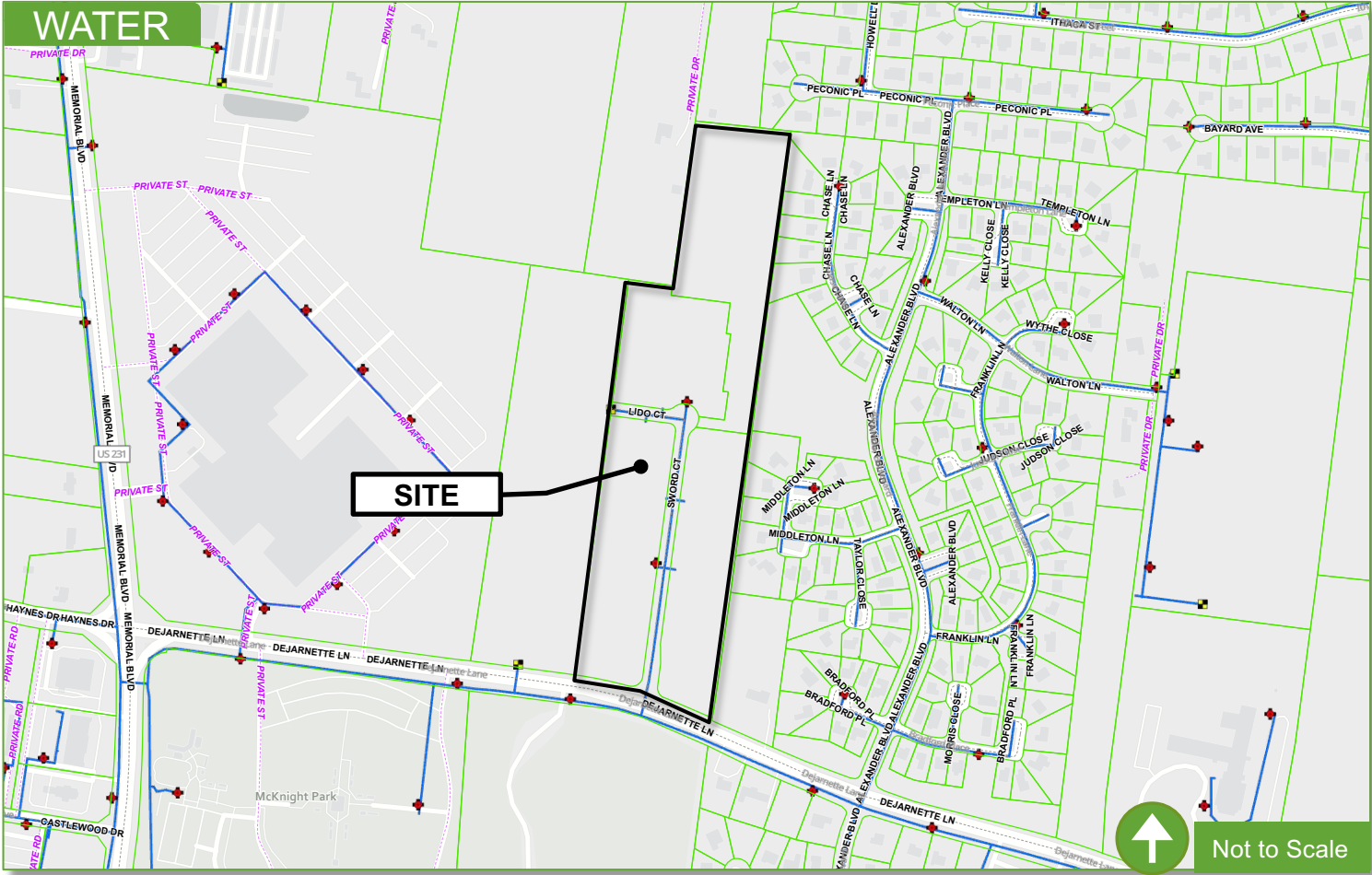
Map Summary

The property is currently zoned PCD, which stands for Planned Commercial Development. The request submitted is for a rezoning to a Planned Commercial Development under amended conditions. The property's eastern boundary is zoned Planned Urban Development, while the property directly to the west is zoned Residential Single-Family (RS-15) and borders a site zoned PCD. The property to the north is also zoned Residential Single-Family (RS-15 & RS-12), and the area to the south is McKnight Park, zoned for park use. This property is directly in the flight path for air traffic to and from the Murfreesboro Municipal Airport to the South.



Map Summary

The Murfreesboro Future Land Use plan designates the project site as a Business (Office) Park (BP) Character. These suburban parks feature open spaces and may include offices, medical facilities, and limited commercial uses. A minimum of 20-30% open space is required, with extensive landscaping and special design treatments. The development will focus on indoor operations without outdoor storage. Sites should be clustered to promote growth, with sizes ranging from 50 to 250 acres and preferred square or rectangular shapes. "Shovel-ready" sites with existing infrastructure are essential for efficient development.



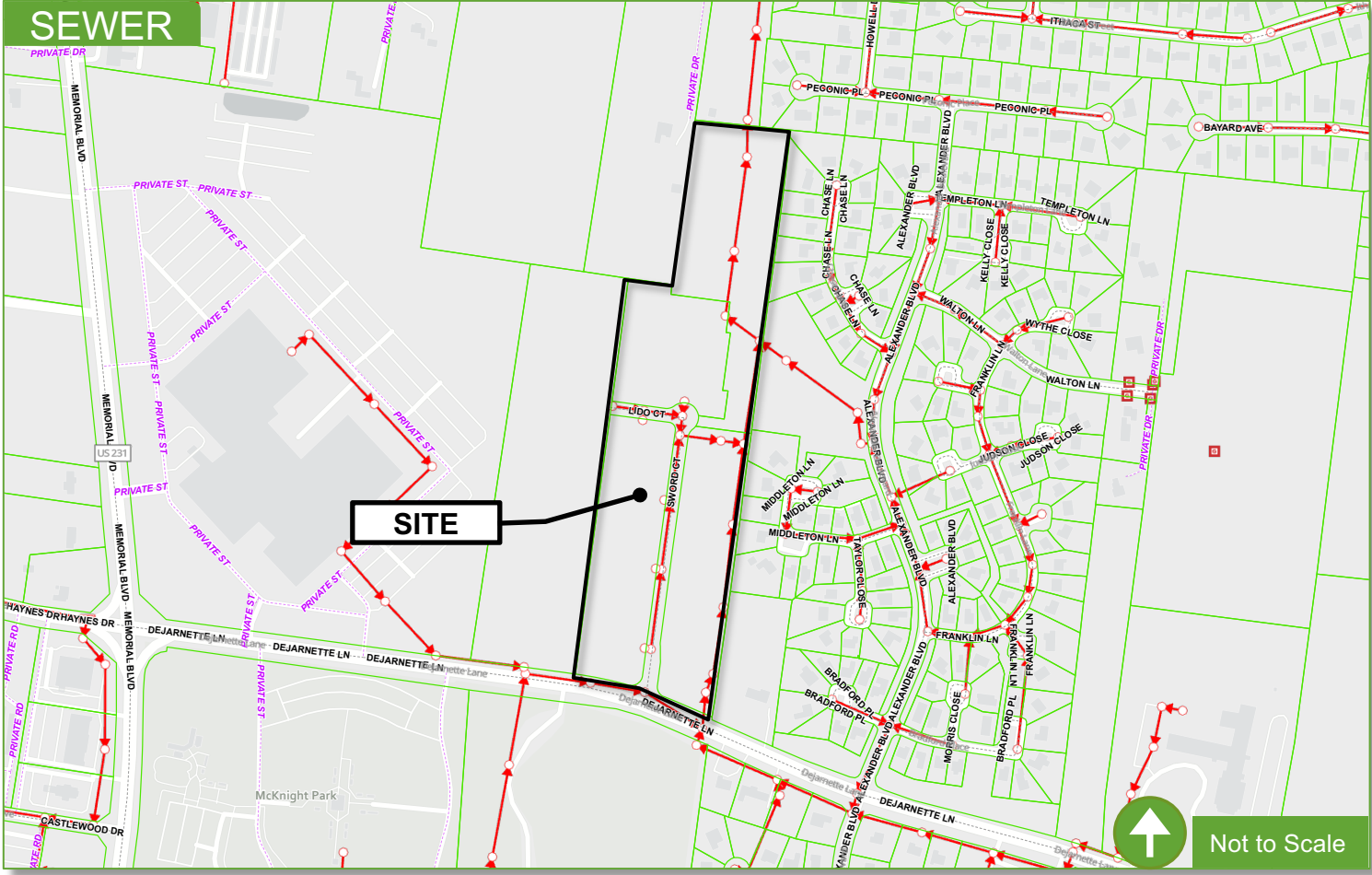
Legend

- Water Line
- Fire Hydrant

Site boundary

Map Summary

The waterline has been aligned in conjunction with the new public street construction.



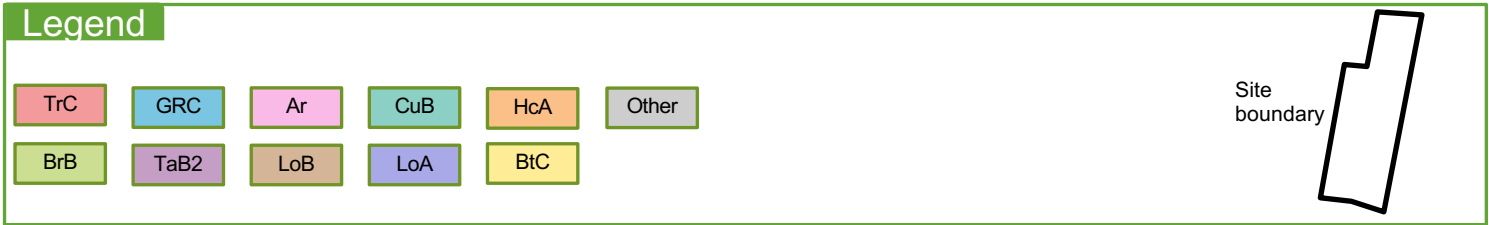
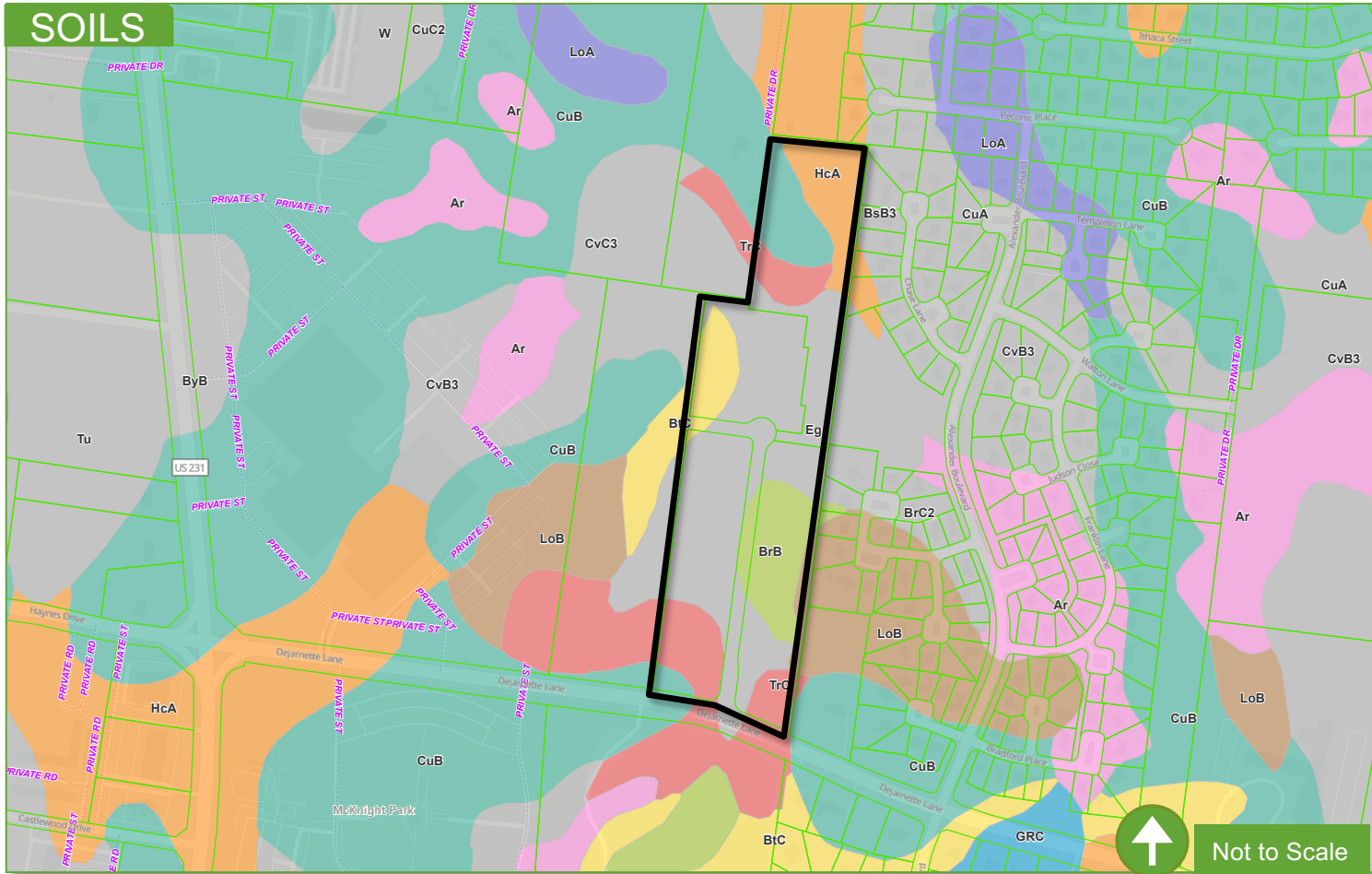
Legend

- Existing Sewer Gravity Main
- Existing Sewer Manhole
- Proposed Sewer Extension

Site boundary

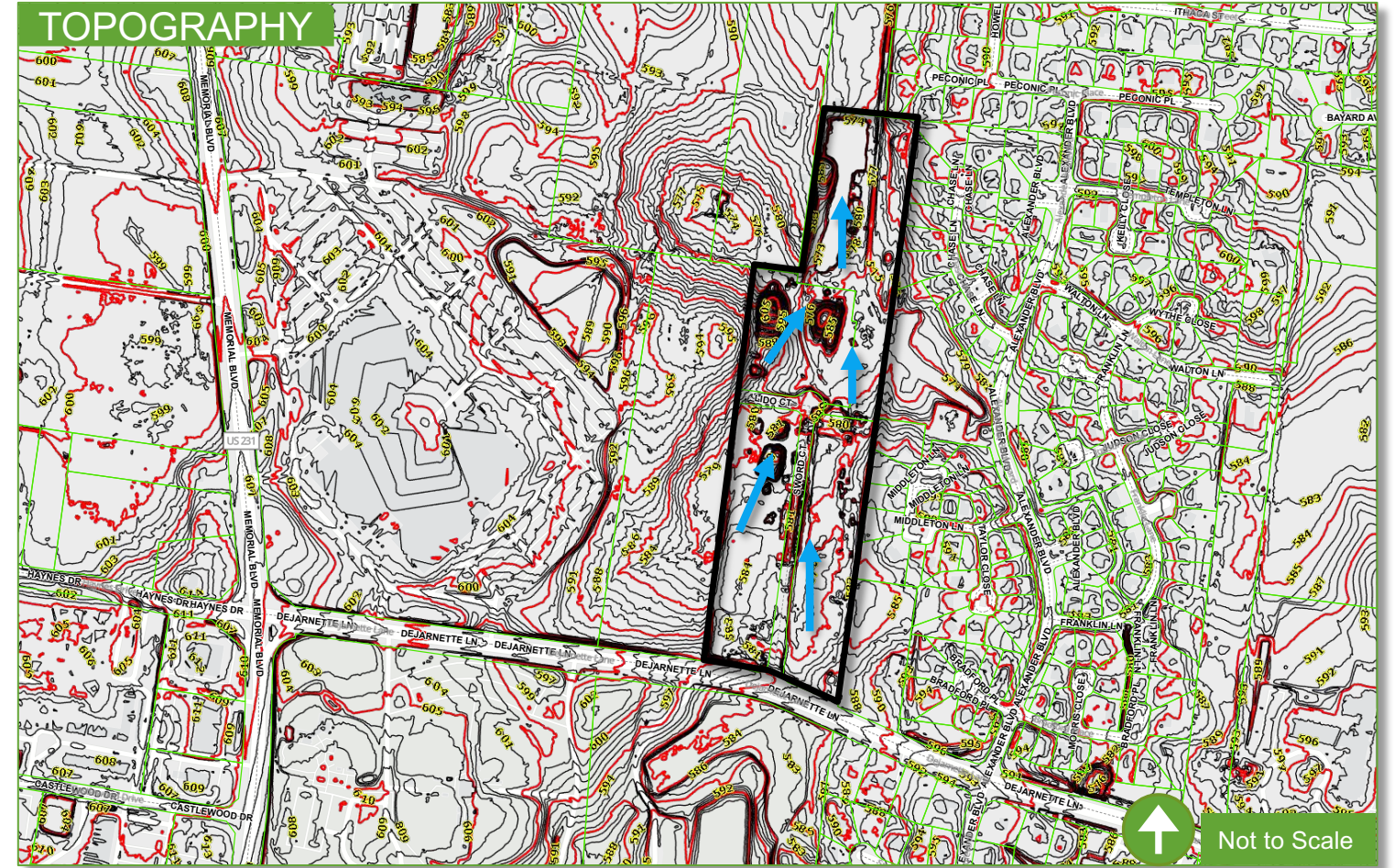
Map Summary

The sewer line is located with the same alignment of the proposed public street. An additional sewer line is accessible on the northeastern portion of the property.



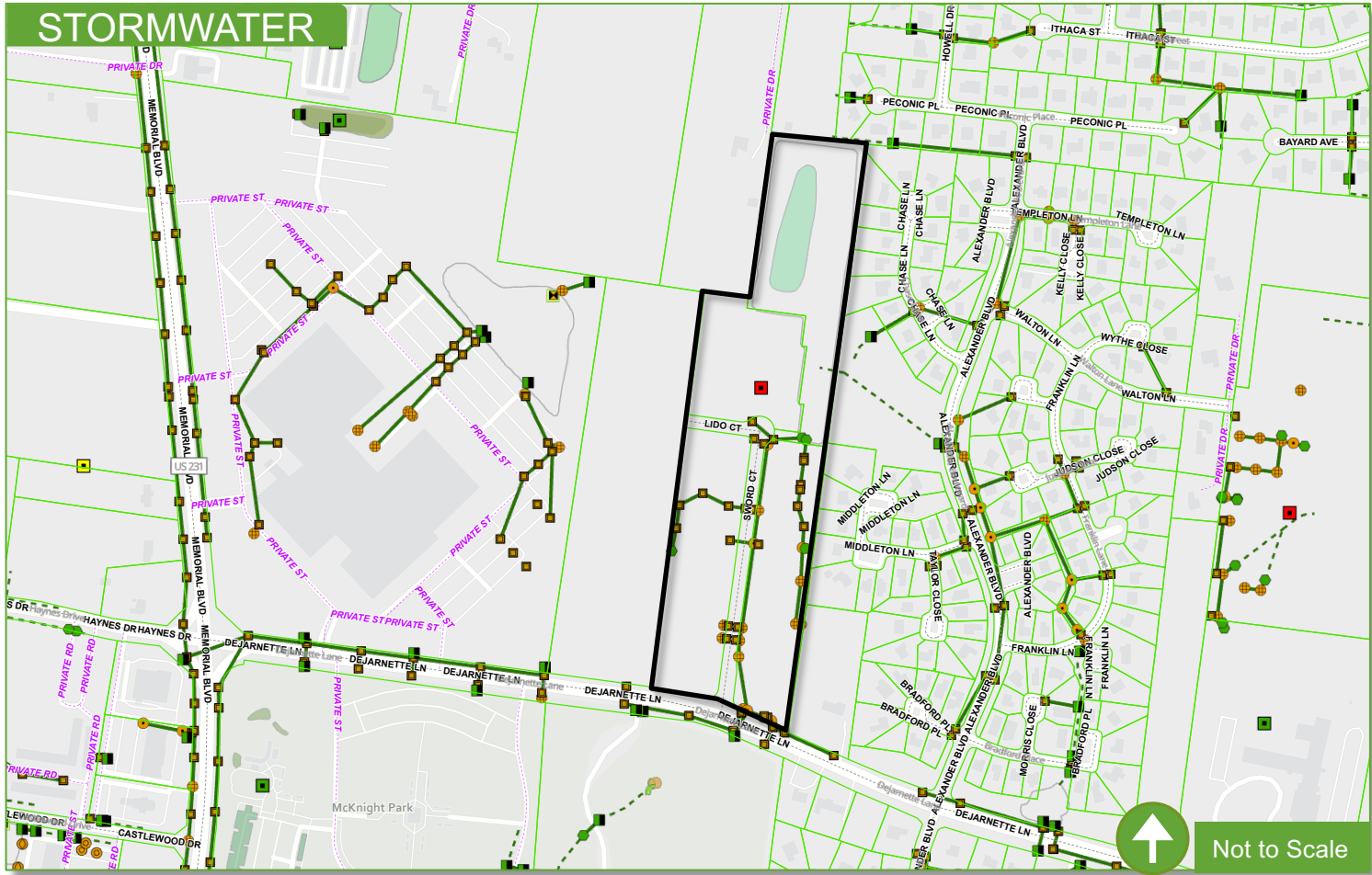
Map Summary

- **BrB** - Bradyville silt loam, 2 to 5 percent slopes.
- **HcA** - Harpeth silt loam, 0 to 2 percent slopes.
- **TrC** - Talbott-Barfield-Rock outcrop complex, 2 to 12 percent slopes.
- **BtC** - Bradyville-Rock outcrop complex, 2 to 12 percent slopes.
- **CuB** - Cumberland silt loam, 2 to 5 percent slopes.
- **LoB** - Lomond silt loam, 2 to 5 percent slopes.
- **BrC2** - Bradyville Silt Loam, 5 to 12 percent slopes.
- **Eg** - Egam Silt Loam



Map Summary

The property is generally flat with 16'-18' of fall from a south-to-north direction. There is an existing detention pond within the Dejarnette Place subdivision to the east that drains onto the property. This drainage flows within a 50' drainage easement that travels through the property to a low point at the northern extreme of the property. Additional off-site drainage enters the property from the west.

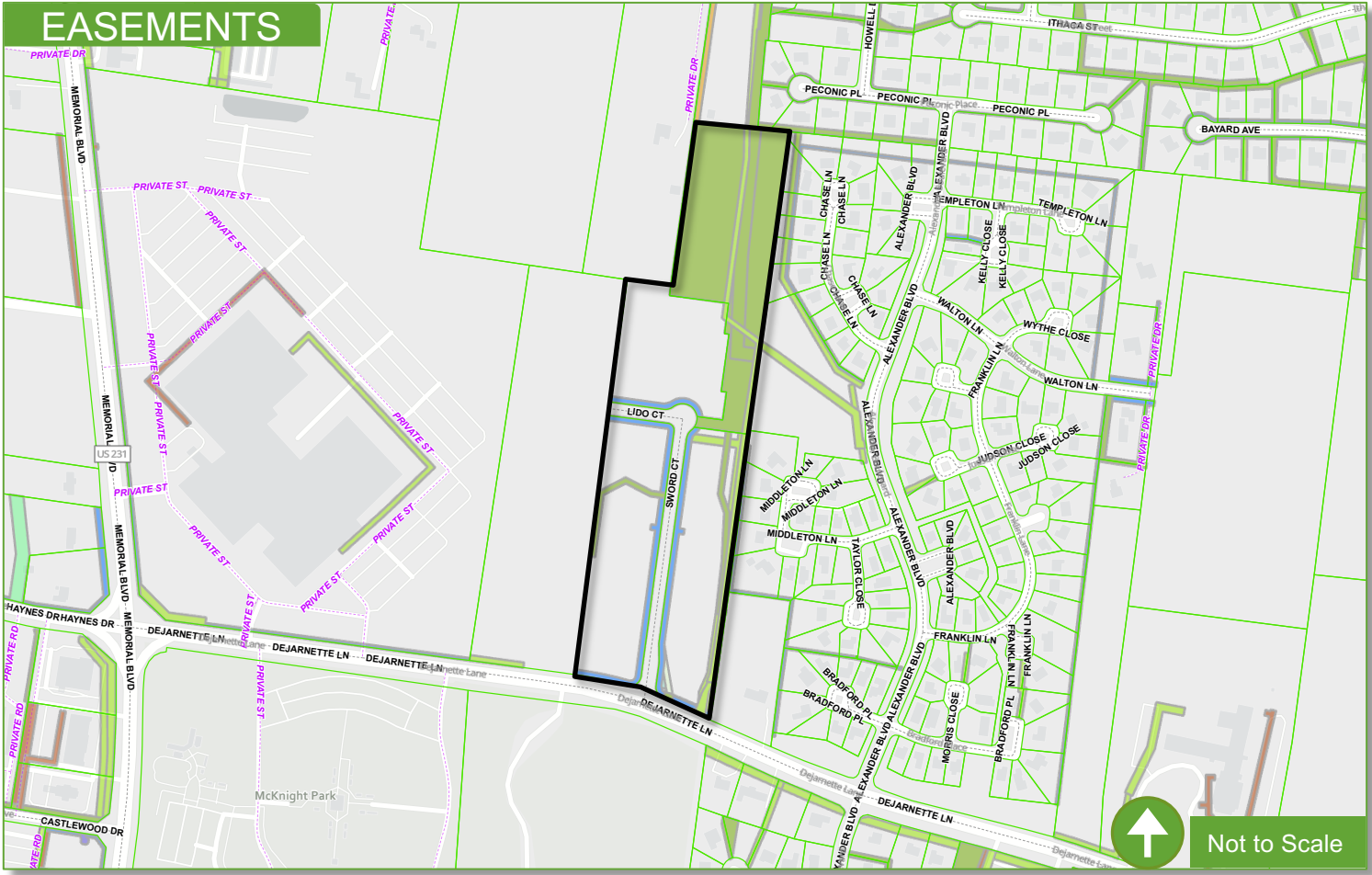


Legend

| | | | | |
|--------------|--|--------------|--|---------------|
| Construction | | Open Channel | | Site boundary |
| Collection | | | | |

Map Summary

- Stormwater will be managed through the use of a centralized detention pond located in the Northwestern area of the property.



Legend

| | | | | |
|-------------------|--|-------------------|--|---------------|
| Water Easement | | Sidewalk Easement | | Site boundary |
| Drainage Easement | | Sidewalk Easement | | |

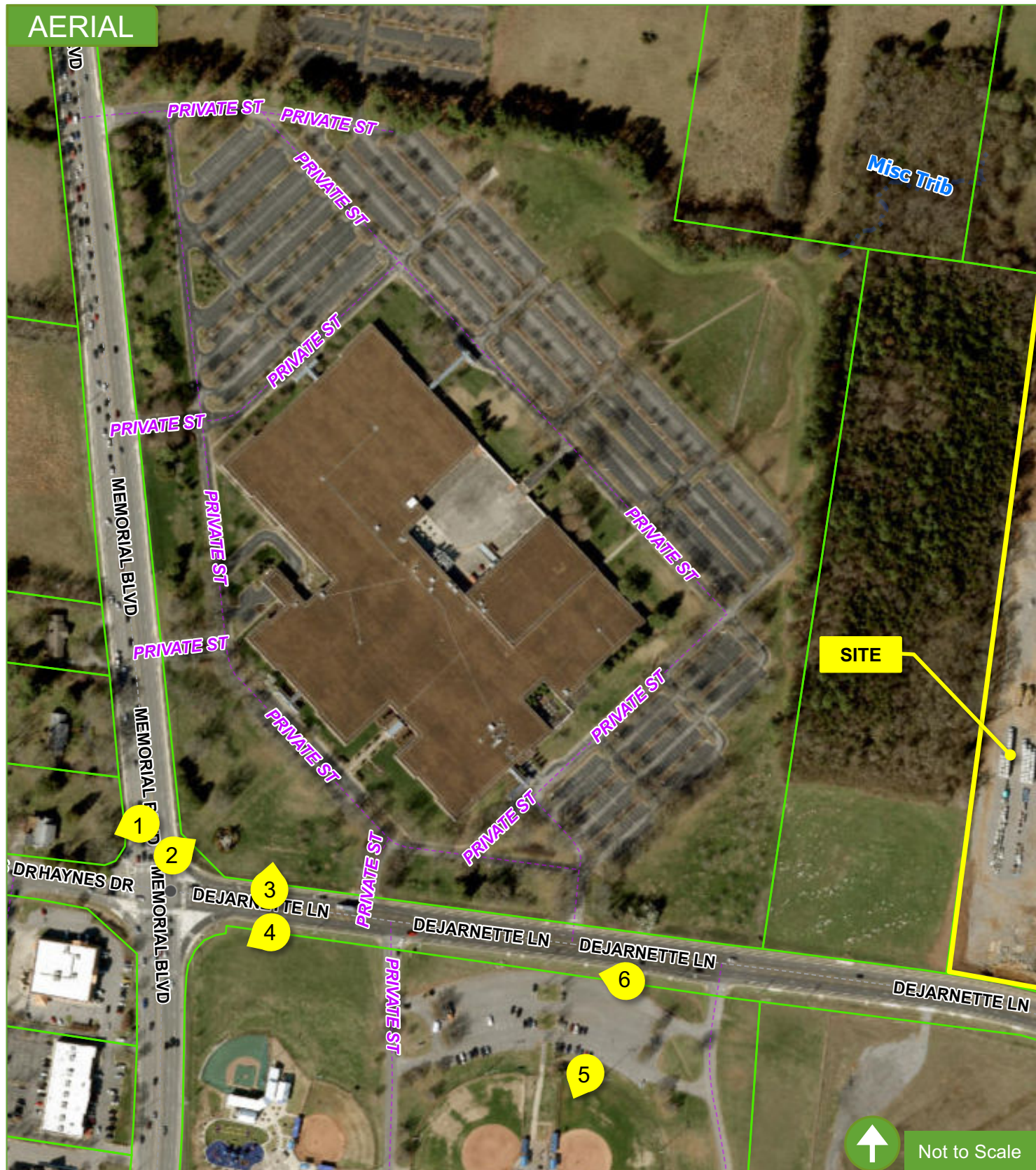
Map Summary

- A drainage easement runs from North to south, veering Northeast about halfway through the property and then along the eastern property line.
- An Aviation Easement will be placed along the front 40' of the private property to ensure no structure is in such areas once the PCD amendment is approved.

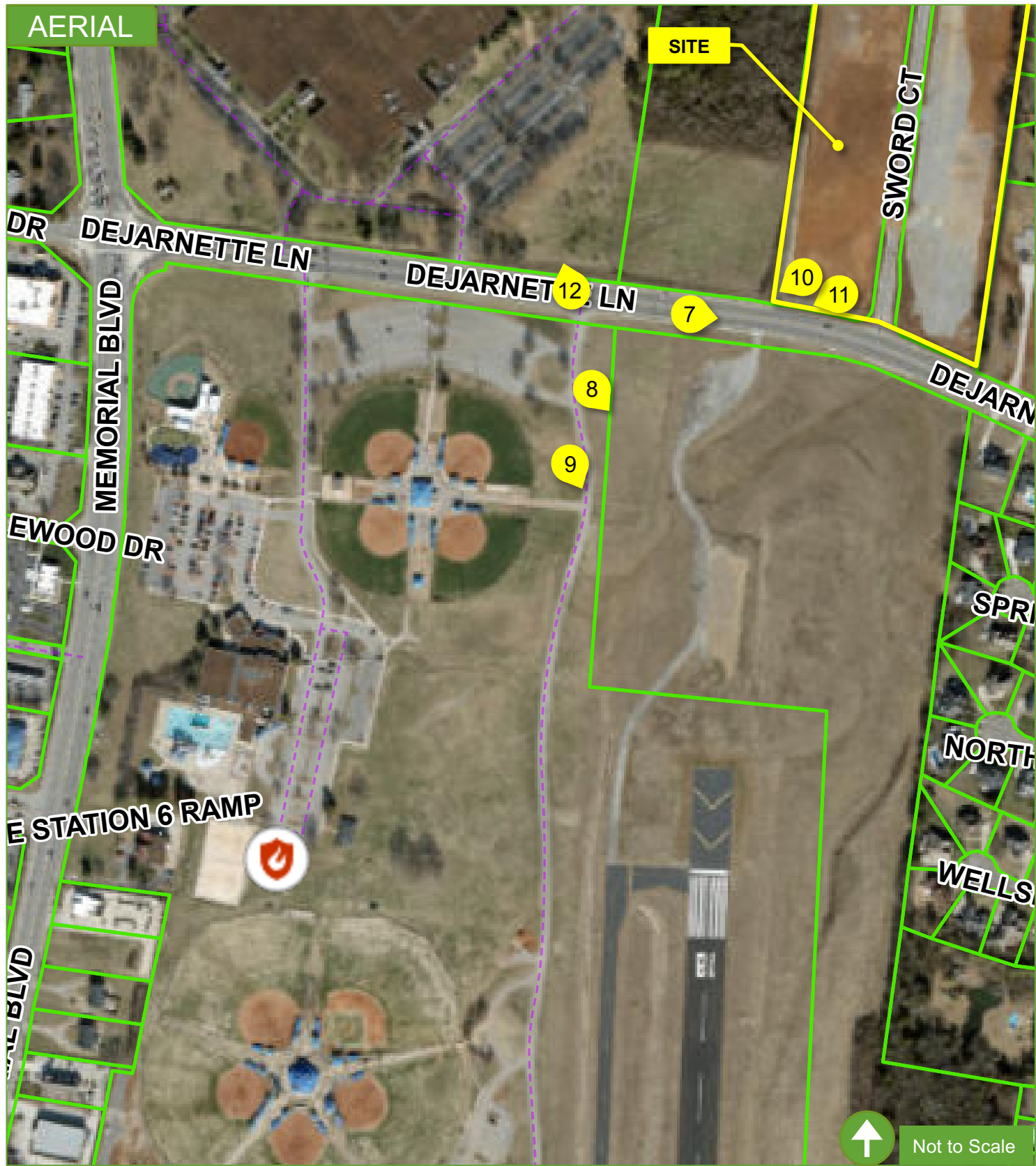


Map Summary

The subject property is located approximately a quarter of a mile to the east of Memorial Blvd and DeJarnette Lane intersection. The property to the west is undeveloped property zoned residential. The subject property is impacted by the flight line clearances. To the east is a single-family neighborhood. To the north is an undeveloped pasture.

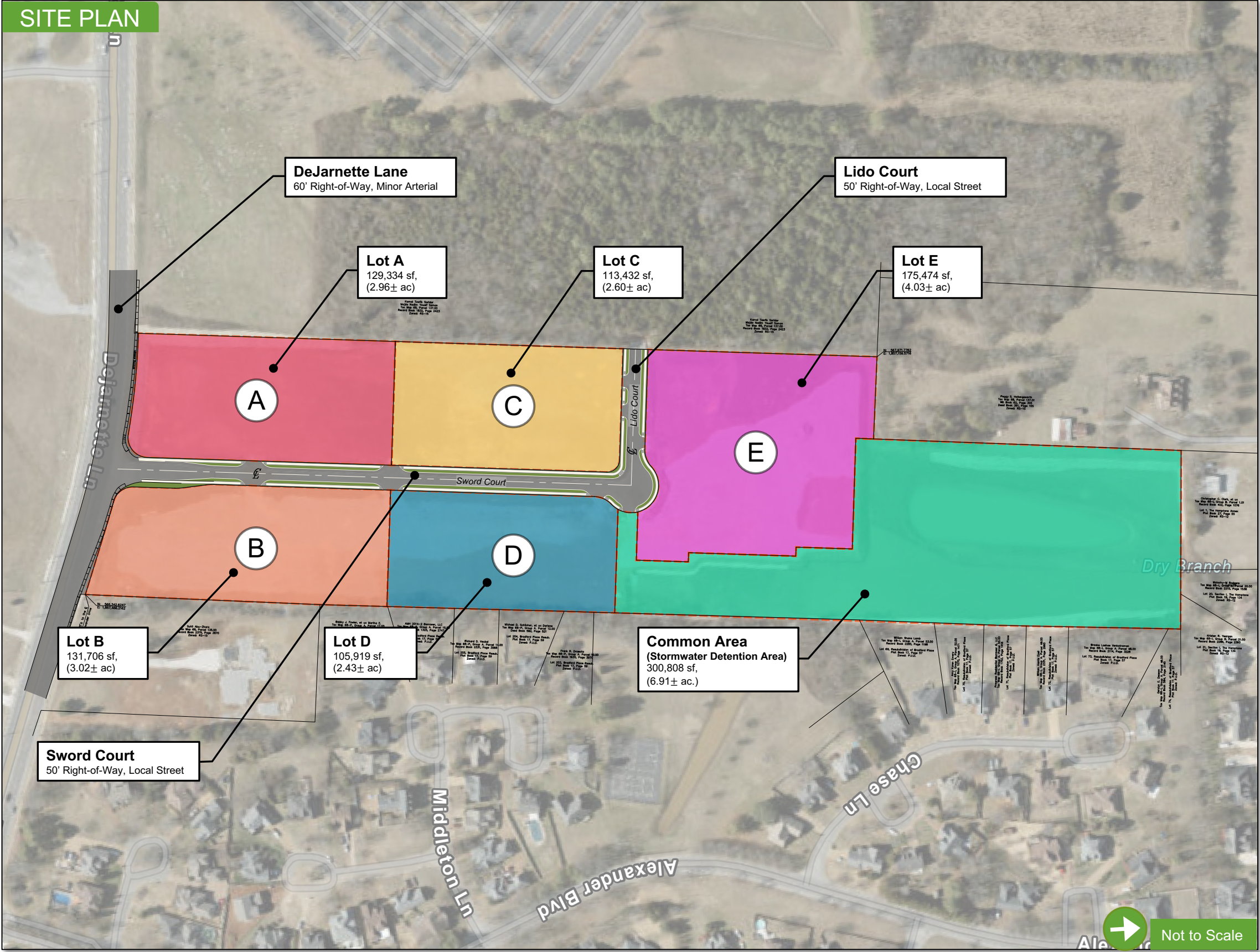


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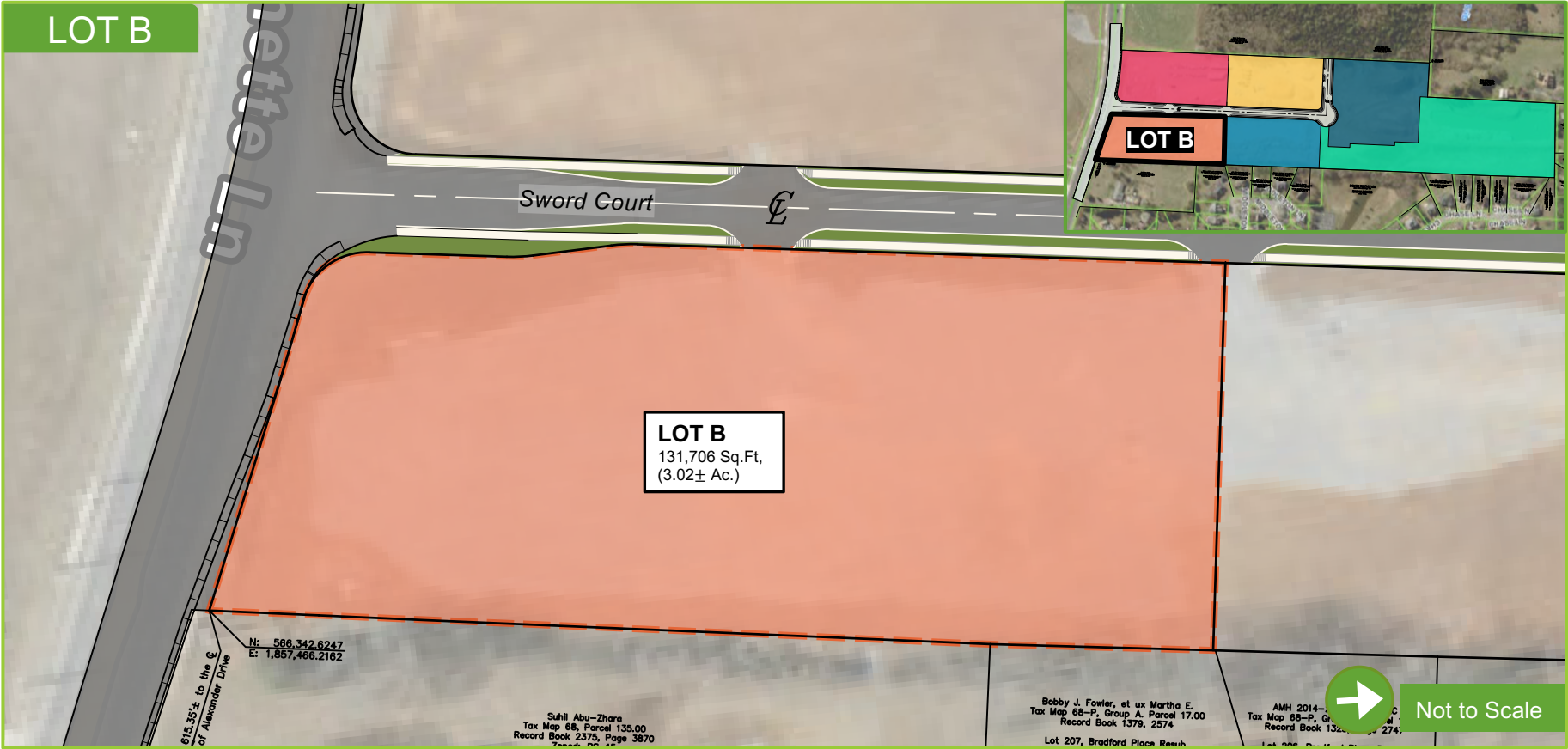


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| SITE DATA | | |
|---------------|------------------|---------|
| Total SF | 1,032,372 +/- sf | |
| Total Acreage | 23.70± acres | |
| LOT BREAKDOWN | | |
| Lot # | SF | Acreage |
| Lot A | 123,334± | 2.96± |
| Lot B | 131,706± | 3.02± |
| Lot C | 113,432± | 2.60± |
| Lot D | 105,919± | 2.43± |
| Lot E | 175,474± | 4.03± |
| Common Area | 300,808± | 6.91± |
| Roadway | 77,792± | 1.79± |
| SETBACK | | |
| Front | 42 ft | |
| Side | 10 ft | |
| Rear | 20 ft | |



| PROPOSED ALLOWABLE USES | |
|---|--|
| COMMERCIAL | |
| Amusements, Commercial Indoor | |
| Animal Grooming Facility | |
| Antique Mall | |
| Art or Photo Studio or Gallery | |
| Artisan Use < 3,000 SF, other than enumerated elsewhere | |
| Bakery, Retail | |
| Bank or Credit Union, Branch Office or Main Office | |
| Bank, Drive-Up Electronic Teller | |
| Barber or Beauty Shop | |
| Book or Card Shop | |
| Brewery, Artisan | |
| Businesses and Communication Service | |
| Business School | |
| Catering Establishment | |
| Clothing Store | |
| Convenience Store, ≤5,000 SF | |
| Department or Discount Store | |
| Dry Cleaner ≤3,000 SF (No On-Site Cleaning) | |
| Financial Service | |
| Fitness Studio/ Personal Instruction ≤ 5,000 SF | |
| Flower or Plant Store | |
| Garden and Lawn Supplies | |
| Grocery Stores | |
| Interior Decorator | |
| Janitorial Service | |
| Keys, Locksmith | |
| Laboratories, Medical | |
| Laboratories, Testing | |
| Music or Dancing Academy | |
| Offices | |
| Optical Dispensaries | |
| Personal Service Establishment | |
| Pet Shops | |
| Pharmacies, Apothecaries | |
| Radio, TV, or Recording Studio | |
| Restaurant and Carry-Out Restaurant | |
| Restaurant, Drive-In | |
| Restaurant, Specialty | |
| Restaurant, Specialty-Limited | |
| Retail Shop, other than enumerated Elsewhere | |
| Specialty shop | |
| Veterinary Clinic | |
| Veterinary Hospital | |
| Veterinary Office | |
| Winery, Artisan | |
| TRANSPORTATION AND PUBLIC UTILITIES | |
| Telephone or Communication Services | |

| SITE DATA | | |
|---------------|--------------|--------------|
| | LOT A | LOT B |
| Total SF | 129,334 ± sf | 131,706 ± sf |
| Total Acreage | 2.96 ± ac | 3.02 ± ac |
| SETBACKS | | |
| Front | 42 ft | 42 ft |
| Side | 10 ft | 10 ft |
| Rear | 20 ft | 20 ft |
| Height (Max) | 30 ft | 30 ft |

Landscape Requirements

Front perimeter planting, parking lot screening, landscape islands and base of building plantings shall only allow ornamental trees and shrubs not to exceed 20' in height at maturity to comply with Federal Aviation Regulations Part 77.

PROHIBITED USES

COMMERCIAL

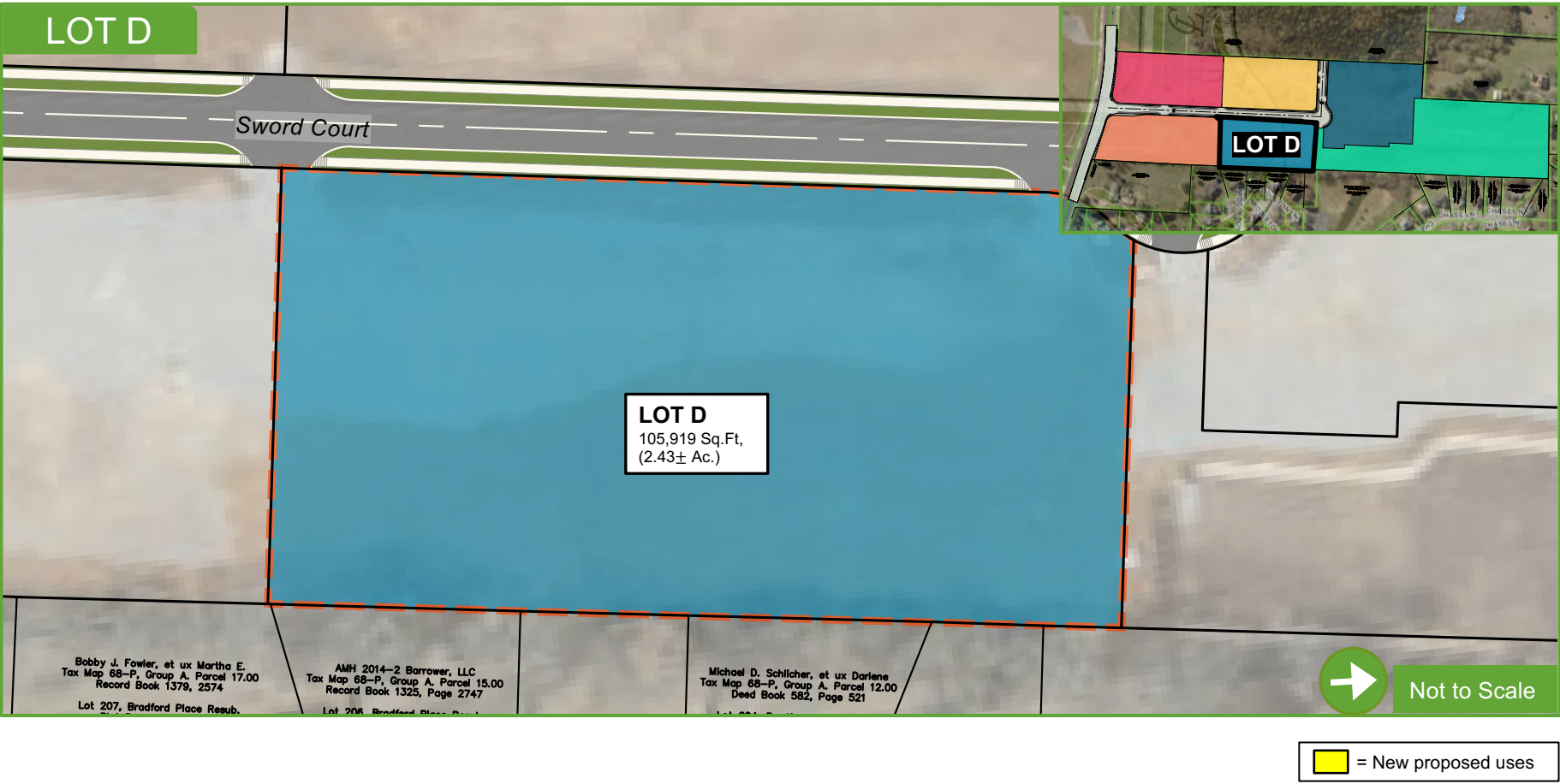
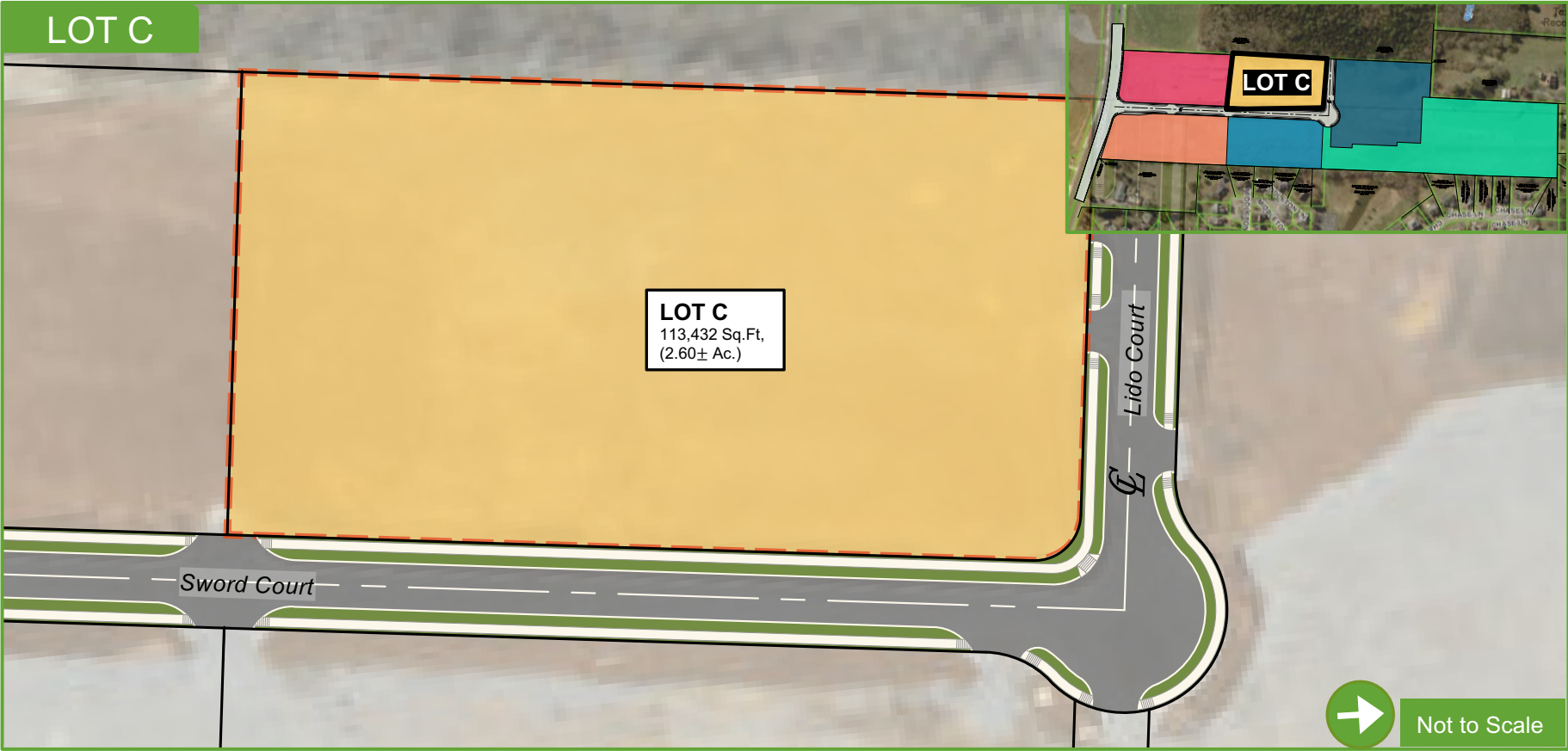
Institutional Group Assembly

Gas Fueling

Vape Shop

■ = New proposed or prohibited uses

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| PROPOSED ALLOWABLE USES | |
|---|--|
| COMMERCIAL | |
| Amusements, Commercial Indoor | |
| Animal Grooming Facility | |
| Antique Mall | |
| Art or Photo Studio or Gallery | |
| Artisan Use < 3,000 SF, other than enumerated elsewhere | |
| Bakery, Retail | |
| Bank or Credit Union, Branch Office or Main Office | |
| Bank, Drive-Up Electronic Teller | |
| Barber or Beauty Shop | |
| Book or Card Shop | |
| Brewery, Artisan | |
| Businesses and Communication Service | |
| Business School | |
| Catering Establishment | |
| Clothing Store | |
| Convenience Store, ≤5,000 SF | |
| Department or Discount Store | |
| Dry Cleaner ≤3,000 SF (No On-Site Cleaning) | |
| Financial Service | |
| Fitness Studio/ Personal Instruction ≤ 5,000 SF | |
| Flower or Plant Store | |
| Garden and Lawn Supplies | |
| Grocery Stores | |
| Interior Decorator | |
| Janitorial Service | |
| Keys, Locksmith | |
| Laboratories, Medical | |
| Laboratories, Testing | |
| Music or Dancing Academy | |
| Offices | |
| Optical Dispensaries | |
| Personal Service Establishment | |
| Pet Shops | |
| Pharmacies, Apothecaries | |
| Radio, TV, or Recording Studio | |
| Restaurant and Carry-Out Restaurant | |
| Restaurant, Drive-In | |
| Restaurant, Specialty | |
| Restaurant, Specialty-Limited | |
| Retail Shop, other than enumerated Elsewhere | |
| Specialty shop | |
| Veterinary Clinic | |
| Veterinary Hospital | |
| Veterinary Office | |
| Winery, Artisan | |
| TRANSPORTATION AND PUBLIC UTILITIES | |
| Telephone or Communication Services | |

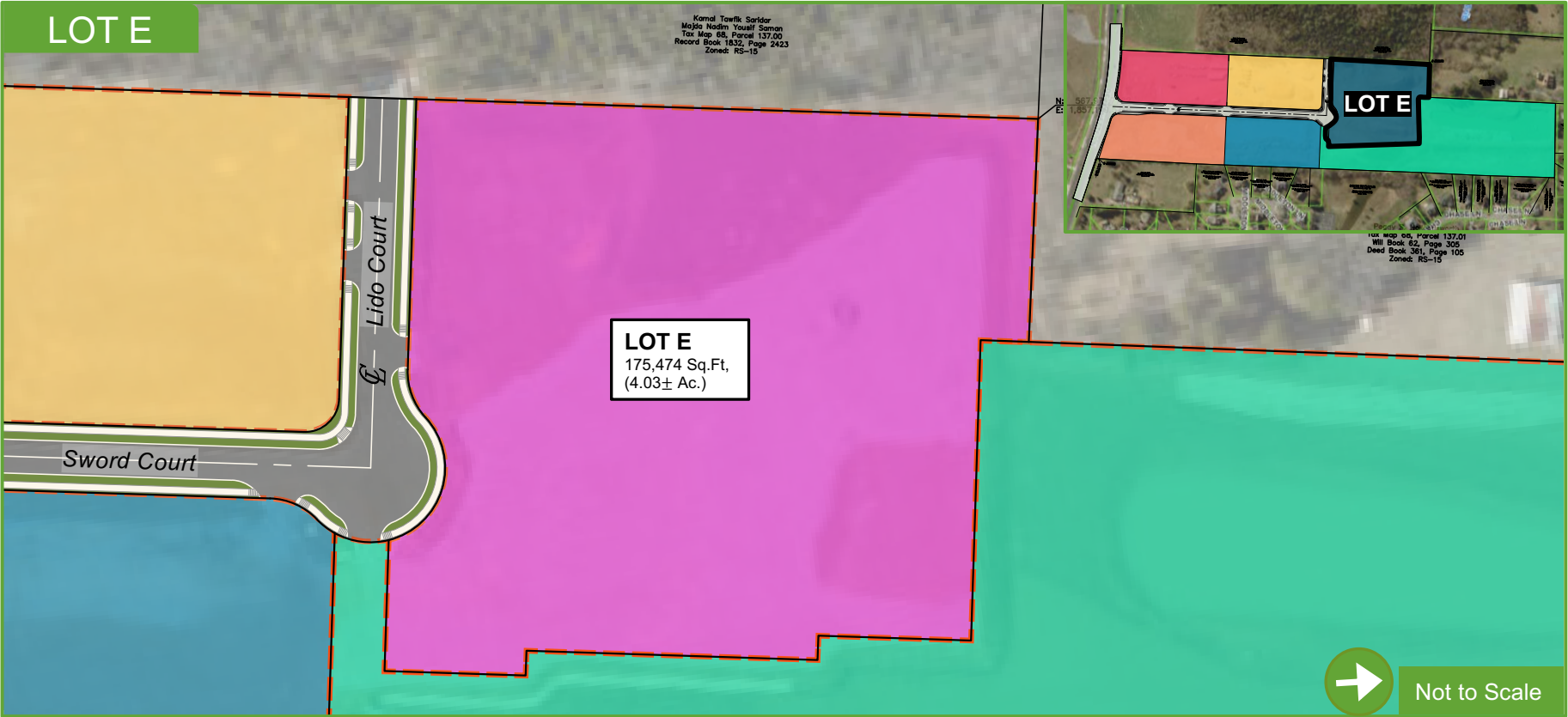
| SITE DATA | | |
|--------------|--------------|--------------|
| | LOT C | LOT D |
| Total SF | 113,432 ± sf | 105,919 ± sf |
| Acreage | 2.60 ± ac | 2.43 ± ac |
| SETBACKS | | |
| Front | 42 ft | 42 ft |
| Side | 10 ft | 10 ft |
| Rear | 20 ft | 20 ft |
| Height (Max) | 35 ft | 35 ft |

Landscape Requirements

Perimeter planting, landscape islands and buffer trees to not exceed 35' in height at maturity to comply with Federal Aviation Regulations Part 77.

| PROHIBITED USES |
|------------------------------|
| COMMERCIAL |
| Institutional Group Assembly |
| Gas Fueling |
| Vape Shop |

Yellow box = New proposed or prohibited uses



| PROPOSED ALLOWABLE USES |
|---|
| COMMERCIAL |
| Artisan Use < 3,000 SF, other than enumerated elsewhere |
| Brewery, Artisan |
| Fitness Studio/ Personal Instruction ≤ 5,000 SF |
| Grocery Stores |
| Offices |
| Restaurant, Drive-In |
| Restaurant, Specialty |
| Restaurant, Specialty-Limited |
| Retail Shop, other than enumerated Elsewhere |
| Specialty shop |
| Winery, Artisan |
| Self-Service Storage Facility (Including Outdoor Storage) |

| PROHIBITED USES |
|------------------------------|
| COMMERCIAL |
| Institutional Group Assembly |
| Gas Fueling |
| Vape Shop |

= New proposed or prohibited uses

| SITE DATA | |
|--------------|--------------|
| | LOT E |
| Total SF | 175,474 ± sf |
| Acreage | 4.03 ± ac |
| SETBACKS | |
| Front | 42 ft |
| Side | 10 ft |
| Rear | 20 ft |
| Height (Max) | 45 ft |

Architectural Design - General Character

- **Guideline:** Attention should be given to the size, massing, spatial relationships, architectural style, details, color, and materials of the building. It is also important to ensure compatibility with neighboring structures and maintain a cohesive exterior appearance across sites with multiple buildings.
- Standards:
 - Design exterior elevations to consider the appropriate level of interest, the relationship of building features, the emphasis on architectural detailing, and the identification of the function and use of the building.
 - Architectural plans for buildings over 5,000 square feet must be created by a licensed architect in Tennessee.

Architectural Design - Height and Setbacks

- **Guideline:** Use variations in building heights and front planes to create interest and establish scale by avoiding long, unbroken rooflines and walls.
- Standards:
 - All heights and setbacks will adhere to the Murfreesboro Zoning Ordinance.
 - Adjoining buildings shall not have more than a two-story differentiation in height.

Architectural Design - Building Mass Scale

- **Guideline:** Establish a building scale suitable for the site, considering views from roadways and pedestrian areas, as well as its relation to nearby structures.
- Standards:
 - Ensure appropriate massing for the intended use by stepping back building heights, varying visual heights, altering the front plane, and incorporating breaks for pedestrian connections.
 - Divide the facade into sections no wider than forty (40) feet, each taller than wide, and avoid large blank walls.
 - Use windows, columns, and other elements to enhance the vertical appearance of the facade.

Architectural Design - Building Composition and Rythm

- **Guideline:** The building facade should feature design elements that are interesting and balanced with an established pattern of repeated elements. balanced appearance. While symmetry isn't required, avoid extreme variations. Repeated elements can establish a rhythmic pattern.
- Standards:
 - Incorporate design features such as cornices, pediments, varied roof lines, windows, entrances, and projecting canopies.
 - Use common design elements from adjoining developments when a unified design concept or style is present. Be mindful of the scale, massing, and materials of adjacent buildings.
 - Ensure that the building entrance is prominent and easily visible.
 - For sites with multiple front lot lines, the primary entrance should face the street with a higher functional classification.

Respecting character between buildings



Façade divided into distinct sections



Repeating design elements



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Architectural Design - Transparency Articulation and Expression

- **Guideline:** Utilizing windows and other voids to offer an inviting presence and utilizing columns and windows to express building structure. The façade should appear authentic, with visible materials reflecting their structural properties. Effective lighting can highlight key areas, especially the entrance, using fixtures on the building or the ground. The building address should be clearly visible, positioned above vehicles and landscaping, and can be integrated into the design. All buildings shall establish a “base, body, and cap”.
- **Standards:**
 - Ground-level retail facades must have at least 50% window or void area; ground-level office and commercial uses require a minimum of 35%.
 - Upper levels of all commercial uses should have at least 20% window or void area.
 - All buildings must feature a “base, body, and cap.” The base can be different materials or colors, at least 24” high for single-level buildings or an entire level for multi-level ones. Large glass areas may have an 8” raised mullion as the base. The body should cover at least 50% of the facade area, while the cap can include cornices or moldings and may also be an entire level for a multi-level building.
 - Visible security grills or bars are prohibited on window or wall exteriors.
 - Street numbers (except for specific buildings) must be a minimum of 8 inches high with a stroke width of at least 1.5 inches.

The storefront is expressed with an 8” raised mullion.



Architectural Design - Materials

- **Guideline:** All publicly visible sides of a building must use consistent materials. Material choices should consider those of nearby structures. Establish a defined palette of materials for all projects. Developments with multiple buildings can use different palettes, but some materials should be shared. Selected materials must be durable and of sufficient quality for a consistent appearance.
- **Standards:**
 - Primary materials: Brick (full thickness or thin-set), Cast stone, Natural or synthetic stone on building base and body.
 - Secondary materials: Exterior Insulation Finish System (EIFS), Split-face or ground-face, or polished-face concrete masonry (integrally colored), Architectural metal panels with durable finish and defined profile, Composite panels, Cementitious siding or panels, Wood siding may be used on small scale buildings, Fabric Awnings.
 - Tertiary materials: Metal copings, flashings, and trim, as well as wood or cementitious trim.
 - Prohibited materials: Smooth-face concrete masonry, Corrugated metal “R” panels.
 - All dumpster / refuse collection areas shall be enclosed with a masonry wall that is a minimum of one foot in height taller than the top of the refuse container used for collection, as well as match the color and materials of the building with a base and cap.

Use of a variety of brick colors and cementitious panels on commercial buildings



The building base is expressed with a different masonry material. The base at the storefront is expressed with an 8” raised bottom mullion.



Mix of brick and architectural metal panels on commercial building



Airport Protection - Existing Context

- Since 2015, the Murfreesboro City Airport runway has been expanded to its programmed length of 4,750', with the Runway Protection Zone (RPZ) limits staying on the south side of Dejarnette Lane.
- In 2016, the city cleared extremely tall trees closer than 350' from Dejarnette Lane right of way to protect the approach to airport Runway 18.
- The original PCD had 1-story buildings at the front of the site with the potential for 2-story buildings at the middle of the site and self-storage towards the back.

Airport Protection - Potential Future Context

- Over the years, the Murfreesboro City Airport has discussed potentially extending the runway to have a total length of 5,000'. Should this additional 250' extension occur, it appears the Runway Protection Zone (RPZ) would extend onto the north side of Dejarnette Lane to affect just the front landscape area and the 1st row of parking on this project's site.
- An Avigation Easement will be placed along the front 40' of the private property to ensure no structure in such areas.
- Churches, Institutional Group Assembly & fueling type uses will not be allowed within the PCD.

Building Height Limits -(Datum is NAVD88 for elevations

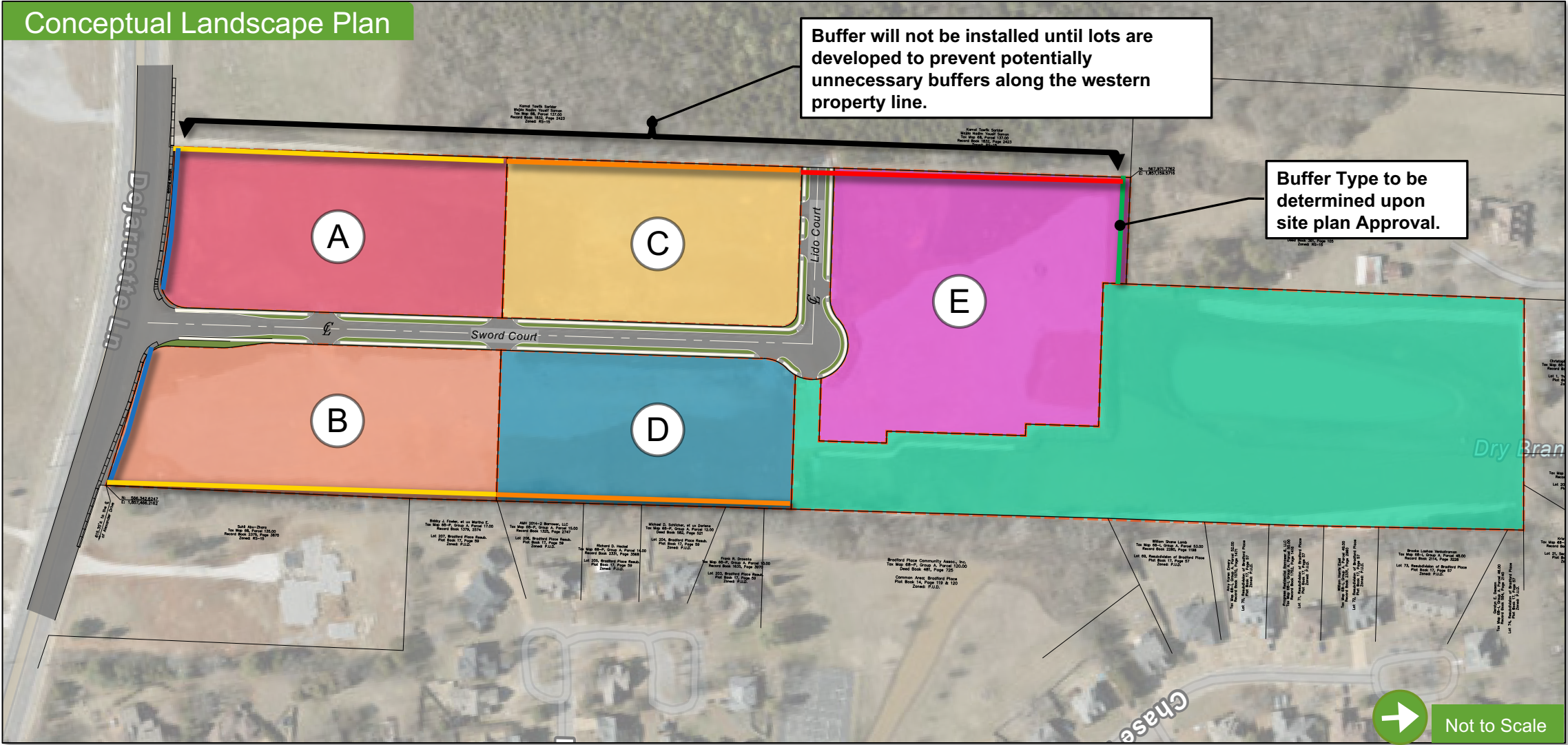
- There is generally a 10' height difference between the existing approach surface and the potential future scenario. Therefore, we are pre-emptively setting the following maximum heights to best coordinate with potential City Airport plans.
- Buildings in sections A and B will be limited to a maximum building height of 618' mean sea level. (i.e., a finished floor elevation- FFE of 588' would allow a 30' maximum height. If the finished floor elevation is higher, the building height would need to be adjusted).
- Buildings in sections C and D will be limited to a maximum building height of 621' mean sea level (FFE 586' would allow 35' tall buildings).
- Section E Buildings shall be limited to a maximum building height of 633' mean sea level (FFE 583' would allow 45' tall buildings).
- **These height limitations will apply to all rooftop equipment, antennas, and fixtures.**

Landscape & Lighting Height Limits: (intent to comply with Federal Aviation Regulations Part 77)

- Section A & B – Front Perimeter Planting, parking lot screening, and base of building plantings shall only allow ornamental trees and shrubs not to exceed 20' in height at maturity.
- Section C & D – Perimeter planting, landscape Island, and buffer trees to not exceed 35' in height at maturity.
- Section E – Perimeter planting, landscape Island, and buffer trees to not exceed 45' in height at maturity

Other Acknowledgments

- Part 7460-1 form shall be filed with the FAA prior to permit issuance for any building construction or use of cranes within the PCD.
- The City of Murfreesboro Airport has the right of flight for the passage of aircraft in the airspace above the PCD, together with the right to cause noise as may be inherent in the operation of aircraft for navigation or flight, and for landing on, taking off from, or operation on the Airport or in the airspace.
- With approval of the initial site plans, the plat book must record the avigation easement.



TYPE C BUFFER (45' max) TC

Double alternating Evergreen trees with a row of evergreen shrubs. All planting in this zone will have a maximum height of 45 ft.

STREET LANDSCAPING SL

Accent trees clustered in groups of threes with evergreen shrubs (min 3ft height) to screen parking.

TYPE C BUFFER (20' max) TC

Double alternating Evergreen trees with a row of evergreen shrubs. All planting in this zone will have a maximum height of 20 ft.

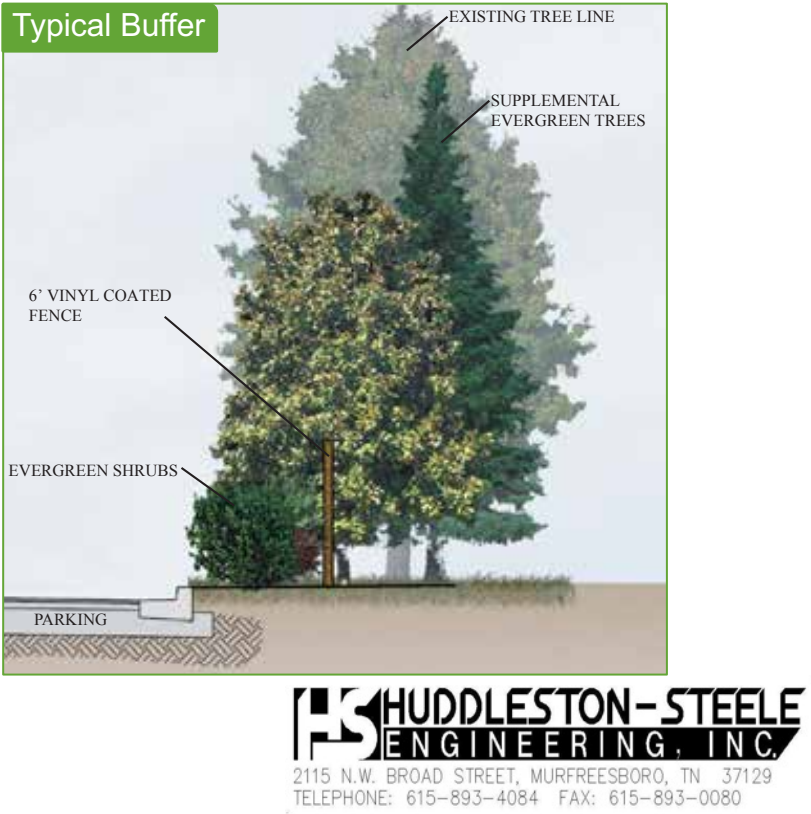
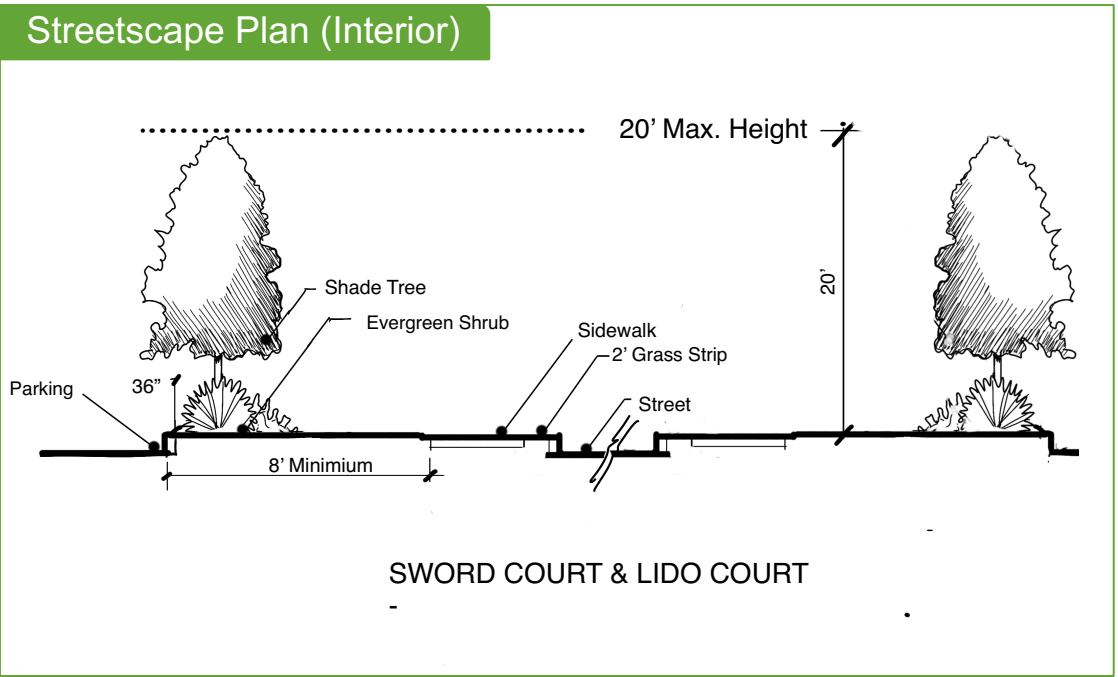
TYPE C BUFFER (35' max) TC

Double alternating Evergreen trees with a row of evergreen shrubs. All planting in this zone will have a maximum height of 35 ft.

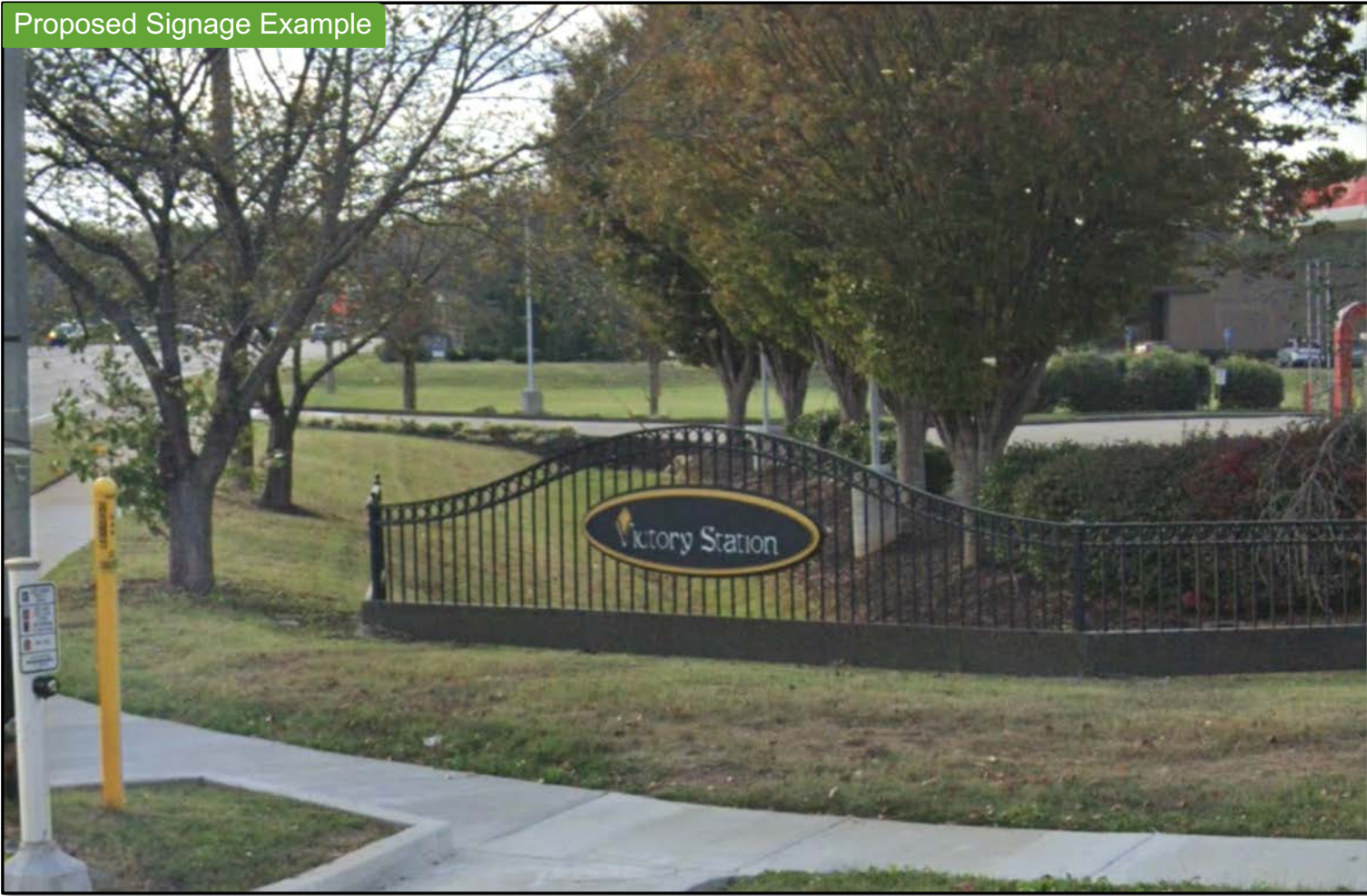
TYPE C BUFFER (40' max) TC

Double alternating Evergreen trees with a row of evergreen shrubs. All planting in this zone will have a maximum height of 40 ft.

- Map Summary**
- The public street is designed to implement street lighting, street trees (with lot development), and sidewalks on both sides to provide a streetscape that acts as a uniform design element for the development.
 - Parking will be screened per the Murfreesboro Zoning Ordinance to visually separate the parking from the street.
 - Right within the retail and office parking lots will be 20' maximum tall light poles with hooded fixtures.
 - A photometric plan will be provided to ensure that light does not overflow into residential areas.
 - All landscape planting will comply with all airport protection agreements outlined on page 18.
 - Street tree maximum mature height of 20 feet.



Proposed Signage Example



Parking Lot Light



*Maximum 20'
Light fixtures

6' Wooden Fence



6' Vinyl Coated Fence



Dumpster Enclosure



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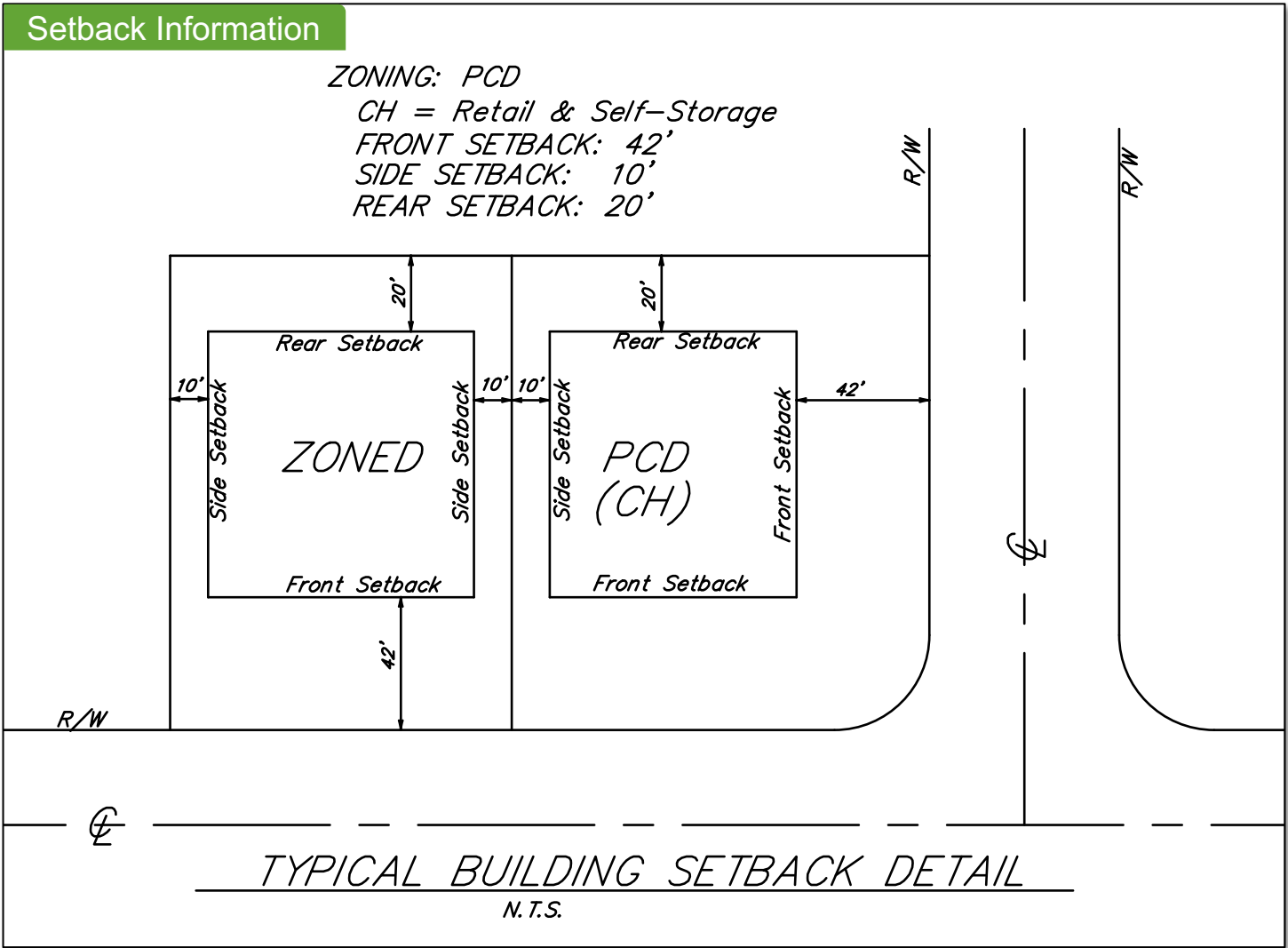
| LAND USE PARAMETERS AND BUILDING SETBACKS | | | |
|---|------------------|----------|------------|
| ZONING (COMPARABLE VS PROPOSED) | COMPARABLE (PCD) | PROPOSED | DIFFERENCE |
| MINIMUM EXTERNAL SETBACK REQUIREMENTS | | | |
| MINIMUM FRONT SETBACK (FT.) | 42 | 42 | - |
| MINIMUM SIDE SETBACK (FT.) | 10 | 10 | - |
| MINIMUM REAR SETBACK (FT.) | 20 | 20 | - |
| MAX HEIGHT (FT.) | 45 | 45 | - |

Exception Request Summary

- The subject property has a height restriction based on its proximity to the Murfreesboro Municipal Airport flight line.
- Perimeter Planting Yard/ Buffer Requirements will be determined upon site plan approval or potential rezoning of adjacent properties.

Prohibited Uses

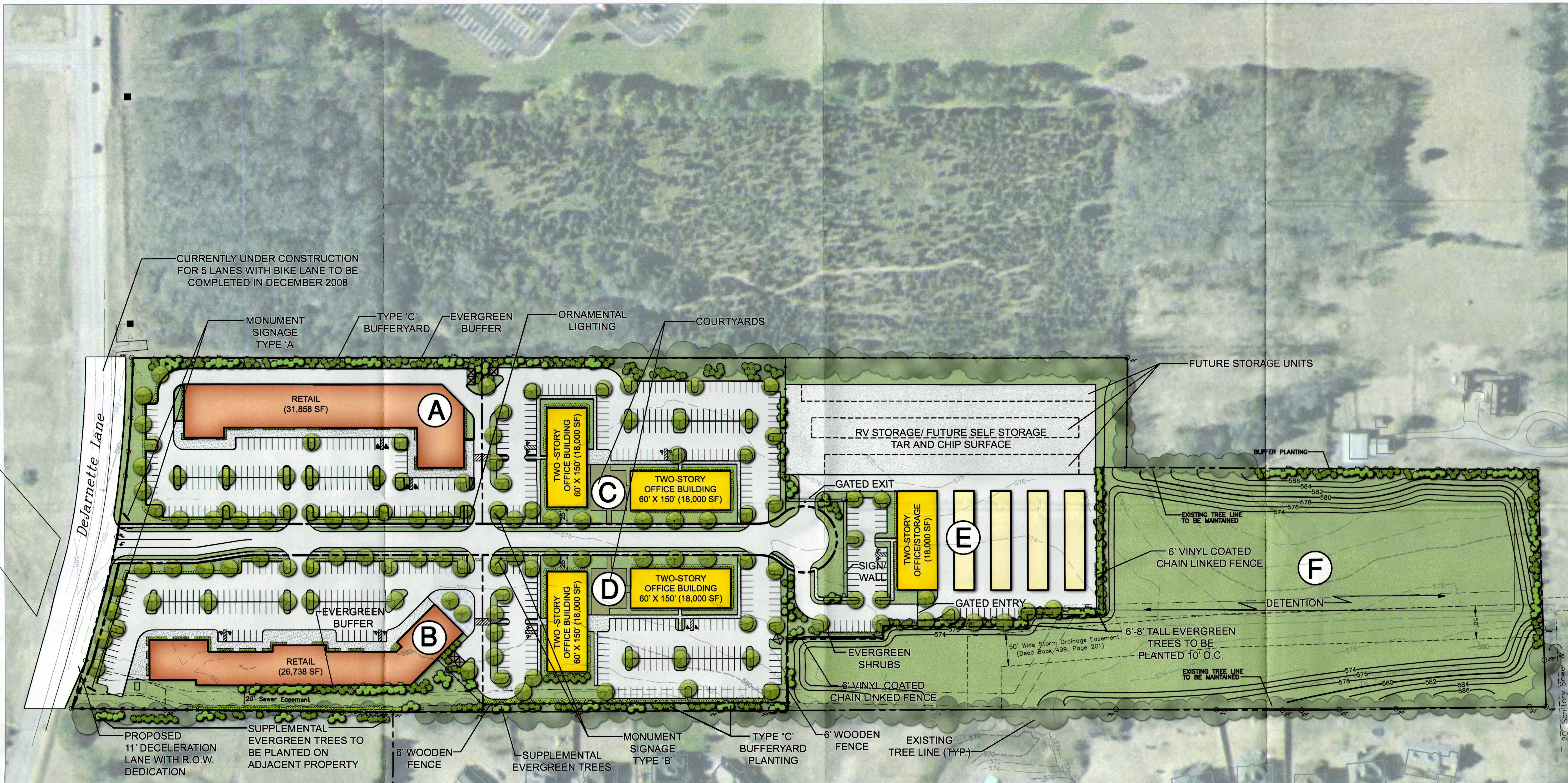
- Gas Fuelling, Institutional Group Assembly, and Vape Shop.



City of Murfreesboro General Applicability Section 13b for Planned Development

1. Identification of existing utilities, easement, roadways, rail lines and public right-of-way crossings and adjacent to the subject property: [Shown in pattern book on pages 3-9.](#)
2. A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; [Shown in pattern book on pages 11-13.](#)
3. A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structure on-site and within two hundred feet of the subject property and the identification of the use thereof; [Shown in pattern book on Page 10.](#)
4. A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; [Shown in pattern book on Page 14.](#)
5. A tabulation of the maximum number of dwelling units proposed including the number of units with two or less bedrooms and the number of units with more than two bedrooms; [Not Applicable in this situation.](#)
6. A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (floor area ratio), the L.S.R. (livability space ratio), and the O.S.R. (open space ratio); [Not applicable in this situation.](#)
7. A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the City and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article; [Shown in pattern book pages 21-23.](#)
8. If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating: (aa) the approximate date when construction of the project can be expected to begin; (bb) the order in which the phases of the project will be built; (cc) the minimum area and the approximate location of common space and public improvements that will be required at each stage; and, (dd) a breakdown by phase for subsections [5] and [6] above; [Development will be constructed in single phase.](#)
9. Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted; [Not applicable in this situation.](#)
10. A statement setting forth in detail either (1) the exceptions which are required from the zoning and Subdivision Regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed;
 - [EXCEPTION 1: This PCD is directly influenced by the federal aviation flight restrictions regarding building height.](#)
 - [EXCEPTION 2: Perimeter Planting Yard/ Buffer Requirements will be determined upon site plan approval or potential rezoning of adjacent properties.](#)
11. The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article; [The project is not within any overlays.](#)
12. The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time; [Not applicable in this situation.](#)
13. The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated; [Shown in pattern book on page 2.](#)
14. Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. [Shown in pattern book on pages 15-18.](#)
15. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign; [Shown in pattern book on page 19.](#)

2007 PCD Master Plan



OVERALL SITE DATA:

Total Site Area
Map and Parcel Numbers
City
State
County
Existing Zoning
Proposed Zoning

23.70 Acres ±
Parcel 137.02, Map 68
Murfreesboro
Tennessee
Rutherford County
RS-12
Planned Commercial Development

COMMERCIAL AREA DATA:
AREA A (Retail/Office)

Total Area in Area A
Proposed Use
Retail/Office
Restaurant
Total Square Footage
Total Floor Area Ratio (F.A.R.)
Total Parking Required
Total Parking Provided
Total in Streets and Parking
(Paved Area)
Total Open Space

3.05 Acres ±
Retail/Office
25,858 Square Feet ±
6,000 Square Feet ±
31,858 Square Feet ±
0.24
86 Spaces (1 Space/300 S.F.)
60 Spaces (1 Space/100 S.F.)
146 Spaces (1 Space/215 S.F.)
1.75 Acres ± (57.4%)
0.62 Acres ± (20.3%)

COMMERCIAL AREA DATA:
AREA B (Retail/Office)

Total Area in Area B
Proposed Use
Retail/Office Space
Restaurant
Total Square Footage
Total Floor Area Ratio (F.A.R.)
Total Parking Required
Total Parking Provided
Total in Streets and Parking
(Paved Area)
Total Open Space

3.04 Acres ±
Retail/Office
21,738 Square Feet ±
5,000 Square Feet ±
26,738 Square Feet ±
0.20
73 Spaces (1 Space/300 S.F.)
50 Spaces (1 Space/100 S.F.)
128 Spaces (1 Space/209 S.F.)
1.54 Acres ± (50.7%)
0.89 Acres ± (29.3%)

COMMERCIAL AREA DATA:
AREA C (Office)

Total Area in Area C
Proposed Use
Office
Total Office Space
Total Floor Area Ratio (F.A.R.)
Total Parking Required
Total Parking Provided
Total in Streets and Parking
(Paved Area)
Total Open Space

2.60 Acres ±
Office
36,000 Square Feet ±
0.32
120 Spaces (1 Space/300 S.F.)
146 Spaces (1 Space/245 S.F.)
1.01 Acres ± (38.8%)
0.76 Acres ± (29.2%)

COMMERCIAL AREA DATA:
AREA D (Office)

Total Area in Area D
Proposed Use
Office
Total Office Space
Total Floor Area Ratio (F.A.R.)
Total Parking Required
Total Parking Provided
Total in Streets and Parking
(Paved Area)
Total Open Space

2.45 Acres ±
Office
36,000 Square Feet ±
0.34
120 Spaces (1 Space/300 S.F.)
138 Spaces (1 Space/260 S.F.)
0.94 Acres ± (38.4%)
0.86 Acres ± (34.7%)

COMMERCIAL AREA DATA:
AREA E (Office/Storage)

Total Area in Area E
Proposed Use
Office/Storage Facilities
Total Office Space
Total Parking Required
Total Parking Provided
Total Storage Area
Total Parking Required
Total Parking Provided
Total Floor Area Ratio (F.A.R.)
Total in Streets and Parking
(Paved Area)
(Graveled Area)
Total Open Space

4.41 Acres ±
Office/Storage Facilities
9,000 Square Feet
30 Spaces (1 Space/300 S.F.)
37 Spaces (1 Space/243 S.F.)
27,000 Square Feet
6 Spaces (1 Space per 5,000 S.F.)
13 Spaces (1 Space per 2,077 S.F.)
0.19
2.70 Acres (Pavement + Gravel)
1.26 Acres ± (28.6%)
1.44 Acres ± (32.6%)
1.11 Acres ± (25.2%)

Prohibited uses for Storage Facility
(Hours of operation 7 am. to 11 pm. 7 days a week)
1. Any activity that is a noise nuisance by nature.
2. Any business that daily requires the usage of the facility to pull stock to run their daily operation. (example: snack delivery vehicles, building trades)
3. Any manufacturing or growing of parts, animals, and plants.
4. Anything living that could die or create odor problems.
5. Anything flammable or chemical substances.
6. Uses shall adhere to Section 9 (Standards for Special Permit Uses) of the Murfreesboro Zoning Ordinance.

COMMERCIAL AREA DATA:
AREA F (Detention/Stormwater Management Area)

Total Area in Area F 6.82 Acres ±

APPROVED USES:

Amusements
Commercial Indoor
Animal Grooming Facility
Antique Mall
Apothecaries
Art or Photo Studio or Gallery
Bakery, Retail
Bank, Branch Office
Bank, Drive-Up Electronic Teller
Bank, Main Office
Barber or Beauty Shop
Book or Card Shop
Business School
Business and Communication Service
Catering Establishment
Clothing Store
Convenience Sales and Service
Max. 5,000 S.F. floor area
Delicatessen
Department or Discount Store
Doughnut Shop
Dry Cleaning
Dry Cleaning Pick-Up Station
Financial Service

Flower or Plant Store
Garden and Lawn Supplies
Health Club
Ice Cream Shop
Interior Decorator
Janitorial Service
Keys, Locksmith
Laboratories, Medical
Laboratories, Testing
Music or Dancing Academy
Offices
Optical Dispensaries
Personal Service Establishment
Pet Shops
Pharmacies
Photo Finishing
Photo Finishing, Pick-Up Station
Radio, T.V., or Recording Studio
Reducing and Weight Control Service
Restaurant and Carry-Out Restaurant
Retail Shop, other than enumerated elsewhere
Telephone or Telegraph Facility
Veterinarian's Office
Veterinary Clinic
Veterinary Hospital
Video Rental

PROHIBITED USES:

Outdoor Amusement

SPECIAL NOTE:
Construction activity and dumpster pick-up will be limited to City of Murfreesboro Zoning Ordinance requirements.

DeJARNETTE PLACE

DeJARNETTE LANE
MURFREESBORO, RUTHERFORD COUNTY, TENNESSEE
OVERALL LAYOUT

REVISIONS

DESIGNED BY: R.C.C.

DRAWN BY: J.A.G.

APPROVED BY: R.C.C.

SCALE: 1"=80'

DATE: October 5, 2007

JOB NO. WK. ORDER

06-018 8774

SHEET NO.

01 OF 02

8/108-018/0174/8774-BASE.dwg

RAGAN • SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
RAGAN-SMITH ASSOCIATES, INC.
385 WOODLAND ST., P.O. BOX 8007, NASHVILLE, TN 37208
(615) 244-8861 FAX (615) 244-8738 WWW.RAGANSMITH.COM

Murfreesboro Planning Commission

Staff Comments, Page 1

May 27, 2025

Project Planner: Marc Shackelford-Rowell

- 6. a. Mandatory Referral [2025-706] for the dedication of an electric easement on City-owned property located along West College Street/Old Nashville Highway, Middle Tennessee Electric applicant.**



In this mandatory referral, the Planning Commission is being asked to consider the dedication of an electric easement for Middle Tennessee Electric (MTE) on City-owned property along West College Street/Old Nashville Highway. The proposed easement is associated with the proposed installation of underground power lines located under the bridge where North Thompson Lane goes over Old Nashville Highway / West College Street.

An exhibit showing the location of the proposed power line and easement is included in the agenda materials as is a letter from MTE. Specifically, MTE needs to separate voltages here and bring another back feed option to make the electrical service more reliable here. Underground access is necessary to do this safely.

Staff recommends that the Planning Commission forward a recommendation of approval to the City Council, subject to the following conditions:

1. If approved by City Council, Middle Tennessee Electric will be responsible for providing the information necessary (including, but not limited to, any exhibits and legal descriptions) for the Legal Department to prepare the legal instrument(s) to formally dedicate the proposed easement. The legal instrument(s) will be subject to final review and approval of the Legal Department.
2. Middle Tennessee Electric will also be responsible for recording the legal instrument(s), including payment of the recording fee.



City of Murfreesboro
Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

| | |
|---|----------|
| Mandatory Referral, INCLUDING abandonment of right-of-way..... | \$350.00 |
| Mandatory Referral, NOT INCLUDING abandonment of right-of-way..... | \$150.00 |

Property Information:

Tax Map/Group/Parcel: 079/06900

Address (if applicable): N/A

Street Name (if abandonment of ROW): Old Nashville Hwy

Type of Mandatory Referral: Right of Way Easement

Applicant Information:

Name of Applicant: Mark Champion

Company Name (if applicable): Middle Tennessee Electric

Street Address or PO Box: 555 New Salem Hwy

City: Murfreesboro

State: TN

Zip Code: 37129

Email Address: [REDACTED]

Phone Number: 615-217-5282

Required Attachments:

- ☐ Letter from applicant detailing the request
- ☐ Exhibit of requested area, drawn to scale
- ☐ Legal description (if applicable)

Mark Champion

Applicant Signature

5/1/25

Date

May 22, 2025

RE: City of Murfreesboro
Parcel: 079 06900

To whom it may concern,

Middle Tennessee Electric is planning to install underground primary power along Old Nashville Hwy/W College St. from pole to pole underneath N Thompson Rd bridge (shown in map).

MTE is requesting a signed easement for these new facilities.

We appreciate your help, as we rely heavily upon the cooperative spirit of our membership.

Sincerely,

Mark Champion

Mark Champion

System Designer

615-217-5282

Right-of-Way Easement

This instrument prepared by: MTE
555 New Salem Highway, Murfreesboro, TN 37129
MC _____ Employee Initials



Service Location # N/A Meter Set SO # _____ WO# 16763309

Grantor: City of Murfreesboro And/by _____

Select one of the following: ☐unmarried ☐married ☒business entity

FOR GOOD AND VALUABLE CONSIDERATION, the receipt and sufficiency of which are hereby acknowledged, the Grantor, whether one or more, does hereby grant unto Middle Tennessee Electric Membership Corporation, a Tennessee not-for-profit corporation ("Grantee" or "MTE"), its affiliates, successors or assigns, a perpetual easement (the "Easement") that, except as may be otherwise indicated on Exhibit 1, if attached, shall be twenty feet (20') from the centerline (total of 40') for any overhead transmission and/or distribution line or system, including anchoring, and ten feet (10') from the centerline (total of 20') for any underground transmission and/or distribution line or system with the right to:

- install, construct, reconstruct, rephase, operate and maintain an electric transmission and/or distribution line or system;
- inspect and make such repairs, changes, alterations, improvements, removals from, substitutions and additions to its facilities as Grantee may from time to time deem advisable, including, by way of example and not by way of limitation, the right to increase or decrease the number of conduits, wires, cables, poles, guy wire and anchors, hand holes, manholes, connection boxes, transformers and transformer enclosures;
- cut, trim and control the growth by chemical means, machinery or otherwise of trees and shrubbery within the Easement, or any tree that may interfere with or threaten to endanger the operation and maintenance of said line or system;
- prohibit, prevent and restrict the planting and/or maintenance of any trees, shrubbery or vegetation not approved in writing by Grantee (except those trees that appear on MTE's approved standard planting guide) which approval may be withheld by Grantee in its sole discretion if it determines said trees, shrubbery or vegetation may in the future interfere with or threaten to endanger the operation and maintenance of said line or system;
- prohibit the planting of any trees, shrubbery or vegetation within 15' of a pole or pad-mounted equipment;
- keep the Easement clear of all buildings, structures or other obstructions;
- license, permit or otherwise agree to the joint use or occupancy of the lines, system or, if any of said system is placed underground, of the trench and related underground facilities, by any other person, association or corporation for electrification, for other utility or commercial purposes;
- install and maintain guy additions to overhead lines if any portion of the lines or system is placed underground;

over, across; and through the land owned by Grantor as further described below (the "Property");

County Rutherford State of Tennessee Tax Map: 079 Group: _____ Parcel: 06900

Address N/A Old Nashville Hwy Murfreesboro 37129
House/building# Street/Road Name City Zip

and such Property being of record in Deed Book 603, Page 503, Register's Office of the above-named county, and as may be further described according to Exhibit 1 attached hereto and incorporated herein by reference, if attached, together with the right of ingress and egress over adjacent lands of the Grantor, and Grantor's successors and assigns for the purposes of this Easement.

The Grantor agrees that all poles, wires, and other facilities, including any main service entrance equipment, installed in, upon or under the Property at Grantee's expense shall remain the property of the Grantee and removable at the option of the Grantee. The Grantor hereby expressly releases any claims, demands, actions, or causes of action for trespass related to the Grantee's use of this Easement as described herein. The grant and other provisions of this Easement shall run with the land for the benefit of the Grantee, its affiliates, successor and assigns.

IN WITNESS WHEREOF, the Grantor has executed this instrument this _____ day of _____, 202____.

Print Name/Title of Authorized Signatory

Print Name/Title of Authorized Signatory

Legal Signature

Legal Signature

STATE OF _____

STATE OF _____

COUNTY OF _____

COUNTY OF _____

On the ____ day of _____, 202____, personally appeared before me, the within named bargainer(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

On the ____ day of _____, 202____, personally appeared before me, the within named bargainer(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

Notary Signature

My Commission Expires

Notary Signature

My Commission Expires